

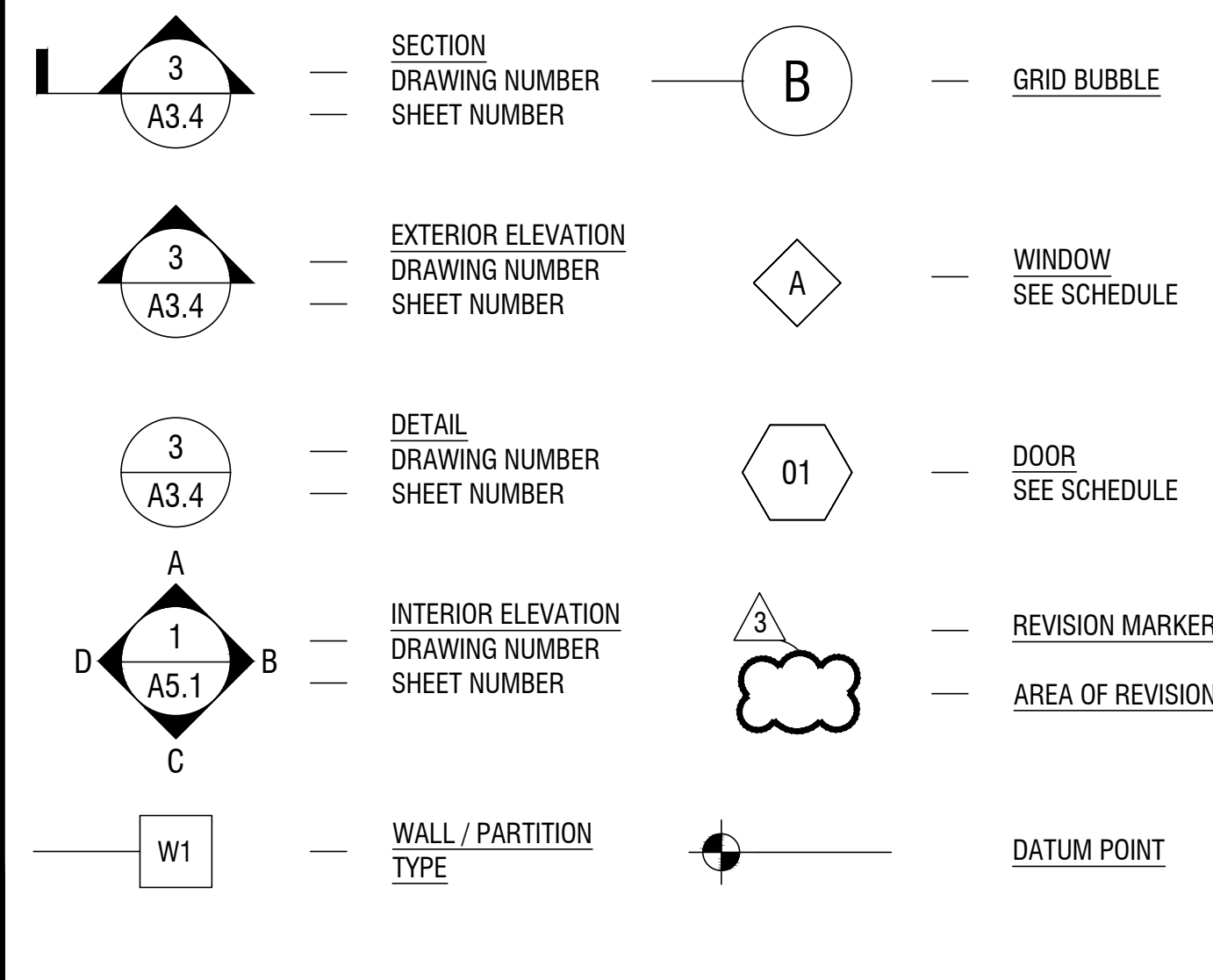
CONSTRUCTION GENERAL NOTES

- THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED WITHOUT A PERMIT ISSUED BY A REGULATORY AUTHORITY OF THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES, & REGULATIONS OF ALL GOVERNING AGENCIES. (SEE CODE REFERENCES, THIS SHEET)
- THE CONTRACTOR & SUBCONTRACTORS SHALL PURCHASE & MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATES SHALL NAME THE OWNER AS ADDITIONALLY INSURED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRIANS & ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS.
- THROUGHOUT THE DURATION OF THE PROJECT THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE OWNER BY SUBCONTRACTORS OR SUPPLIERS OF MATERIALS, LABOR, SERVICE, OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS & REGULATIONS UNLESS HE CAN SHOW REASONABLE & JUSTIFIABLE CAUSE. APPROVAL FOR FINAL PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING & FURNISHING TO THE DESIGNER UPON REQUEST THE SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES.
- DRAWINGS & SPECIFICATIONS ARE INTENDED FOR ASSISTANCE & GUIDANCE BUT EXACT DIMENSIONS & ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS & SHALL BE CHECKED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, & DIMENSIONS FOR ACCURACY & FOR CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH THE CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING & IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- COMMENCEMENT OF WORK BY ANY TRADE SHALL CONSTITUTE AGREEMENT THAT CONDITIONS ARE ACCEPTABLE FOR SUCH WORK.
- SHOP & FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, & WORKERS SKILLED & EXPERIENCED IN THE FABRICATION & INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST, ESTABLISHED PRACTICE OF THE INDUSTRY STANDARD FOR THE TRADES INVOLVED U.O.N. IN DRAWINGS OR SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL PRODUCTS & APPLY FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & SPECIFICATIONS.
- THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR SUCH PORTION OF THE WORK.
- THE DRAWINGS & SPECIFICATIONS ARE COMPLIMENTARY. EVERY EFFORT HAS BEEN MADE TO COORDINATE THE DRAWINGS & SPECIFICATIONS OF THE DESIGNER & THE CONSULTING ENGINEERS. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB & ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED. ANY ITEM, INSTRUCTION, ETC., SHOWN IN ONE LOCATION SHALL BE REQUIRED AS IF SHOWN ON ALL APPLICABLE LOCATIONS. IN CASE OF DISCREPANCY, CONSULT WITH DESIGNER BEFORE PROCEEDING.
- WHEN PORTIONS OF THE PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS & FOR THE SECURING OF ALL ASSOCIATED PERMITS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE DESIGN BUILD SUBCONTRACTORS, WHO SHALL BE THE ENGINEERS OF RECORD FOR SUCH SYSTEMS. DESIGN BUILD DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW & APPROVAL U.O.N.
- CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING & PREVENT DUST & DEBRIS FROM EMANATING FROM THE CONSTRUCTION AREA. REMOVE & LAWFULLY DISPOSE OFF SITE ALL RUBBISH & DEBRIS RESULTING FROM CONTRACTOR'S OPERATIONS DAILY. REMOVE RUBBISH & DEBRIS AS IT ACCUMULATES & KEEP AREA BROOM CLEAN. CONTRACTOR SHALL NOT STORE RUBBISH ON SITE.
- WHEN WORK IS PERFORMED WITHIN OCCUPIED BUILDINGS, THE CONTRACTOR SHALL EMPLOY ALL AVAILABLE TECHNIQUES FOR NOISE ABATEMENT.
- WHEN THE OWNER OCCUPIES THE PREMISES DURING CONSTRUCTION, THE CONTRACTOR & HIS FORCES SHALL ENDEAVOR TO DISTURB THE OWNER AS LITTLE AS POSSIBLE DURING CONSTRUCTION. AREAS WHERE CONSTRUCTION ACTIVITY IS TAKING PLACE SHALL BE SEALED OFF FROM UNDISTURBED PORTIONS. A CLEAN, SAFE ENTRY PATH SHALL BE MAINTAINED AT ALL TIMES FOR THE OWNER'S USE.
- THE CONTRACTOR SHALL PREPARE & SUBMIT A CONSTRUCTION SCHEDULE FOR THE WORK GIVING APPROXIMATE ON SITE DELIVERY DATES FOR CONSTRUCTION MATERIALS. THE SCHEDULE SHALL BE SUBMITTED AS PART OF THE BID. THIS SCHEDULE WITH NECESSARY MODIFICATIONS AS MUTUALLY AGREEABLE TO OWNER & CONTRACTOR SHALL BECOME PART OF THE CONTRACT FOR CONSTRUCTION. SUBSTITUTIONS BASED UPON DELIVERY DATES OF SPECIFIED PRODUCTS WILL NOT BE ACCEPTED AFTER CONSTRUCTION HAS COMMENCED.
