

ABBREVIATIONS

@	AT	LB. or #	POUND or NUMBER
A.B.	ANCHOR BOLT	LS	LANDSCAPING
ADJ.	ADJUSTABLE	LT.	LIGHT
AFF	ABOVE FINISHED FLOOR	LTWT.	LIGHTWEICH
ALT.	ALTERNATE	LVL.	LEVEL
ALUM.	ALUMINUM	MAX.	MAXIMUM
AMP.	AMPERAGE	(N)	MEDIUM DENSITY
APPROX.	APPROXIMATE	FIBERBOARD	FIBERBOARD
ASTM	AMERICAN SOCIETY of TESTING MATERIALS	MECH.	MECHANICAL
ARCH	ARCHITECTURAL	MFR.	MANUFACTURER
BFF	BELOW FINISHED FLOOR	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	MTL.	METAL
BTM.	BOTTOM	(N)	NEW
BTWN	BETWEEN	N.E.C.	NATIONAL ELECTRIC CODE
CAB	CABINET	N.G.	NATURAL GRADE
CALCS.	CALCULATIONS	NIC	NOT IN CONTRACT
CBC	CALIFORNIA BUILDING CODE	N.T.S.	NOT TO SCALE
CJ	CONTROL JOINT	O/	OVER
CMC	CALIFORNIA MECHANICAL CODE	O.C.	ON CENTER
CEC	CALIFORNIA ELECTRICAL CODE	O.D.	OUTSIDE DIAMETER
CCC	CALIFORNIA PLUMBING CODE	OPG	OPENING
CLG.	CEILING	OPP.	OPPOSITE
CL	CENTERLINE	PERF.	PERFORATED
CLO.	CLOSET	P.L.	PROPERTY LINE
CLR.	CLEAR	PLYWD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	PR.	PAIR
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONJ.	CONNECTION	R.	RISER
CONT.	CONTINUOUS	R.D.	ROOF DRAIN
CSMT	CASEMENT	REIN.	REINFORCING
DBL	DOUBLE	RFR.	RAFTER
DET.	DETAIL	RM.	ROOM
DEG.	DEGREE	REQ.	REQUIREMENT
DIA	DIAMETER	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DIAPH.	DIAPHRAGM	S.E.D.	SEE ELECTRICAL DRAWINGS
DIM.	DIMENSION	S.M.D.	SEE MECHANICAL DRAWINGS
DN.	DOWN	S.F.D.	SEE PLUMBING DRAWINGS
D.S.	DOWNSPOUT	S.S.D.	SEE STRUCTURAL DRAWINGS
DWG.	DRAWING	ST	STAINLESS STEEL
(E)	EXISTING	STD.	STANDARD
E	EGRESS	STL.	STEEL
EA	EACH	STRUCT.	STRUCTURAL
ELEC.	ELECTRICAL	STO.	STORAGE
ELEV.	ELEVATION	S.W.	SHEAR WALL
EJ	EXPANSION JOINT	SYM.	SYMBOL
EMB.	EMBEDMENT	TEMP. or T	TEMPERED
EPS	EXTRUDED POLYSTYRENE	T.J.	TOOLED JOINT
EQ.	EQUAL	T.O.C.	TOP OF CURB or CONCRETE
EXT.	EXTERIOR	T.O.S.	TOP OF SLAB or SHEATHING
FDN.	FOUNDATION	T.O.W.	TOP OF WALL
FD	FLOOR DRAIN	TP	TOP OT PLATE
FF.	FINISH FLOOR	TRISM	TRANSOM
FH.	FIRE HYDRANT	T.S.	TUBE STEEL
FJ.	FLOOR JOIST	T&B	TOP AND BOTTOM
FLASHG	FLASHING	T&G	TONGUE AND GROOVE
FLR.	FLOOR	TYP.	TYPICAL
FLOUR.	FLOURESCENT	U.B.C.	UNIFORM BUILDING CODE
F.O.	FACE OF	UL	UNDERWRITERS LABORATORIES
F.O.S.	FACE OF STUD	U.M.C.	UNIFORM MECHANICAL CODE
FR	FRENCH	UNL.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	UTIL.	UTILITY
GA	GAUGE	V	VOLTS or VOLTAGE
GALV.	GALVANIZED	VERT.	VERTICAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VLF.	VERIFY IN FIELD
GLU-LAM	GLUE LAMINATED	W/	WITH
GR	GRADE	W.C.	WATER CLOSET
GSM	GALVANIZED SHEET METAL	WD.	WOOD
G.C.	GENERAL CONTRACTOR	WH.	WATER HEATER
GYP.BD.	GYPSTUM BOARD	WO.	WHERE OCCURS
H.B.	HOSE BIB	WI.	WROUGHT IRON
H.C.	HOLLOW CORE	WP	WEATHER PROOF
HD	HOLD DOWN	W.U.I.	WILDLAND URBAN INTERFACE
H.H.	HEAD HEIGHT	W.W.F.	WELDED WIRE FABRIC
HORIZ.	HORIZONTAL	W.W.M.	WELDED WIRE MESH
HR.	HOUR		
HT.	HEIGHT		
ID	INSIDE DIAMETER		
INCL.	INCLUDE		
INFO.	INFORMATION		
INSUL.	INSULATION or INSULATED		
INT.	INTERIOR		
JST.	JOIST		
LANDSC.	LANDSCAPING		

SYMBOL LEGEND

	ELEVATION REFERENCE	Room Name	ROOM DESIGNATION & FLOOR FINISH
	DETAIL REFERENCE	150 SF	
	VIEW NUMBER		
	SECTION REFERENCE		
	VIEW NUMBER		
	SECTION SHEET		
	ELEVATION REFERENCE		
	VIEW NUMBER		
	ELEVATION SHEET		
	INTERIOR ELEVATION REFERENCE		
	VIEW NUMBER		
	ELEVATION SHEET		
	DOOR TAG - SEE SCHEDULE		
	DOOR SIZE (WIDTH HEIGHT)		
	WINDOW TAG - SEE SCHEDULE		
	WINDOW SIZE (WIDTH HEIGHT) & OPENING METHOD		
	PARTITION REFERENCE		
	CENTER LINE		
	EGRESS WINDOW		
	TEMPERED GLAZING		
	KEYNOTE - REF. TO SCHEDULE	00.00.00A1	
	REVISION TRIANGLE		
	EQUIPMENT TAG - REF. TO SCHEDULE	99	
	KEY TO REFERENCE NOTES	10	
	SCHEDULE TYPE - REF. NO.	X-12	
	SCHEDULED KEYNOTE (MOULDINGS)	M-12	
	DIMENSION TO FACE OF STUD, CONCRETE, OR MASONRY WALL (U.N.O.)		

CAMPOS DEVELOPMENT

INTERIOR REMODEL

1054 MASONIC AVE.

ALBANY, CA 94706

PROJECT DIRECTORY

OWNER: CAMPOS DEVELOPMENT 1555 BOTELHO DR. WALNUT CREEK, CA 94596 PHONE: (925) 997-4529 CONTACT: James Campos EMAIL: james@camposdevelopment.com	ARCHITECT: DOMUM 6532 LONETREE BLVD., ROCKLIN, CA 95765 PHONE: (888) 352-2721 CONTACT: Jenna Fujitsu EMAIL: jenna@domum.design
ARCHITECT REPRESENTATIVE: DOMUM 6532 LONETREE BLVD., ROCKLIN, CA 95765 PHONE: (888) 352-2721 CONTACT: Jenna Fujitsu EMAIL: jenna@domum.design	

BUILDING AREA

EXISTING BUILDING AREA	PROPOSED BUILDING AREA
UPPER LEVEL 677 SF	LOWER LEVEL 401 SF
TOTAL CONDITIONED SPACE 677 SF	UPPER LEVEL 677 SF
	TOTAL CONDITIONED SPACE 1,078 SF
CRAWL SPACE 44 SF	
GARAGE 619 SF	CRAWLSPACE 44 SF
REAR STAIR 66 SF	GARAGE 189 SF
STAIR 88 SF	SHED 110 SF
TOTAL AREA 1,495 SF	STAIR 88 SF
	TOTAL AREA 1,509 SF

TOTAL NEW CONDITIONED SPACE: 401SF
 (E) LOT COVERAGE RATIO: 743SF/2500SF= 0.29
 ALLOWED LOT COVERAGE 50%
 (N) LOT COVERAGE RATIO : 835 SF/ 2500 SF= 0.35
 (E) FLOOR AREA RATIO: 1435SF/2500SF= .57
 ALLOWED FAR 0.55, 20.24.020 NOTE 5 EXCEPTION 0.6
 20.24.050 DEDUCTION STAIRS UP TO 60SF
 (N) FLOOR AREA RATIO: 1449 SF/ 2500 SF= 0.58

INDEX OF DRAWINGS

ARCHITECTURAL	COVER SHEET
A0.0	COVER SHEET
A1.0	SHED PLANS
A2.0	PARTITION PLANS
A3.0	REFLECTED CEILING PLAN
A4.0	EXTERIOR ELEVATIONS & SECTIONS
A4.1	EXTERIOR ELEVATIONS
A6.0	DETAILS

SURVEYOR	1 of 1	TOPOGRAPHIC AND BOUNDARY SURVEY
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info@domum.design 888-352-ARC-1
 6532 Lonetree Blvd., Rocklin, CA 95765

CAMPOS DEVELOPMENT

INTERIOR REMODEL

1054 MASONIC AVE.
 ALBANY, CA 94706
 APN: 65-2651-23

SITE & ROOF KEYNOTES

02.21.13.A3	(E) WATER METER TO REMAIN
02.21.13.A9	(E) LANDSCAPE
02.21.13.A15	(E) SIDEWALK
02.21.13.A35	(E) TREE TO REMAIN
02.22.00.A5	(E) DRIVEWAY TO REMAIN

PROJECT INFORMATION

PROJECT SUMMARY:
 Interior remodel of existing single family residence. Work includes: Demo of non-conforming exterior stair; 1st Level remodel for new bedroom, bathroom, laundry; New texture & paint; hardwood floors; replaced the kitchen and 2nd lv bath cabinets and countertops; installed new bath tile; and replaced interior and exterior doors. New furnace and water heater. New detached shed to be relocated 3ft from rear property line. All windows were existing. Update assessor characteristics.

SITE AREA:	EXISTING	PROPOSED
OCCUPANCY:	2500 SF	2500 SF
CONSTRUCTION TYPE:	SINGLE FAMILY(R3/U)	UNCHANGED
FIRE SPRINKLER:	V-B	UNCHANGED
NUMBER OF STORIES:	TWO (2)	UNCHANGED
BLDG. HEIGHT:	18' - 0"	18' - 0"

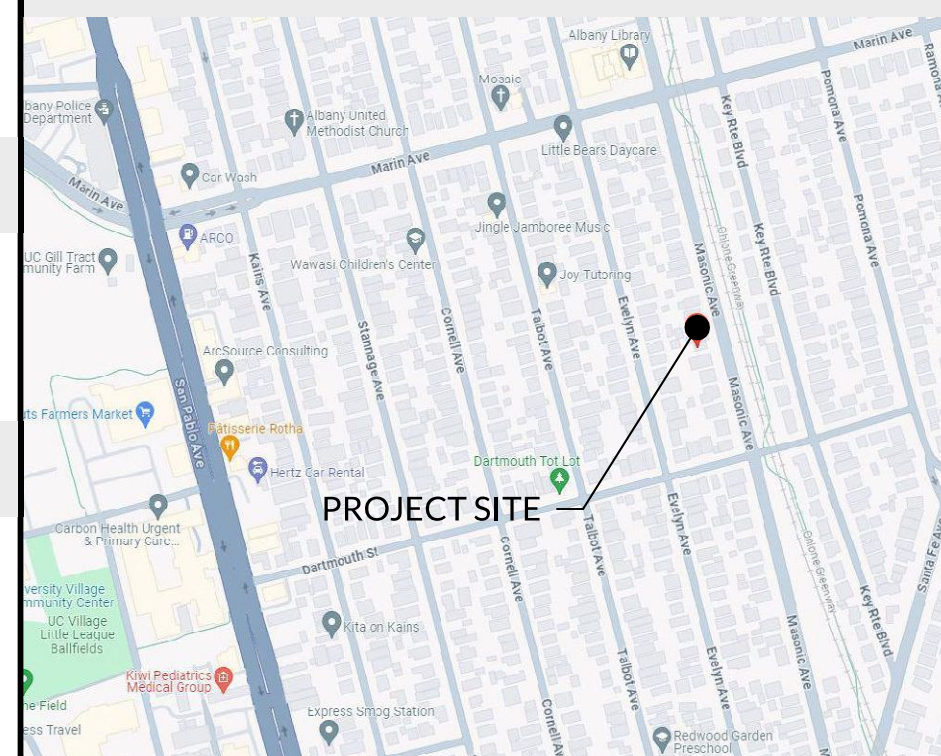
APPLICABLE CODES

ALL WORK SHALL FULLY COMPLY WITH BUT NOT BE LIMITED TO:

- A. 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- B. 2022 CALIFORNIA BUILDING CODE (CBC)
- C. 2022 CALIFORNIA PLUMBING CODE (CPC)
- D. 2022 CALIFORNIA MECHANICAL CODE (CMC)
- E. 2022 CALIFORNIA ELECTRIC CODE (CEC)
- F. 2022 CALIFORNIA FIRE CODE (CFC)
- G. 2022 CALIFORNIA REFERENCED STANDARDS CODE
- H. 2022 GREEN BUILDINGS STANDARDS CODE (GBC)
- I. 2022 CALIFORNIA ENERGY CODE
- J. 2022 ENERGY STANDARDS
- K. ALL OTHER APPLICABLE CODES AND ORDINANCES (CITY OF ALBANY).

GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

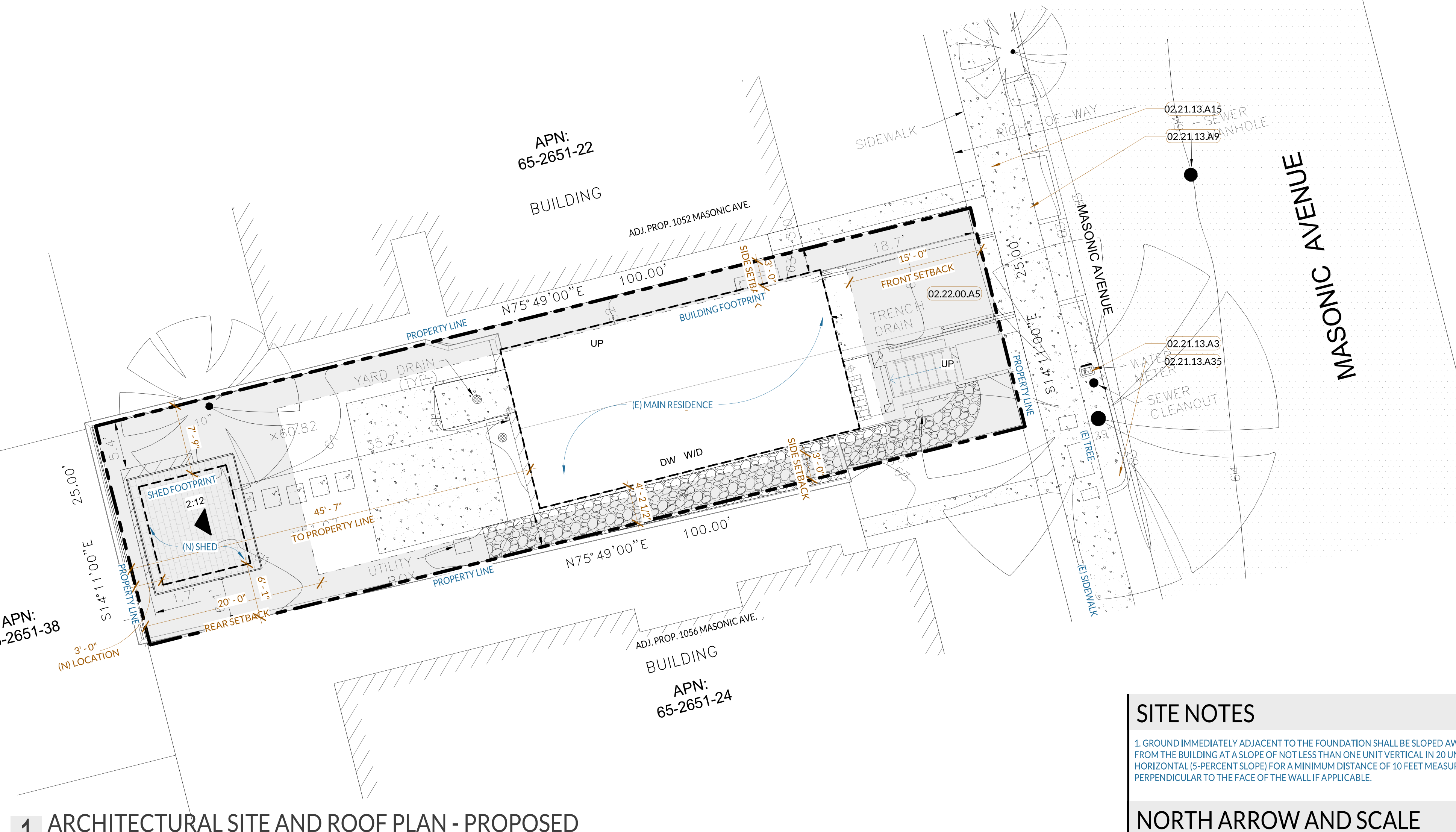
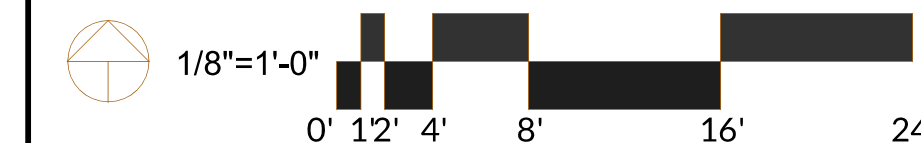
VICINITY MAP



SITE NOTES

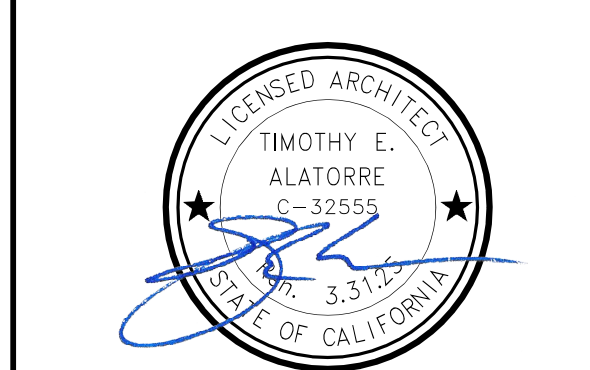
1. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL IF APPLICABLE.

NORTH ARROW AND SCALE



1 ARCHITECTURAL SITE AND ROOF PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"

Proj. No: 2023.834

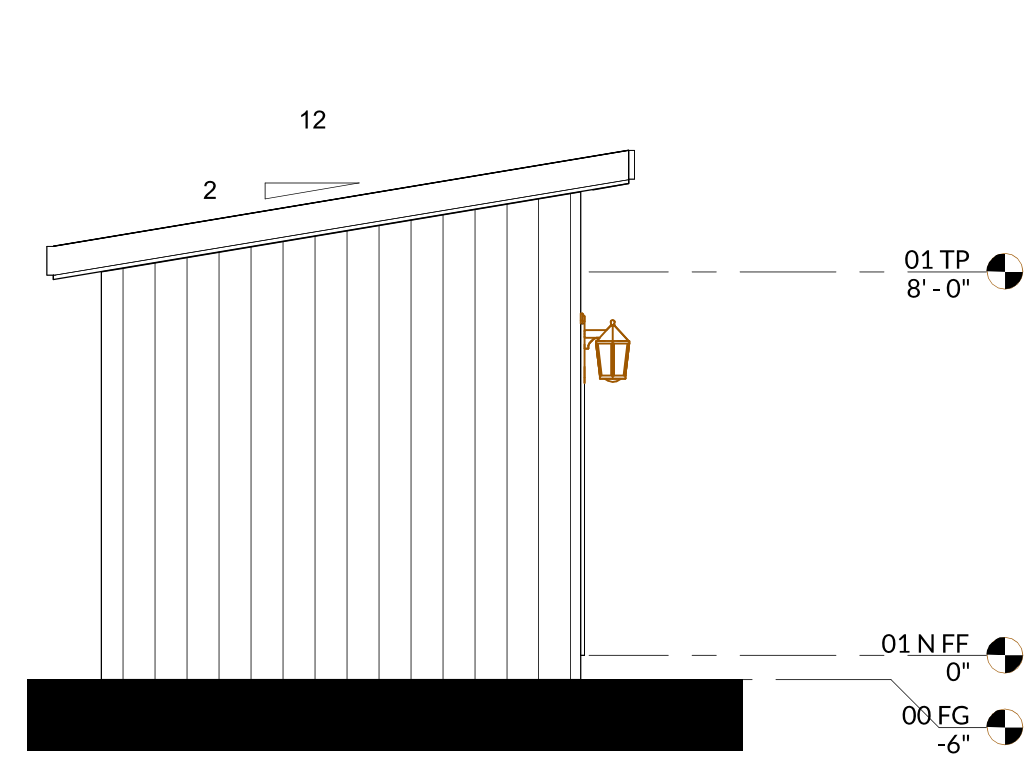


Issue / Revision Schedule:	Description
No. 08/05/24	PERMIT

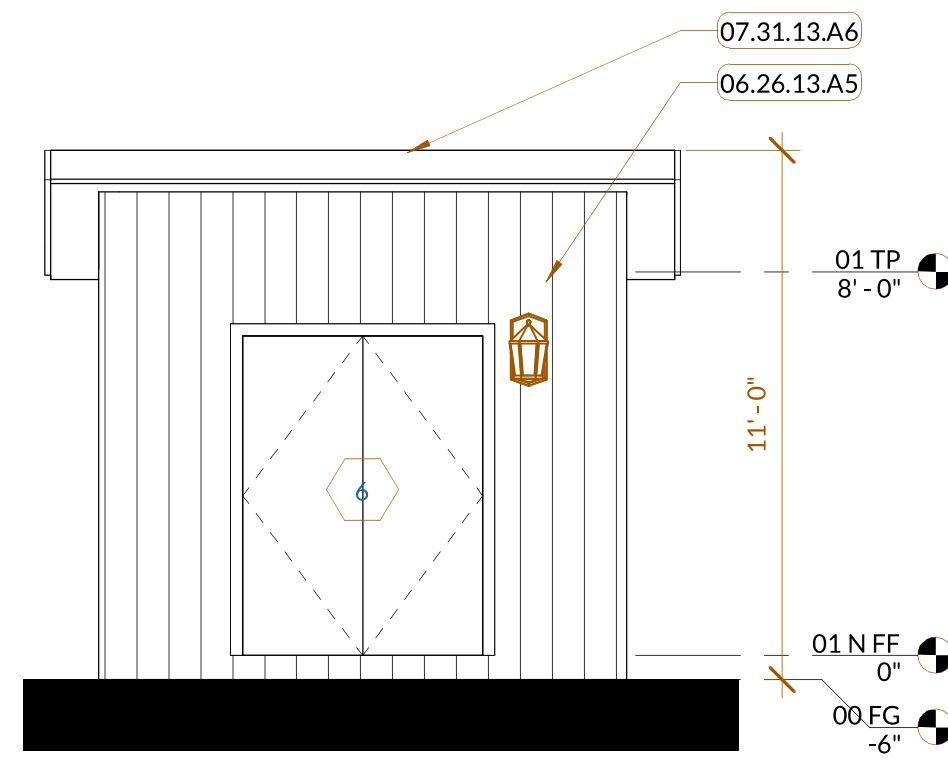
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COVER SHEET

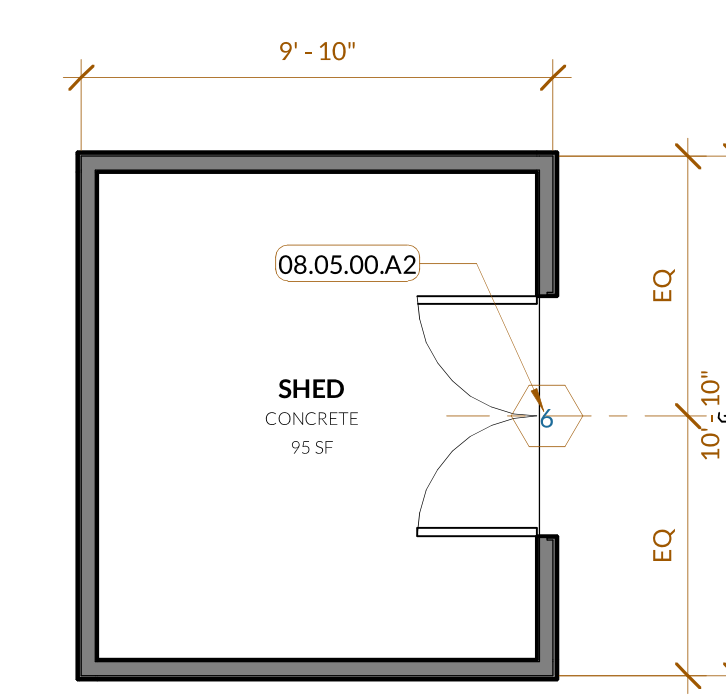
A0.0



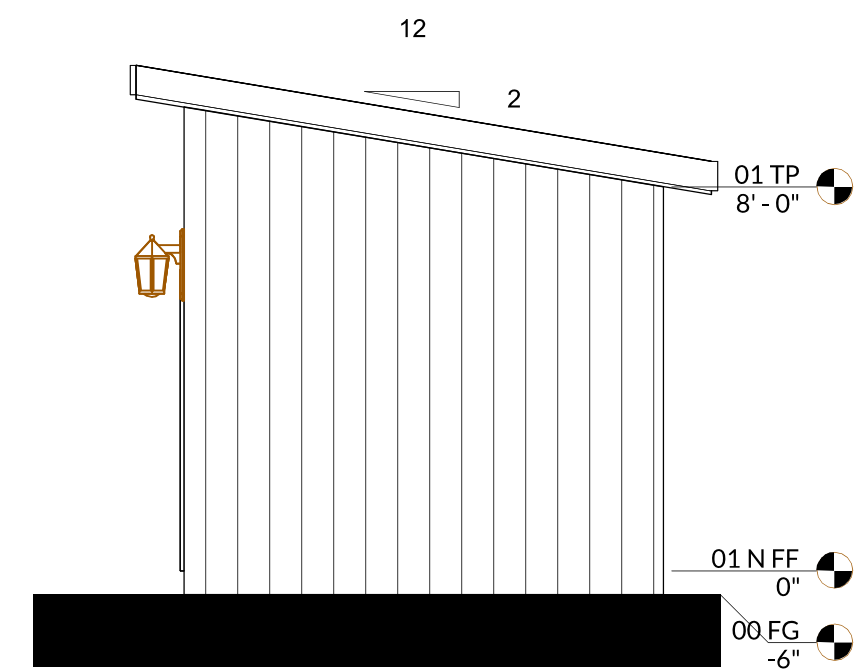
3 S SHED EXT. ELEV.
SCALE: 1/4" = 1'-0"



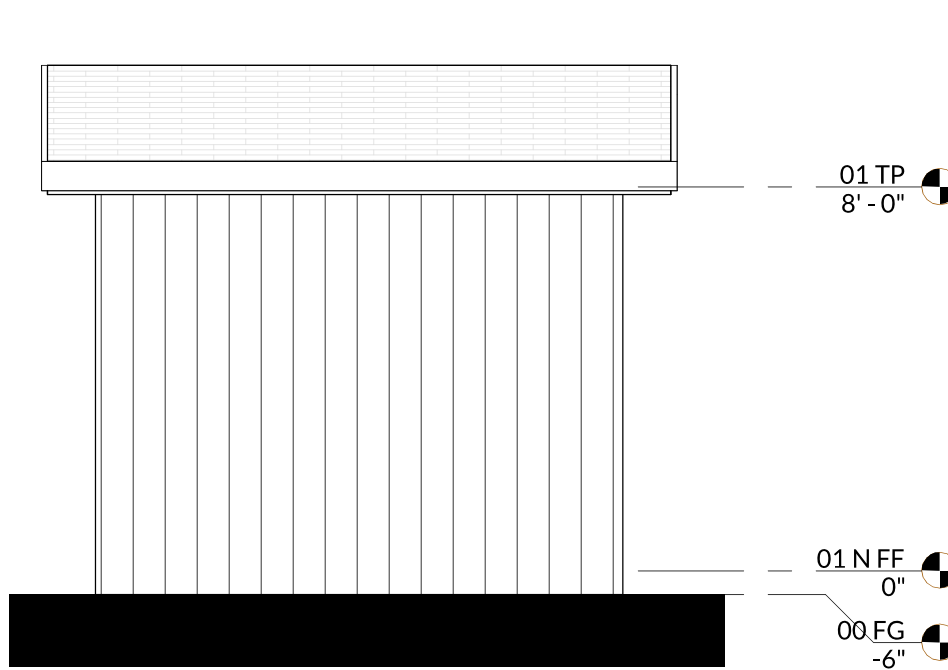
2 E SHED EXT. ELEV.
SCALE: 1/4" = 1'-0"



