

**SITE PLAN NOTES**

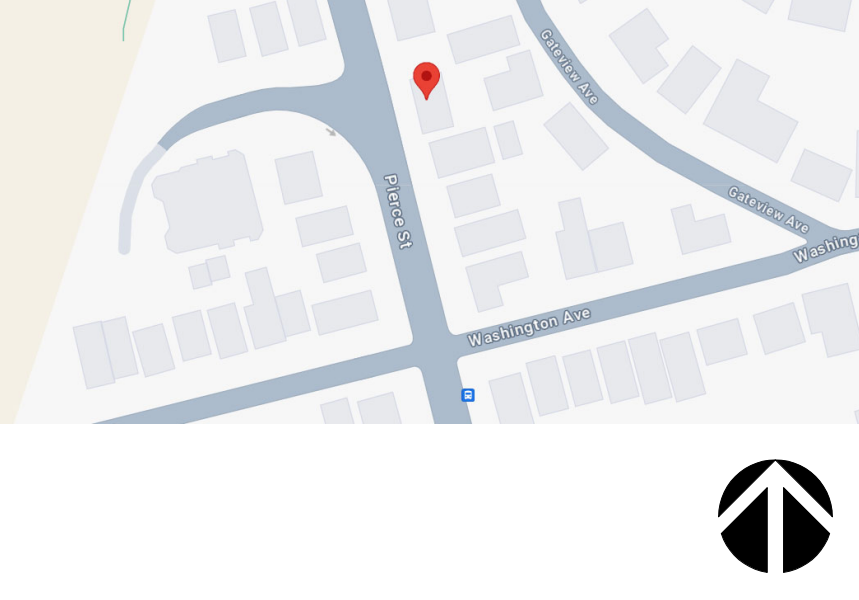
**VICINITY MAP**

**GENERAL NOTES**

**PROJECT DATA**

**SHEET INDEX**

- DEMOLITION CONTRACTOR SHALL RELOCATE REUSABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-USABLE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS. RAIN, ETC., REFUSE BIN SHALL BE COVERED DURING TRANSFER TO AND FROM DUMP SITE. CONTRACTOR TO BE LIABLE FOR REFUSE SPILLING. ALL DEBRIS TO BE HAULED AWAY AND CLEAN-UP SHALL BE COMPLETED TO BROOM FINISH. EXISTING MATERIALS AND/OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DUST, PAINT CHIPPING, ETC., BY USE OF PLASTIC OR WHATEVER IS REQUIRED FOR PROPER PROTECTION. EXISTING STRUCTURES SHALL HAVE BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC., TO DESIGNER/ENGINEER AS REQUIRED.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULLBOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, FURTERANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- WHEN UTILITIES METER ALTERATION / RELOCATION OCCUR, INSTALLATION PROCEDURES SHALL BE VERIFIED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
- THIS IS NOT A SURVEYED PLAN AND ONLY SHOWS DIMENSIONS GIVEN BY HOMEOWNER. PROPERTY MEASUREMENTS SHOULD BE CONFIRMED WITH A LICENSED LAND SURVEYOR IF REQUIRED.



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- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- PROVIDE LOW CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 1/2" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES
- FINAL APPROVAL REQUIRED BY THE PUBLIC WORKS DEPARTMENT FOR STREET IMPROVEMENTS, CURB CORES, CURB/GUTTERS, ETC. SEPARATE PUBLIC WORKS PERMIT REQUIRED FOR DRIVEWAYS, APPROACH TO DRIVEWAY, SEWER LATERALS AND ANY WORK IN RIGHT OF WAY.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND AMENDMENTS.
- A SURVEY SHALL BE PROVIDED BY A LICENSED SURVEYOR ON STRUCTURES WHICH DEFINE PROPERTY LINES, SET BACKS, DESIGNATED PARKLAND OR STREET RIGHT-OF-WAY.
- DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- WATER HEATER MUST BE STRAPPED TO WALL.
- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR WATER CONSUMPTION.
- LAC BOLTS: PROVIDE LEAD HOLE 40%-70% OF THREADED SHANK DIA. AND FULL DIA. FOR SMOOTH SHANK PORTION. 91 NDS
- BLOCKING: ROOF RAFTERS AND CEILING JOINTS SHALL BE SUPPORTED Laterally TO PREVENT ROTATION & LATERAL DISPLACEMENT IN ACCORDANCE W/ THE PROVISIONS OF CH 8 & CH 8
- CONTRACTOR AND/OR OWNER SHALL VERIFY CONSTRUCTION SITE TO CONFIRM THAT THERE IS NO TRACE OF DEMOLISHED SWIMMING POOL WITHIN 5 FT FROM PROPOSED PERIMETER OF THE CONSTRUCTION SITE. OTHERWISE, THEY NEED TO SUBMIT SOIL COMPACTION REPORT FROM LICENSED SOIL ENGINEER TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
- SHEARWALLS, LATHING & PLASTER IN MATERIALS SHALL CONFORM TO THE STANDARD LISTED IN CH 8 & CH 7 CRC
- ALL BOLT HOLES SHALL BE DRILLED 1/32" TO 1/16" OVERSIZED. \*ENGINEER\* MUST INCLUDE IN STRUCTURAL OBSERVATION NOTES.
- PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.
- CONCRETE 3000PSI
- PARALLEL BEAM E 2.0 PSL
- UPER GROUND IS REQUIRED AT NEW ELECTRICAL SERVICE.
- UNDERGROUND UTILITIES REQUIRED ON SITE PLAN AND SHOW FOR ELECTRICAL, CABLE TV, AND TELEPHONE
- ARC FAULT CIRCUIT INTERRUPTION PROTECTION IS REQUIRED FOR ALL BRANCH CIRCUITS PER 2022 CECC210.19 SHALL BE AFCI PROTECTED
- BATHROOMS, KITCHEN, GARAGE & OUTSIDE OUTLETS WILL BE GFCI PROTECTED RECEPTACLE OUTLETS.
- WATER SAVING WATER CLOSET w/1.28 GALLONS PER FLUSH.
- PROVIDE MECHANICAL VENTILATION FOR BATHROOMS AND LAUNDRY ROOMS WITHOUT OPENABLE WINDOW.
- GLAZING WHICH IS LESS THAN 60 INCHES FROM A FLOOR AND WITHIN A 24" ARC OF A DOORWAY'S VERTICAL EDGE MUST COMPLY WITH CH 3 CRC
- LANDINGS AT DOOR, LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR THE DOOR, WHICHEVER IS GREATER
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH A NATURAL LIGHT IN ACCORDANCE WITH CRC 9305.120(2) OR SHALL BE PROVIDED AN AVERAGE ILLUMINATION OF 6 FEET-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.
- THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS, SURVEY THE PROPERTY AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COST SUBMITTED SHALL BE BASED ON A THROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIALS OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ENGINEER OF RECORD.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER AND THE DESIGNER/ENGINEERS SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY.
- FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY OCEA AND AN APPROVED PLANS SHALL BE INCLUDED IN THE CONSTRUCTION PACKAGE PRIOR TO BUILDING PERMIT ISSUANCE
- IF AN ASBESTOS REMOVAL PROCEDURE AND SUBMIT ASBESTOS REPORT TO BUILDING DIVISION PRIOR TO DEMOLITION PERMIT ISSUANCE.
- TRUSS PACKAGE WITH AN APPROVED STAMP FROM THE ENGINEER OF RECORD SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- LINE AND GRADE CERTIFICATE SHALL BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
- SOIL COMPACTION REPORT IS REQUIRED FOR ALL NEW SFD HOUSE OR ADU AT THE TIME OF FOUNDATION INSPECTION.
- WHEN SOLAR PANEL IS REQUIRED, SOLAR PLANS SHALL BE REVIEWED AND APPROVED BY BUILDING DIVISION PRIOR TO ROOF SHEATHING INSPECTION.

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**JURISDICTION HAVING AUTHORITY:** CITY OF ALBANY, CA 94706

**LEGAL DESCRIPTION:** TRACT 2750, LOT 23

**ASSESSORS PARCEL NO. APN:** 066-2750-023

**CONSTRUCTION TYPE:** V-B

**ZONING:** R-1 RESIDENTIAL

**OCCUPANCY GROUP:** R1

**SPRINKLERS:** NO

**NUMBER OF STORIES:** 1 STORY, (NO CHANGE)

**BUILDING MAX HEIGHT:** 14FT 6IN, (NO CHANGE)

**REQUIRED SETBACKS:**

FRONT: 15 FT

REAR: 20 FT

SIDE: 6 FT

SETBACKS INDICATE REQUIRED MINIMUM DISTANCE FROM PROPERTY LINES. CONTRACTOR TO VERIFY ON SITE.

**LOT SIZE:** 3,600 SF

**EXISTING:**

(E) MAIN HOUSE LIVING AREA: 1,192 SF

(E) GARAGE AREA: 196 SF

(E) SHED: 96 SF

**EXISTING TOTAL:** 1,484 SF

**NEW ADDITION AREA:** 16 SF

**NEW TOTAL:** 1,500 SF

**MAXIMUM LOT COVERAGE:** 50%

**OVERALL LOT COVERAGE:** 1500/3600=41.7%, OK

**MAXIMUM FLOOR RATIO(FAR):** 55%

**OVERALL FLOOR RATIO (FAR):** (1500-196)/3600=36.2%, OK

A.00	COVER PAGE & SITE PLAN
A.10	EXISTING & PROPOSED PLAN
A.11	WINDOW PLAN
A.12	LOT COVERAGE & FAR DIAGRAM
A.13	(P) KITCHEN LAYOUT & ELEVATIONS
A.14	(P) KITCHEN LAYOUT & ELEVATIONS
A.20	(E) & (P) PROOF PLANS
A.30	(E) ELEVATIONS
A.31	(P) ELEVATIONS
A.32	(E) & (P) SECTIONS
A.33	STREET ELEVATIONS
AD.10	ARCHITECTURAL DETAILS

**SCOPE OF WORK**

- REMOVE THREE BEAMS.
- REPLACE THE KITCHEN WOODEN FLOOR AND ADD A COVER IN THE REST OF THE HOUSE FLOOR
- ADDITION (16 SF) IN THE KITCHEN.
- THE KITCHEN ENTRANCE DOOR DIRECTION WILL BE CHANGED.
- KITCHEN WINDOW AT THE ENTRANCE WILL BE SEALED.
- RENOVATION OF THE BATH2
- REPLACE THE PRIMARY BEDROOM WINDOW WITH A DOOR.
- WIDEN ENTRANCE FOR NEW FRONT DOOR.

**PROJECT INFORMATION**

**APPLICABLE CODE**

**OWNER:** CREEKSIDE PRO CONSTRUCTION  
 (408) 314-4308  
 (408) 314-4373  
 Creekirvoice@gmail.com

**DESIGNER:** LEI ZHENG  
 COMPANY: CECILIA HOME  
 PHONE: (510) 909-1933  
 EMAIL: ENGINEER.LEI@GMAIL.COM

**PROFESSIONAL ENGINEER:** LEI ZHENG  
 COMPANY: CECILIA HOME  
 PHONE: (510) 909-1933  
 EMAIL: ENGINEER.LEI@GMAIL.COM

**LEGAL JURISDICTION :** CITY OF ALBANY, CA

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

2022 CALIFORNIA RESIDENTIAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA ENERGY CODE  
 2022 CALIFORNIA ELECTRICAL CODE  
 2022 CALIFORNIA GREEN BUILDING STANDARDS  
 REGULATION OF THE STATE AND LOCAL FIRE MARSHALS & CITY ORDINANCE  
 CITY OF ALBANY MUNICIPAL CODE.

**SYMBOL LEGEND**

**SITE PLAN KEYNOTES**

**LEGEND**

NEW ADDITION

EXISTING BUILDING FOOTPRINT

EXISTING CONSTRUCTION TO BE DEMOLISHED

EXISTING CONSTRUCTION TO BE REMAINED

NEW CONSTRUCTION

PROPERTY LINE

1 LANDSCAPE

2 (E) TREE

3 (E) GAS METER

4 (E) GATE

5 WALKWAY

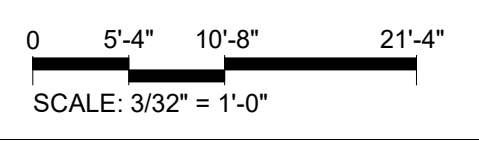
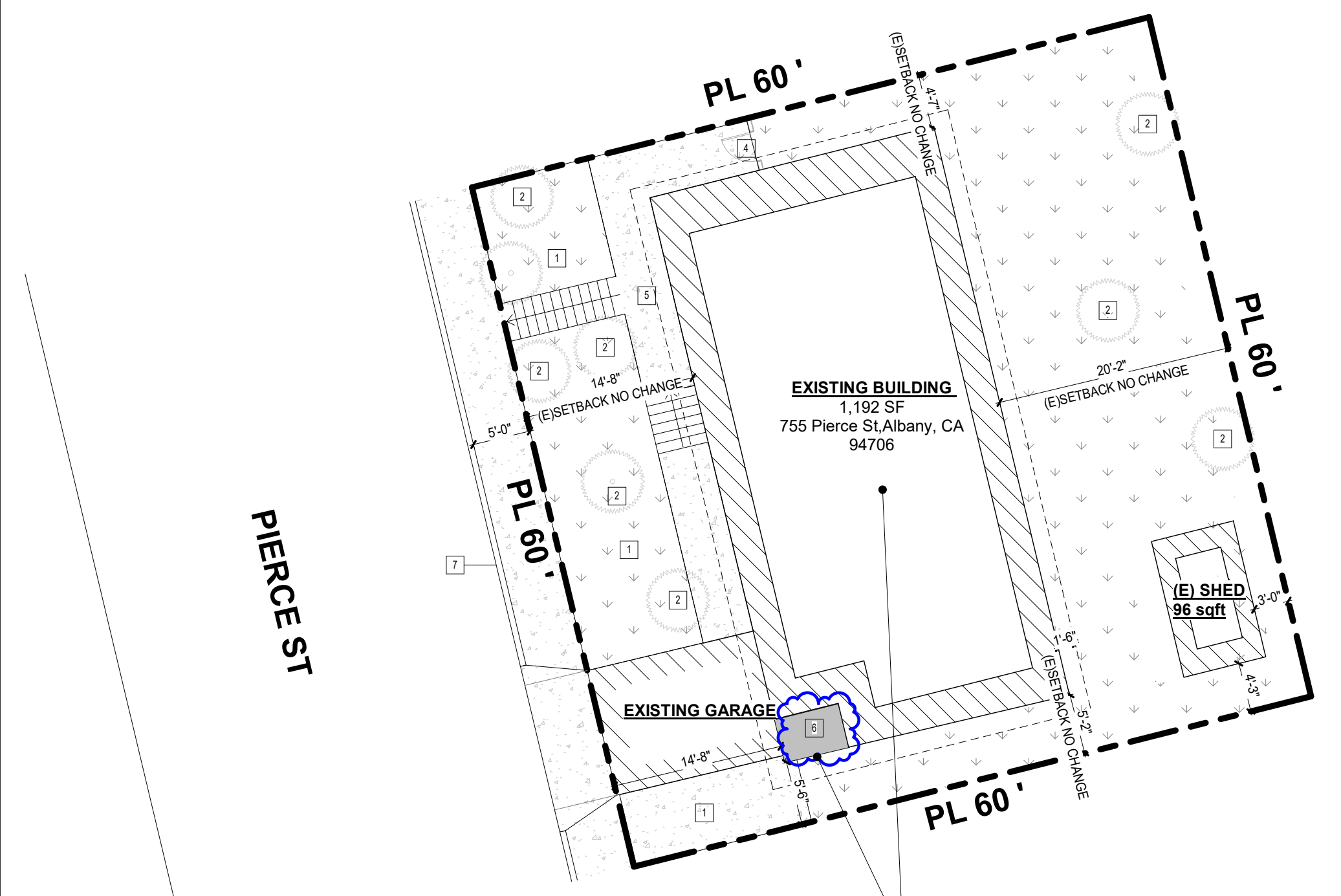
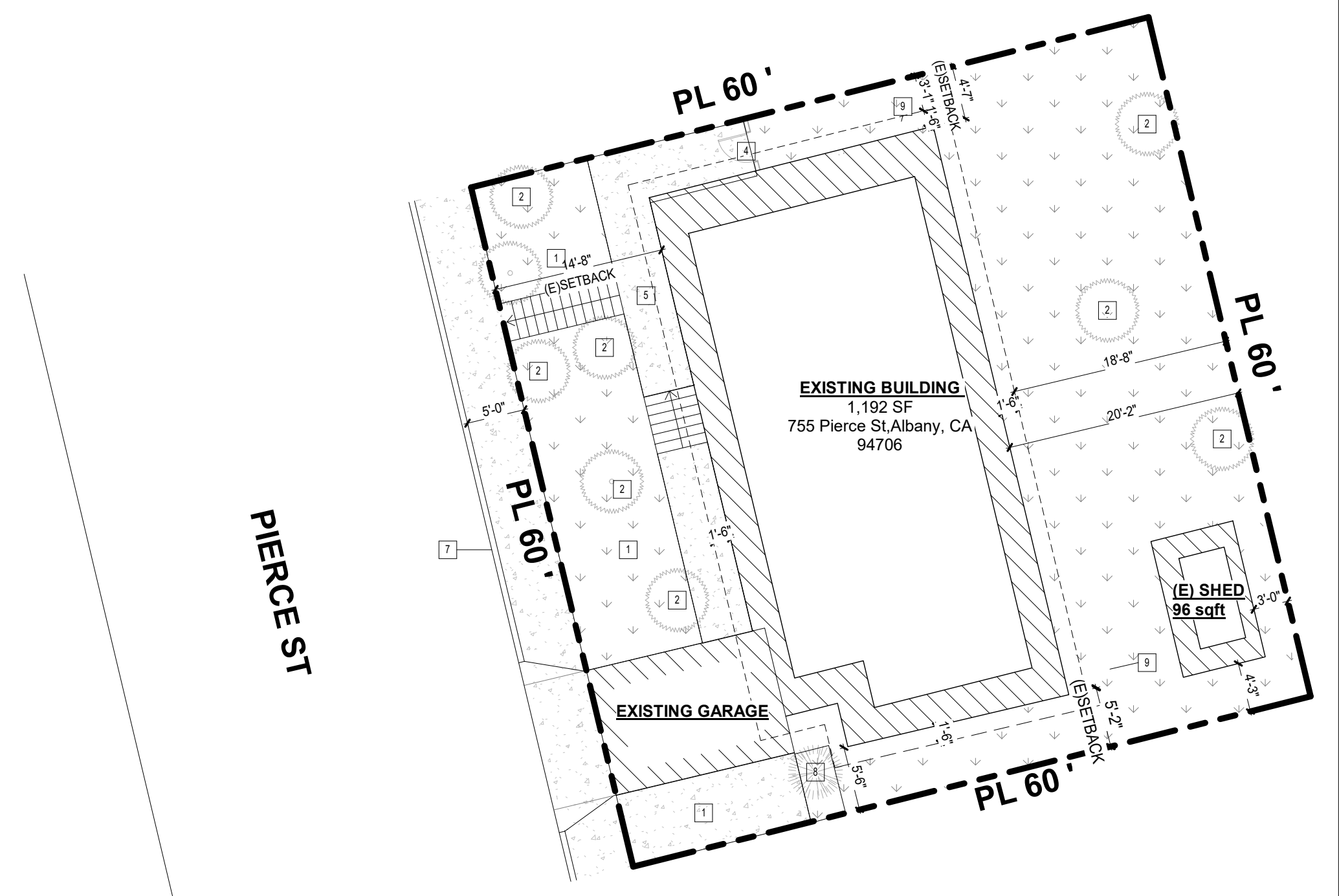
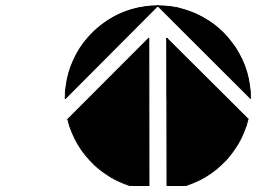
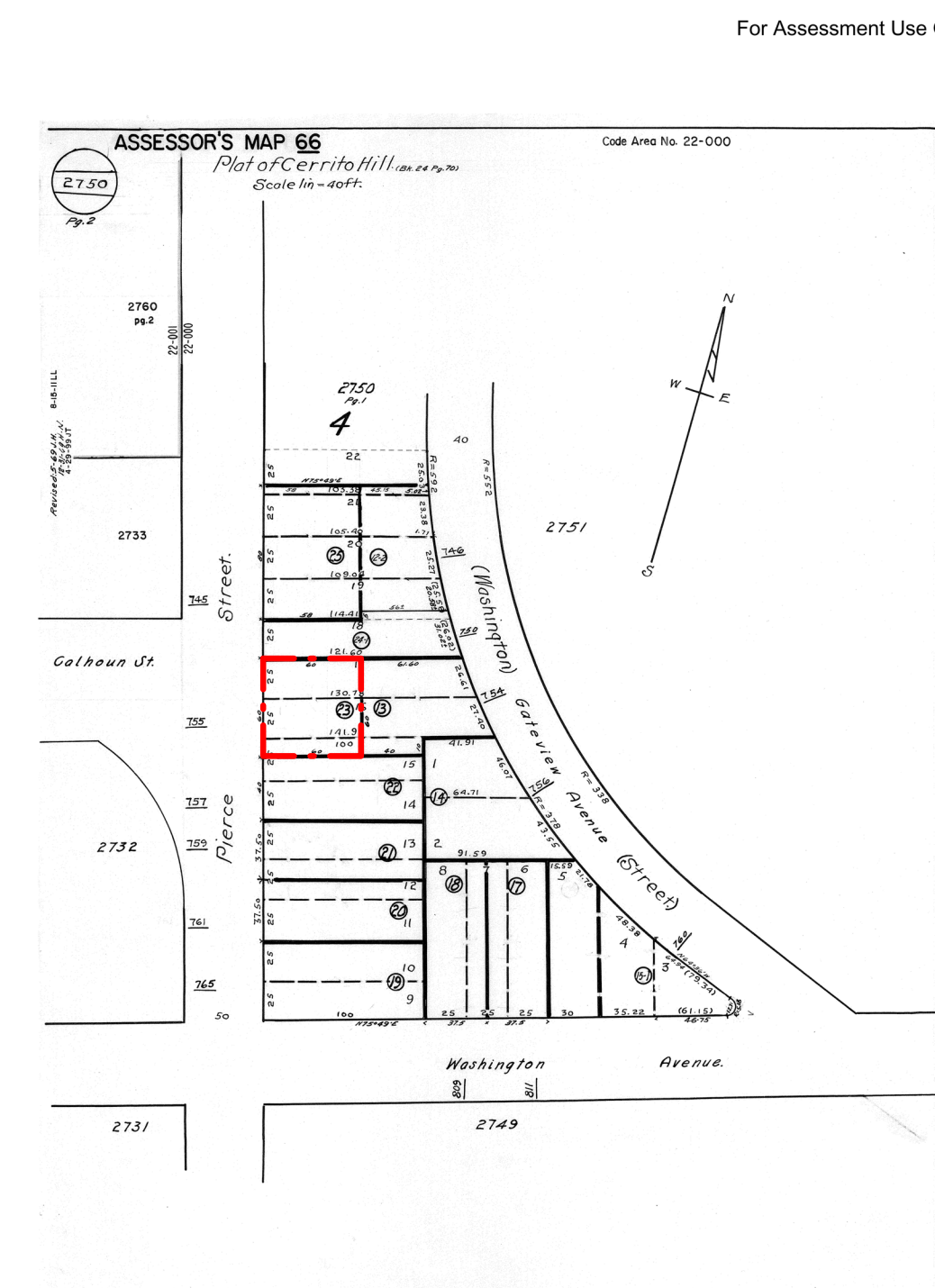
6 NEW ADDITION