- THE WORK SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS, DELIVERY & EQUIPMENT, INCLUDING SCAFFOLDING, SHORING, DISPOSAL, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WORK AS INDICATED HEREIN ON THE CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET & THAT ALL WORK IS DONE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS & MANUFACTURER'S REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER CONTRACTOR'S SUPERVISION & SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE JOB SITE WHENEVER ANY WORK IS BEING PERFORMED, IN ORDER TO PROVIDE CONSTANT SUPERVISION.
- THE CONTRACTOR SHALL PREPARE, REVIEW, APPROVE, & SUBMIT TO THE DESIGNER ALL SHOP DRAWINGS. THE CONTRACTOR SHALL CHECK & COORDINATE ALL PRODUCT DATA & SAMPLES & VERIFY THAT ALL MATERIALS, FIELD MEASUREMENTS, & RELATED FIELD CONSTRUCTION CRITERIA CONTAINED WITHIN SUCH SUBMITTALS CONFORMS WITH THE REQUIREMENTS OF THE WORK, THE PROJECT, & THE CONTRACT DOCUMENTS. USE THE DESIGNER'S SUBMITTAL FORM. THE DESIGNER WILL NOT REVIEW, APPROVE, OR TAKE THE APPROPRIATE ACTION ON SHOP DRAWINGS, PRODUCT DATA, & SAMPLES UNLESS THE CONTRACTOR HAS SUBMITTED A RECOMMENDATION FOR ACTION. SUBMIT SHOP DRAWINGS, MOCK-UPS, SAMPLES, & OTHER REQUIRED SUBMITTALS SUBMITTALS IN A TIMELY MANNER SO AS NOT TO DELAY THE PROJECT. ALLOW THE DESIGNER ONE WEEK FOR REVIEW & APPROVAL.
- THERE SHALL BE NO SUBSTITUTIONS OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE DESIGNER ALONE SHALL DETERMINE QUALITY BASED UPON COMPLETE INFORMATION SUBMITTED BY THE CONTRACTOR. SUBSTITUTIONS SHALL NOT BE MADE UNLESS DRAWINGS &/OR CUT SHEETS ARE SUBMITTED TO THE DESIGNER FOR APPROVAL.
- UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE DESIGNER & ENGINEERS TO PREPARE A "PUNCH LIST" OF CORRECTIONS & UNSATISFACTORY &/OR INCOMPLETE WORK. FINAL PAYMENT SHALL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER - CONTRACTOR AGREEMENT.
- THE CONTRACTOR SHALL FURNISH TO THE OWNER TWO COPIES OF MANUFACTURER'S INSTRUCTION, OPERATION, & MAINTENANCE MANUALS FOR PRODUCTS & EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS, INCLUDING SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.
- GENERAL CONTRACTOR SHALL PROVIDE WRITTEN ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY PERIOD SHALL COMMENCE AT THE DATE OF OCCUPANCY.
- THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY & COPYRIGHT OF THE DESIGNER & SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE DESIGNER.
- THE DESIGNER HAS NO KNOWLEDGE OF & SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE PROJECT SITE. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL MAKE A GOOD FAITH EFFORT TO IDENTIFY ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED PRIOR TO STARTING WORK, OR DURING DEMOLITION, STOP WORK IMMEDIATELY & CONTACT THE OWNER & DESIGNER FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- "TYPICAL" OR "TYP" MEANS THAT THIS ITEM IS VIRTUALLY IDENTICAL ACROSS SIMILAR CONDITIONS. "TYP." SHALL BE UNDERSTOOD TO MEAN "TYPICAL WHERE OCCURS" & SHALL NOT BE CONSIDERED AS WITHOUT EXCEPTION OR CONSIDERATION OF SPECIFIC CONDITIONS. IN CASE OF DISCREPANCY, CONSULT WITH DESIGNER BEFORE PROCEEDING.
- "SIMILAR" OR "SIM" MEANS COMPARABLE TO CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS & ORIENTATION ON PLAN.
- "AS REQUIRED" MEANS AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICE, OR BY THE CONTRACT DOCUMENTS.
- "ALIGN" MEANS ACCURATELY LOCATE FINISH FACES OF MATERIALS IN THE SAME PLANE.
- THE TERM "VERIFY" OR "V.I.F." SHALL BE UNDERSTOOD TO MEAN "VERIFY IN FIELD WITH DESIGNER" & REQUIRES THAT THE CONTRACTOR CONFIRM INTENTION REGARDING NOTED CONDITION & PROCEED ONLY AFTER RECEIVING DESIGNER'S DIRECTION.
- WHERE THE WORDS "OR EQUAL" OR WORDS OF SIMILAR INTENT FOLLOW A MATERIAL SPECIFICATION, THEY SHALL BE UNDERSTOOD TO REQUIRE SIGNED APPROVAL OF ANY DEVIATION TO SAID SPECIFICATION PRIOR TO CONTRACTOR'S ORDERING OR INSTALLATION OF SUCH PROPOSED EQUAL PRODUCT.