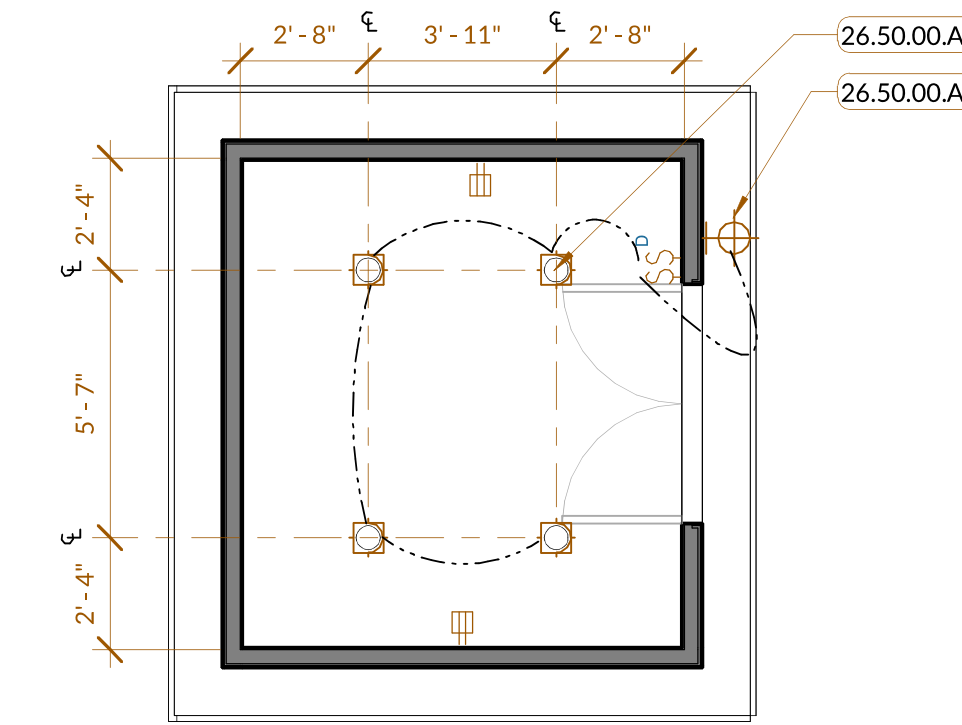
1 SHED PARTITION PLAN
SCALE: 1/4" = 1'-0"



5 N SHED EXT. ELEV.
SCALE: 1/4" = 1'-0"



4 W SHED EXT. ELEV.
SCALE: 1/4" = 1'-0"



6 SHED - RCP
SCALE: 1/4" = 1'-0"

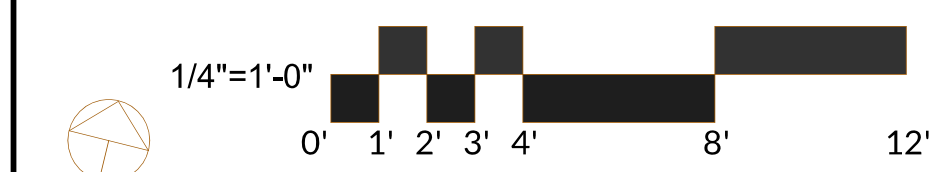
PARTITION KEYNOTES

- 06.26.13.A5 GAF TIMBERLINE LIFETIME DIMENSIONAL COMPOSITION SHINGLES
- 07.31.13.A6 NEW DOOR AND TRIM. SEE PARTITION PLAN FOR SIZE
- 08.05.00.A2 EXTERIOR LIGHTING FIXTURE. INSTALL PER MANU. SPECIFICATIONS FOR DAMP AREAS.
- 26.50.00.A5 RECESSED LIGHTING FIXTURE. INSTALL PER MANU. SPECIFICATIONS FOR DAMP AREAS.
- 26.50.00.A6

WALL LEGEND

- NEW 2X4 FRAMED WALL
- NEW 2X6 FRAMED WALL
- EXISTING 2X6 FRAMED WALL
- EXISTING 2X FRAMED WALL TO REMAIN
- 1-HR FIRE RATED WALL

NORTH ARROW & SCALE



info@domum.design 888-352-ARC1
6532 Lonetree Blvd, Suite 102, Rocklin, CA 95765

**CAMPOS DEVELOPMENT
INTERIOR REMODEL**

1054 MASONIC AVE.
ALBANY, CA 94706
APN: 65-2651-23

Proj. No: 2023.834



Issue / Revision	Schedule	Date	Description

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SHED PLANS

A1.0



Issue / Revision Schedule:
Date: 08/05/24
No. PERMIT

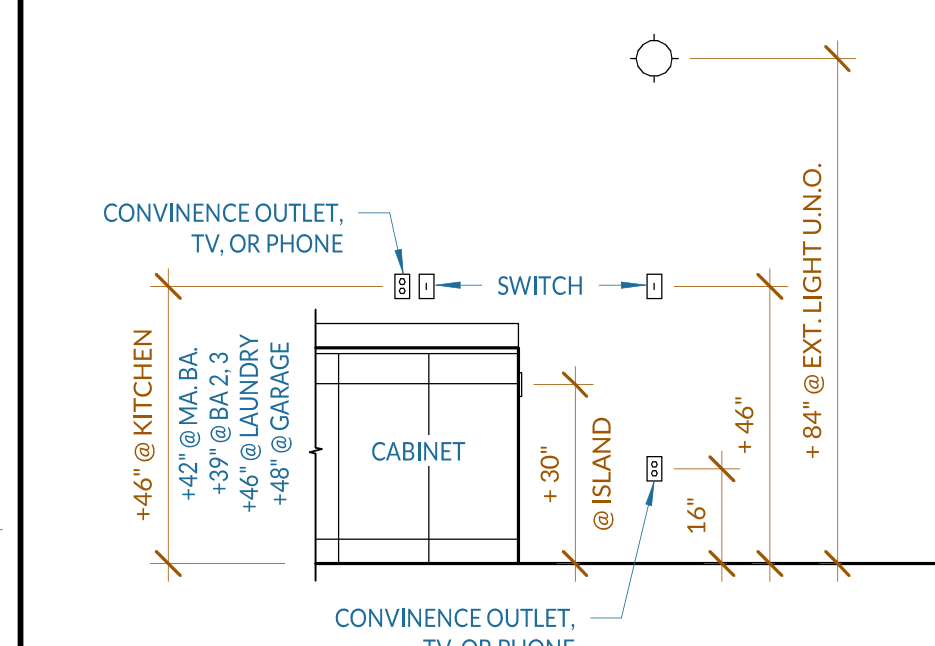
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PARTITION PLANS

A2.0

PARTITION KEYNOTES

- 02.21.13.A6 (E) GAS METER AND SERVICE REGULATOR TO REMAIN.
 - 02.22.00.A3 (E) WALL TO REMAIN
 - 02.22.00.A16 (E) ELECTRICAL PANEL
 - 02.22.00.A50
 - 02.22.00.B13
- ALL (E) KITCHEN EQUIP. ARE TO BE REMOVED, CONTRACTOR TO VERIFY LOCATION OF (E) ELECTRICAL, GAS AND PLUMBING PIPES. MODIFY AND RELOCATE PLUMBING, GAS, ELECTRICAL REQUIREMENTS FOR NEW KITCHEN EQUIPMENT. COORDINATE WITH NEW KITCHEN EQUIPMENT LAYOUT.
- 02.41.19.A9 REMOVE EXISTING WATER HEATER. CAP WATER LINES.
 - 02.41.19.A10 REMOVE AND DISCARD EXISTING CABINETS.
 - 02.41.19.A44 REMOVE (E) DOOR AND REPLACE W/NEW, LIKE FOR LIKE
 - 02.41.19.A72
 - 06.20.23.A12
 - 06.41.01.A7
 - 06.41.01.A7
 - 06.41.02.A2
 - 08.05.00.A2
 - 08.14.16.A8
 - 08.14.16.A8
 - 09.20.00.A1
 - 09.30.13.A1
 - 23.06.30.A2
- BASE, COUNTERTOP AND UPPER KITCHEN CABINETS COUNTERTOP AND BASE CABINETS. COLOR AND FINISH TO BE SELECTED BY OWNER.
- UPPER CABINETS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. NEW DOOR AND TRIM, SEE PARTITION PLAN FOR SIZE
- PROVIDE MIN. 100 SQ. IN. LOUVERED VENT IN LOWER HALF OF DOOR.
- FIRE RATED X-GYP
- 6" CERAMIC WALL TILE - PROVIDE BULL NOSE EDGE AT TOP.
- FURNACE



0 TYP. INSTALL HEIGHTS

SCALE: 3/8" = 1'-0"

WALL LEGEND

- NEW 2X4 FRAMED WALL
- NEW 2X6 FRAMED WALL
- EXISTING 2X6 FRAMED WALL
- EXISTING 2X FRAMED WALL TO REMAIN
- 1-HR FIRE RATED WALL

GLAZING NOTES

- ALL GLAZING IS DUAL PANE INSULATING GLASS.
- WINDOWS MARKED WITH AN "E" SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER AND CONTRACTOR. - PRIOR TO INSTALLATION - VERIFY MAX 44" AFF TO WINDOW OPENING AND MIN. 5.75F OPEN AREA. GLAZING MARKED WITH A "T" SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.
-

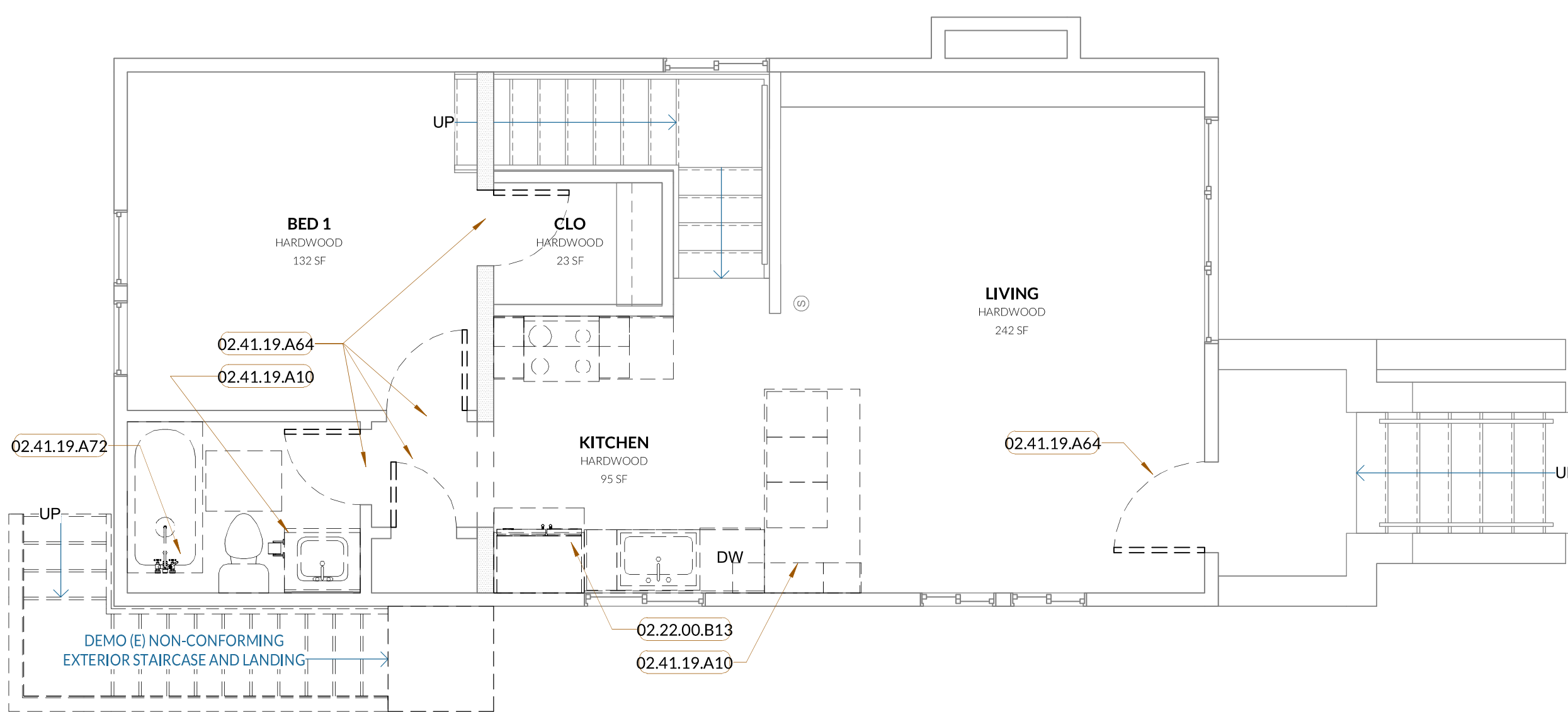
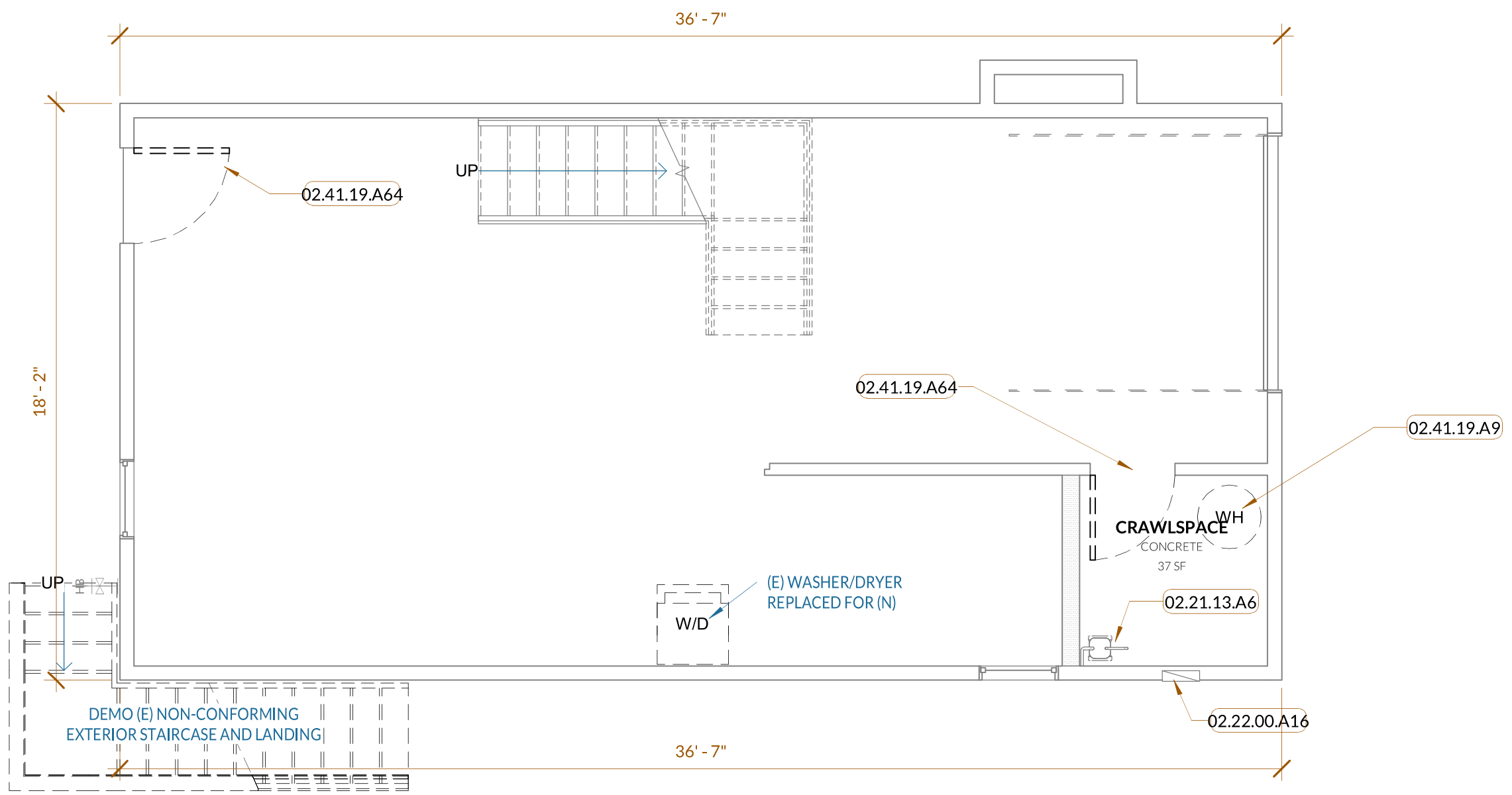
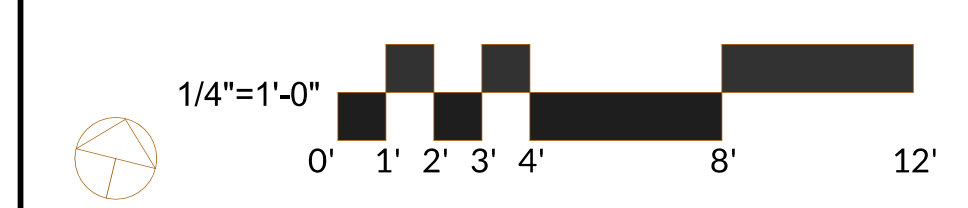
FINISHES