7 (E) CURB

8 (E) BUSHES REMOVED

9 ROOF LINE ABOVE

**PARCEL MAP**



**(E) SITE PLAN** 3/32" = 1'-0" **1**

**(P) SITE PLAN** 3/32" = 1'-0" **2**

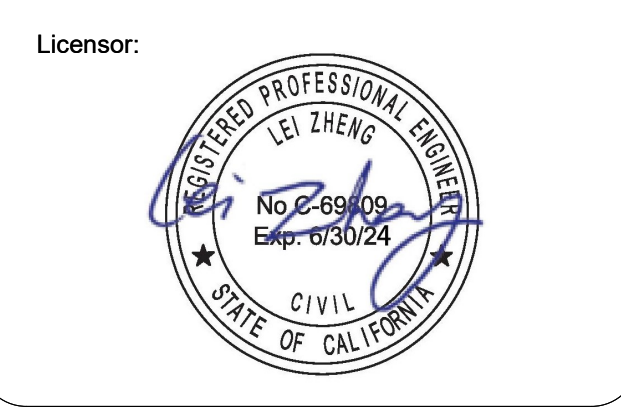
WWW.CECILIA123.COM  
 CHIEF ENGINEER: LEI ZHENG (MASON)  
 PHONE: (510) 909-1933  
 EMAIL: ENGINEER.LEI@GMAIL.COM

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**755 PIERCE ST,  
 ALBANY, CA 94706**

REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/20/24
1	1ST PLAN CHECK	05/21/24

Jurisdiction:



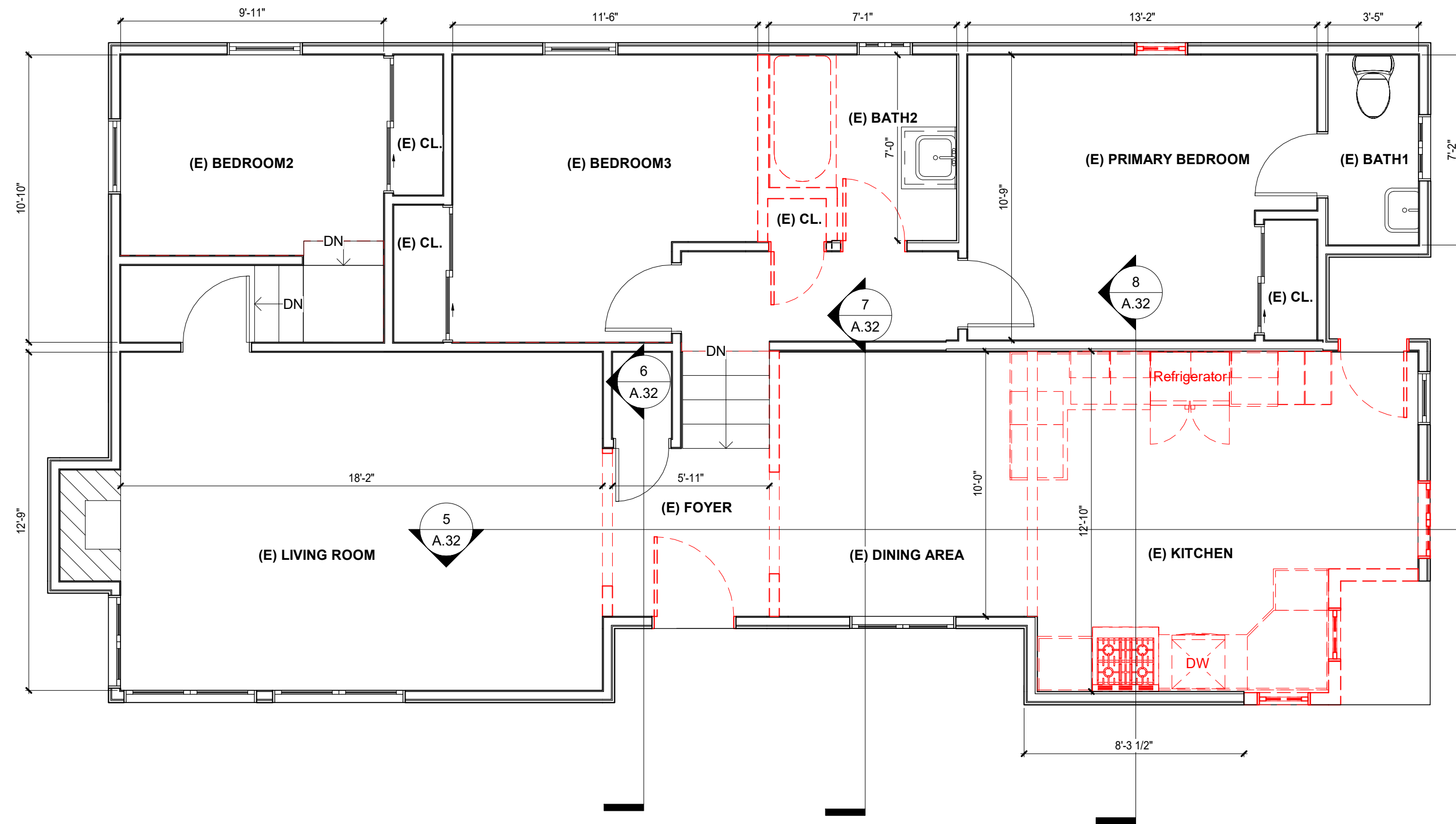
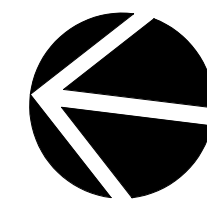
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 SITE PLAN**

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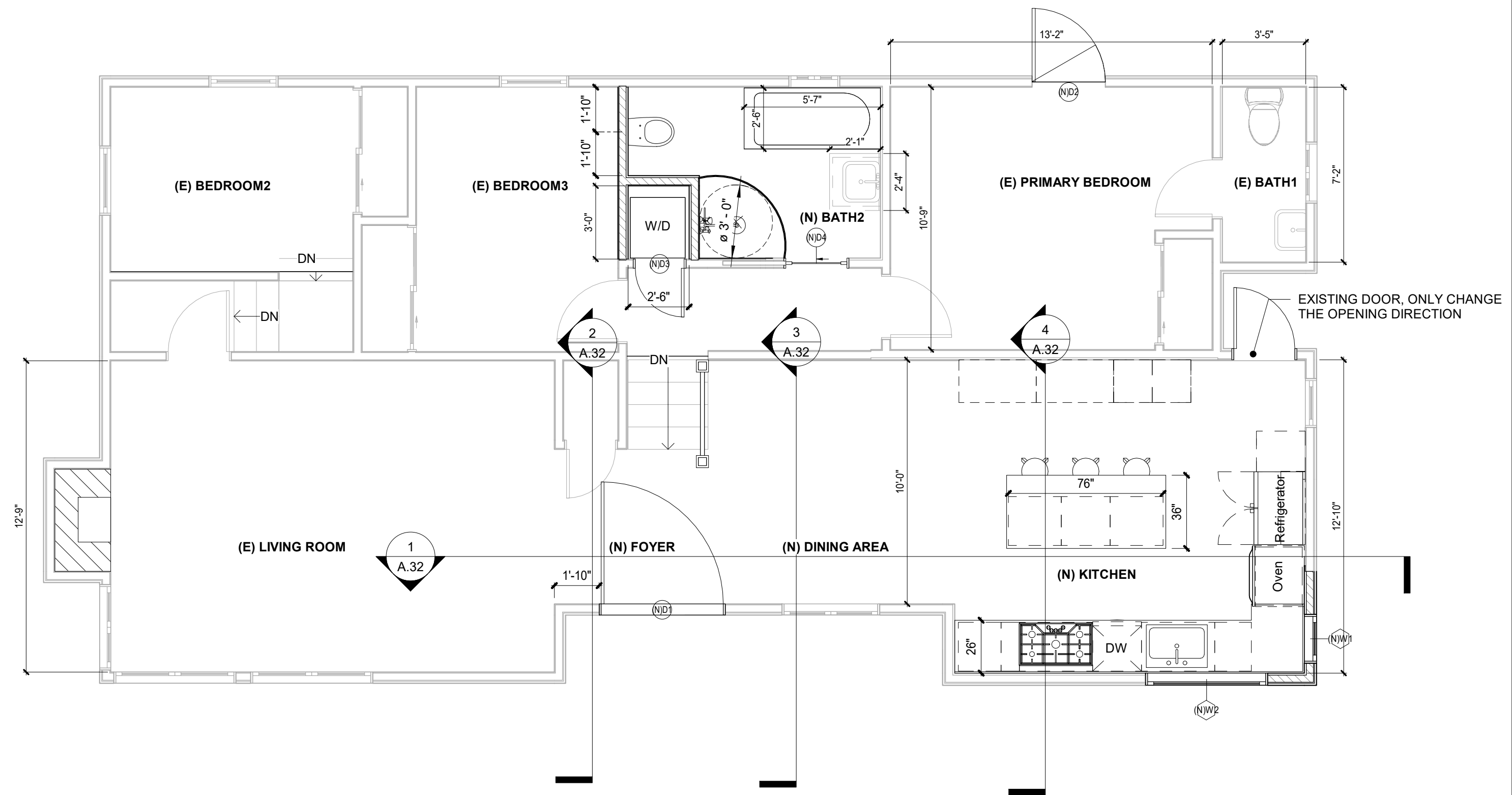


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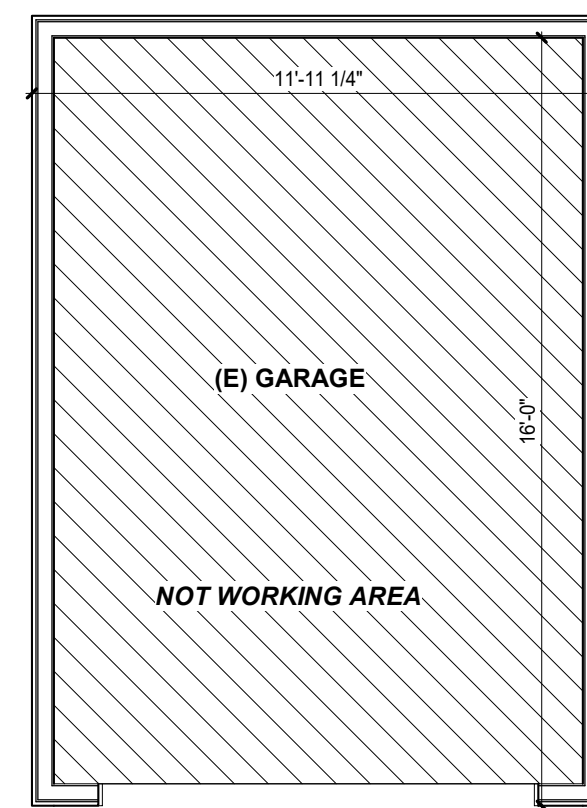
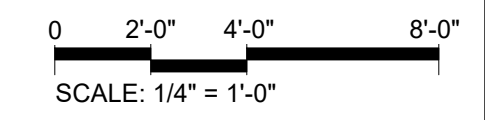
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO BE REMAINED
- NEW CONSTRUCTION
- PROPERTY LINE



**1ST (E) FLOOR PLAN** 1/4" = 1'-0" **1**



**1ST (N) FLOOR PLAN** 1/4" = 1'-0" **2**



**(E) LOWER LEVEL-GARAGE** 1/4" = 1'-0" **3**



**CECILIA HOME**

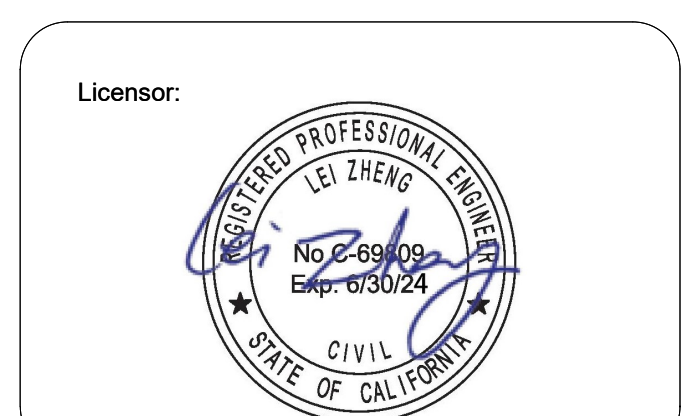
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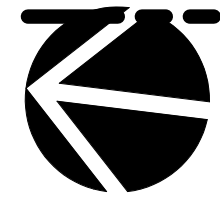


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**EXISTING &  
 PROPOSED PLAN**