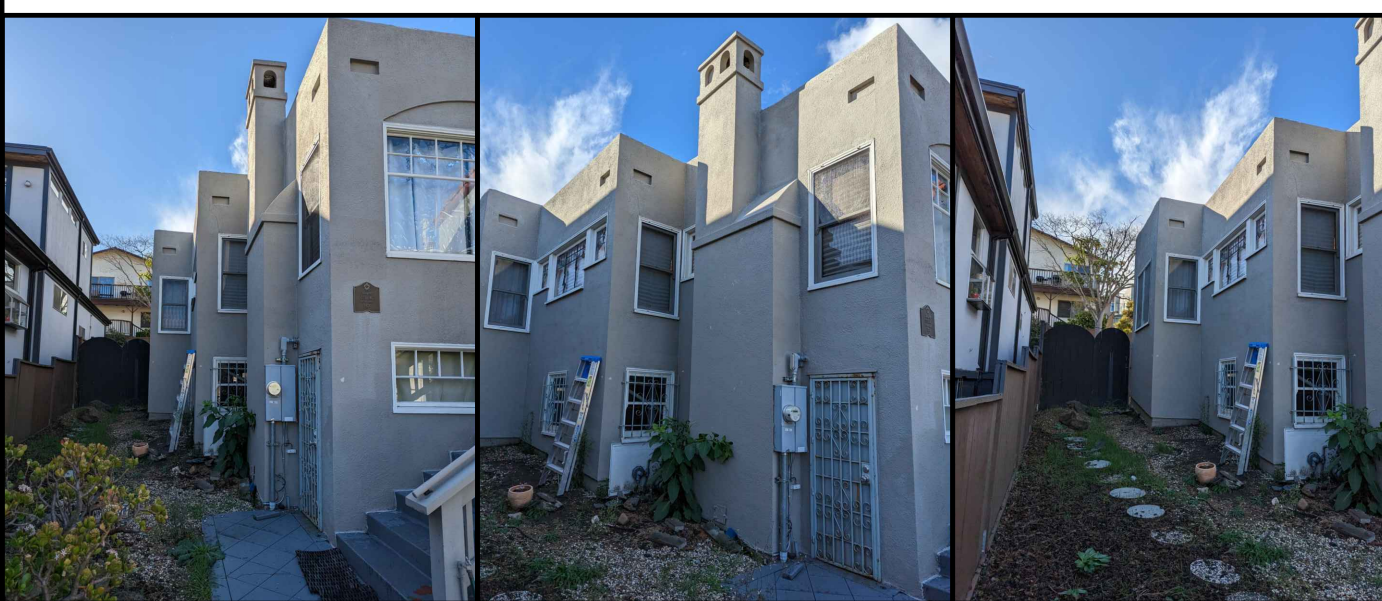
ABBREVIATIONS

ABV	ABOVE	MAX	MAXIMUM
AC	AIR CONDITIONING	MECH	MECHANICAL
ACOUS	ACOUSTICAL	MFR	MANUFACTURER
AD	AREA DRAIN	MIN	MINIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
AFF	ABOVE FINISH FLOOR	MTD	MOUNTED
ALUM	ALUMINUM	MTL	METAL
ALT	ALTERNATE		
APPROX	APPROXIMATE(LY)	(N)	NEW
ARCH	ARCHITECT (URAL)	NA	NOT APPLICABLE
AVG	AVERAGE	NIC	NOT IN CONTRACT
		NO	NO
BD	BOARD	NOM	NOMINAL
BLDG	BUILDING	NTS	NOT TO SCALE
BLK	BLOCK		
BLKG	BLOCKING	OC	ON CENTER
BO	BOTTOM OF	OD	OUTSIDE DIAMETER
BOT	BOTTOM	OPER	OPERABLE
BP	BUILDING PAPER	OPNG	OPENING
BSMT	BASEMENT	OPP	OPPOSITE
BTWN	BETWEEN	OSCI	OWNER SUPPLIED, CONTRACTOR INSTALLED
BUR	BUILT UP ROOF		
BYND	BEYOND		
		PERF	PERFORATED
CAB	CABINET	PERP	PERPENDICULAR
CJT	CONTROL JOINT	PL	PLATE
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLY	PLYWOOD
CL	CLOSET	PREFAB	PRE-FABRICATE
CLR	CLEAR	PROP	PROPERTY
CMU	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
COL	COLUMN	PT	PRESSURE TREATED
CONC	CONCRETE	PTD	PAINT(ED)
CONST	CONSTRUCTION		
CONT	CONTINUOUS	RA	RETURN AIR
CTOP	COUNTERTOP	RAD	RADIUS
		RCP	REFLECTED CEILING PLAN
D	DRYER	REC	RECESSED
DBL	DOUBLE	REF	REFRIGERATOR
DEMO	DEMOLISH, DEMOLITION	REQD	REQUIRED
DTL	DETAIL	REV	REVISION
DIA	DIAMETER	RM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DISP	DISPENSER, DISPOSAL	RWL	RAIN WATER LEADER
DIST	DISTANCE		
DN	DOWN	SASM	SELF-ADHERING
DR	DOOR		
DWG	DRAWING	SCD	SEE CIVIL DRAWINGS
		SCHED	SCHEDULE
(E)	EXISTING	SD	SMOKE DETECTOR
EA	EACH	SECT	SECTION
EL	ELEVATION	SED	SEE ELECTRICAL DRAWINGS
ELEC	ELECTRICAL	SF	SQUARE FOOT/FEET
ELEV	ELEVATOR	SHT	SHEET, SHEETING
EQ	EQUAL	SHR	SHOWER
EQUIP	EQUIPMENT	SIM	SIMILAR
EQUIV	EQUIVALENT	SLD	SLIDING/SLIDER
EXT	EXTERIOR	SL	SEE LANDSCAPE DRAWINGS
		SMD	SEE MECHANICAL DRAWINGS
FF	FINISH FLOOR	SOG	SOB ON GRADE
FG	FINISH GRADE	SPD	SEE PLUMBING DRAWINGS
FIN	FINISH(ED)	SPEC	SPECIFICATION(S)
FIXT	FIXTURE	SPKR	SPEAKER
FL	FLOOR	SQ	SQUARE
FLG	FLASHING	SQ FT	SQUARE FOOT
FLUR	FLUORESCENT	SQ IN	SQUARE INCH
FO	FACE OF	SSD	SEE STRUCTURAL DRAWINGS
FOC	FACE OF CONCRETE	S STL	STAINLESS STEEL
FOF	FACE OF FINISH	ST	STREET
FOS	FACE OF STUD	STD	STANDARD
FOW	FACE OF WALL	STL	STEEL
FT	FOOT, FEET	STOR	STORAGE
FTG	FOOTING	STRUCT	STRUCTURAL
		SYM	SYMMETRICAL
GA	GAUGE, GAGE		
GALV	GALVANIZED	T&B	TOP AND BOTTOM
GC	GENERAL CONTRACTOR	T&G	TONGUE AND GROOVE
GD	GARBAGE DISPOSAL	TEL	TELEPHONE
GFI	GROUND FAULT INTERRUPT	TEMP	TEMPERED
GL	GLASS OR GLAZING	THK	THICK(NESS)
GLU LAM	GLUE LAMINATED	THRU	THROUGH
GLZ	GLAZING	TO	TOP OF
GSM	GALVANIZED SHEET METAL	TOC	TOP OF CONCRETE
GWB	GYPSPUM WALL BOARD	TOP	TOP OF PLATE
		TOS	TOP OF SLAB
		TOW	TOP OF WALL
HB	HOSE BIB	TV	TELEVISION
HD	HEAD	TYP	TYPICAL
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL	UL	UNDERWRITER'S LABORATORY
HORIZ	HORIZONTAL	UON	UNLESS OTHERWISE NOTED
HR	HOUR		
HT	HEIGHT	VAR	VARIES
HVAC	HEATING, VENTILATING, AIR CONDITIONING	VB	VAPOR BARRIER
		VERT	VERTICAL
HW	HOT WATER	VF	VERTICAL GRAIN
HWH	HOT WATER HEATER	VIG	VERIFY IN FIELD
		VOL	VOLUME
ID	INSIDE DIAMETER		
INFO	INFORMATION	W	WASHER
INT	INTERIOR	W/	WITH
		W/O	WITHOUT
LAM	LAMINATED	WC	WATER CLOSET
LAV	LAVATORY	WD	WOOD
LB	POUND	WDW	WINDOW
LIN	LINEAR	WP	WEATHERPROOF
LONG	LONGITUDINAL	WT	WEIGHT