- ALL INTERIOR WALLS TO BE HAVING NEW TEXTURE AND PAINT.
- NEW HARDWOOD FLOOR FINISH THROUGHOUT.

EXISTING CONDITION NOTES

- ALL SWITCHES AND OUTLETS WERE EXISTING, JUST UPGRADED FACEPLATES AND SWITCH PLATES
- ALL LIGHTING UPGRADED TO LED
- ALL BATHROOM AND LAUNDRY PANASONIC FANS WERE EXISTING AND REMAINED

NORTH ARROW & SCALE

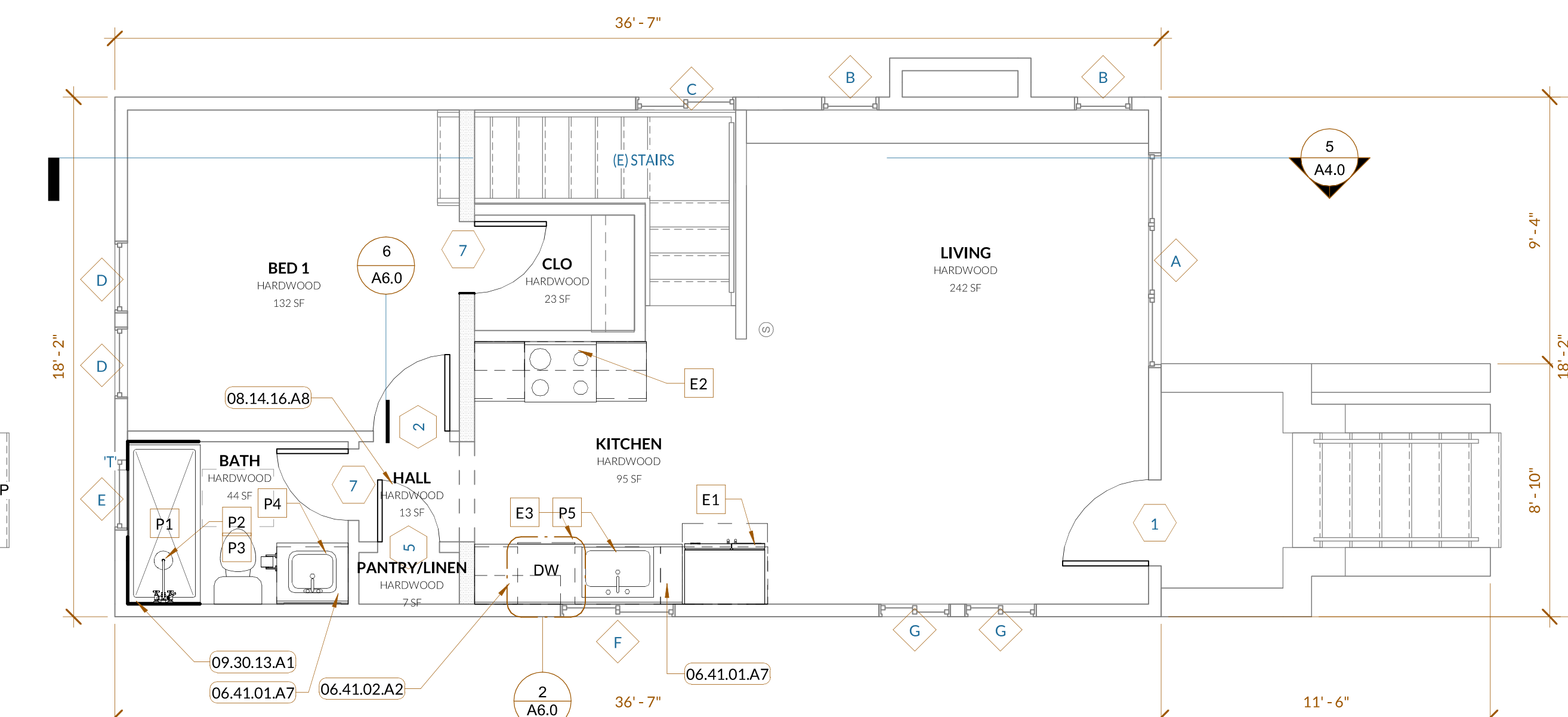
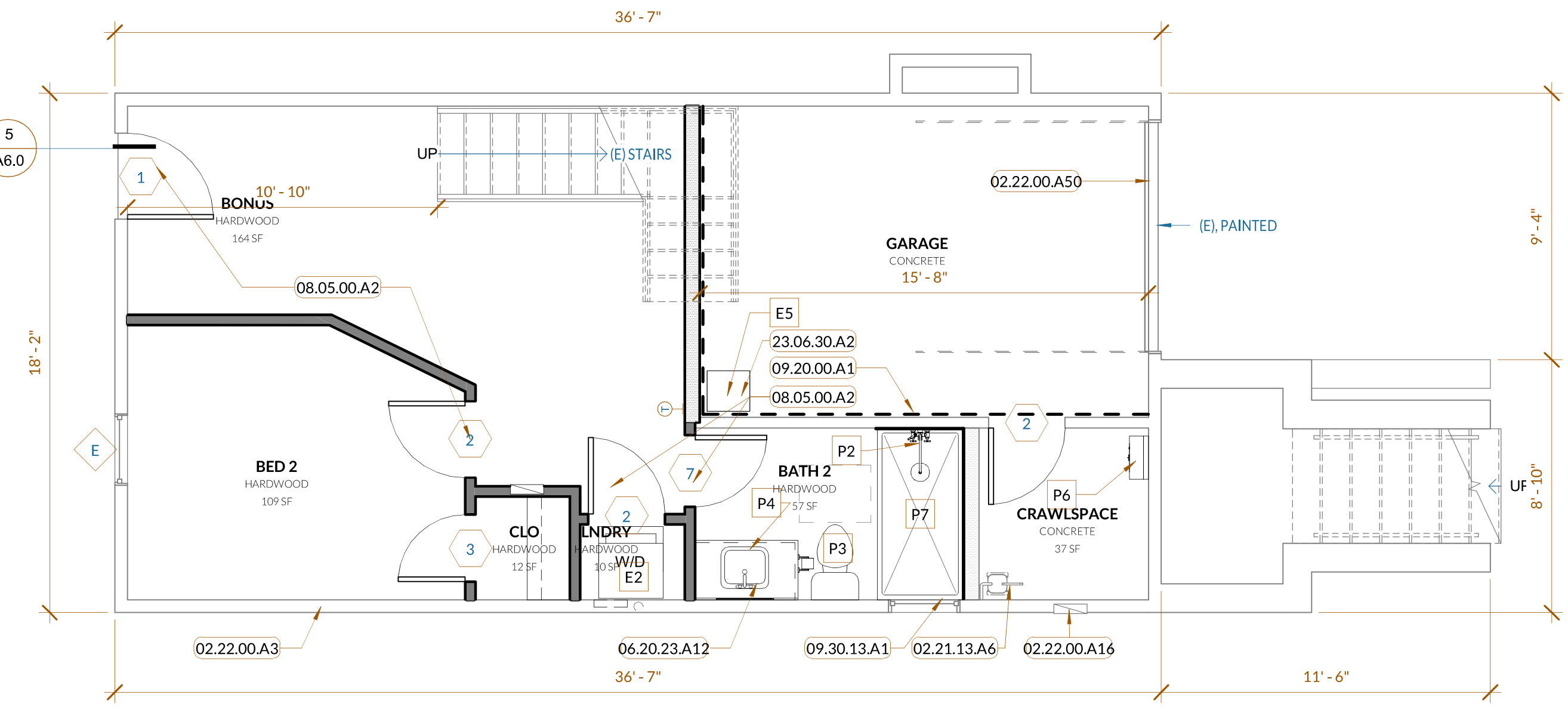


DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICKNESS	OPERATION	MANUF.	COMMENTS	QTY.
1	3'-0"	6'-8"	0'-2"	SINGLE FLUSH	BY OWNER		2
2	2'-8"	6'-8"	0'-2"	SINGLE FLUSH	BY OWNER		4
3	2'-4"	6'-8"	0'-2"	SINGLE FLUSH	BY OWNER		1
5	2'-2"	6'-8"	0'-2"	SINGLE FLUSH	BY OWNER		1
6	5'-0"	6'-8"	0'-2"	SINGLE FLUSH	BY OWNER	SHED ONLY	1
7	2'-6"	6'-8"	0'-2"	SINGLE FLUSH	BY OWNER		3

EQUIPMENT SCHEDULE

MARK:	ITEM:	MANUF:	ITEM #:	DIMENSIONS:	NOTES:	QTY.:
E1	REFRIGERATOR	BY OWNER	BY OWNER	28 cf 33"x34"		1
E2	RANGE	BY OWNER	BY OWNER	30"L x 26"W		1
E2	WASHER/DRYER-STACK	BY OWNER	BY OWNER	27" x 30"		1
E3	DISHWASHER	BY OWNER	BY OWNER	24" x 24" x 34"		1
E4	MICROWAVE/HOOD COMBO	BY OWNER	BY OWNER	30"L x 16"W x 18"H		1
E5	FURNANCE	RHEEM	BY OWNER	18" x 17" x 32"		1



WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	MODEL	OPERATION	MANUF.	MATERIAL	SILL HEIGHT	COMMENTS	QTY.
A	7'-6"	4'-0"	4076 3SLDR	CASEMENT	(E) UNKNOWN	VINYL	3'-0"		1
B	2'-0"	2'-6"	2020 FX	FIXED	(E) UNKNOWN	VINYL	4'-3"		2
C	3'-6"	3'-0"	3630 SL	SLIDER	(E) UNKNOWN	VINYL	3'-9"	TEMPERED	1
D	2'-6"	4'-0"	2640 SH	SINGLE HUNG	(E) UNKNOWN	VINYL	2'-9"	TEMPERED	2
E	2'-6"	3'-6"	2636 SH	SINGLE HUNG	(E) UNKNOWN	VINYL	<varies>	BATH - TEMPERED	2
F	4'-0"	2'-10"	40210 SL	SLIDER	(E) UNKNOWN	VINYL	3'-6"		1
G	2'-6"	3'-6"	2636 SL	SLIDER	(E) UNKNOWN	VINYL	3'-0"		2
H	2'-6"	2'-0"	2620 FX	FIXED	(E) UNKNOWN	VINYL	3'-0"	TEMPERED	1

*NOTE: ALL WINDOWS WERE EXISTING UPON PURCHASE.