SHEET NUMBER:  
**A.10**

**LEGEND**

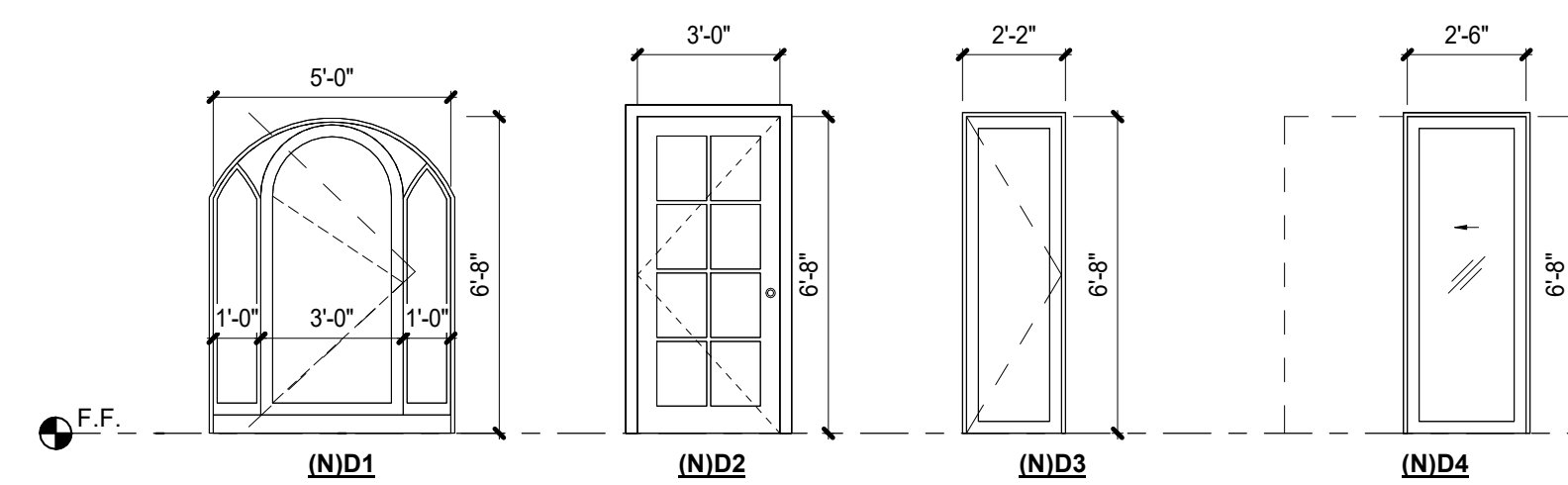
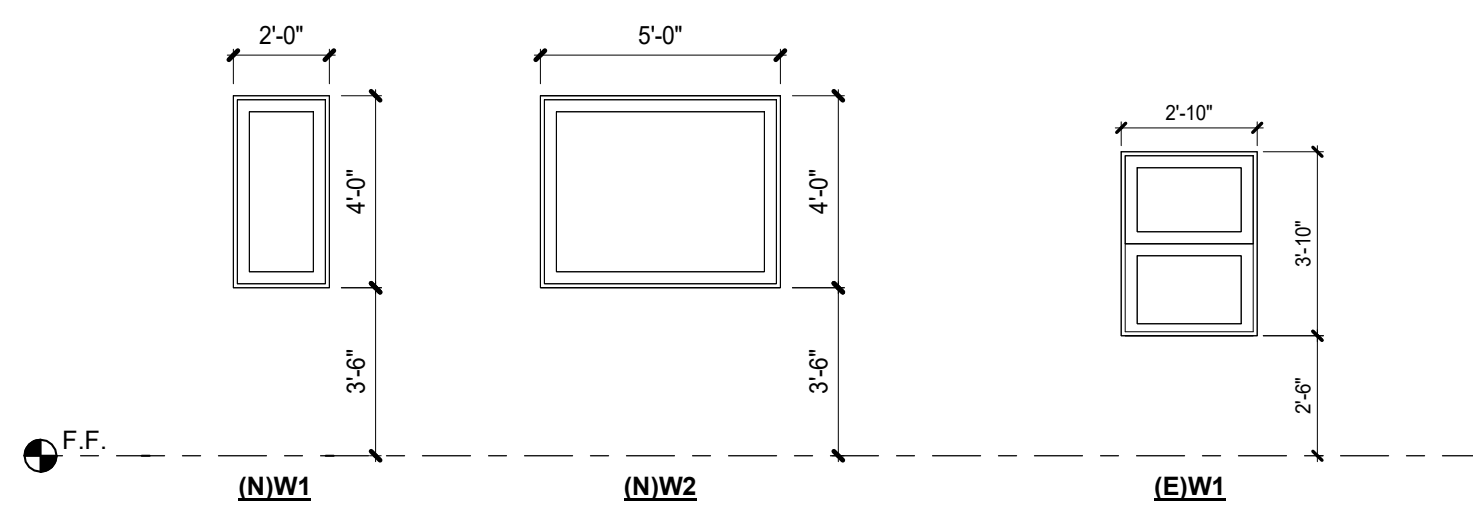
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**WINDOWS PLAN** 3/16" = 1'-0" **1**

ID	QTY	WINDOW SIZE	DESCRIPTION	U-FACTOR	Sill Height	Finish	Glazing	Frame
(E)W1	3	2' - 10" x 3' - 10"	DOUBLE HUNG, DUAL GLASS/ FIBERGLASS FRAME, SOLID CORE, FIBERGLASS FRAME, FINISH PER MFGR.	0.3	2' - 6"	BRUSHED ALUM.	DOUBLE LOW-E	ALUM.
(N)W1	1	2' - 0" x 4' - 0"	FIX WINDOW, DUAL GLASS/ FIBERGLASS FRAME, SOLID CORE, FINISH PER MFGR.	0.3	3' - 0"	WHITE BRUSHED ALUM.	DOUBLE LOW-E	ALUM.
(N)W2	1	5' - 0" x 4' - 0"	FIX WINDOW, DUAL GLASS/ FIBERGLASS FRAME, SOLID CORE, FINISH PER MFGR.	0.3	3' - 6"	WHITE BRUSHED ALUM.	DOUBLE LOW-E	ALUM.
Grand total: 5								

NUMBER	DOOR SIZE	QTY	DESCRIPTION
(N)D1	5' - 0" x 6' - 8"	1	EXTERIOR DOOR 1 PANEL/TEMPERED GLASS, ALUMINUM FRAME, PAINTED FINISH
(N)D2	3' - 0" x 6' - 8"	1	FRENCH DOOR 1-PANEL SWING/GLASS, WOOD FRAME, PAINTED FINISH
(N)D3	2' - 0" x 6' - 8"	1	SOLID CORE 1-PANEL, WOOD FRAME, PAINTED FINISH
(N)D4	2' - 6" x 6' - 8"	1	POCKET DOOR, SOLID CORE, WOOD FRAME, PAINTED FINISH
Grand total: 4			



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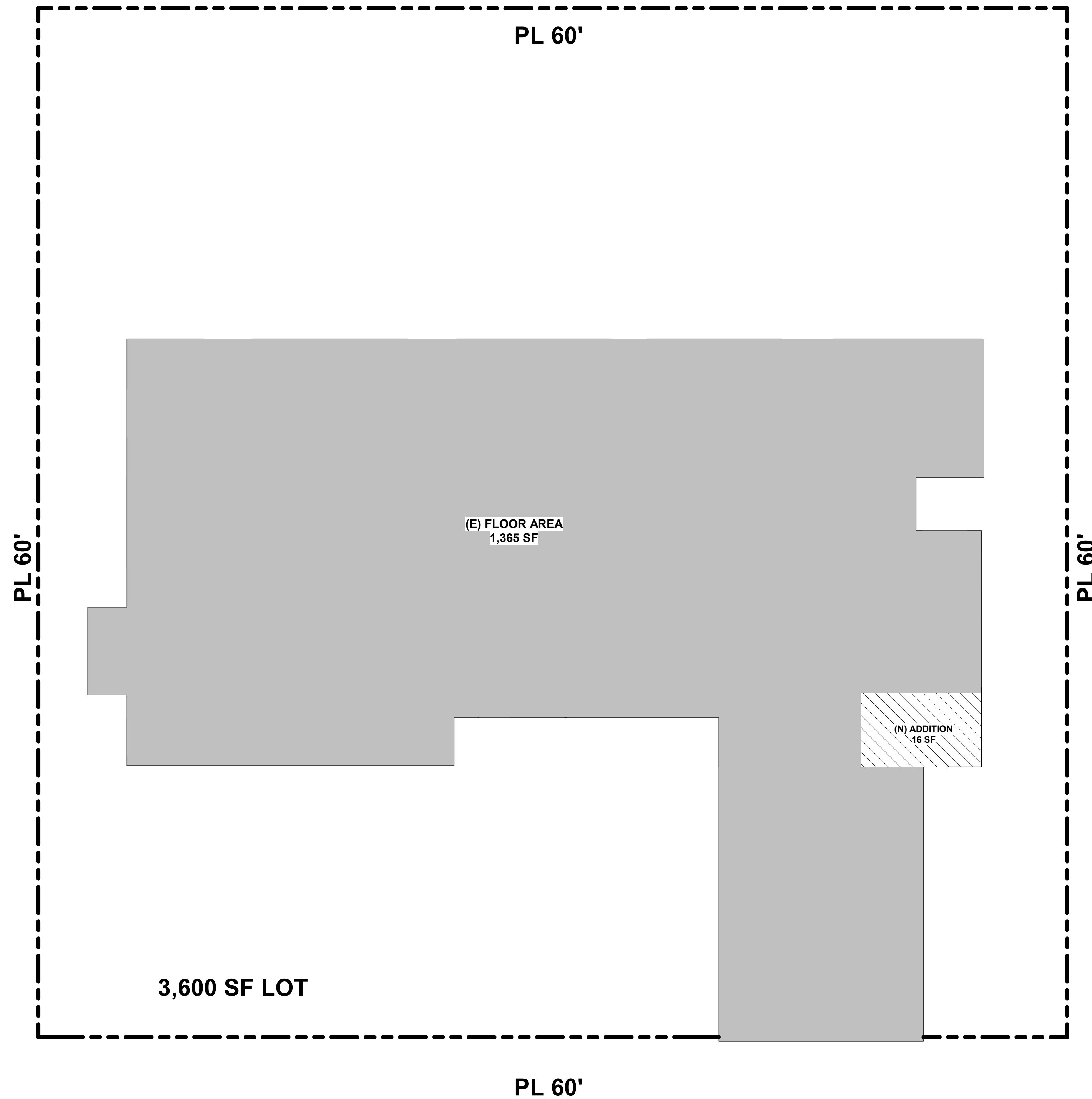
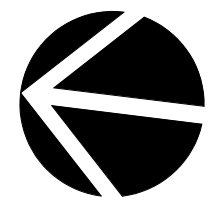
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**WINDOW PLAN**

SHEET NUMBER:  
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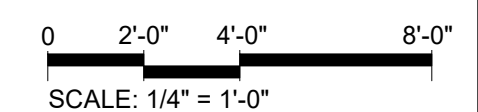




**LEGEND**

- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO BE REMAINED
- NEW CONSTRUCTION
- NEW ADDITION
- PROPERTY LINE
- EXISTING BUILDING FOOTPRINT

<b>EXISTING:</b>		
(E) MAIN HOUSE LIVING AREA	1,192 SF	
(E) GARAGE AREA	196 SF	
<b>EXISTING TOTAL:</b>	<b>1,388 SF</b>	
<b>NEW ADDITION AREA:</b>	<b>16 SF</b>	
<b>NEW TOTAL:</b>	<b>1,404 SF</b>	
<b>MAXIMUM LOT COVERAGE:</b>	<b>50%</b>	
<b>OVERALL LOT COVERAGE:</b>	<b>1404/3600=39%, OK</b>	
<b>MAXIMUM FLOOR RATIO(FAR):</b>	<b>55%</b>	
<b>OVERALL FLOOR RATIO (FAR) :</b>	<b>1404/3600=39% , OK</b>	



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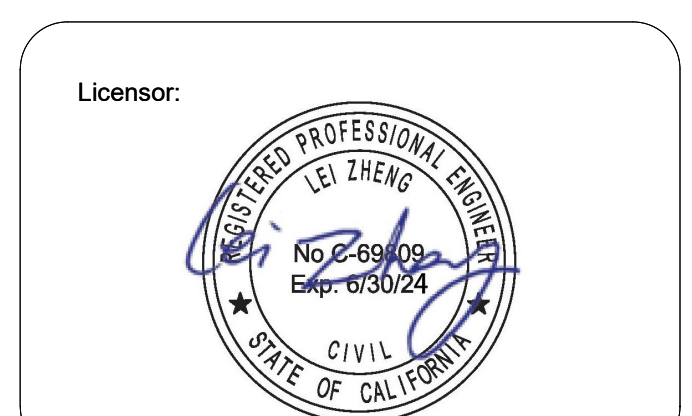
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**755 PIERCE ST,  
ALBANY, CA 94706**

REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/20/24
1	1ST PLAN CHECK	05/21/24

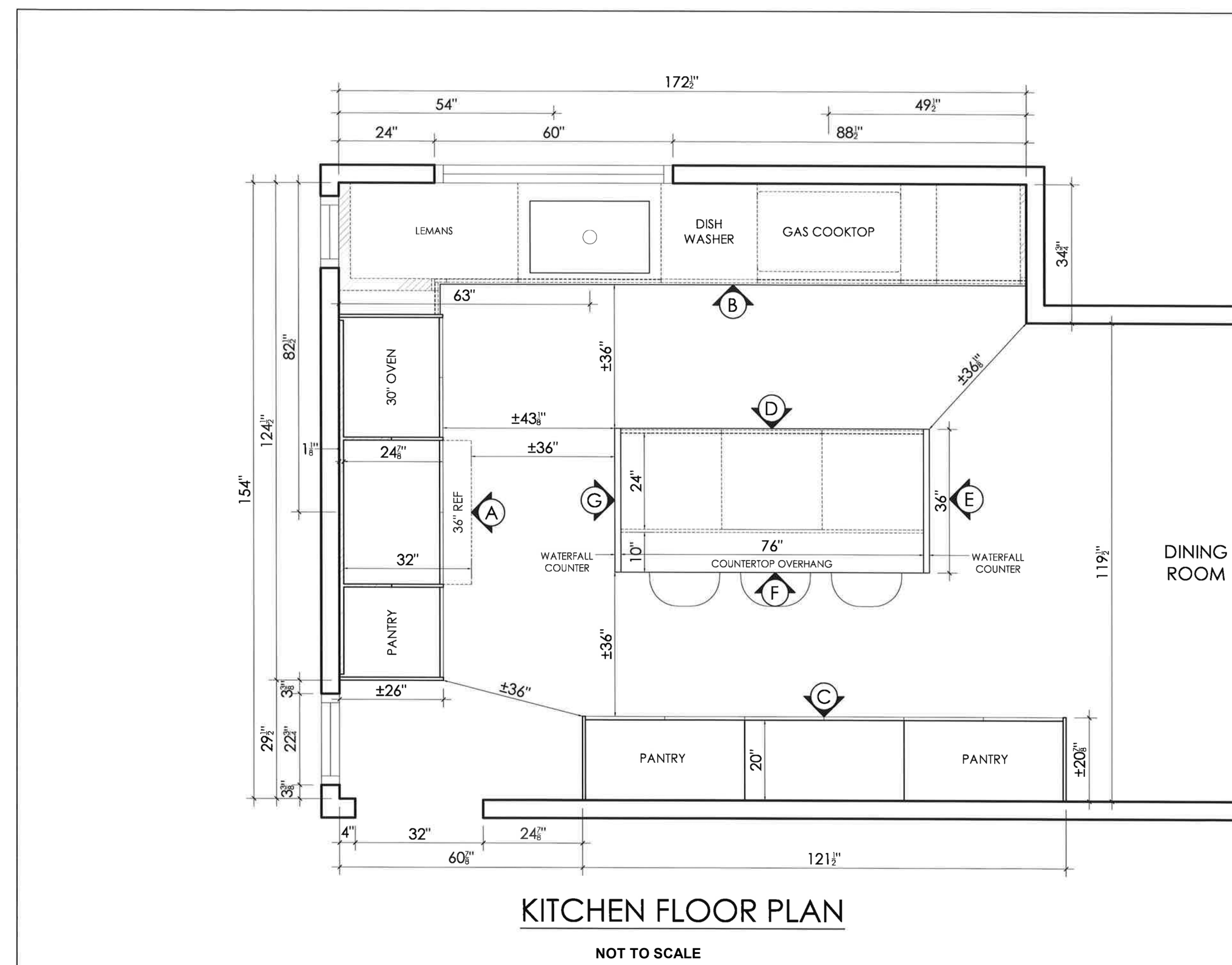
Jurisdiction:



SHEET TITLE:  
**LOT COVERAGE & FAR DIAGRAM**

SHEET NUMBER:  
**A.12**





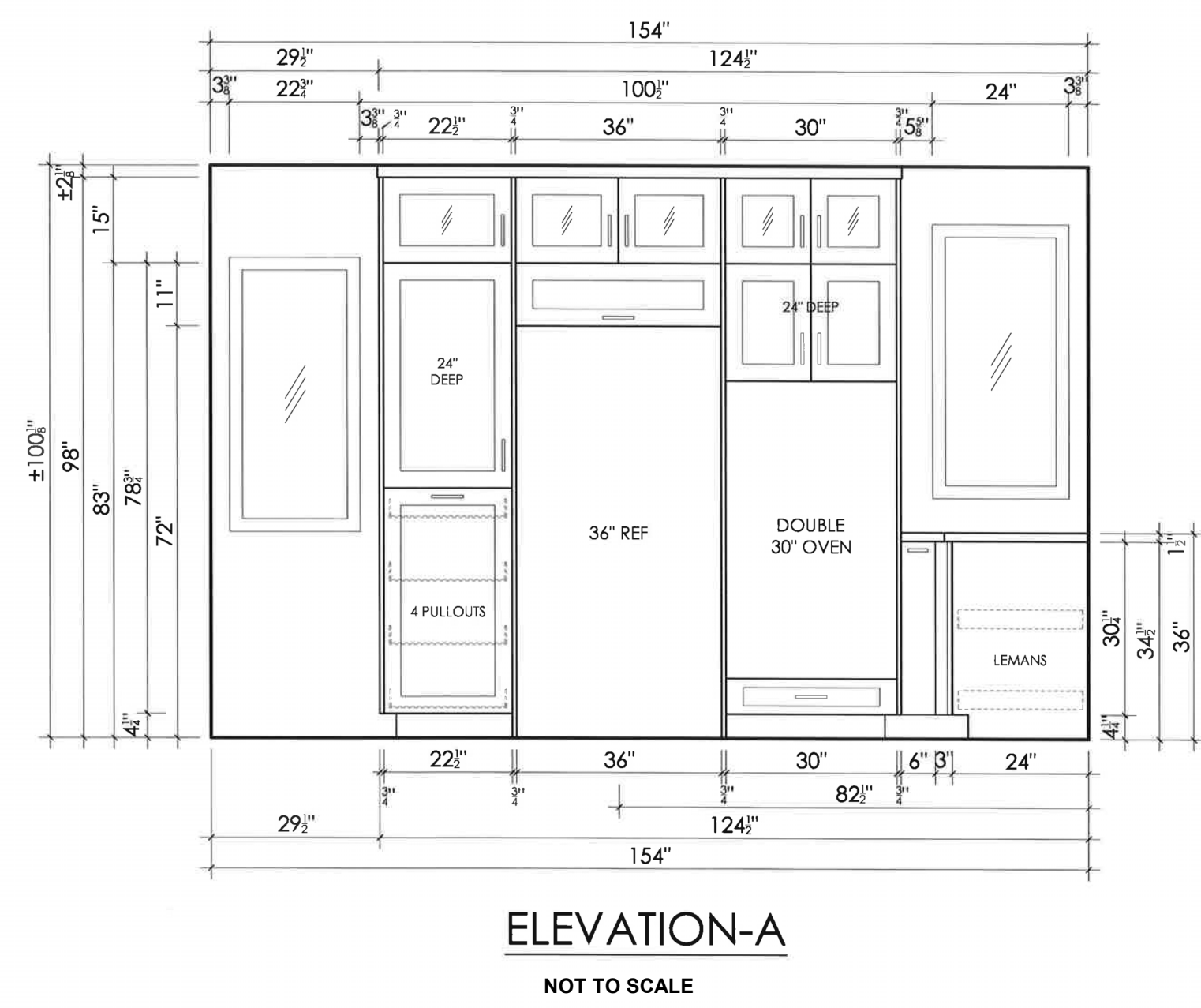
**PREMIER KITCHENS**  
 3373 Mt. Diablo Blvd.  
 Lafayette, CA 94549  
 (925) 281-4100  
 www.premierkitchens.net

**GOMEZ RESIDENCE**  
 755 Pierce Street  
 Albany, CA 94706

Date: 03/13/2024  
 Date: 04/02/2024  
 Date: 04/03/2024  
 Date: 04/09/2024

**GENERAL CONDITIONS:**  
 1. The Client, Contractor and Cabinet Installer must verify the dimensions of walls, windows and ceiling on site.  
 2. The Client, Contractor and Cabinet Installer must locate the center line of the sink, hood and countertop on site.  
 3. The Client, Contractor and Cabinet Installer must provide the appliance specifications to PK and Cabinet Installer.  
 4. The Client, Contractor and Cabinet Installer must inform PK before adding any new utility lines that may affect the design or installation.  
 5. PK is not liable for any errors, omissions or additional costs due to changes from the final drawings.  
 6. The Client, Contractor and Cabinet Installer agree to not hold PK accountable for any drawings, design or installation errors.  
 7. These conditions apply to all drawings and contracts.