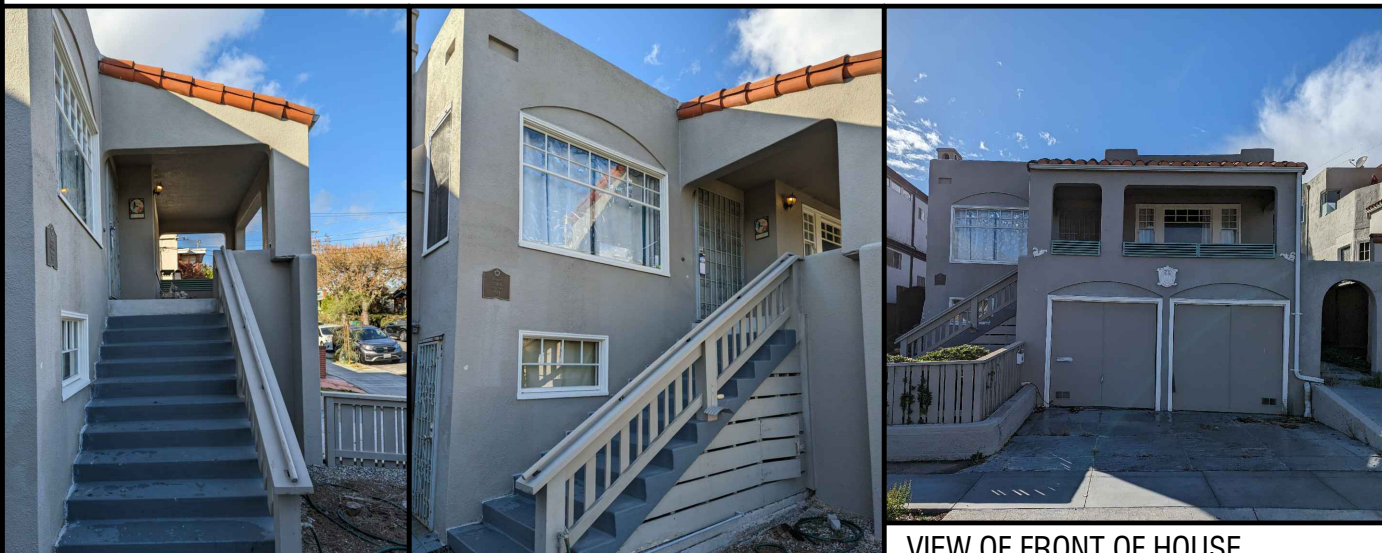
SYMBOLS



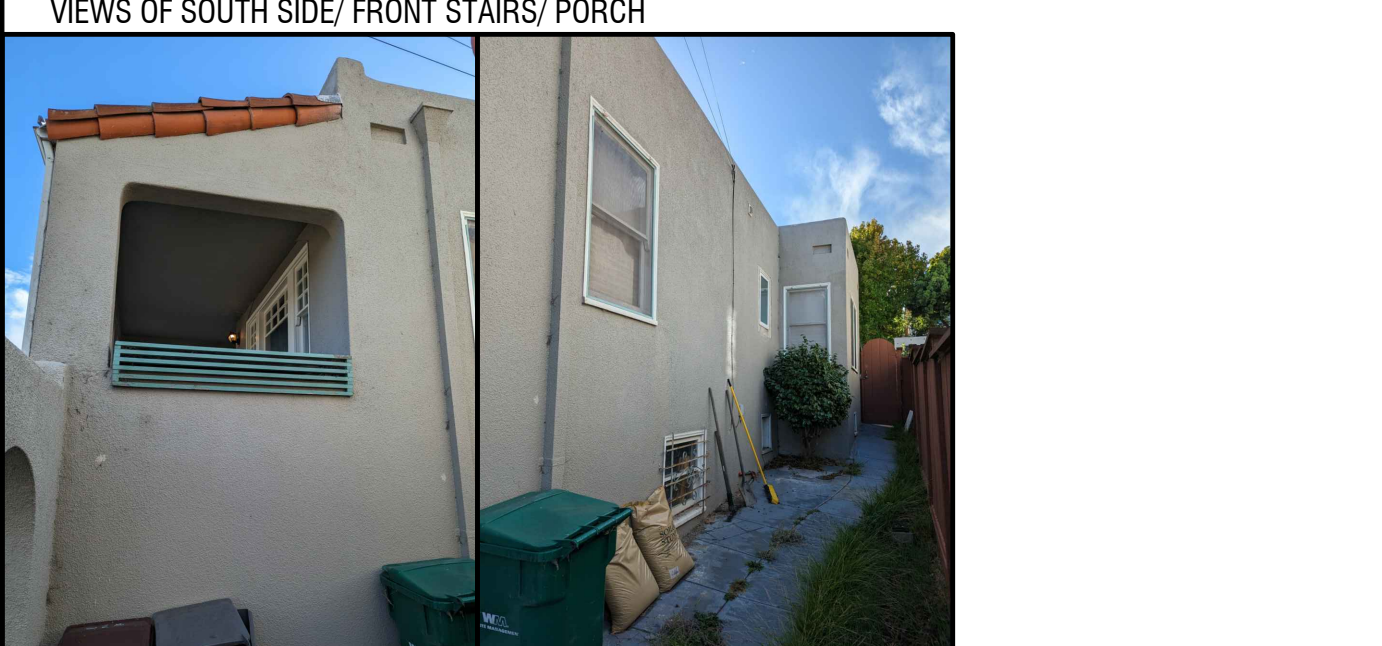
EXISTING PHOTOS OF HOUSE



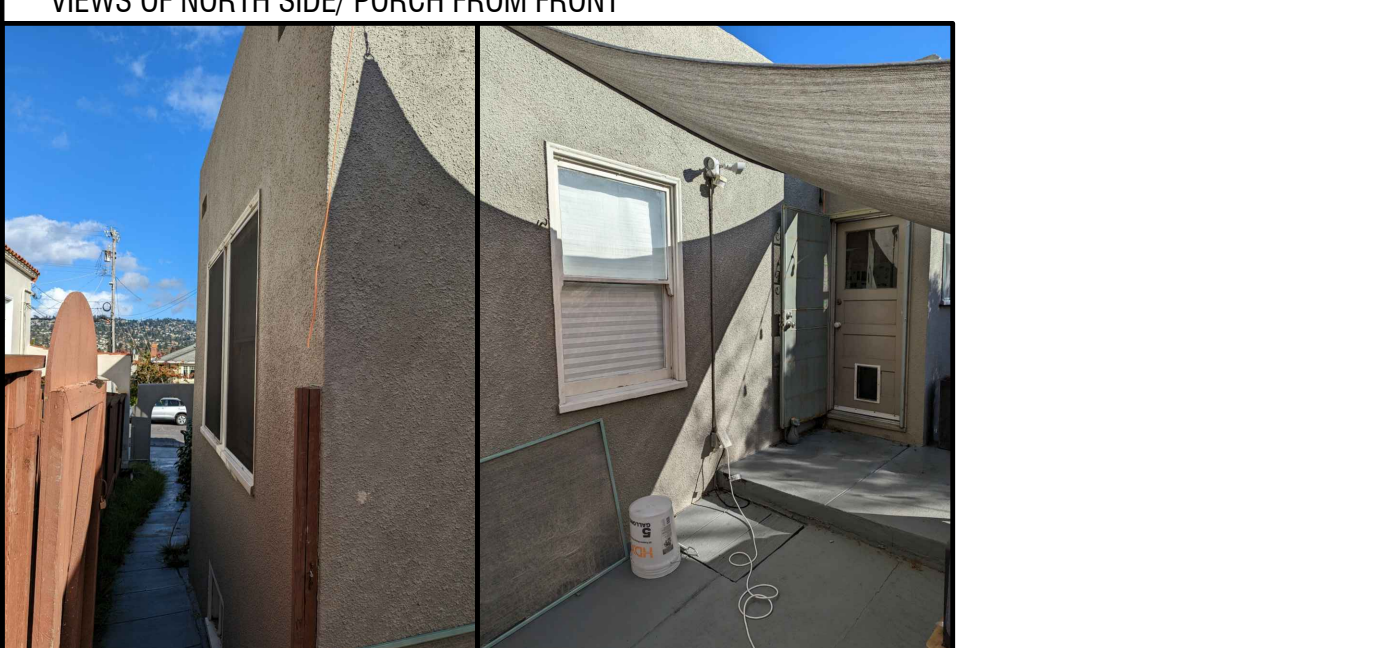
VIEW OF SOUTH SIDE YARD



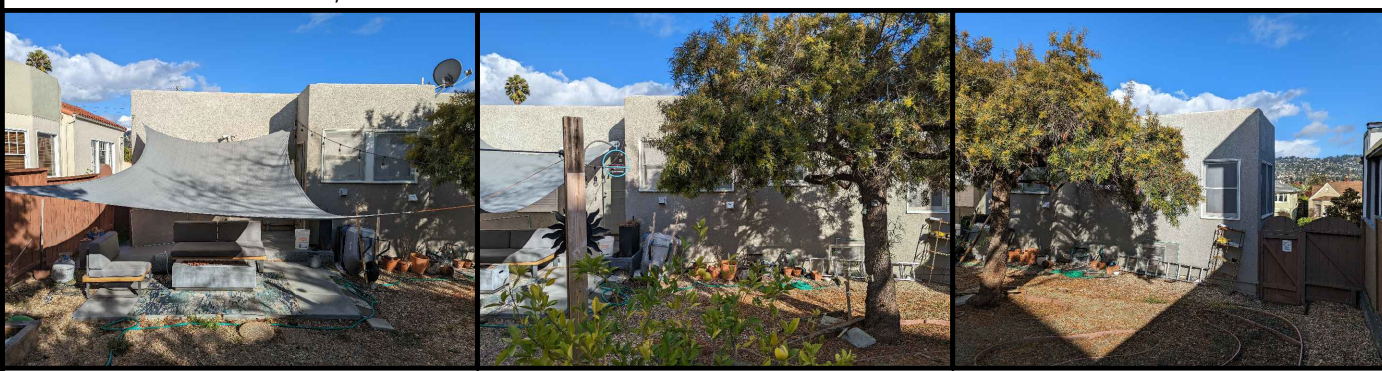
VIEW OF SOUTH SIDE/ FRONT STAIRS/ PORCH



VIEW OF NORTH SIDE/ PORCH FROM FRONT



VIEW OF NORTH SIDE/ PORCH FROM BACK YARD



VIEW FROM BACK YARD

PROJECT DESCRIPTION

ZONING / BUILDING INFORMATION:
 PROJECT ADDRESS: 830 CERRITO STREET TYPE OF CONSTRUCTION: V-B
 ASSESSOR'S PARCEL NUMBER: 66-2748-0 TYPE OF OCCUPANCY: R-3
 ZONING: R-1

GENERAL INFORMATION	EXISTING	PROPOSED
• IMPERVIOUS SURFACE:	44%	38%
NARROWEST WIDTH OF DRIVEWAY:	17'-11"	17'-11"