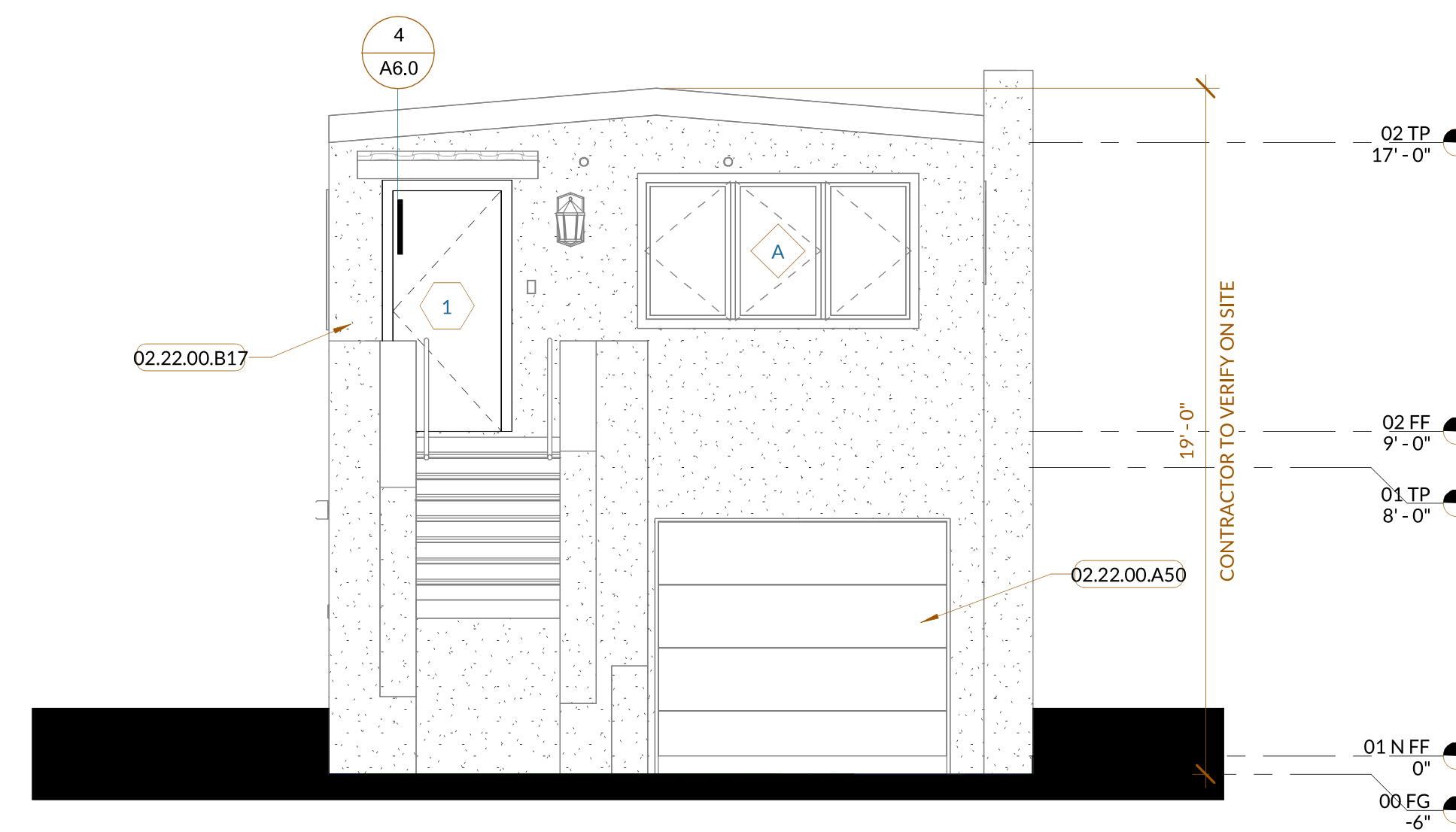
PLUMBING SCHEDULE

MARK:	ITEM:	MANUF:	ITEM#:	DIMENSIONS:	NOTES:	QTY.:
P1	SHOWER PAN	BY OWNER	BY OWNER	2656		1
P2	SHOWER HEAD	BY OWNER	BY OWNER	72" H		2
P3	TOILET	BY OWNER	BY OWNER	30" X 20"		2
P4	SINK - VANITY SQUARE	BY OWNER	BY OWNER	24"L x 19"W		2
P5	SINK - KITCHEN	BY OWNER	BY OWNER	30" x 21"		1
P6	WATER HEATER	NAVIEN	NPE-210S2(NG)	17.3 in (W) x 27.4 in (H) x 13.2 in (D)	5.3 GPM, TANKLESS GAS	1
P7	SHOWER PAN	BY OWNER	BY OWNER	3060		1

Z:\Active\2023.834 - Campos - Albany CAD\24-1002 - Campos - Albany - Resubmittal.rvt



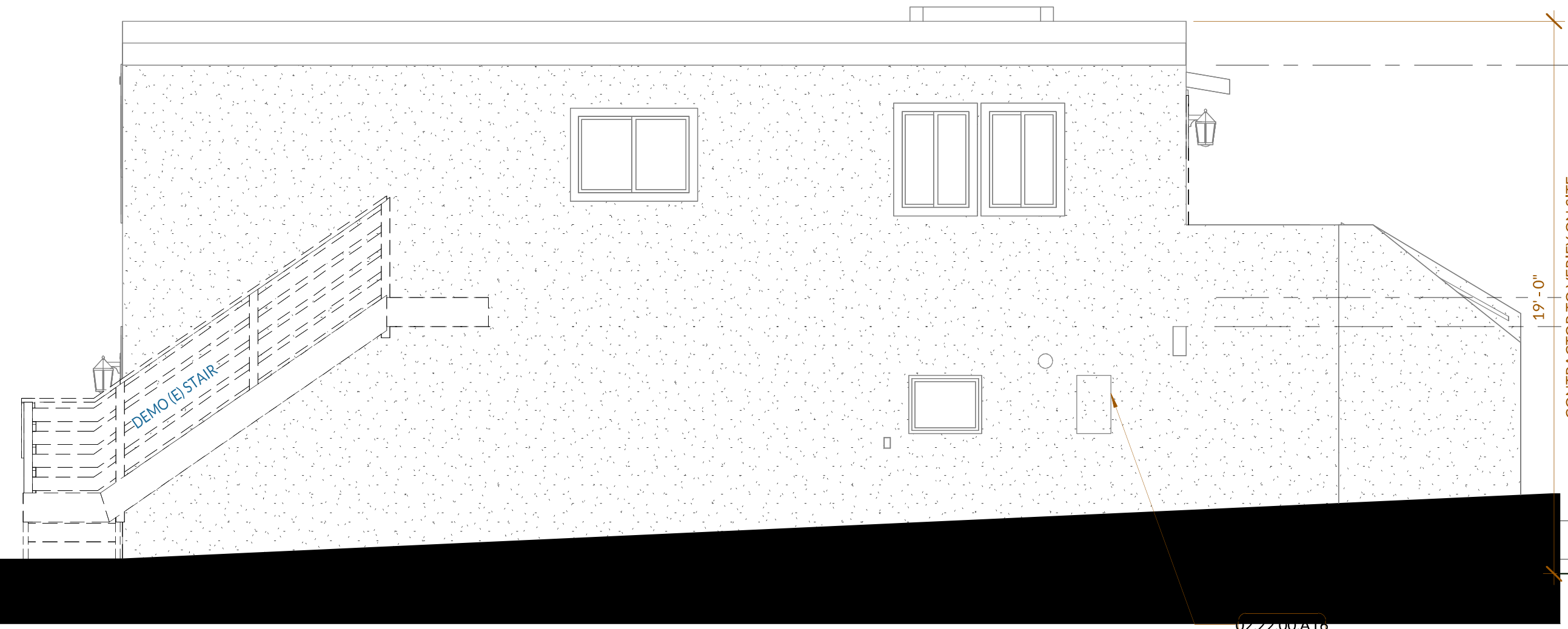
2 EXISTING ELEVATION - FRONT
SCALE: 1/4" = 1'-0"



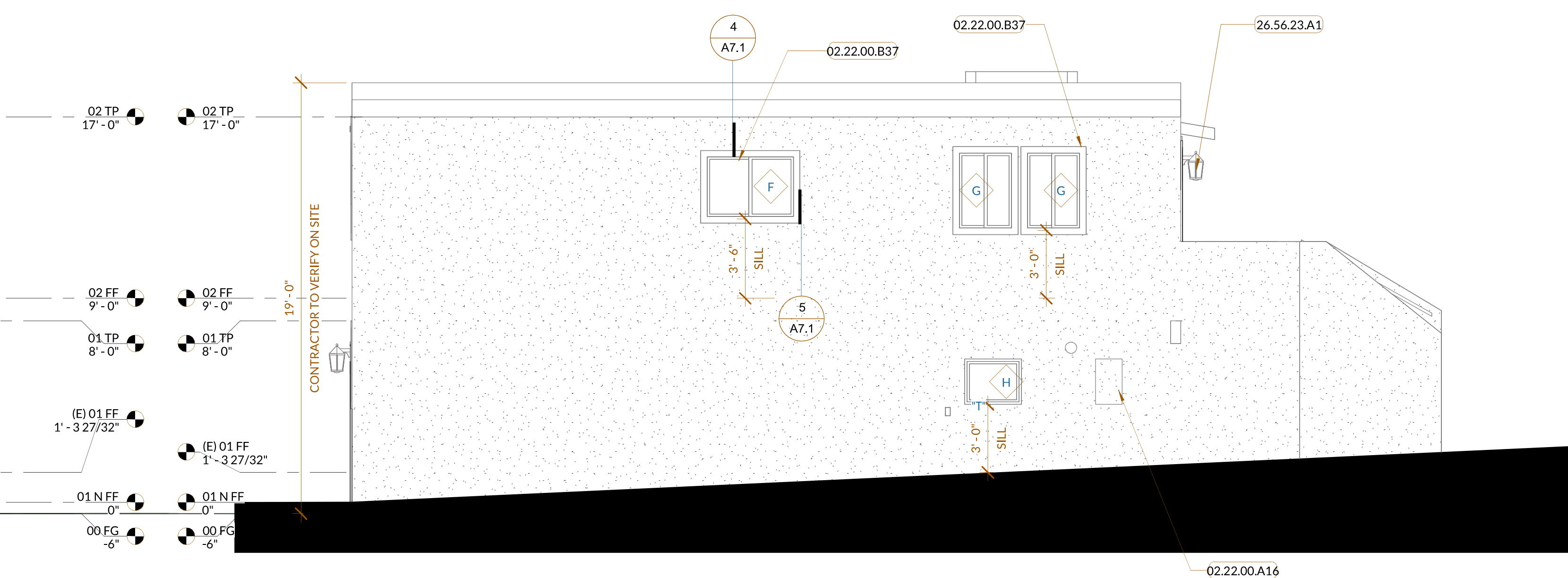
1 PROPOSED ELEVATION - FRONT
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

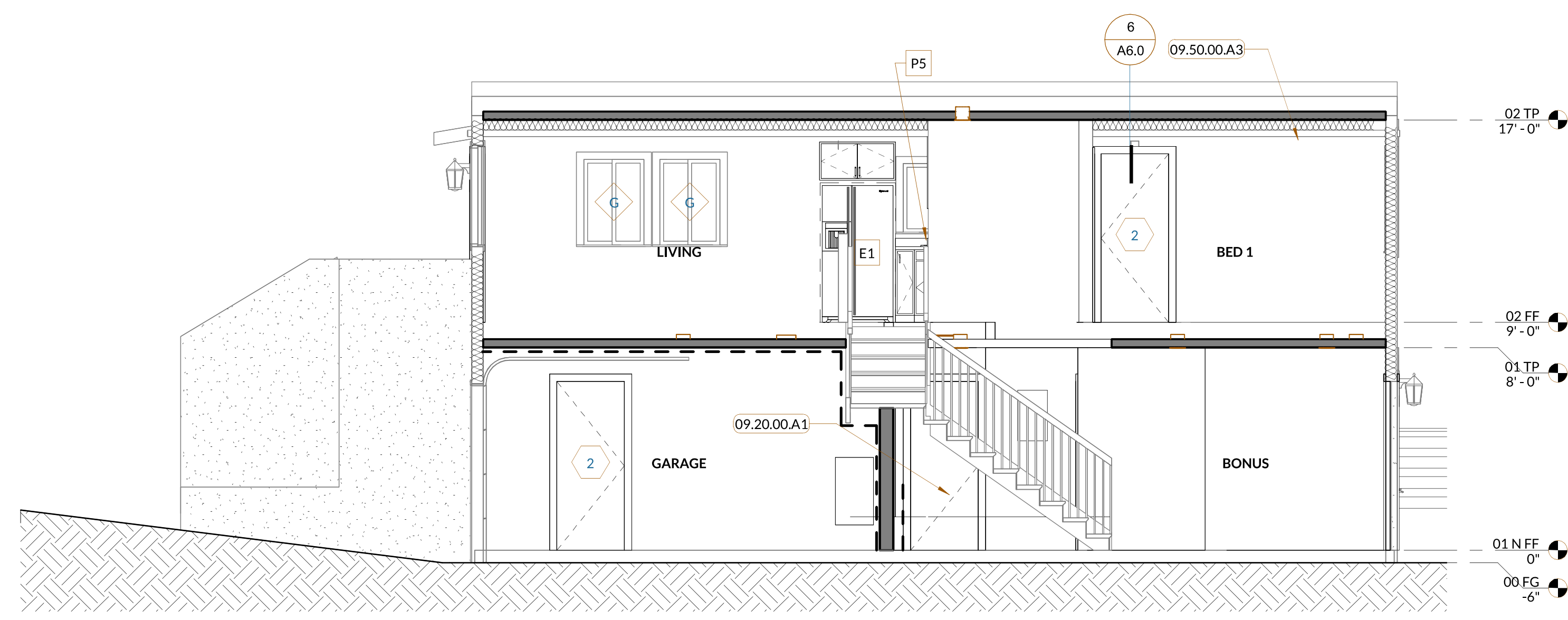
- 02.22.00.A16 (E) ELECTRICAL PANEL
- 02.22.00.A50 (E) STUCCO TO REMAIN, PATCH AND REPAIR TO MATCH
- 02.22.00.B17 (N) WINDOW OPENING REPLACING (E) WINDOW; REFER PARTITION PLAN FOR LOCATION AND SIZE
- 02.41.19.A64 REMOVE (E) DOOR AND REPLACE W/NEW, LIKE FOR LIKE
- 09.20.00.A1 FIRE RATED X - GYP
- 09.50.00.A3
- 26.56.23.A1 LIGHT SCONCE, REFER TO ELECTRICAL PLAN.