Designer: Engthia Cambero  
 Scale: 1/2"=1'-0"  
 Sheet Title: FLOOR PLAN  
 Sheet Number: K1



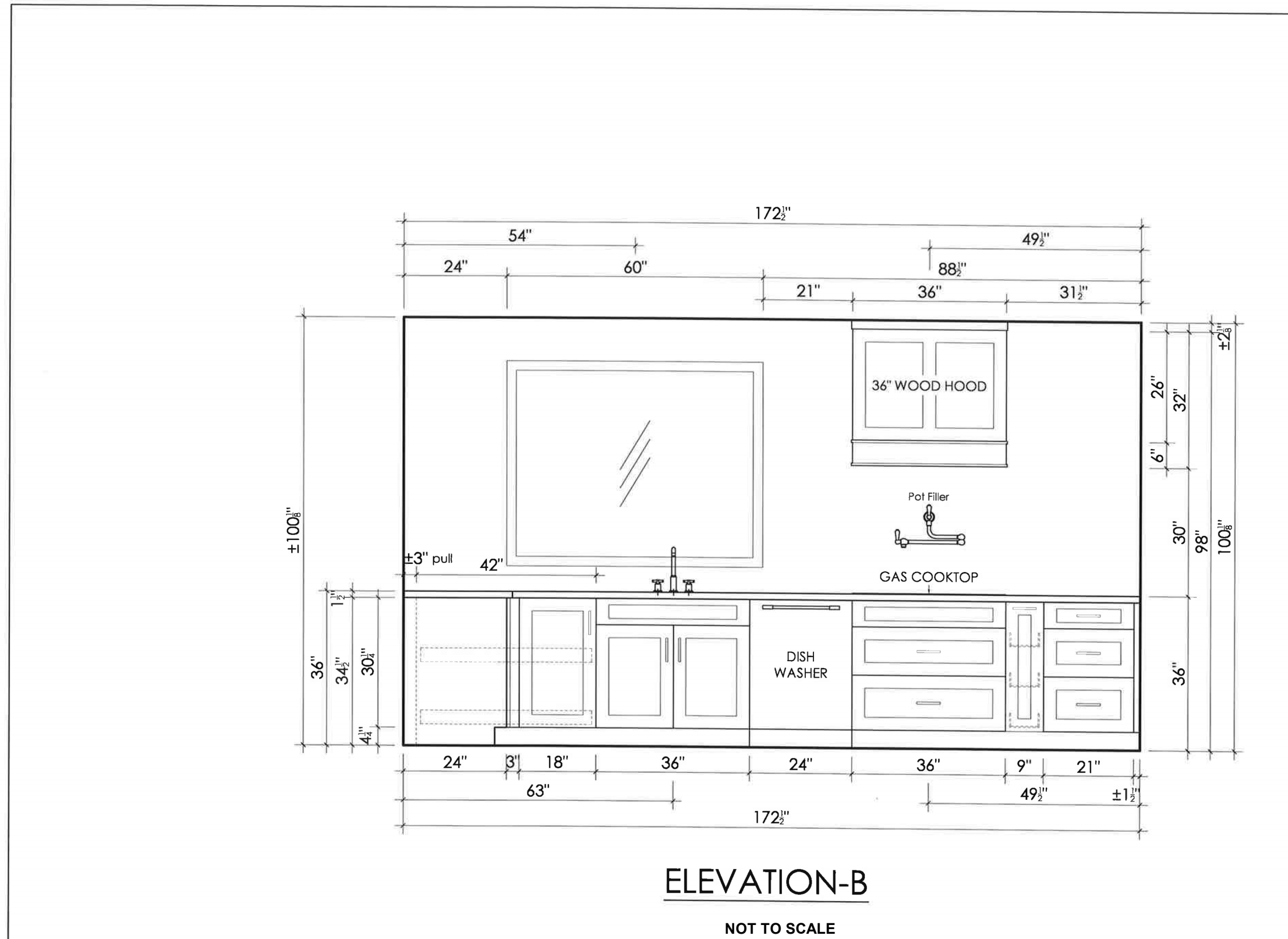
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Date: 03/13/2024  
 Date: 04/02/2024  
 Date: 04/03/2024  
 Date: 04/09/2024

**GENERAL CONDITIONS:**  
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 2. The Client, Contractor and Cabinet Installer must locate the center line of the sink, hood and countertop on site.  
 3. The Client, Contractor and Cabinet Installer must provide the appliance specifications to PK and Cabinet Installer.  
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Designer: Engthia Cambero  
 Scale: 1/2"=1'-0"  
 Sheet Title: REF WALL  
 Sheet Number: K2



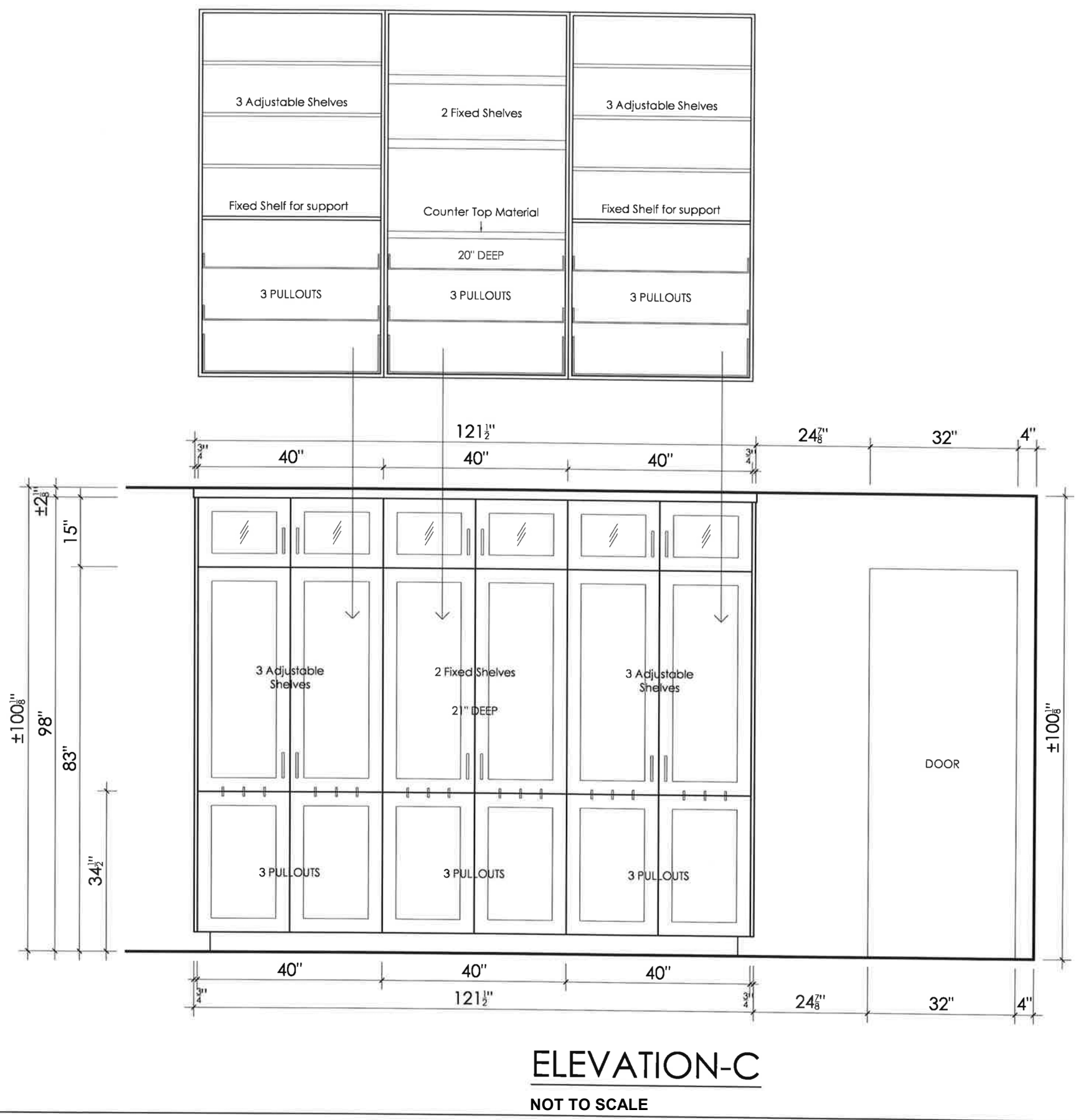
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Date: 03/13/2024  
 Date: 04/02/2024  
 Date: 04/03/2024  
 Date: 04/09/2024

**GENERAL CONDITIONS:**  
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 2. The Client, Contractor and Cabinet Installer must locate the center line of the sink, hood and countertop on site.  
 3. The Client, Contractor and Cabinet Installer must provide the appliance specifications to PK and Cabinet Installer.  
 4. The Client, Contractor and Cabinet Installer must inform PK before adding any new utility lines that may affect the design or installation.  
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Designer: Engthia Cambero  
 Scale: 1/2"=1'-0"  
 Sheet Title: SINK WALL  
 Sheet Number: K3



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 755 Pierce Street  
 Albany, CA 94706

Date: 03/13/2024  
 Date: 04/02/2024  
 Date: 04/03/2024  
 Date: 04/09/2024

**GENERAL CONDITIONS:**  
 1. The Client, Contractor and Cabinet Installer must verify the dimensions of walls, windows and ceiling on site.  
 2. The Client, Contractor and Cabinet Installer must locate the center line of the sink, hood and countertop on site.  
 3. The Client, Contractor and Cabinet Installer must provide the appliance specifications to PK and Cabinet Installer.  
 4. The Client, Contractor and Cabinet Installer must inform PK before adding any new utility lines that may affect the design or installation.  
 5. PK is not liable for any errors, omissions or additional costs due to changes from the final drawings.  
 6. The Client, Contractor and Cabinet Installer agree to not hold PK accountable for any drawings, design or installation errors.  
 7. These conditions apply to all drawings and contracts.

Designer: Engthia Cambero  
 Scale: 1/2"=1'-0"  
 Sheet Title: PANTRY WALL  
 Sheet Number: K4

**CECILIA HOME**  
 WWW.CECILIA123.COM  
 CHIEF ENGINEER: LEI ZHENG (MASON)  
 PHONE: (510) 909-1933  
 EMAIL: ENGINEER.LEI@GMAIL.COM

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**755 PIERCE ST,  
 ALBANY, CA 94706**

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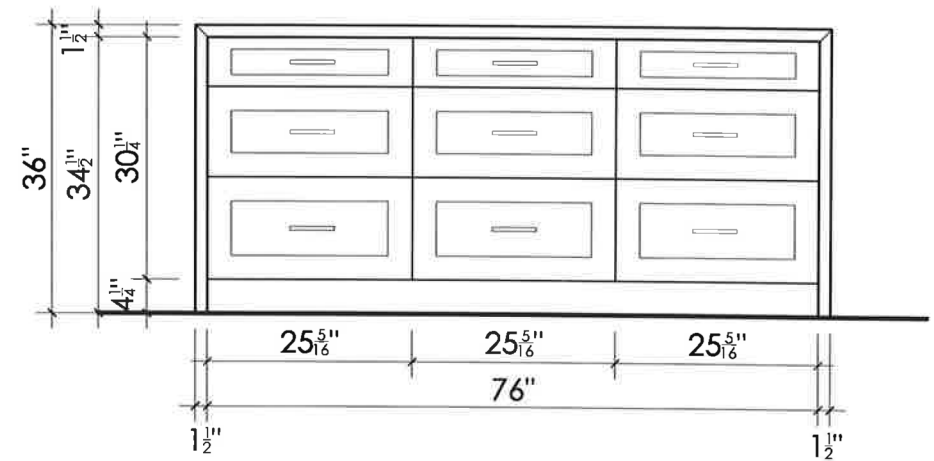
Jurisdiction:



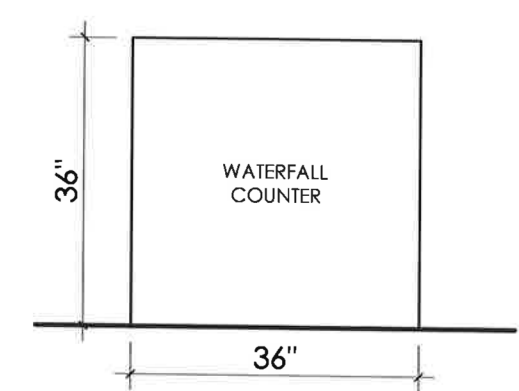
SHEET TITLE:  
**(P) KITCHEN LAYOUT & ELEVATIONS**

SHEET NUMBER:  
**A.13**

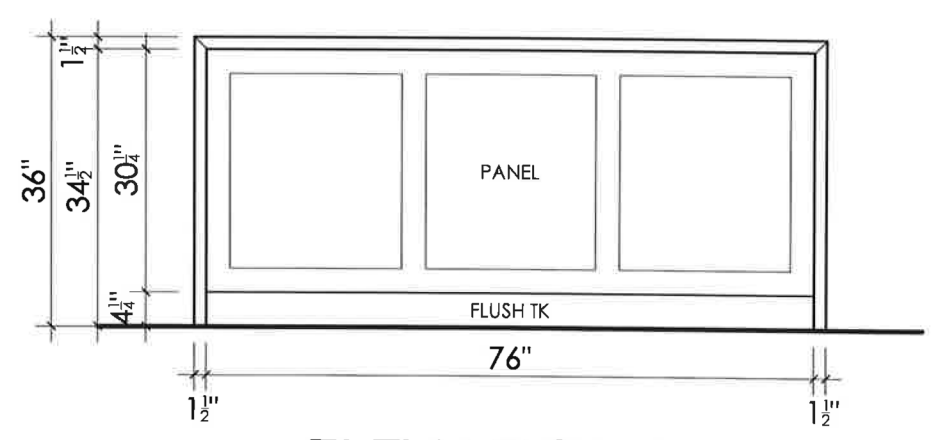




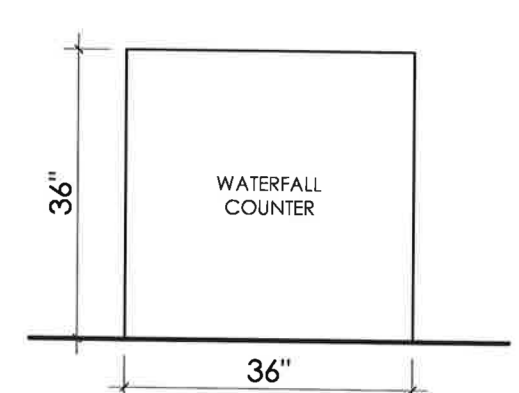
ELEVATION-D



ELEVATION-E



ELEVATION-F



ELEVATION-G

NOT TO SCALE



**GOMEZ RESIDENCE**  
755 Pierce Street  
Albany, CA 94706

Date: 03/13/2024  
Date: 04/02/2024  
Date: 04/03/2024  
Date: 04/09/2024

- GENERAL CONDITIONS:
- The Client, Contractor and Cabinet installer must verify the dimensions of walls, windows and ceiling on site.
  - The Client, Contractor and Cabinet installer must locate the center line of the sink, hood and range on the wall.
  - The Client, Contractor and Cabinet installer must provide the appliance specifications to PK and Cabinet installer.
  - The Client, Contractor and Cabinet installer must inform PK before adding any new utility lines that may affect the design or cabinet.
  - PK is not liable for any error, delay or additional cost due to changes from the final drawings.
  - The Client, Contractor and Cabinet installer agree to not hold PK responsible for any drawing, design or installation error.
  - These conditions apply to all drawings and contracts.

Designer:  
Enghia Cambero  
Scale: 1/2"=1'-0"

Sheet Title:  
ISLAND

Sheet Number:  
K5



**CECILIA HOME**

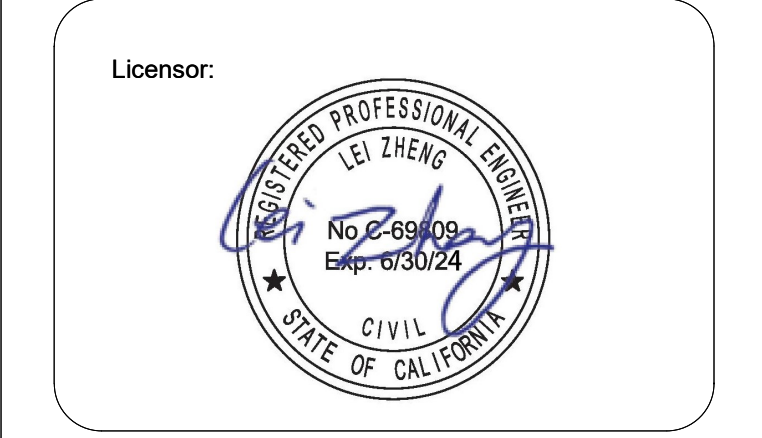
WWW.CECILIA123.COM  
CHIEF ENGINEER: LEI ZHENG (MASON)  
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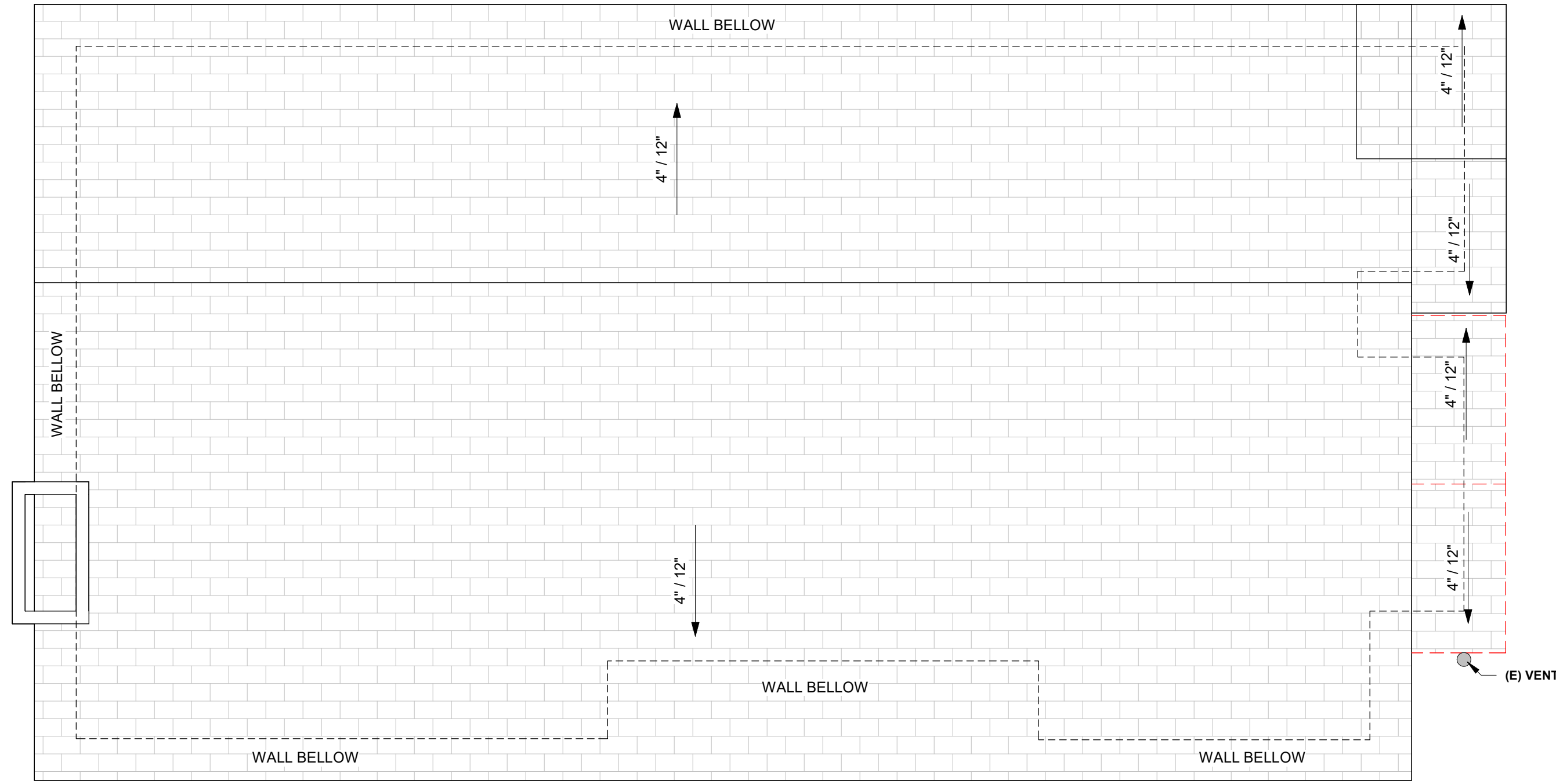
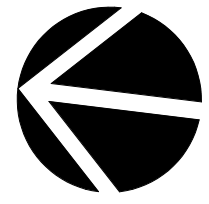
REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/20/24
1	1ST PLAN CHECK	05/21/24