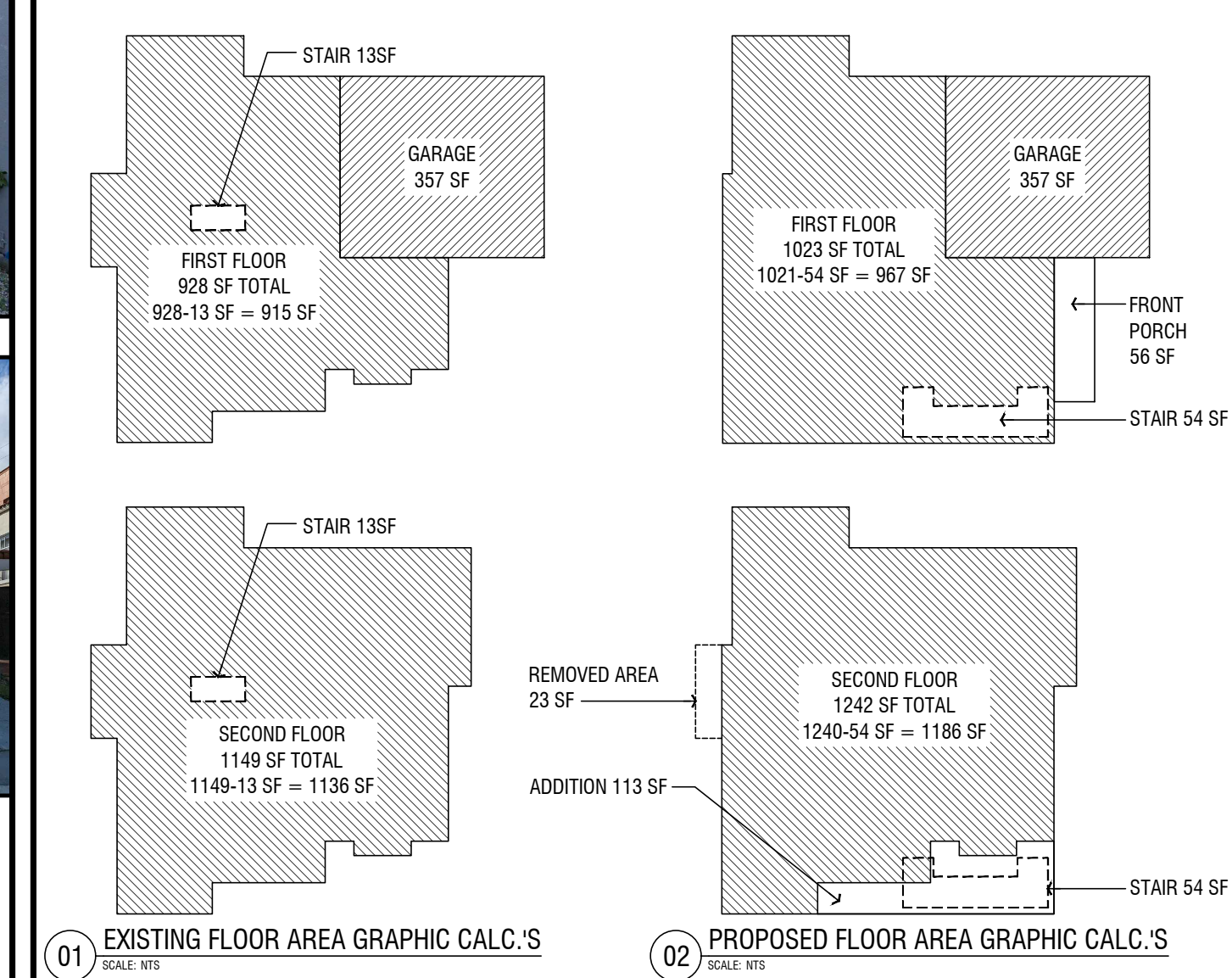
SITE REGULATIONS BY DISTRICT:	EXISTING	PROPOSED	REQUIREMENT
SETBACKS:			
• FRONT (EAST):	11.86'	11.86'	15'-0"
• SIDE (NORTH):	2.86'	2.86'	5' (10% OF AVERAGE OF LOT)
• SIDE (SOUTH):	7.48'	7.48'	5' (10% OF AVERAGE OF LOT)
• REAR (WEST):	44.35'	46'-3"	20'-0"
• LOT SIZE:	5000 SF	5000 SF	--
• LOT COVERAGE (SEE A1.1)	25.7%	28.7%	50%

MAXIMUM HEIGHT: 17'-11" 22'-6" 28' MAX.

FLOOR AREA RATIO:	EXISTING	PROPOSED	REQUIREMENT
• GARAGE:	357	357	--
• COVERED PORCH	0	56	--
• INTERIOR STAIRS	26	108	--
• FIRST FLOOR	915	967	--
• SECOND FLOOR	1136	1186	--
• TOTAL AREA COUNTED ABOVE:	2434	2674	--
• DEDUCTIONS:	280	280	--
• TOTAL COUNTED:	2154	2394	--
• FLOOR AREA RATIO:	43%	47.8%	55% (2750 MAX SF)

PROJECT SCOPE:

2'-9" LIFT TO HOME TO CONVERT EXISTING CRAWL SPACE/ BASEMENT TO HABITABLE SPACE WITH ADDITION OF PRIMARY BEDROOM, OFFICE AND STORAGE. NEW INTERNAL STAIRCASE, NEW ADDITION, NEW OPEN GREAT ROOM WITH KITCHEN, DINING AND LIVING ROOM



BUILDING CODES

- 2019 CALIFORNIA RESIDENTIAL CODE (C.C.R., TITLE 24, PART 2.5)
- 2019 CALIFORNIA ELECTRICAL CODE (C.C.R., TITLE 24, PART 3)
- 2019 CALIFORNIA MECHANICAL CODE (C.C.R., TITLE 24, PART 4)
- 2019 CALIFORNIA PLUMBING CODE (C.C.R., TITLE 24, PART 5)
- 2019 CALIFORNIA ENERGY CODE (C.C.R., TITLE 24, PART 6)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (C.C.R., TITLE 24, PART 11)
- 2019 CALIFORNIA HISTORICAL CODE (C.C.R., TITLE 24, PART 6)

DRAWING INDEX

A0.0	COVER SHEET
A1.0	EXISTING & PROPOSED SITE/ ROOF PLANS
A1.1	LANDSCAPE PLAN & LOT COVERAGE DIAGRAMS
A2.0	EXISTING FLOOR PLANS
A2.1	PROPOSED FLOOR PLANS
A3.0	EXISTING EXTERIOR ELEVATIONS
A3.1	EXISTING EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
A3.3	PROPOSED EXTERIOR ELEVATIONS
A3.4	PROPOSED BUILDING SECTION & PANORAMIC PHOTO STREET ELEVATION
A5.0	DOOR & WINDOW SCHEDULES
C1	SITE SURVEY

PROJECT DIRECTORY

OWNERS: NICOLE WASHINGTON AND DREW ERICKSON NICOLE.L.WASHINGTON@GMAIL.COM DREW.T.ERICKSON@GMAIL.COM	STRUCTURAL ENGINEER VERDANT STRUCTURAL ENGINEERS 1101 8TH STREET #180 BERKELEY, CA 94710 510-528-5394 WILZEN@VERDANTSTRUCTURAL.COM
DESIGNER: EVANS DESIGN STUDIO 953 WEST MACARTHUR BLVD., UNIT 4 OAKLAND, CA 94608 PRINCIPAL: AMBER EVANS PHONE: 510.326.0548 AMBER@EVANS-DESIGN-STUDIO.COM	SURVEY: ANDREAS DEAK

DESIGNER

EVANS DESIGN STUDIO
 www.evans-design-studio.com
 Principal: Amber Evans
 m.510-326-0548