3 EXISTING ELEVATION - LEFT
SCALE: 1/4" = 1'-0"

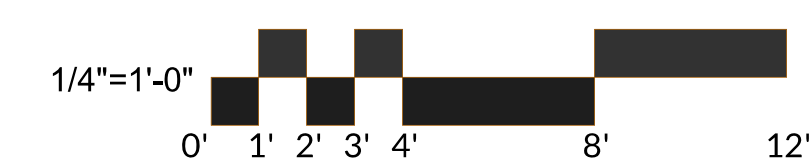


4 PROPOSED ELEVATION - LEFT
SCALE: 1/4" = 1'-0"



5 LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"

SCALE

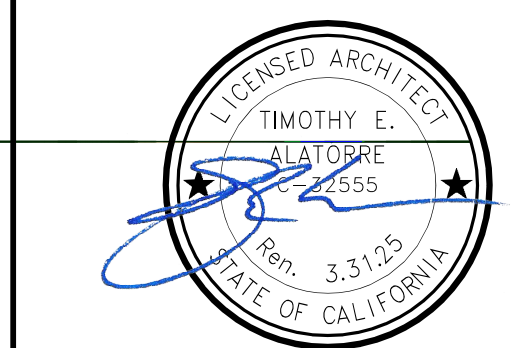


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**CAMPOS DEVELOPMENT
INTERIOR REMODEL**

1054 MASONIC AVE.
ALBANY, CA 94706
APN: 65-2651-23

Proj. No: 2023.834

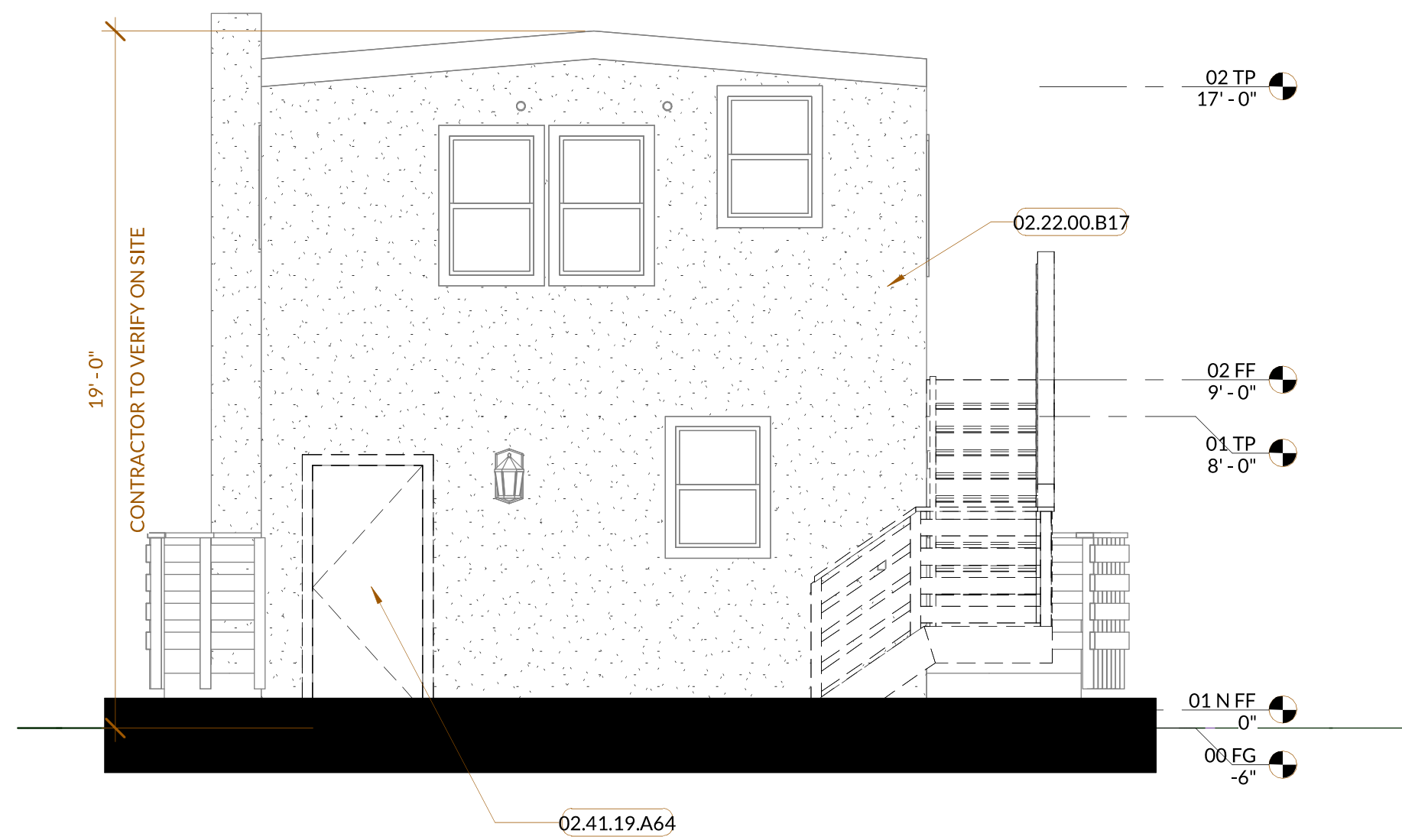


Issue / Revision Schedule:
Date: 08/05/24
Description: PERMIT

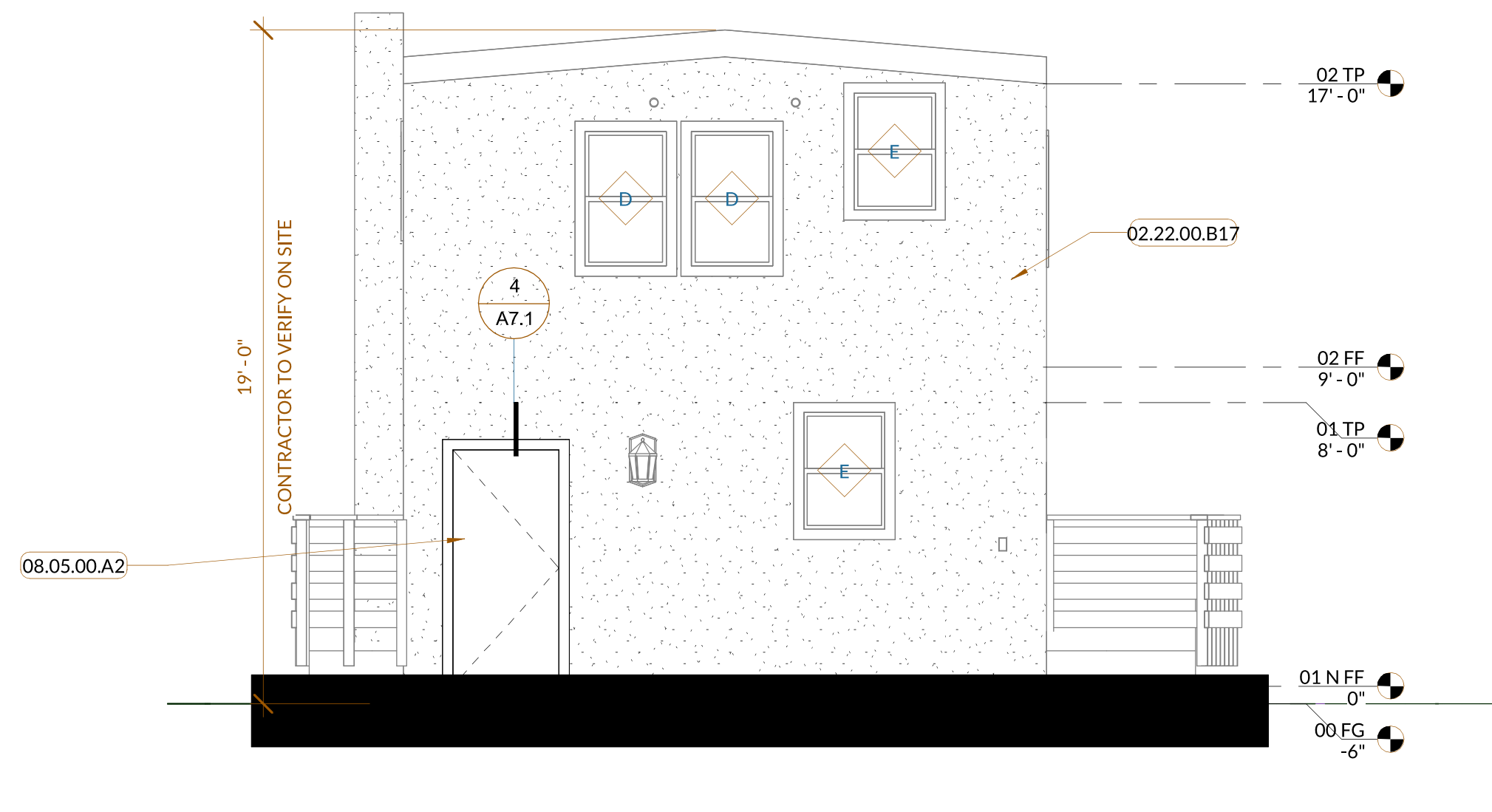
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**EXTERIOR
ELEVATIONS &
SECTIONS**

A4.0



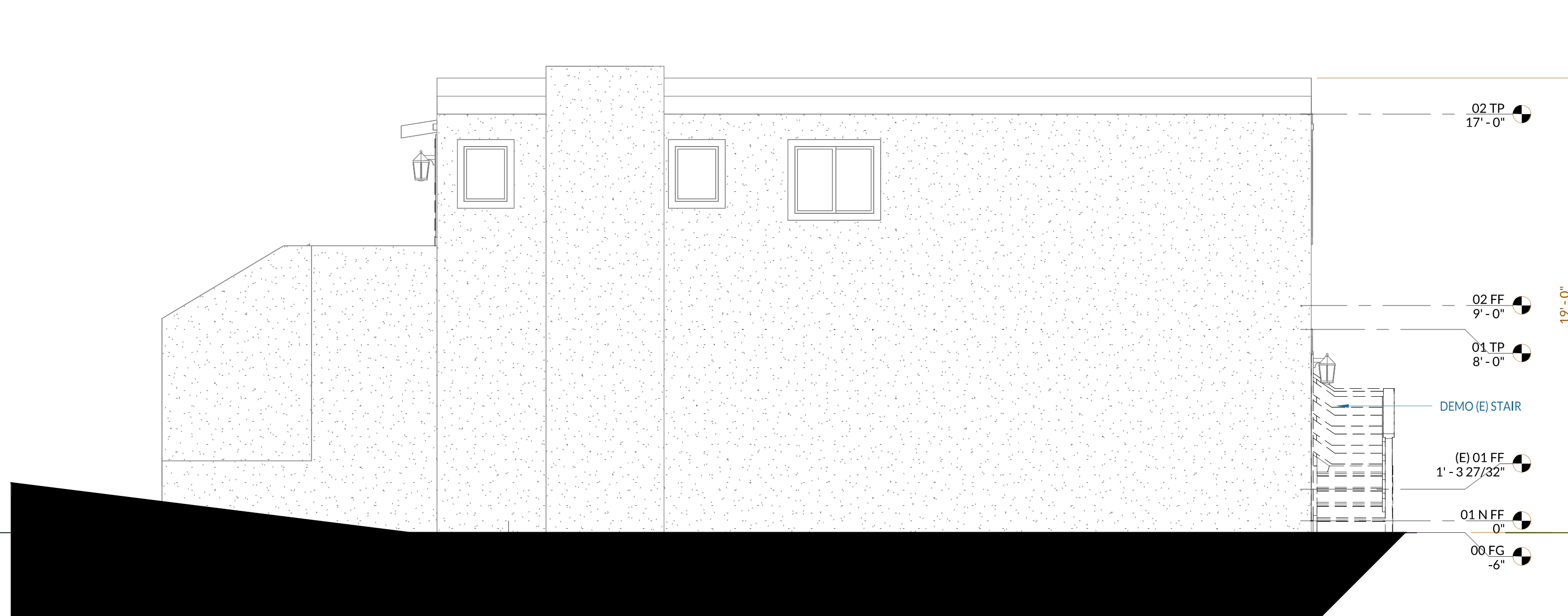
2 EXISTING ELEVATION - REAR
SCALE: 1/4" = 1'-0"



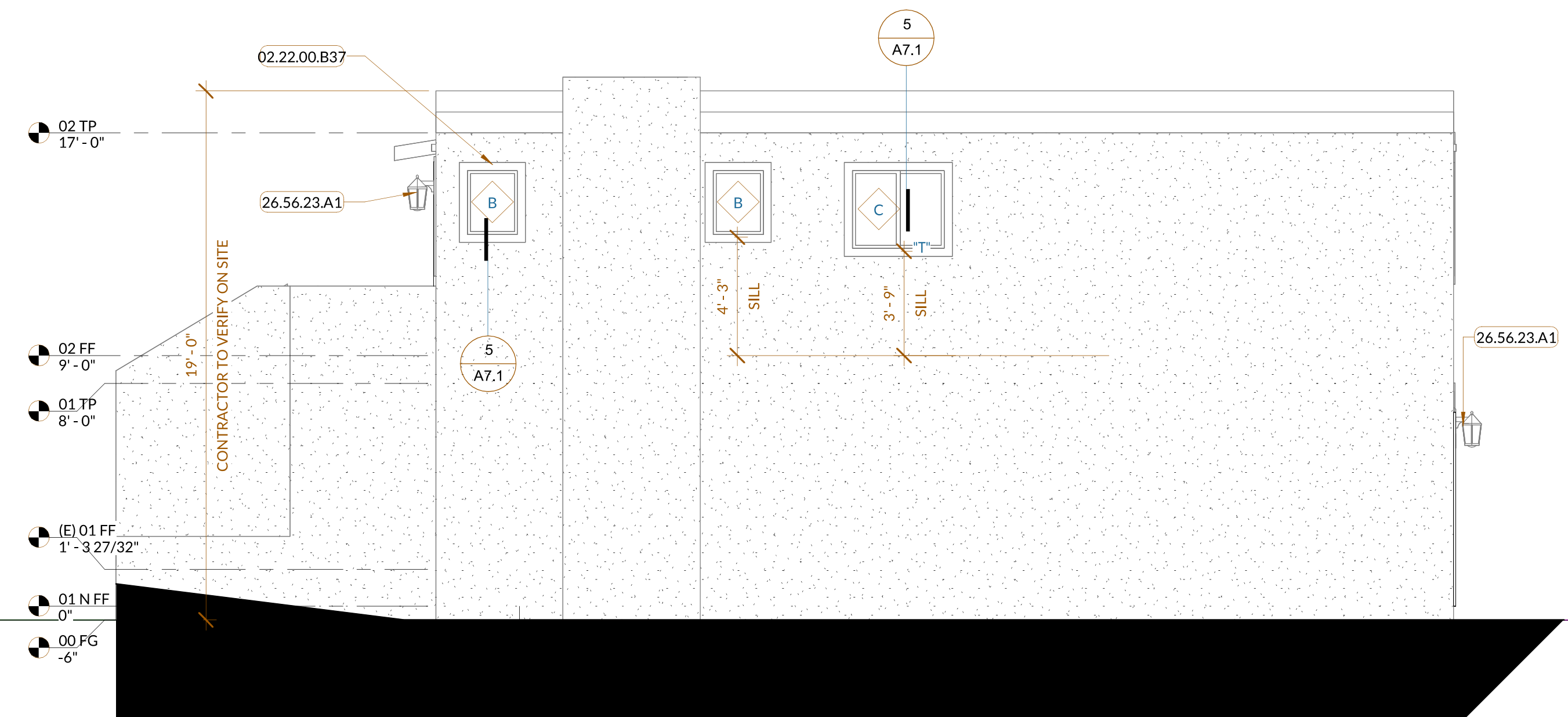
1 PROPOSED ELEVATION - REAR
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- 02.22.00.B17 (E) STUCCO TO REMAIN, PATCH AND REPAIR TO MATCH
- 02.22.00.B37 (N) WINDOW OPENING REPLACING (E) WINDOW; REFER PARTITION PLAN FOR LOCATION AND SIZE
- 02.41.19.A64 REMOVE (E) DOOR AND REPLACE W/NEW, LIKE FOR LIKE
- 08.05.00.A2 NEW DOOR AND TRIM, SEE PARTITION PLAN FOR SIZE
- 26.56.23.A1 LIGHT SCONCE, REFER TO ELECTRICAL PLAN.