Jurisdiction:

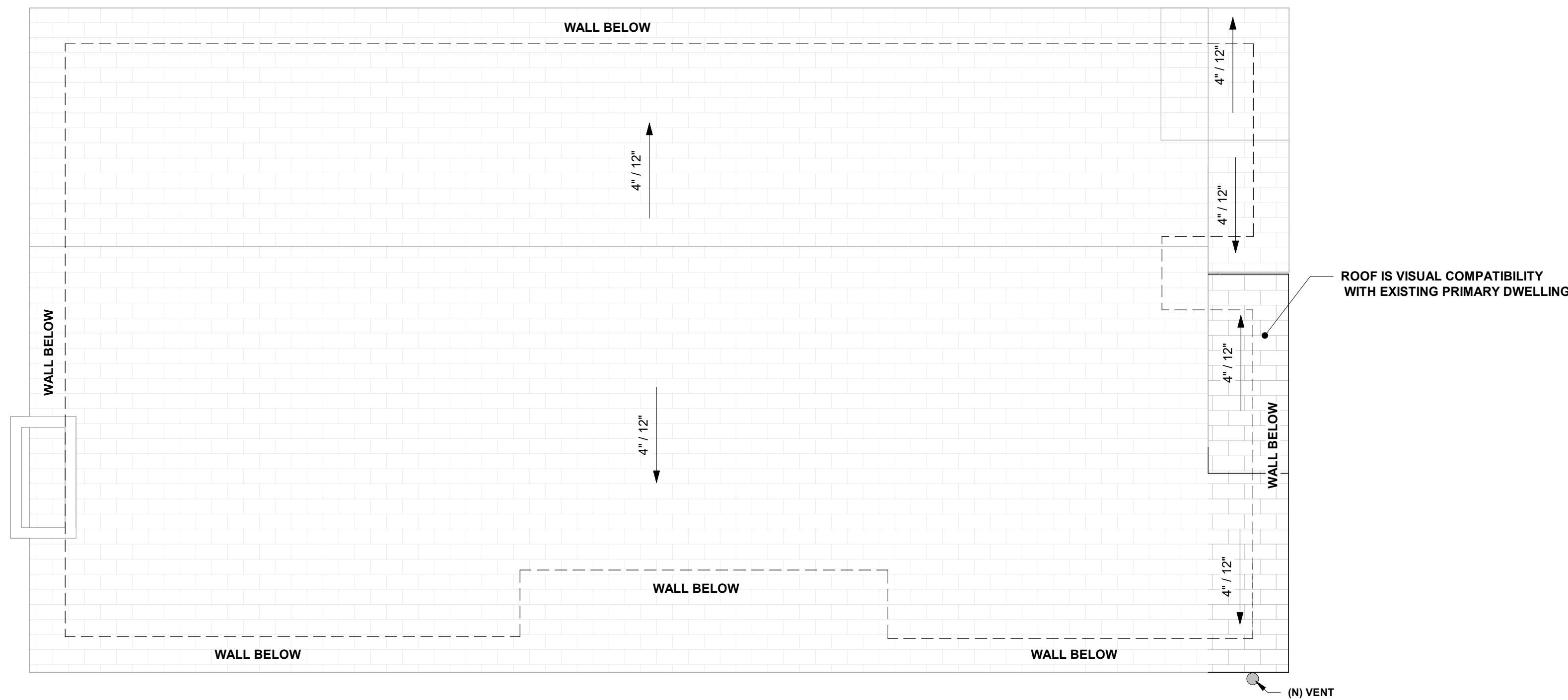


SHEET TITLE:  
**(P) KITCHEN  
LAYOUT &  
ELEVATIONS**

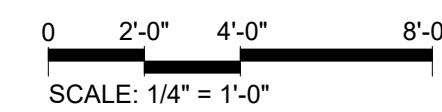
SHEET NUMBER:  
**A.14**



(E) ROOF PLAN 1/4" = 1'-0" 1



(P) ROOF PLAN 1/4" = 1'-0" 2



**ROOF PLAN GENERAL NOTES**

1. ROOF MATERIAL COVERING CLASS "A" ASPHALT SHINGLES BY CERTAINTED ICC-ESR# 3537. COLOR & PER THE INSTALLATION OF ROOF COVERING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. CHIMNEY TO BE 2FT ABOVE ROOF WITHIN 10'-0" WITH SPARK ARRESTOR AND SHROUD 12" MAX. HEIGHT, TYP.
3. PROJECTIONS LESS THAN 3'-0" (HOUSE WITH SPRINKLER) OR 5'-0" (HOUSE WITH NO SPRINKLER) TO PROPERTY LINE TO BE 1-HOUR CONSTRUCTION, TYP.
4. ROOF VENT : SEE ROOF VENTILATION CALCULATION.
5. PROVIDE MIN. 2% SLOPE AT FLAT ROOF AND DECK.

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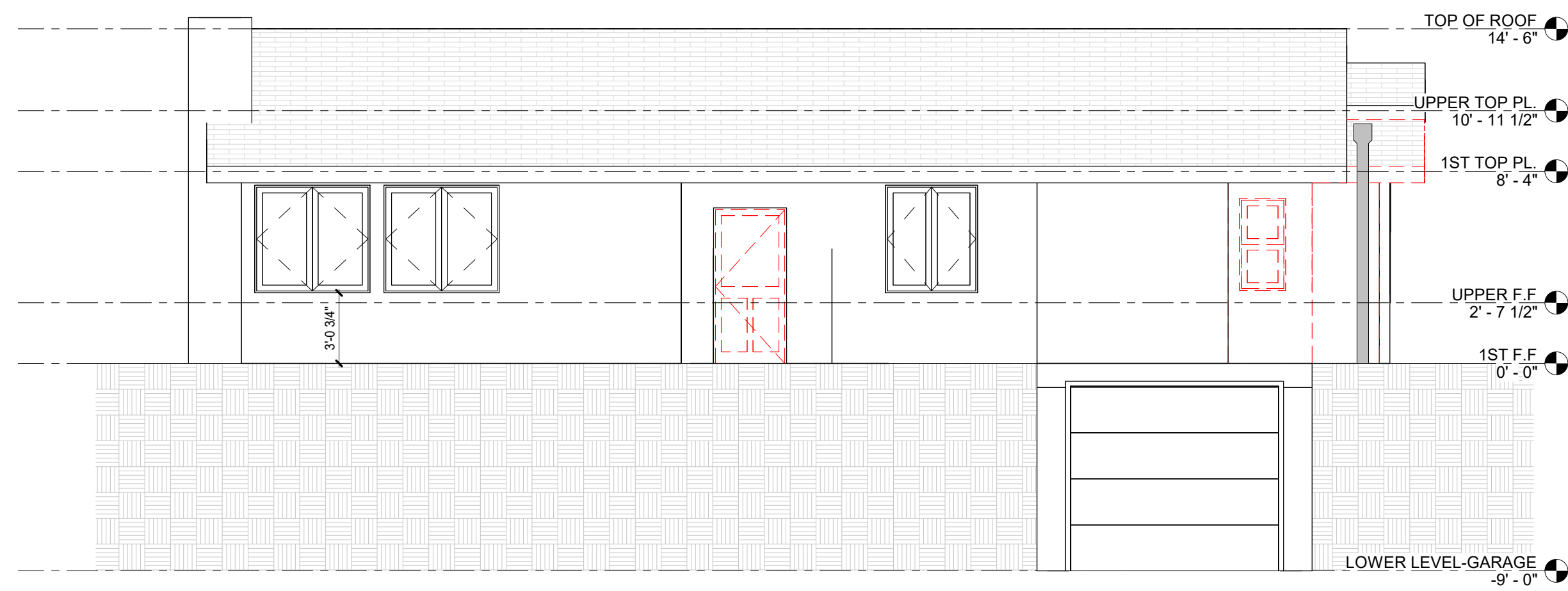
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Jurisdiction:

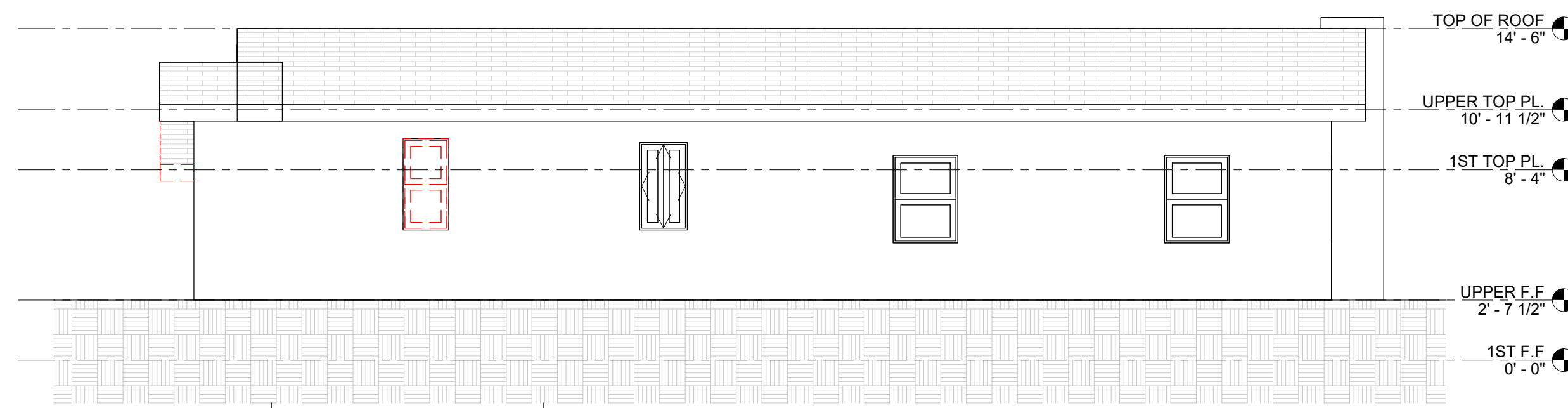
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SHEET TITLE:  
**(E)&(P)ROOF PLANS**

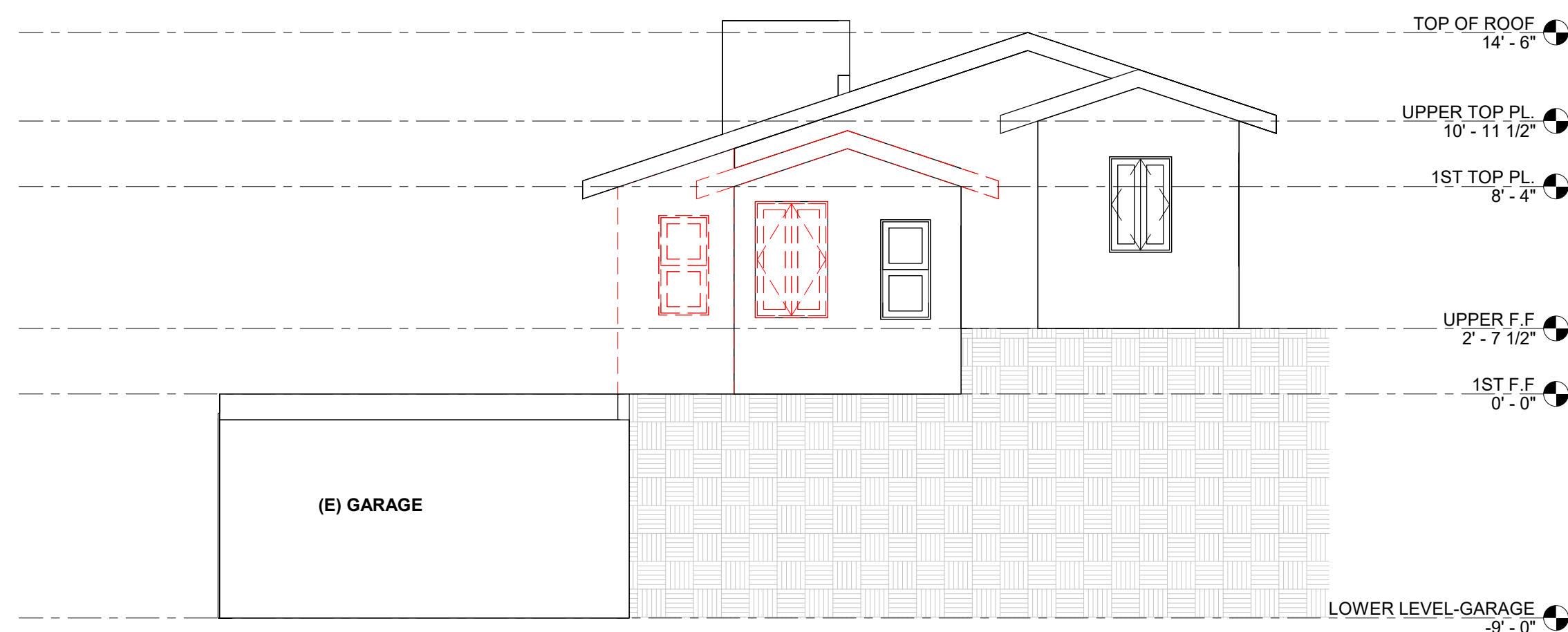
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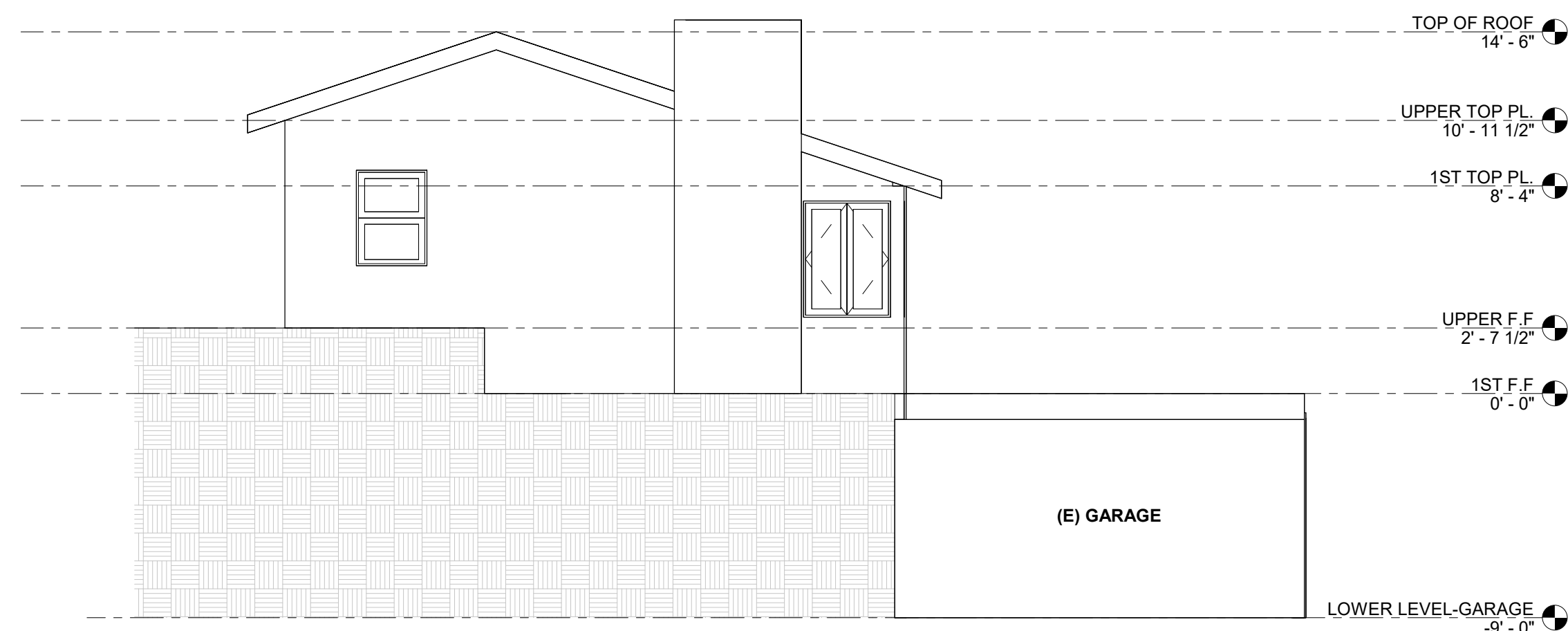
(E) WEST-FRONT ELEVATION 3/16" = 1'-0" 1



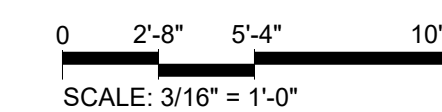
(E) EAST- REAR ELEVATION 3/16" = 1'-0" 2