PROJECT

WASHINGTON-ERICKSON
 RESIDENCE
 830 CERRITO STREET
 ALBANY, CALIFORNIA
 PARCEL # 66-2748-0

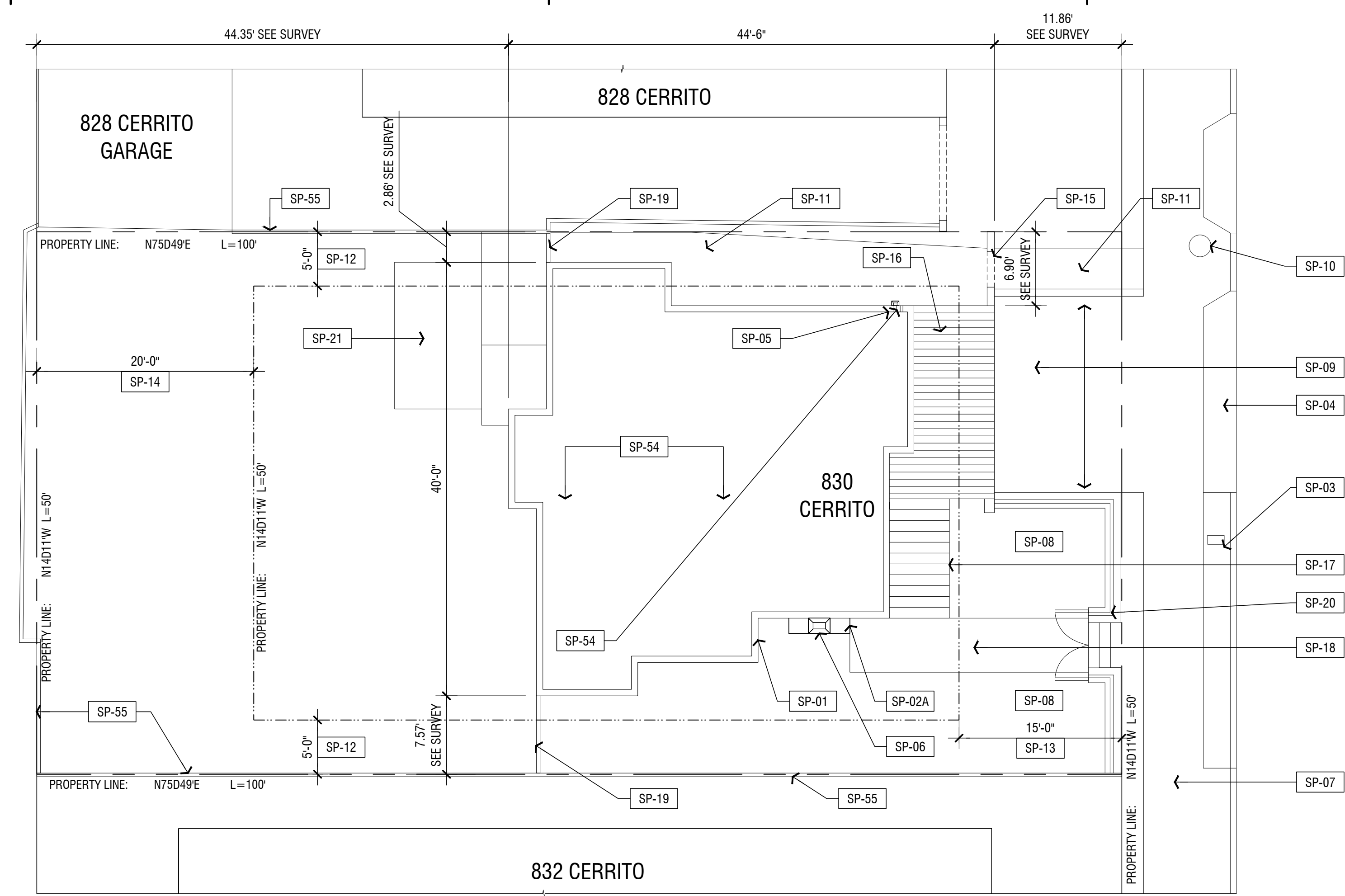
SHEET DATA

DATE:	2022.11.11
JOB NO.:	22001
PHASE:	PLANNING
ISSUED:	DESIGN REVIEW
SCALE:	1/4" = 1'-0"

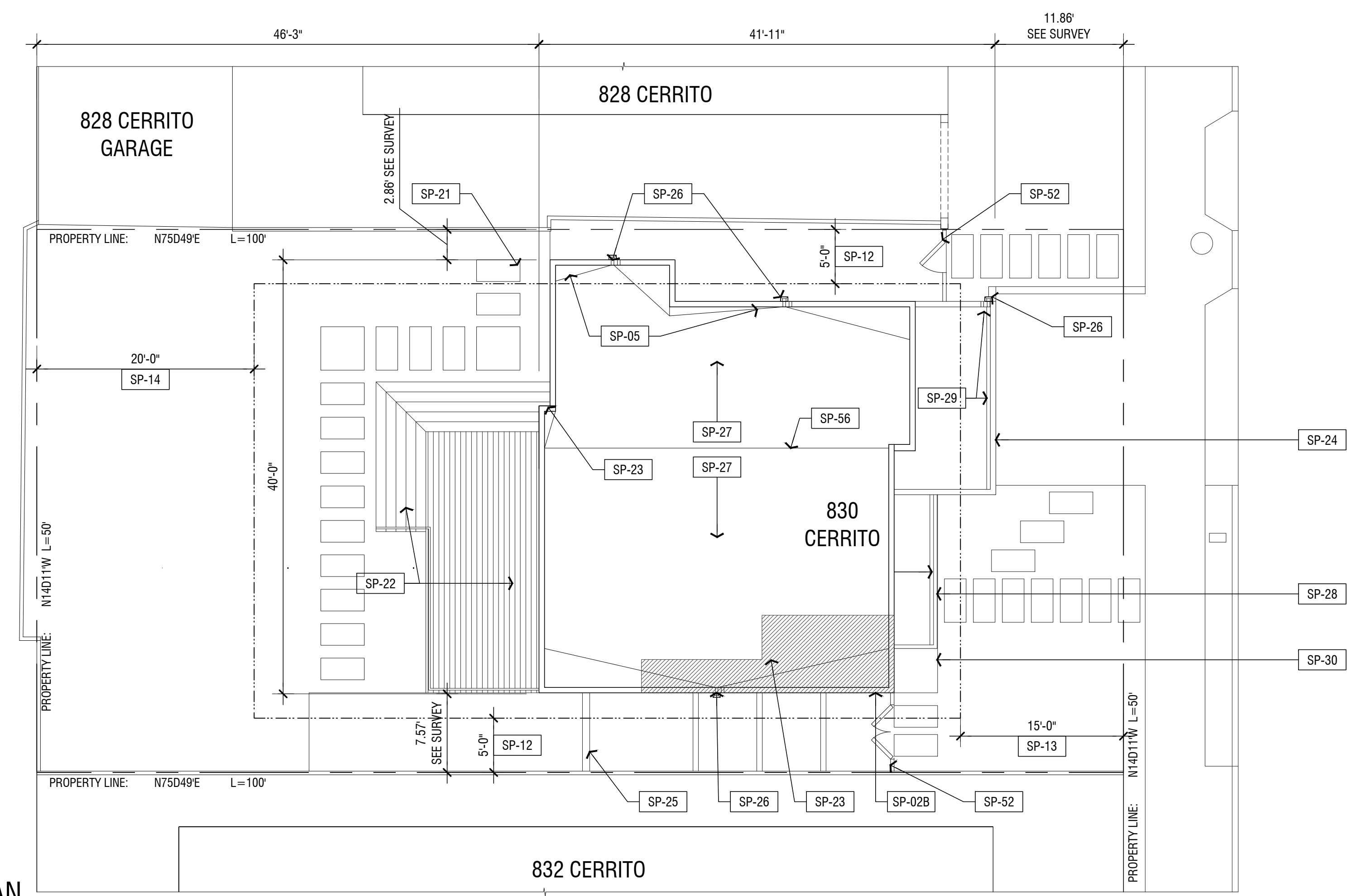
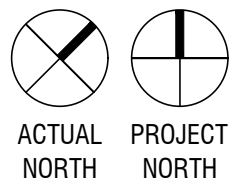
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COVER SHEET