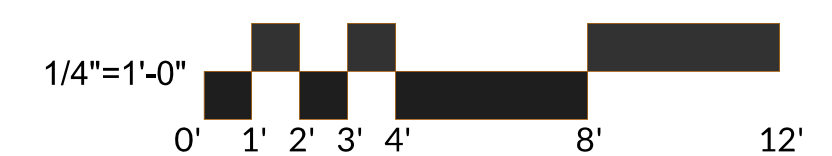


4 EXISTING ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"



3 PROPOSED ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"

SCALE

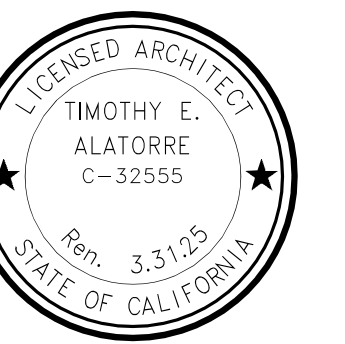


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**CAMPOS DEVELOPMENT
INTERIOR REMODEL**

1054 MASONIC AVE.
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APN: 65-2651-23

Proj. No: 2023.834

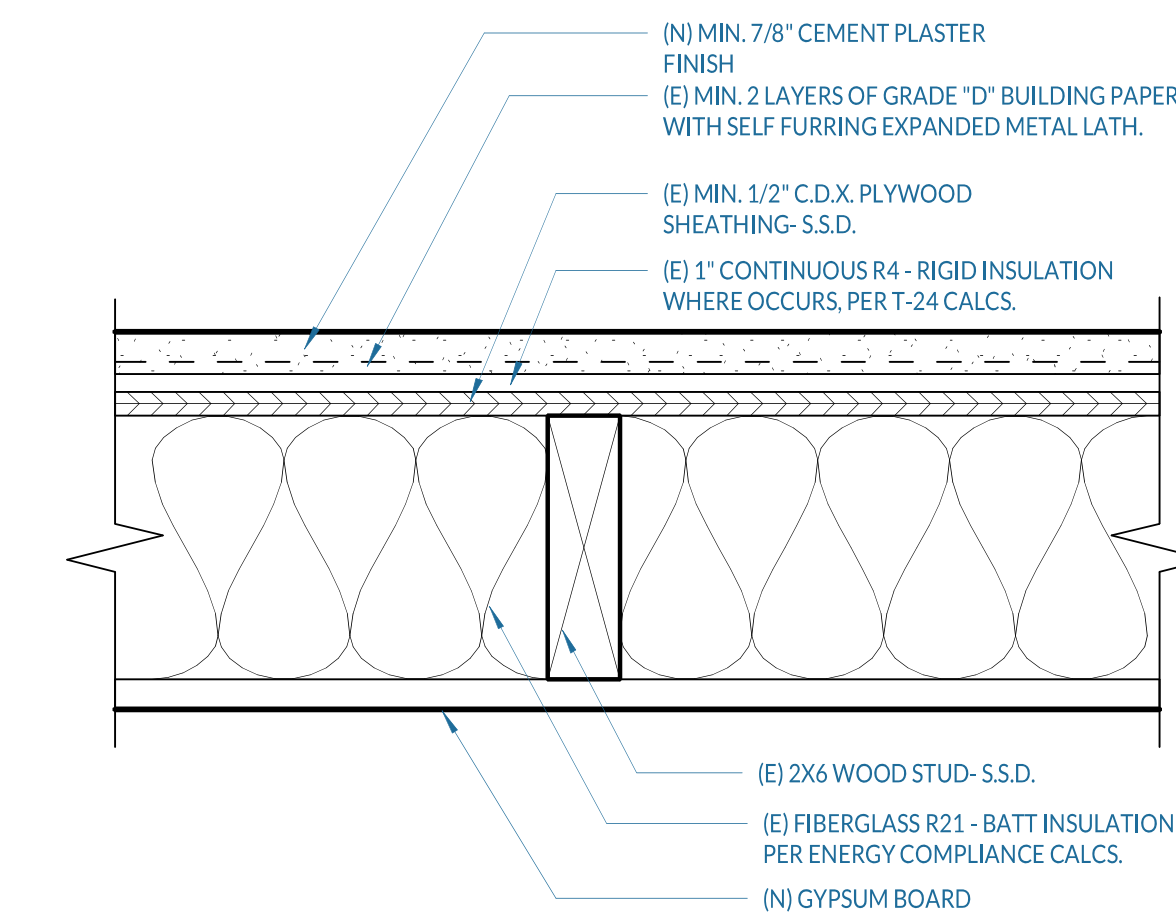
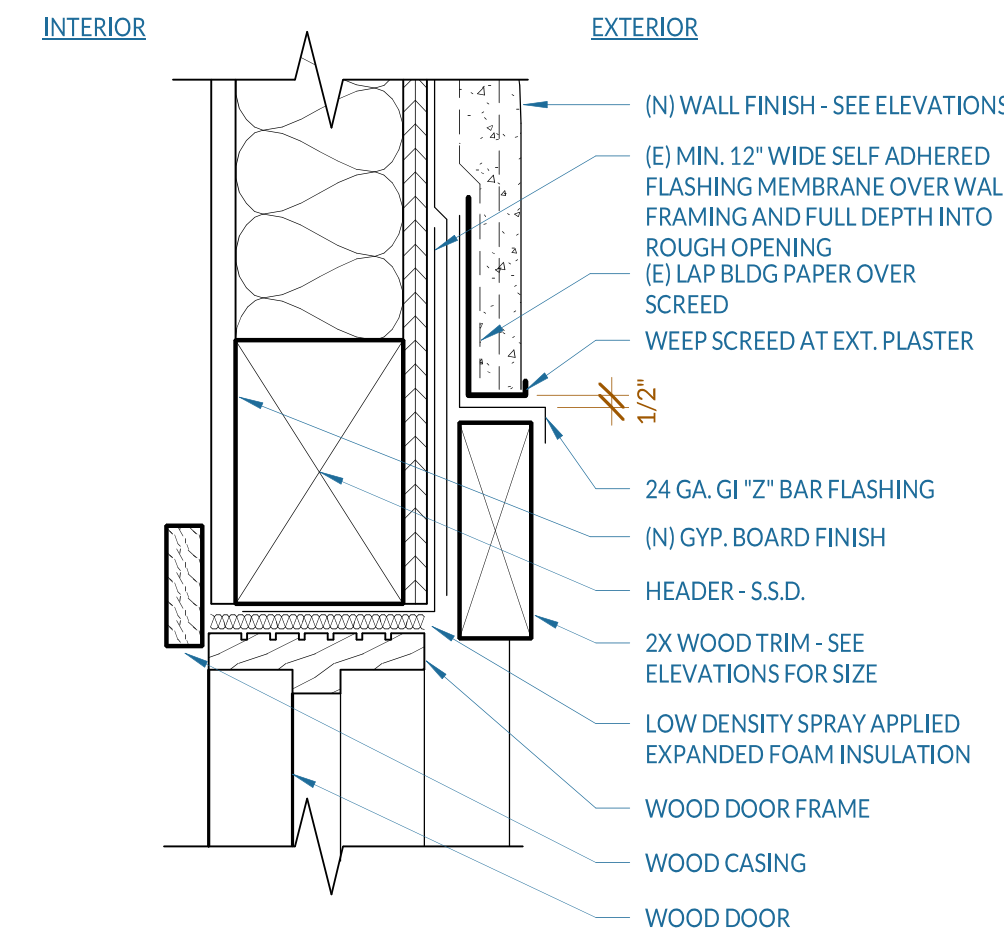


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EXTERIOR ELEVATIONS

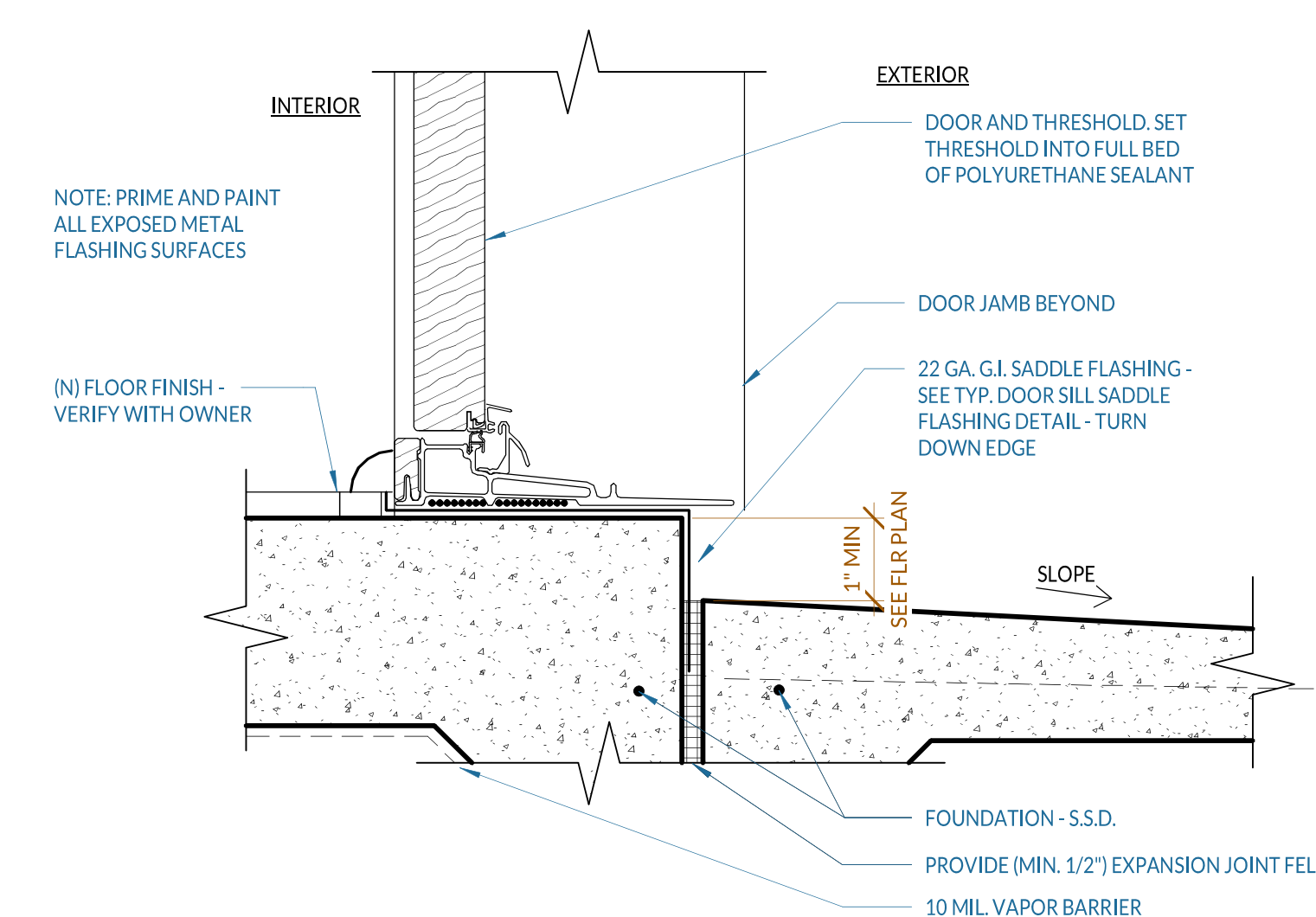
A4.1



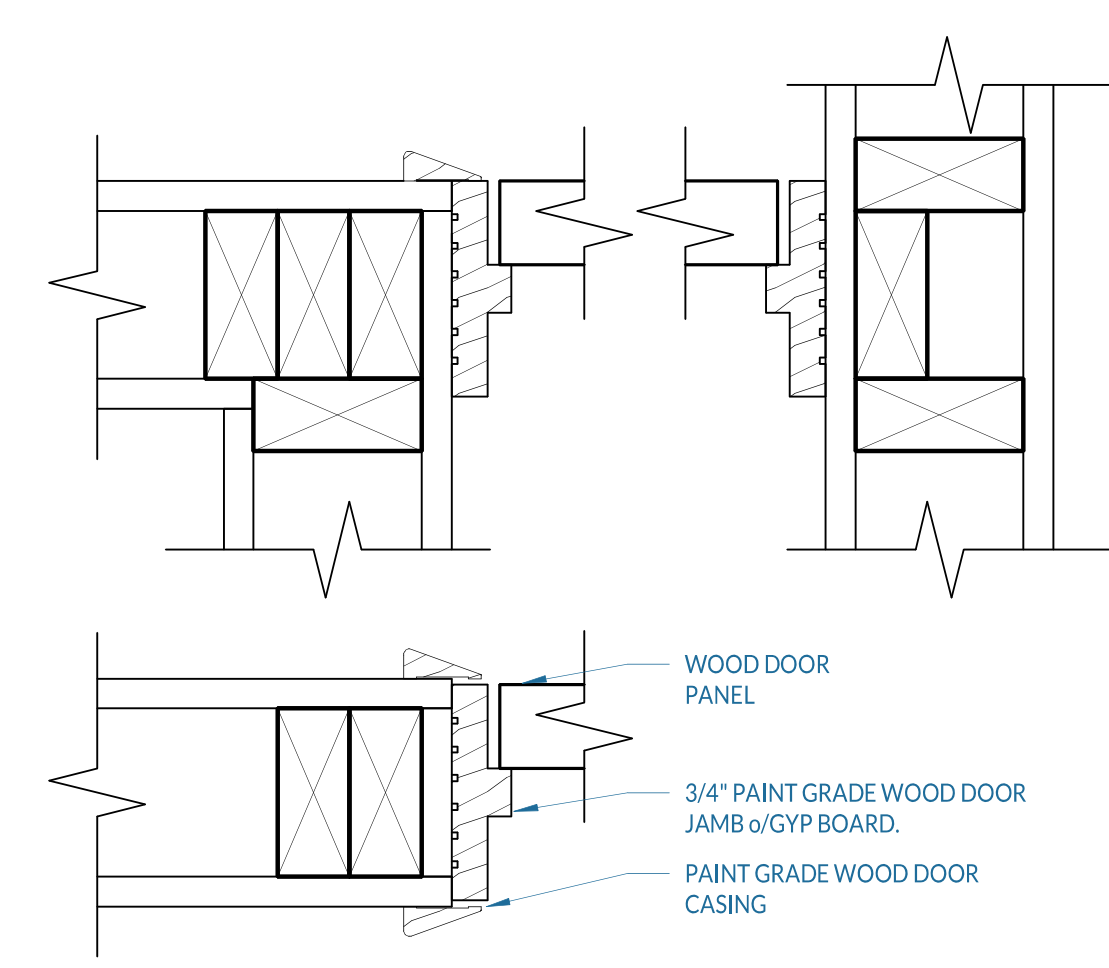
1 TYP. EXT. PLASTER SYSTEM
SCALE: 3" = 1'-0"