(E) SOUTH ELEVATION 3/16" = 1'-0" 3



(E) NORTH ELEVATION 3/16" = 1'-0" 4



ELEVATION & SECTION NOTES

1. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (CRC R302.11).
2. THE REQUIRED QUALITY MARK ON EACH PIECE OF PRESSURE-PRESERVATIVE-TREATED LUMBER OR PLYWOOD SHALL CONTAIN THE FOLLOWING INFORMATION:  
 A. IDENTIFICATION OF THE TREATING PLANT.  
 B. TYPE OF PRESERVATIVE.  
 C. THE MINIMUM PRESERVATIVE RETENTION.  
 D. END USE FOR WHICH THE PRODUCT WAS TREATED.  
 E. STANDARD TO WHICH THE PRODUCT WAS TREATED.  
 F. IDENTITY OF THE APPROVED INSPECTION AGENCY.  
 G. THE DESIGNATION "DRY" IF APPLICABLE.  
 EXCEPTION: QUALITY MARKS ON LUMBER LESS THAN 1 INCH (25 MM) NOMINAL THICKNESS, OR LUMBER LESS THAN NOMINAL 1 INCH BY 5 INCHES (25 MM BY 127 MM) OR 2 INCHES BY 4 INCHES (51 MM BY 102 MM) OR LUMBER 36 INCHES (914 MM) OR LESS IN LENGTH SHALL BE APPLIED BY STAMPING THE FACES OF EXTERIOR PIECES OR BY END LABELING NOT LESS THAN 25 PERCENT OF THE PIECES OF A BUNDLED UNIT. (CRC R317.2.1).
3. ALL WALLS TO BE SMOOTH FINISH U.N.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
11. EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3  
 A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).  
 B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.
12. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).  
 EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. (CRC R401.3)

LEGEND

- DOOR TYPE
- WINDOW TYPE
- WALL TYPE
- KEY NOTE
- FLOOR DEPRESSION



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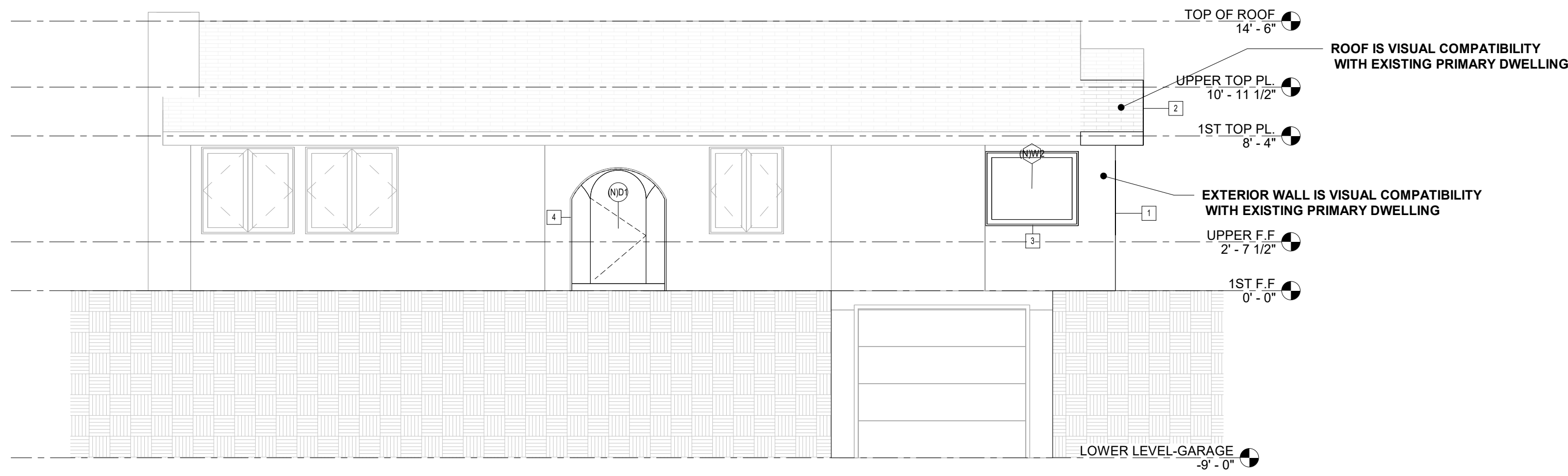
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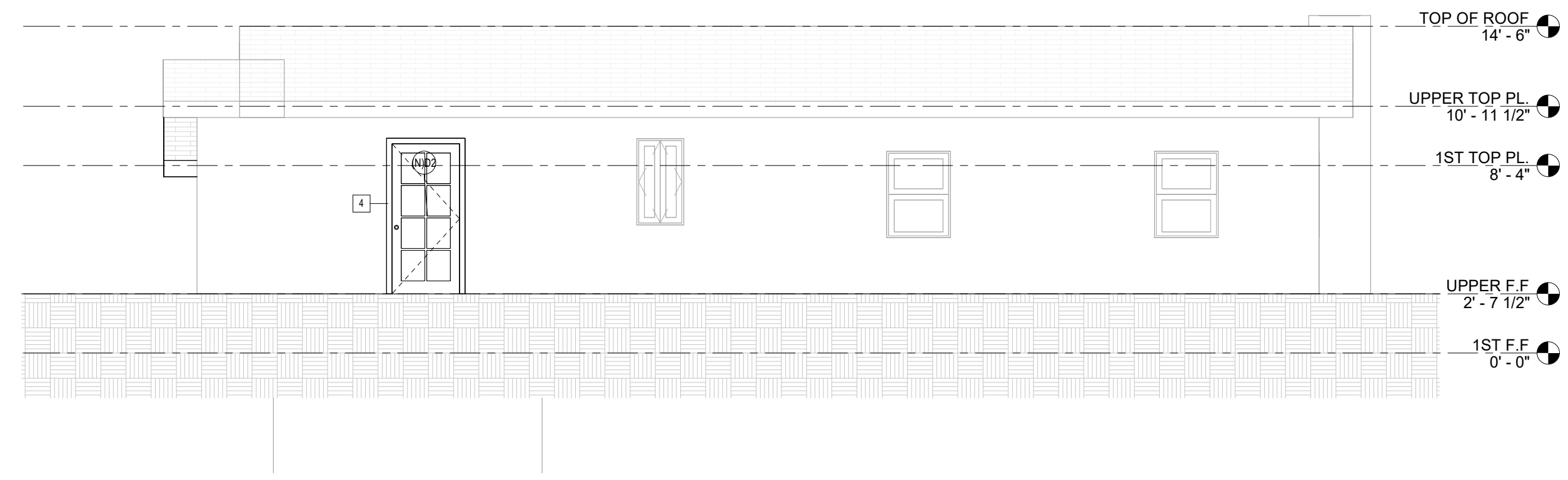
SHEET TITLE:  
 (E) ELEVATIONS

SHEET NUMBER:  
 A.30

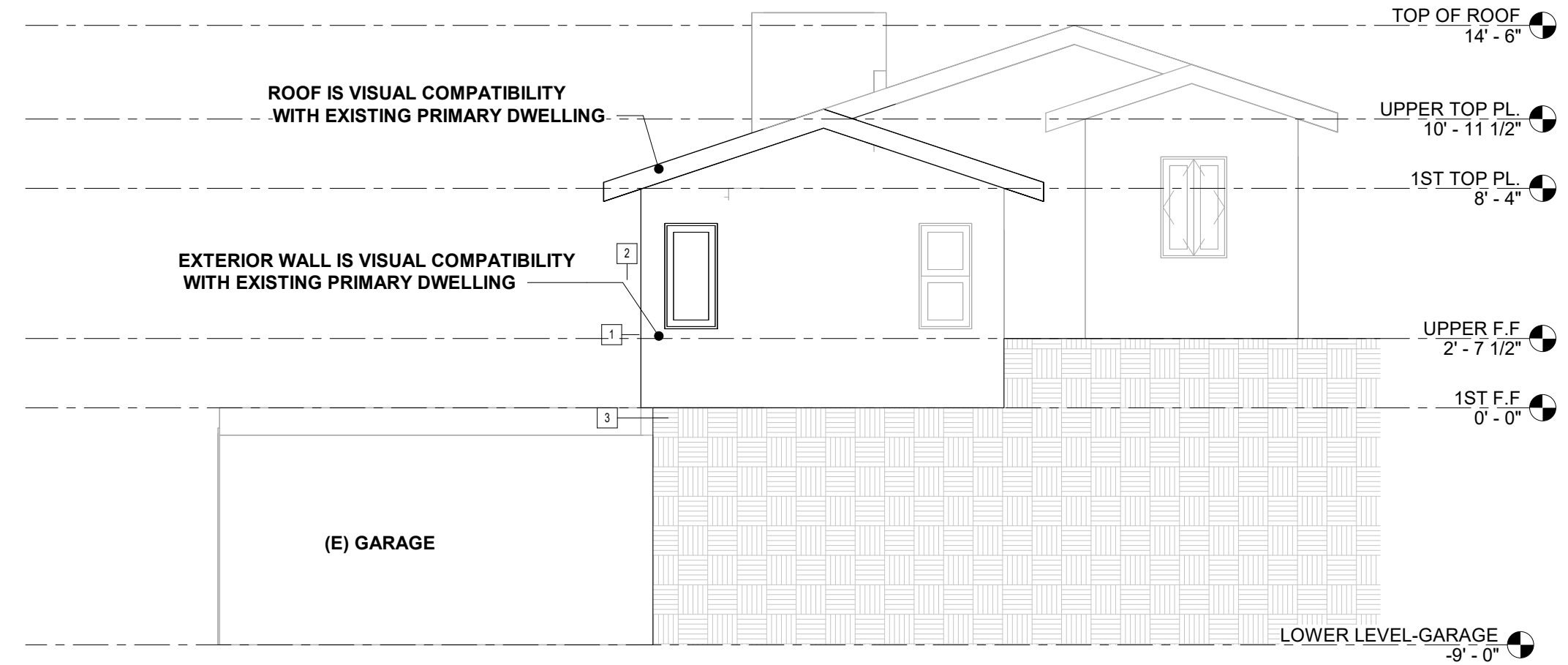




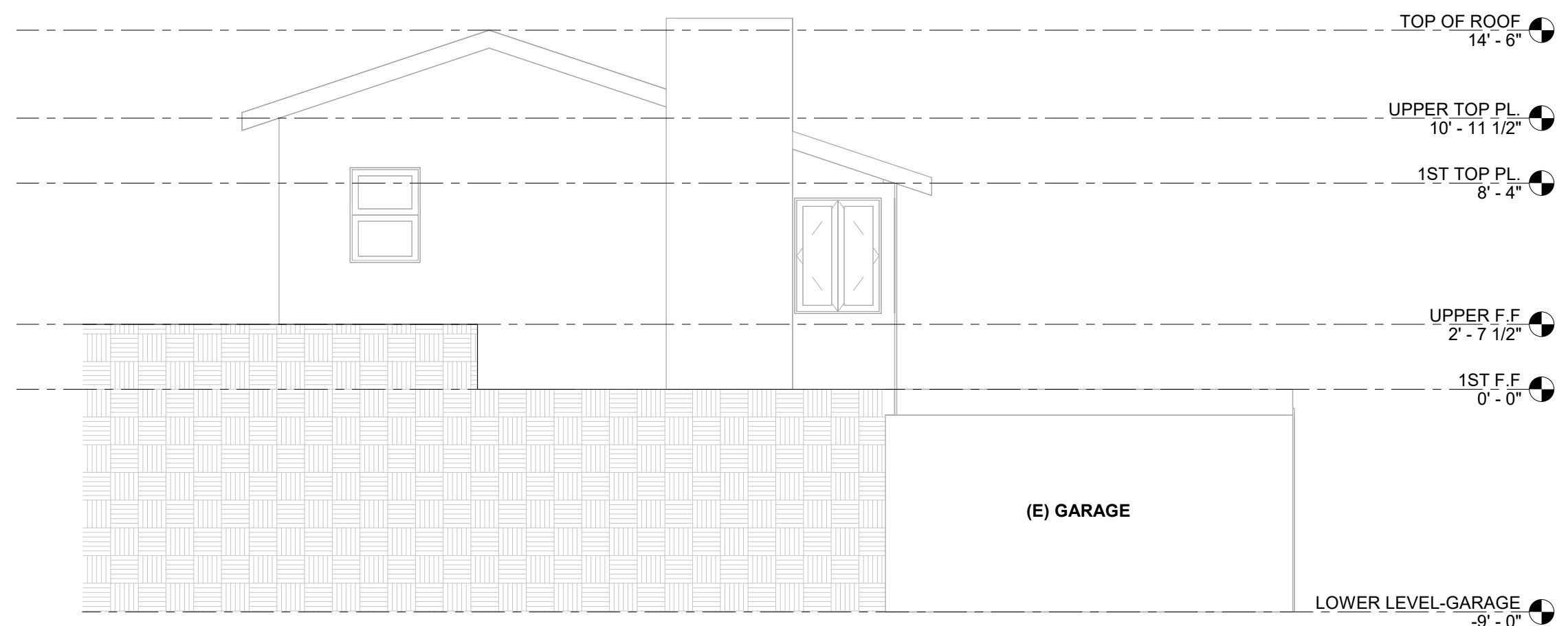
(P) WEST-FRONT ELEVATION 3/16" = 1'-0" 1



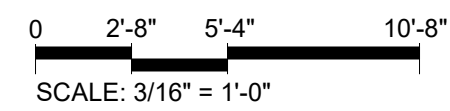
(P) EAST-REAR ELEVATION 3/16" = 1'-0" 2



(P) SOUTH ELEVATION 3/16" = 1'-0" 3



(P) NORTH ELEVATION 3/16" = 1'-0" 4



ELEVATION & SECTION NOTES

1. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. CRC R302.11.
  2. THE REQUIRED QUALITY MARK ON EACH PIECE OF PRESSURE-PRESERVATIVE-TREATED LUMBER OR PLYWOOD SHALL CONTAIN THE FOLLOWING INFORMATION:
    - A. IDENTIFICATION OF THE TREATING PLANT.
    - B. TYPE OF PRESERVATIVE.
    - C. THE MINIMUM PRESERVATIVE RETENTION.
    - D. END USE FOR WHICH THE PRODUCT WAS TREATED.
    - E. STANDARD TO WHICH THE PRODUCT WAS TREATED.
    - F. IDENTITY OF THE APPROVED INSPECTION AGENCY.
    - G. THE DESIGNATION "DRY" IF APPLICABLE.
 EXCEPTION: QUALITY MARKS ON LUMBER LESS THAN 1 INCH (25 MM) NOMINAL THICKNESS, OR LUMBER LESS THAN NOMINAL 1 INCH BY 5 INCHES (25 MM BY 127 MM) OR 2 INCHES BY 4 INCHES (51 MM BY 102 MM) OF LUMBER 36 INCHES (914 MM) OR LESS IN LENGTH SHALL BE APPLIED BY STAMPING THE FACES OF EXTERIOR PIECES OR BY END LABELING NOT LESS THAN 25 PERCENT OF THE PIECES OF A BUNDLED UNIT. CRC R317.2.1.
  3. ALL WALLS TO BE SMOOTH FINISH U.N.O.
  4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
  5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
  6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
  7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
  8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
  9. DESIGN BUILT CABINET TO FIT
  10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
  11. EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3
    - A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
    - B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7 3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
  12. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).
- EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. (CRC R401.3)

COLOR & MATERIALS BOARD

	ITEM	COLOR	IMAGE	MATERIAL
1	EXTERIOR WALL	SALMON		STUCCO & PAINT
2	ROOF	SILVER BIRCH		SHINGLE
3	WINDOW	CLEAR		GLASS
		WHITE		FIBERGLASS
4	DOOR	CLEAR		GLASS
		WHITE		FIBERGLASS

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1	1ST PLAN CHECK	05/21/24

Jurisdiction:

Licenser:

SHEET TITLE:  
**(P) ELEVATIONS**






SHEET NUMBER:  
**A.31**



# ELEVATION & SECTION NOTES

- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (CRC R302.11).
- THE REQUIRED QUALITY MARK ON EACH PIECE OF PRESSURE-PRESERVATIVE, TREATED LUMBER OR PLYWOOD SHALL CONTAIN THE FOLLOWING INFORMATION:  
 A. IDENTIFICATION OF THE TREATING PLANT.  
 B. TYPE OF PRESERVATIVE.  
 C. THE MINIMUM PRESERVATIVE RETENTION.  
 D. END USE FOR WHICH THE PRODUCT WAS TREATED.  
 E. STANDARD TO WHICH THE PRODUCT WAS TREATED.  
 F. IDENTITY OF THE APPROVED INSPECTION AGENCY.  
 G. THE DESIGNATION "DRY," IF APPLICABLE.  
 EXCEPTION: QUALITY MARKS ON LUMBER LESS THAN 1 INCH (25 MM) NOMINAL THICKNESS, OR LUMBER LESS THAN NOMINAL 1 INCH BY 5 INCHES (25 MM BY 127 MM) OR 2 INCHES BY 4 INCHES (51 MM BY 102 MM) OR LUMBER 36 INCHES (914 MM) OR LESS IN LENGTH SHALL BE APPLIED BY STAMPING THE FACES OF EXTERIOR PIECES OR BY END LABELING NOT LESS THAN 25 PERCENT OF THE PIECES OF A BUNDLED UNIT (CRC R311.2.1).
- ALL WALLS TO BE SMOOTH FINISH U.N.O.
- CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
- CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
- MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
- CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
- CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
- DESIGN BUILT CABINET TO FIT
- ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
- EXTERIOR CONCRETE LANDING TO COMPLY 2019 CRC R311.3  
 A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).  
 B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7/8 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).  
 EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. (CRC R401.3)

## LEGEND

-  DOOR TYPE
-  WINDOW TYPE
-  WALL TYPE
-  KEY NOTE
-  FLOOR DEPRESSION



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 EMAIL: ENGINEER.LEI@GMAIL.COM

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755 PIERCE ST,  
ALBANY, CA 94706

REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/20/24
1	1ST PLAN CHECK	05/21/24

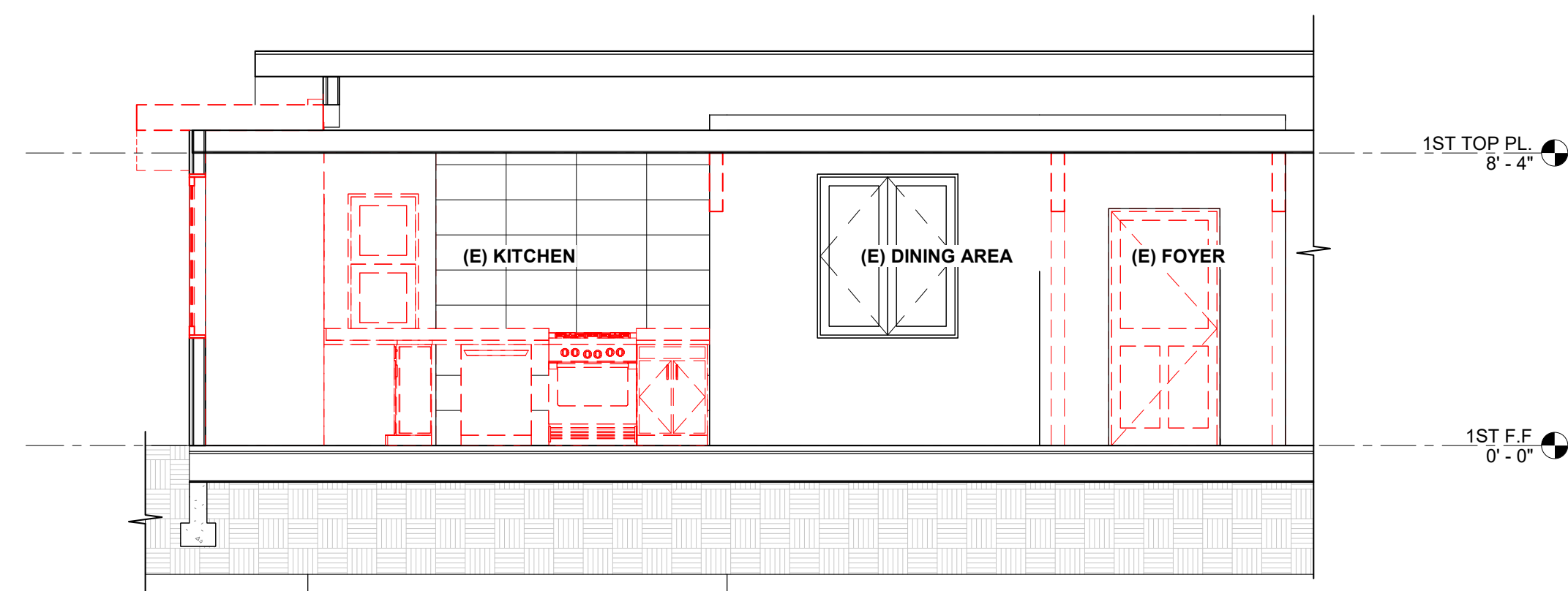
Jurisdiction:

Licenser:



SHEET TITLE:  
**(E) & (P) SECTIONS**

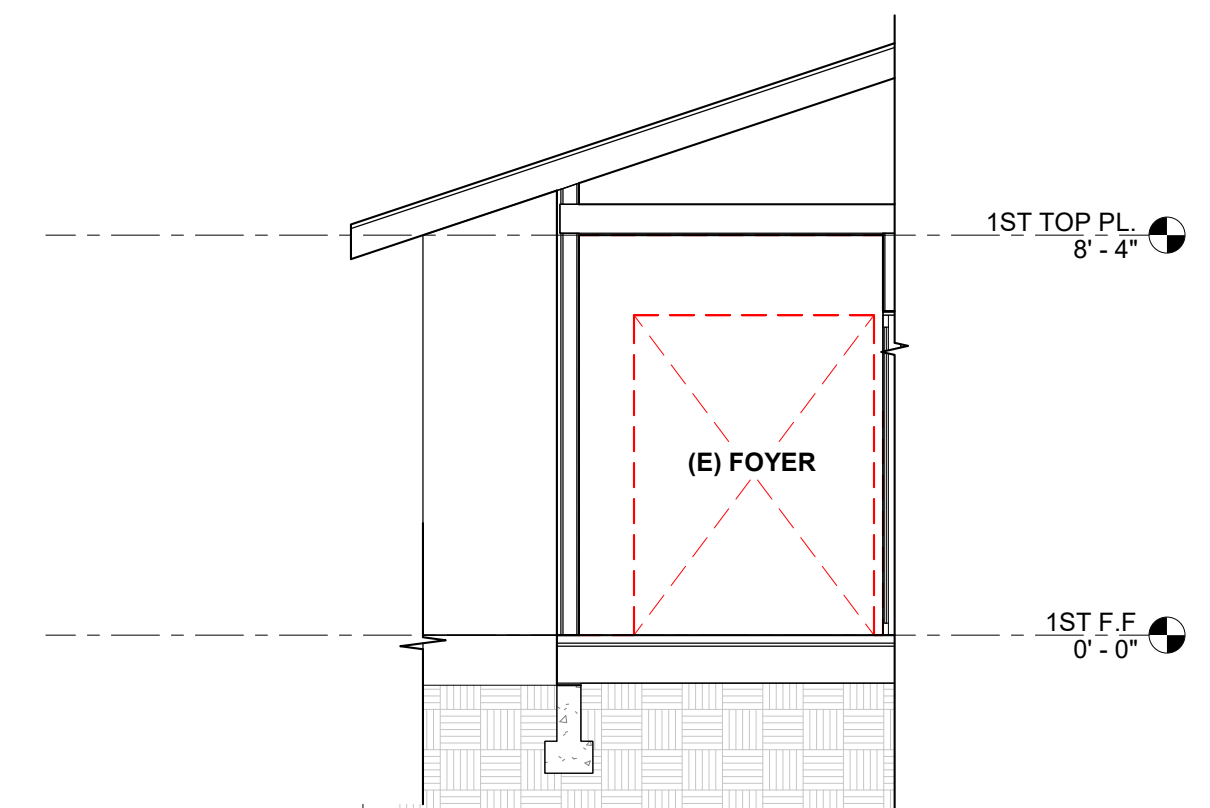
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**A.32**