2 DISHWASHER AIRGAP DETAIL
SCALE: 1" = 1'-0"

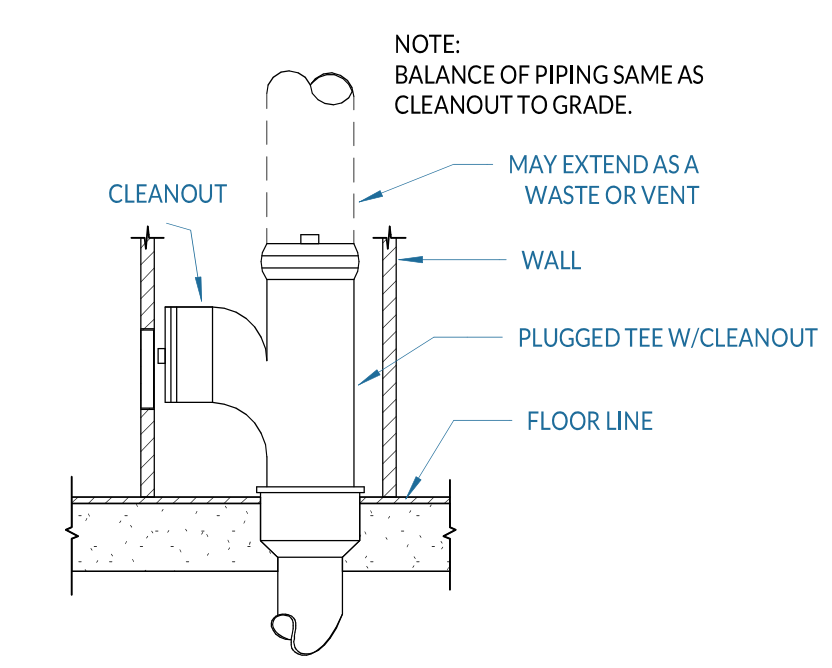
4 EXT. DOOR HEAD
SCALE: 3" = 1'-0"



5 EXT. DOOR SILL
SCALE: 3" = 1'-0"

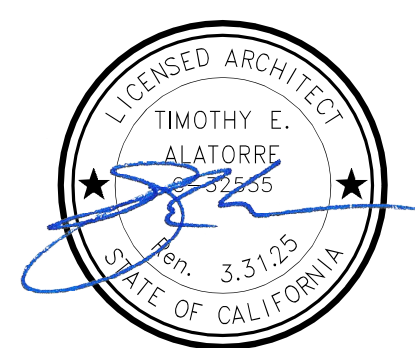


6 INT. DOOR JAMB / HEAD
SCALE: 3" = 1'-0"



3 CLEANOUT DETAIL
SCALE: 1 1/2" = 1'-0"

Proj. No: 2023.834



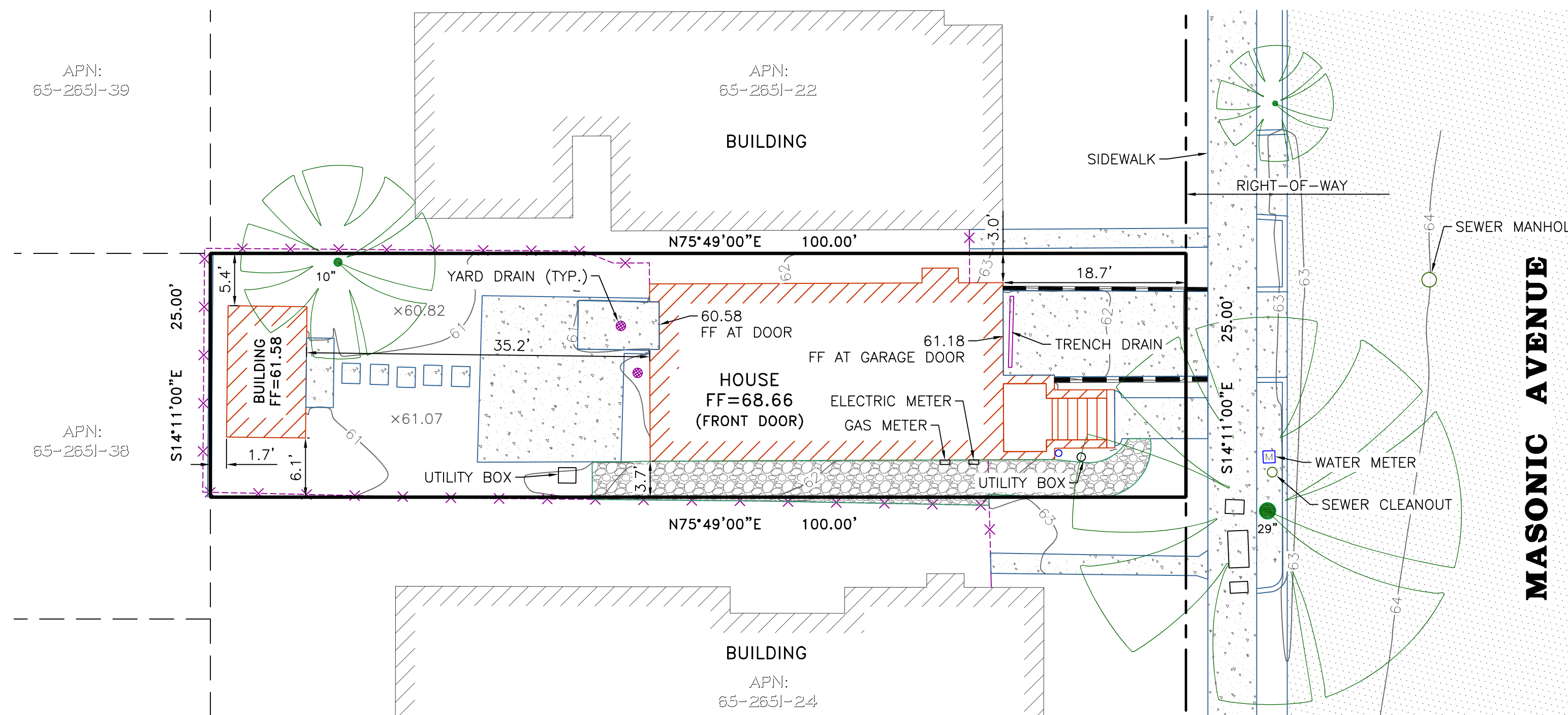
Issue / Revision Schedule:
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DETAILS

A6.0

**TOPOGRAPHIC AND BOUNDARY SURVEY FOR:
1054 MASONIC AVENUE
CITY OF ALBANY STATE OF CALIFORNIA
APN: 65-2651-23**



LEGEND

WATER METER	
WATER VALVE	
FIRE HYDRANT	
MAINTENANCE HOLE	
CENTER LINE	
RIGHT-OF-WAY	
RETAINING WALL	
CURB, GUTTER & SDWK	
FENCE	
BUILDING	
OVERHEAD WIRE	
UTILITY POLE	
OAK TREE	
NOT OAK TREE	
STREET LIGHT	
ELEVATION	
CONTOUR LINE	

HATCH LEGEND:

	CONCRETE PAVEMENT AREA
	ASPHALT PAVEMENT AREA
	GRAVEL PAVEMENT AREA
	BUILDING OUTLINE

SURVEYOR'S NOTES:

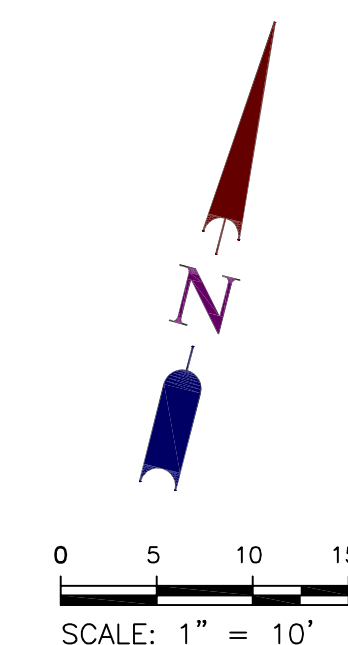
- TOPOGRAPHIC EXHIBIT MAP PREPARED AT THE REQUEST OF JAMES CAMPOS ON SEPTEMBER 12, 2024.
- ASSESSOR PARCEL NUMBER: APN: 65-2651-23.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE STATED.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY. THIS MAP DOES NOT CONSTITUTE AN OFFICIAL BOUNDARY SURVEY. ALL PROPERTY LINES, EASEMENT LINES, SETBACK LINES AND BOUNDARY MARKINGS SHOWN HEREON ARE COMPRISED OF FOUND MONUMENTATION, AND RECORD DATA COMPILED FROM INFORMATION AS SHOWN ON A MAP AS RECORDED OR FILED IN BOOK 21 OF MAPS, PAGES 51 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER.
- DATE OF FIELD SURVEY: 09-10-2024. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ABOVE SURFACE ITEMS VISIBLE AS OF THE DATE OF FIELD SURVEY AND FROM CLIENT PROVIDED RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN HEREON. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTING, SLABS, SHORING, STRUCTURAL PILING, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- TREE TRUNK LOCATIONS ARE APPROXIMATE TO THE CENTER OF THE TRUNK, SHOWN IN INCHES OF DIAMETER AT BREST HEIGHT (DBH). TREE DRIP LINES, IF SHOWN, ARE APPROXIMATE. ANY TREE CROSSING A BOUNDARY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR FURTHER INFORMATION.
- GROUND CONTOUR LINES ARE A TRIANGULATED INTERPOLATION OF ACTUAL GROUND ELEVATIONS. GROUND CONTOUR LINES SHOWN HEREON MAY DIFFER FROM THE ACTUAL GROUND CONTOUR.
- PROPERTY BOUNDARY, SECTION LINES, EASEMENTS, SETBACKS AND/OR MARKINGS OF THE PRELIMINARY TITLE REPORT DESCRIBED OR SHOWN HEREON OR SUPPLIED WITH ANY ACCOMPANYING DRAWINGS TO THIS TOPOGRAPHIC EXHIBIT MAP, BOTH DIGITAL AND HARD COPY, ARE AS DESCRIBED IN THE PRELIMINARY REPORT DATED JULY 03, 2024 BY FIDELITY NATIONAL TITLE COMPANY, ESCROW NUMBER FCHC-5012400126-CPC SUPPLIED BY THE CLIENT TO THE SURVEYOR.
- BEARINGS AND DIMENSIONS, PROPERTY BOUNDARY, EASEMENT, SETBACK AND MARKING INFORMATION IF SHOWN HEREON OR SUPPLIED WITH ANY ACCOMPANYING DRAWINGS TO THIS TOPOGRAPHIC EXHIBIT MAP, BOTH DIGITAL AND HARD COPY, ARE A COMPILATION OF FOUND MONUMENTATION AND RECORD DATA AND THEREFORE NOT SAID TO BE AN ENTIRETY. CONSULT JURISDICTIONAL RECORDS AND REGULATIONS FOR FURTHER DETAIL.

BOUNDARY NOTE:
BOUNDARY SHOWN ON THIS TOPOGRAPHIC SURVEY IS DRAWN FROM THE RECORD PER MAP NO. 4 "REGENTS PARK" (21 BM 51).

LEGAL DESCRIPTION:
LOT 53, BLOCK 7 PER MAP NO. 4 "REGENTS PARK" (21 BM 51).

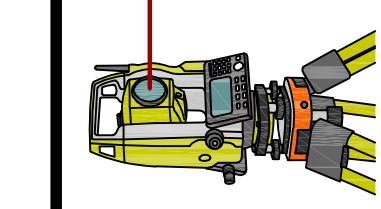
BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS IDENTICAL TO THE CENTERLINE OF MASONIC AVENUE, AS SHOWN ON MAP 21 BM 51 TO BE S14°11'00"E.

**NGS BENCHMARK HT2935
ELEVATION NAVD 88: 11.00 FT**
LATITUDE: 37.515017238, LONGITUDE: -122.185926921
STANDARD CCS BRONZE DISC IN CONCRETE, STAMPED YACHT NO. 1, 1947.
THE STATION IS LOCATED APPROXIMATELY 2.4 MILES WEST OF THE BERKELEY CITY HALL, 1.5 MILES NORTHWEST OF THE ASHBY AVENUE, EASTSHORE HIGHWAY INTERCHANGE, AT THE BERKELEY YACHT HARBOR, 0.2 MILES SOUTH OF THE BERKELEY YACHT CLUB BUILDING.
THE STATION IS 212.0 FEET NORTH OF THE NORTHERLY EDGE OF THE OLD BERKELEY PIER, 55.4 FEET SOUTH-SOUTHWEST OF A POWER POLE WITH TRANSFORMER, 22.8 FEET WEST OF THE TRANSFORMER GUY POLE, 66.4 FEET EAST-NORTHEAST OF THE SOUTHERLY OF TWO ANTENNA POLES APPROXIMATELY 50 FT HIGH, 29.5 FEET EAST OF THE SOUTHEAST CORNER OF A 12 FT X 18 FT WHITE BUILDING, 39.3 FEET EAST-SOUTHEAST OF THE NORTHEAST CORNER OF THE WHITE BUILDING. IT IS 3 IN BELOW GROUND SURFACE.



DATE: 09/12/2024

TOP ENGINEERING INC.
CIVIL ENGINEERING, LAND SURVEYING
PLANNING, GENERAL ENGINEERING CONSTRUCTION
PHONE: (916) 342-3657
main@topcivileng.com



SCALE	VERT. N/A
HORIZ. 1"=10'	PREPARED BY
	DRAFTED BY: VT
	CHECKED BY: VT

**TOPOGRAPHIC AND BOUNDARY SURVEY FOR:
1054 MASONIC AVENUE
APN: 65-2651-23**
STATE OF CALIFORNIA
CITY OF ALBANY

DATE: 9/12/2024
FN: 24045_2018
SHEET
1 OF 1
SHEETS