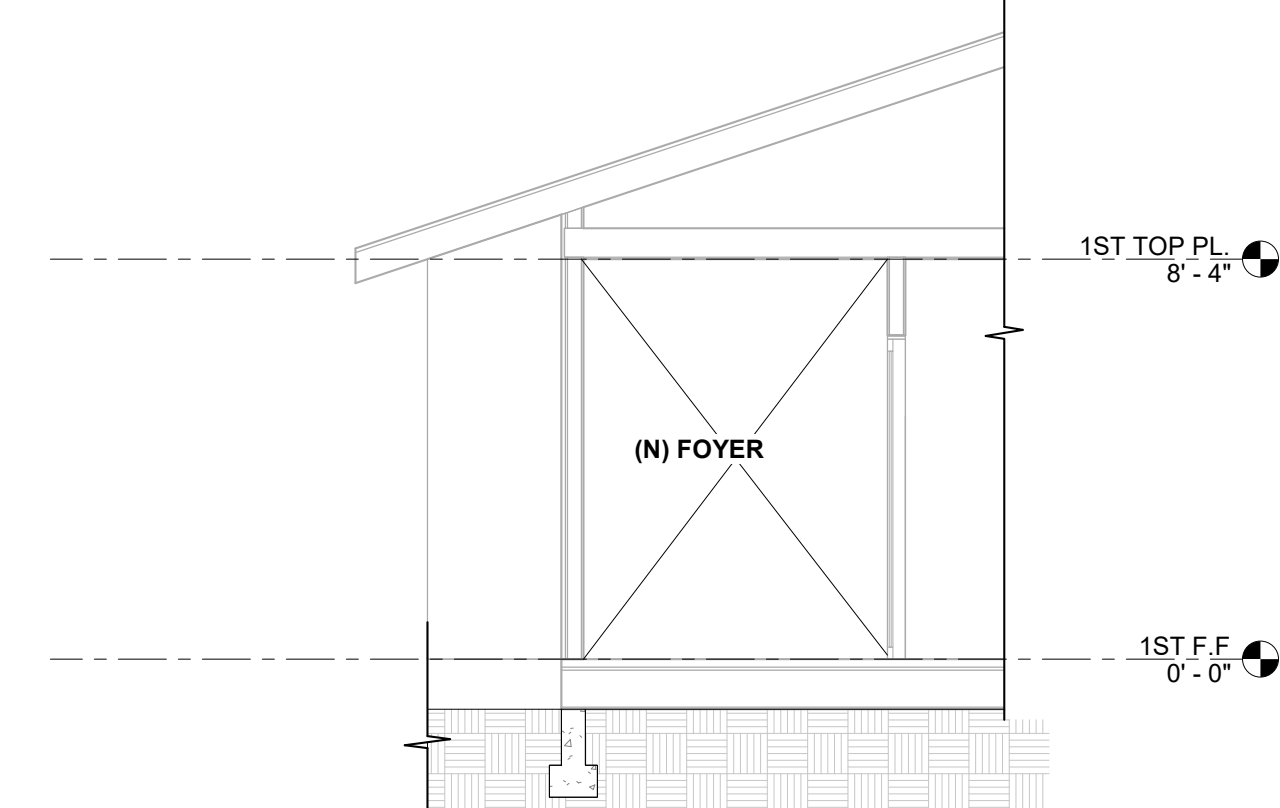
**(E) SECTION 1** 1/4" = 1'-0" **5**



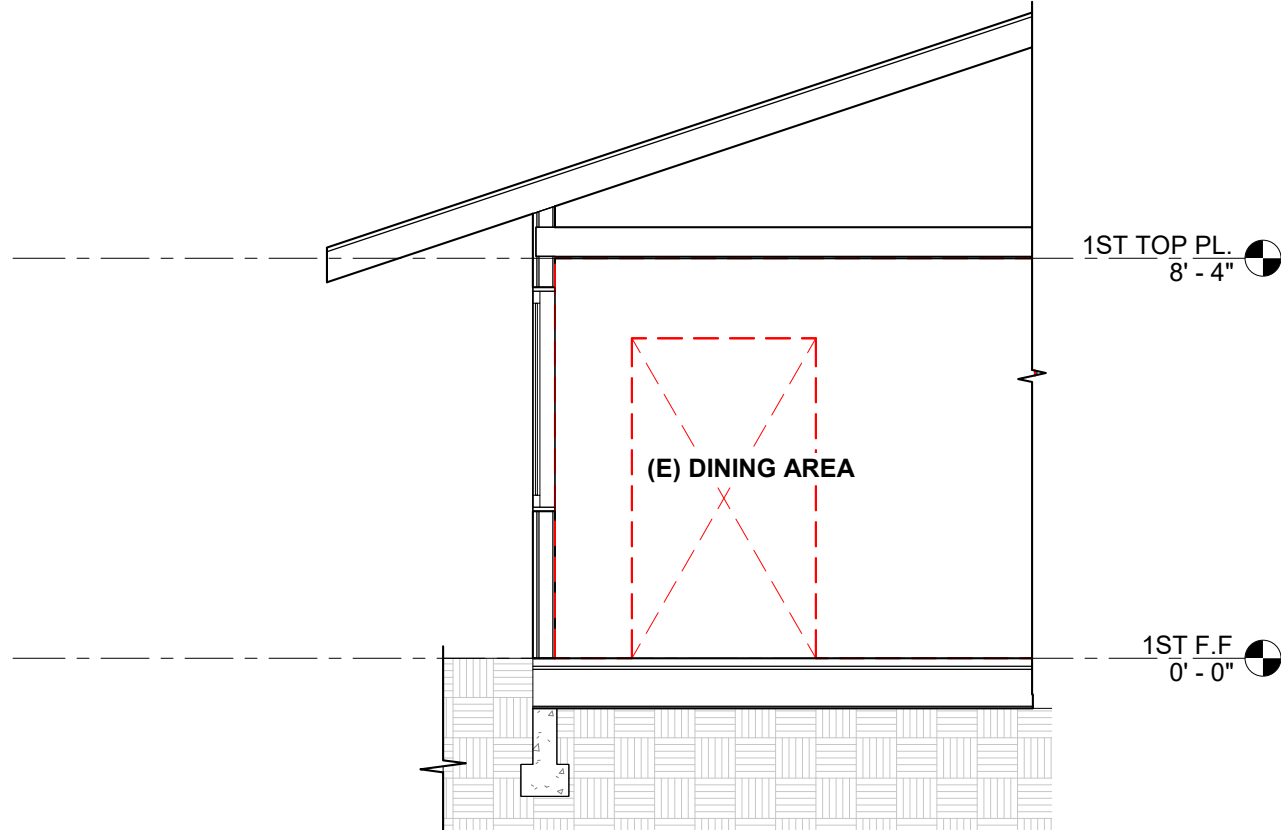
**(P) SECTION 1** 1/4" = 1'-0" **1**



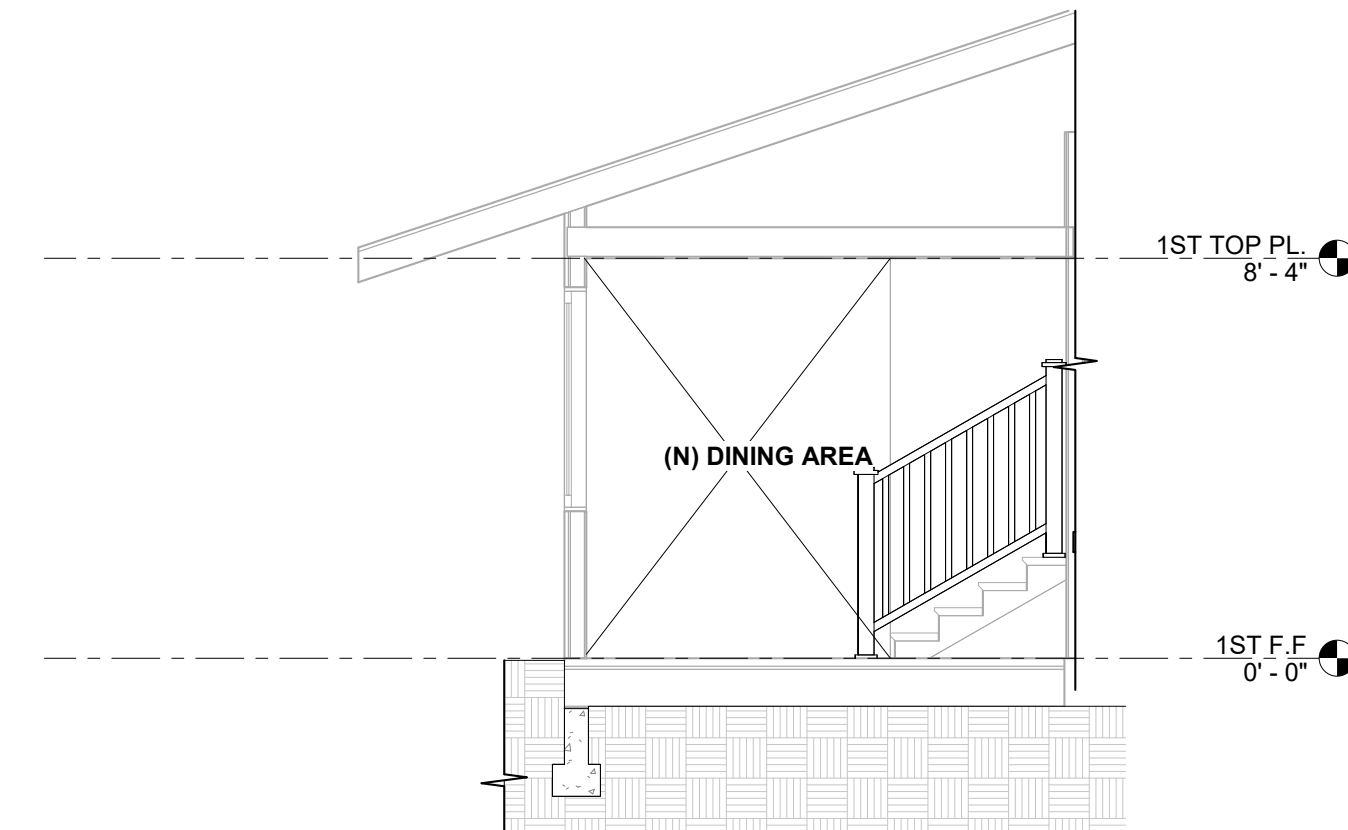
**(E) SECTION 2** 1/4" = 1'-0" **6**



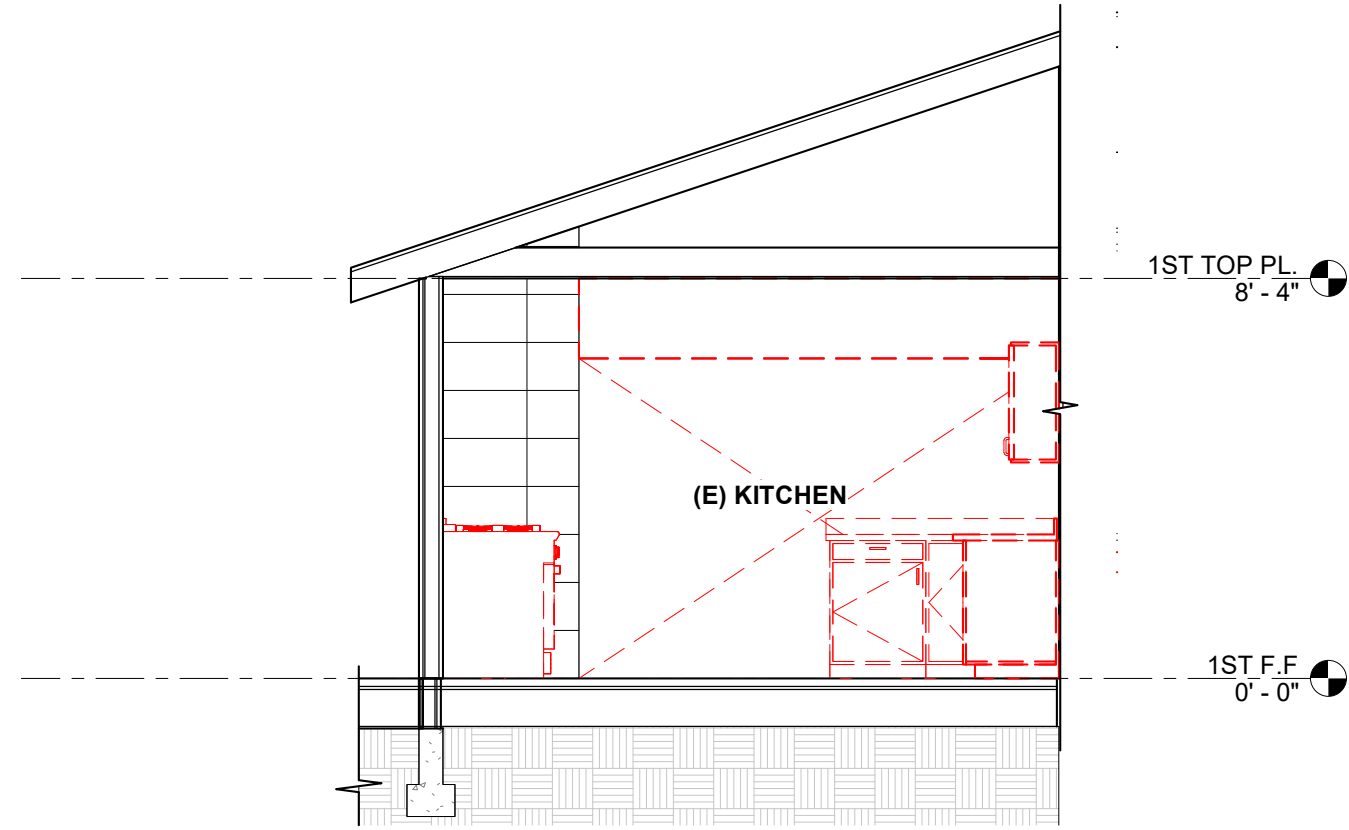
**(P) SECTION 2** 1/4" = 1'-0" **2**



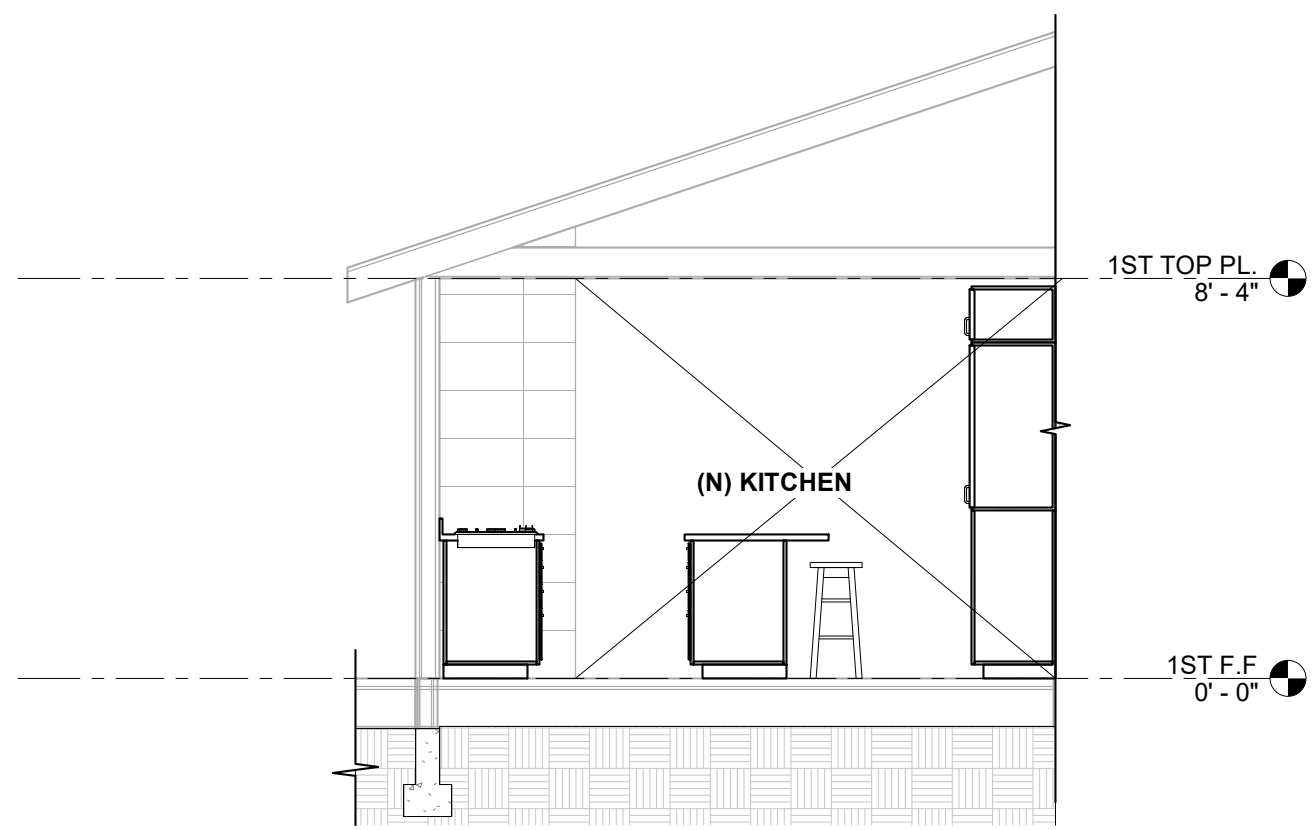
**(E) SECTION 3** 1/4" = 1'-0" **7**



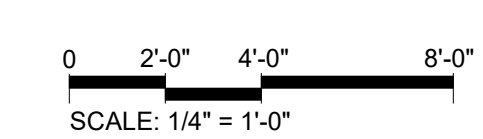
**(P) SECTION 3** 1/4" = 1'-0" **3**



**(E) SECTION 4** 1/4" = 1'-0" **8**



**(P) SECTION 4** 1/4" = 1'-0" **4**







SCOPE OF WORK



SCOPE OF WORK



**CECILIA HOME**

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**755 PIERCE ST,  
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REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/20/24
1	1ST PLAN CHECK	05/21/24

Jurisdiction:

Licenser:



SHEET TITLE:

**STREET  
 ELEVATIONS**

SHEET NUMBER:

**A.33**





**CECILIA HOME**

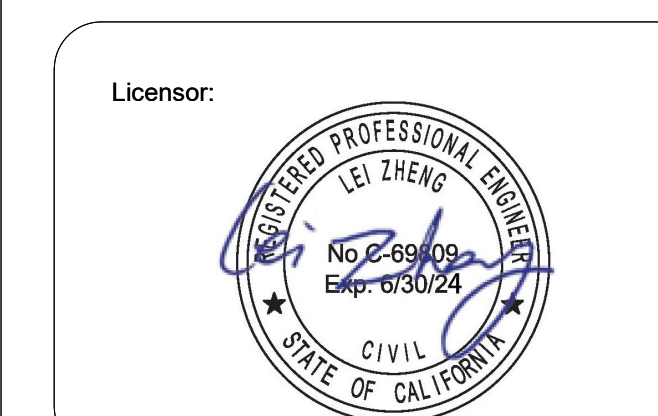
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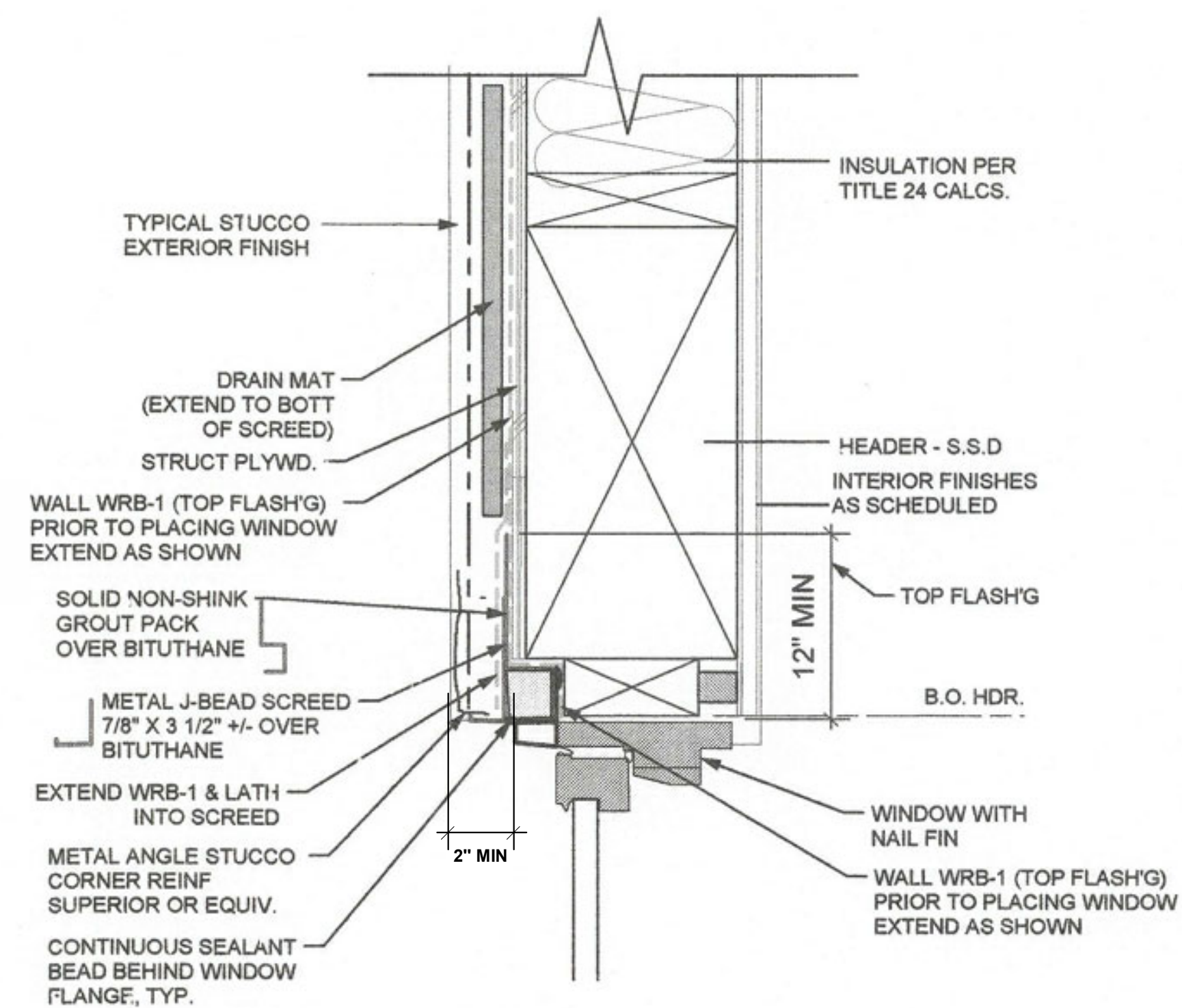
REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/20/24
1	1ST PLAN CHECK	05/21/24

Jurisdiction:

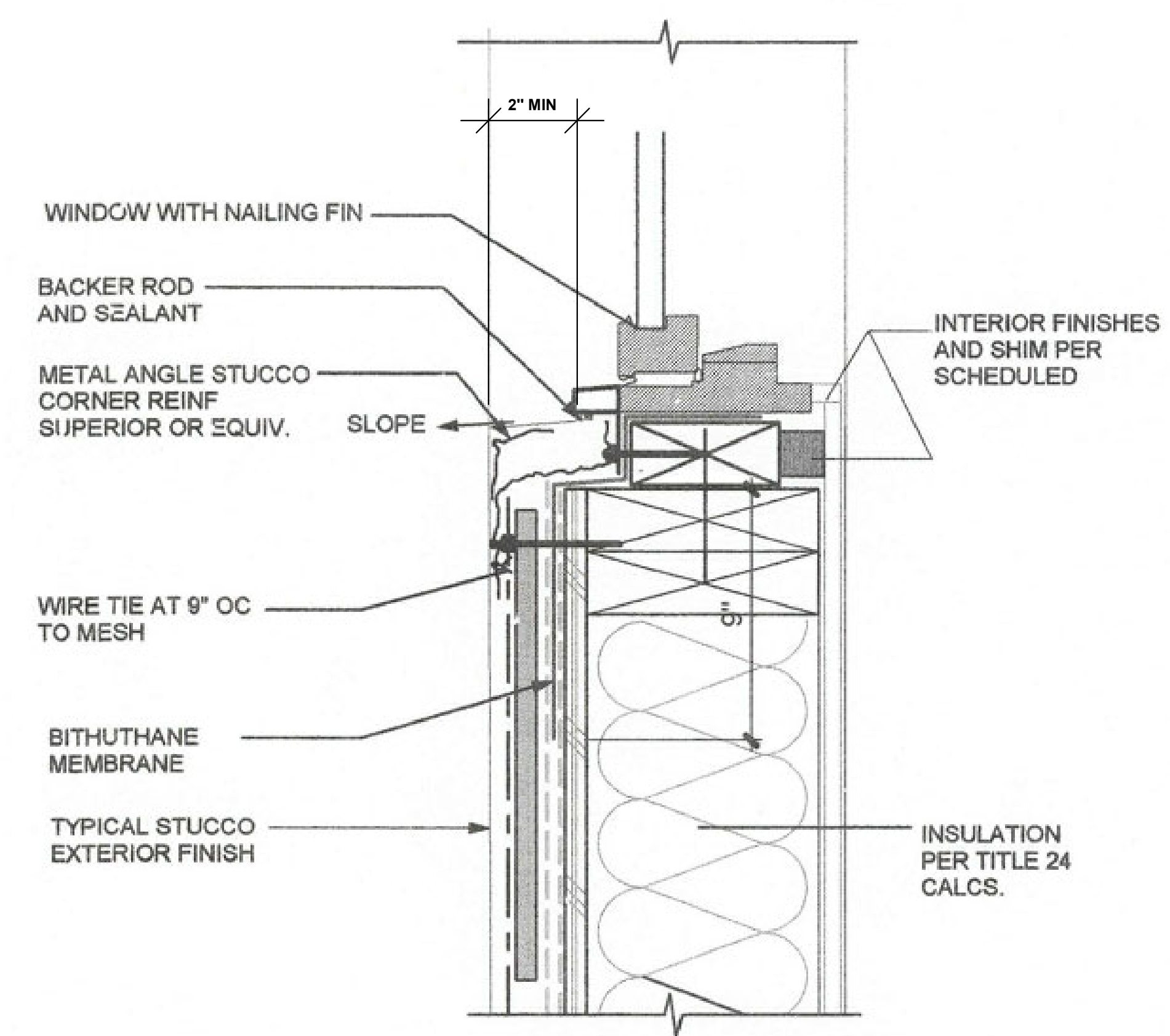


SHEET TITLE:  
**ARCHITECTURAL  
DETAILS**

SHEET NUMBER:  
**AD.10**

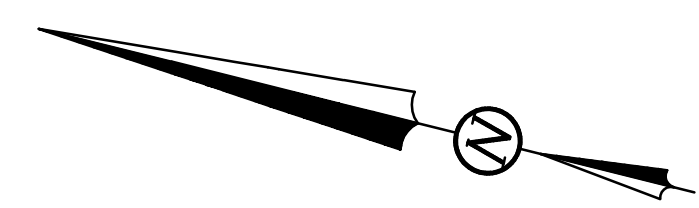


AT STUCCO WALL CONDITION

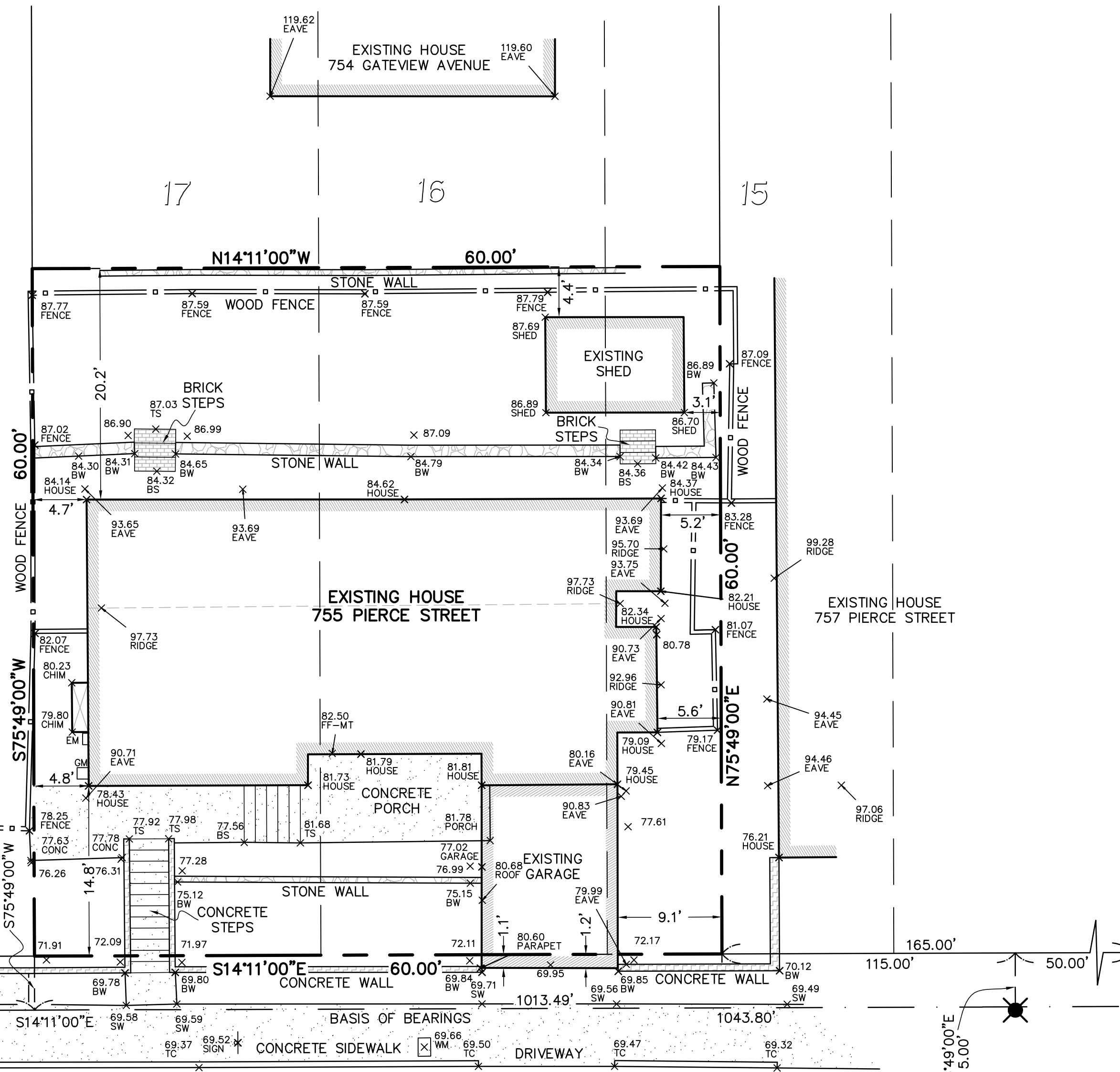


WINDOW HEADER AND SILL-STUCCO N/A 13





- LEGEND**
- BS BASE OF STEPS
  - BW BASE OF WALL
  - CHIM CHIMNEY
  - CONC CONCRETE
  - EM ELECTRIC METER
  - FF FINISHED FLOOR
  - GM GAS METER
  - MT METAL THRESHOLD
  - SW SIDEWALK
  - TC TOP OF CURB
  - TS TOP OF STEPS
  - WM WATER METER
  - BUILDING LINE
  - BRICK
  - CONCRETE
  - CONCRETE WALL
  - STONE WALL
  - WOOD FENCE
  - FOUND 2" BRASS DISC WITH PUNCH MONUMENT
  - FOUND 3/4" TAG, LS 5530 PER CORNER RECORD 6850 (64 CR 79)



**GENERAL NOTES:**

DIMENSIONS ARE IN FEET AND DECIMAL FEET.

DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.

FIDELITY NATIONAL TITLE COMPANY PRELIMINARY REPORT, TITLE NUMBER FCHC-0502200201, DATED MARCH 22, 2022 DOES NOT REFERENCE ANY EASEMENTS RELATED TO THIS PROPERTY.

ASSESSOR'S PARCEL NUMBER: 066-2750-023

PROPERTY AREA = 3,600± SQUARE FEET

DATE OF FIELD SURVEY: MAY 11, 2022

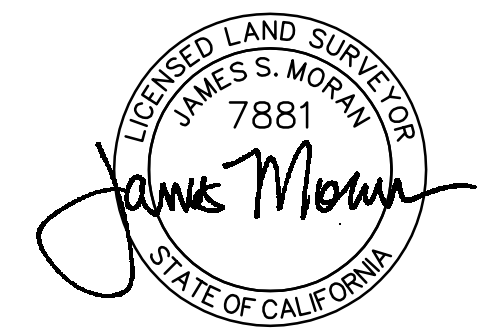
**BASIS OF BEARINGS:**

THE MONUMENT LINE IN PIERCE STREET WAS TAKEN AS SOUTH 14°11'00" EAST AS SHOWN ON CORNER RECORD 6850 (64 CR 79).

**DATUM:**

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

**WASHINGTON AVENUE (40' WIDE)**



06-03-2022

**PIERCE STREET (50' WIDE)**

**HOUSE LOCATION SURVEY**

A PORTION OF LOTS 15, 16, AND 17, BLOCK 4, PLAT OF CERRITO HILL (24 M 70)  
 LOCATED AT 755 PIERCE STREET  
 CITY OF ALBANY, COUNTY OF ALAMEDA, CALIFORNIA

JUNE 3, 2022 SCALE: 1" = 8'

**MORAN ENGINEERING, INC.**

CIVIL ENGINEERS \ LAND SURVEYORS  
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