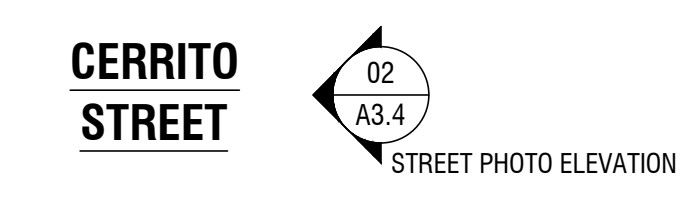
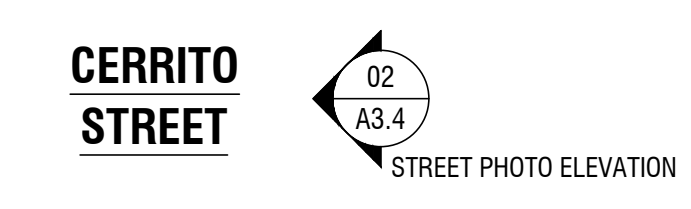
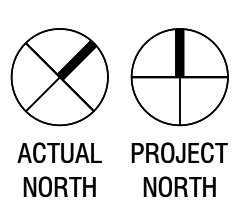
SITE PLAN LEGEND	
SP-XX	SITE PLAN KEY NOTE
SP-01	(E) GAS METER LOCATION
SP-02A	(E) PGE METER LOCATION
SP-02B	(N) PGE METER LOCATION
SP-03	(E) WATER METER
SP-04	(E) CURB CUT
SP-05	(E) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT TO BE REMOVED.
SP-06	(E) CHIMNEY TO BE REMOVED
SP-07	(E) SIDEWALK
SP-08	(E) FRONT YARD LAWN
SP-09	(E) CONCRETE DRIVEWAY AND SIDE RETAINING WALLS TO REMAIN
SP-10	(E) SEWER MANHOLE
SP-11	(E) SIDE YARD CONC. PATH TO BE REMOVED
SP-12	SIDE YARD SETBACK = SIDE YARD SETBACK 10% PER PLANNING CODE
SP-13	FRONT YARD SETBACK
SP-14	REAR YARD SETBACK
SP-15	(E) SIDE YARD STUCCO WALL / PASS THRU TO BE REMOVED.
SP-16	(E) TILED ROOF AND STUCCO COLUMNS TO BE REMOVED, SEE PROPOSED PLAN FOR COORDINATION
SP-17	(E) FRONT STAIRS TO BE REMOVED, SEE PROPOSED PLAN FOR COORDINATION
SP-18	(E) FRONT CONCRETE PATH TO BE REMOVED
SP-19	(E) SIDE YARD FENCE/GATE TO BE REMOVED
SP-20	(E) FRONT YARD WOOD FENCE, GATE AND CONCRETE LOW RETAINING WALL/ STEPS TO BE REMOVED
SP-21	(E) REAR YARD CONCRETE SLAB ON GRADE TO BE REMOVED
SP-22	(N) DECK AND STEPS AT REAR YARD W/ 42" TALL GUARD (WD. POSTS AND STAINLESS STEEL CABLE RAILS)
SP-23	AREA OF (N) ADDITION SHOWN HATCHED
SP-24	(N) TALLER PARAPET OVER ON T.O. (E) WALL AT THE GARAGE ROOF.
SP-25	(N) CONC. RETAINING WALL AT SIDE YARD, SEE EXTERIOR ELEVATIONS
SP-26	LOCATION OF (N) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT, SEE EXTERIOR ELEVATIONS
SP-27	(N) SLOPED BUILT UP ROOF AND CRICKETS, SLOPE TO THRU WALL SCUPPER/ OVERFLOW, SEE EXTERIOR ELEVATIONS
SP-28	(N) CANOPY AT FRONT DOOR, SLOPE BUILT UP ROOF AT CANOPY TO GUTTER.
SP-29	(N) SLOPED BUILT UP ROOF, SLOPE GUTTER, GUTTER TO SLOPE TO THRU WALL SCUPPER/ OVERFLOW
SP-30	(N) CONC. SLAB ON GRADE AT ENTRY
SP-31	(N) GROUND COVER RUSCHIA NANA
SP-32	(N) PERENNIAL ANIGOZANTHOS (KANGAROO PAW)
SP-33	(N) FOUNTAIN GRASS SHRUB - PENNISETUM ORIENTALE 'KARLEY ROSE'
SP-34	(N) FOUNTAIN GRASS SHRUB - FESTUCA GLAUCA 'ELIJAH BLUE' (BLUE FESCUE)
SP-35	(N) PERENNIAL PHORMIUM 'AMAZING RED' (NEW ZEALAND FLAX)
SP-36	(N) PERENNIAL - LAVANDULA X INTERMEDIA 'PHENOMENAL' (LAVENDER)
SP-37	(N) GRASS - OPHIOPOGON PLANISCAPUS 'NIGRESCENS' (BLACK MONDO)
SP-38	(N) PERENNIAL - JASMINUM OFFICINALE (COMMON JASMINE)
SP-39	(N) SHRUB - LEUCADENDRON 'SAFARI SUNSHINE' (CONEBUSH)
SP-40	(N) SHRUB - BAMBUSA TEXTILIS VAR. GRACILIS 'SLENDER WEAVERS'
SP-41	(N) TREE - BLOODGOOD JAPANESE MAPLE
SP-42	(N) TREE - MAJESTIC BEAUTY FRUITLESS OLIVE
SP-43	(N) TREE - CERCIS OCCIDENTALIS (WESTERN REDBUD)
SP-44	(N) TREE - TULIP POPLAR LIRODENDRON TULIPIFERA
SP-45	(N) SHRUB - FRAGRANT TEA OLIVE TREE OSMANTHUS FRAGRANS
SP-46	(N) TREE - DWARF FIG
SP-47	(N) TREE - ZELKOVA
SP-48	(N) 2x3 BLUE STONE PAVERS
SP-49	(N) RIVERSTONE FLANKING AROUND PAVERS
SP-50	(N) DECOMPOSED GRANITE AT SIDE YARD
SP-51	(N) WD. RAILROAD TIES AT SIDE YARD FOR STEPS/ SHORT RETAINING, GRADE TO LEVEL OUT BTWN TIES.
SP-52	(N) 6" TALL RDWD. GATE AND FENCE AT SIDE YARD.
SP-53	(E) ROOFING SLOPES FROM SOUTHWEST CORNER DOWN TO NORTHEAST CORNER. REMOVE (E) ROOFING AT WHOLE ROOF.
SP-54	REMOVE (E) ROOF FRAMING SOUTH
SP-55	(E) 6" TALL WD. FENCE TO REMAIN
SP-56	(N) PARAPET OR HIGHPT OF ROOF AS REQ. BTWN BOTH SIDES OF ROOF.



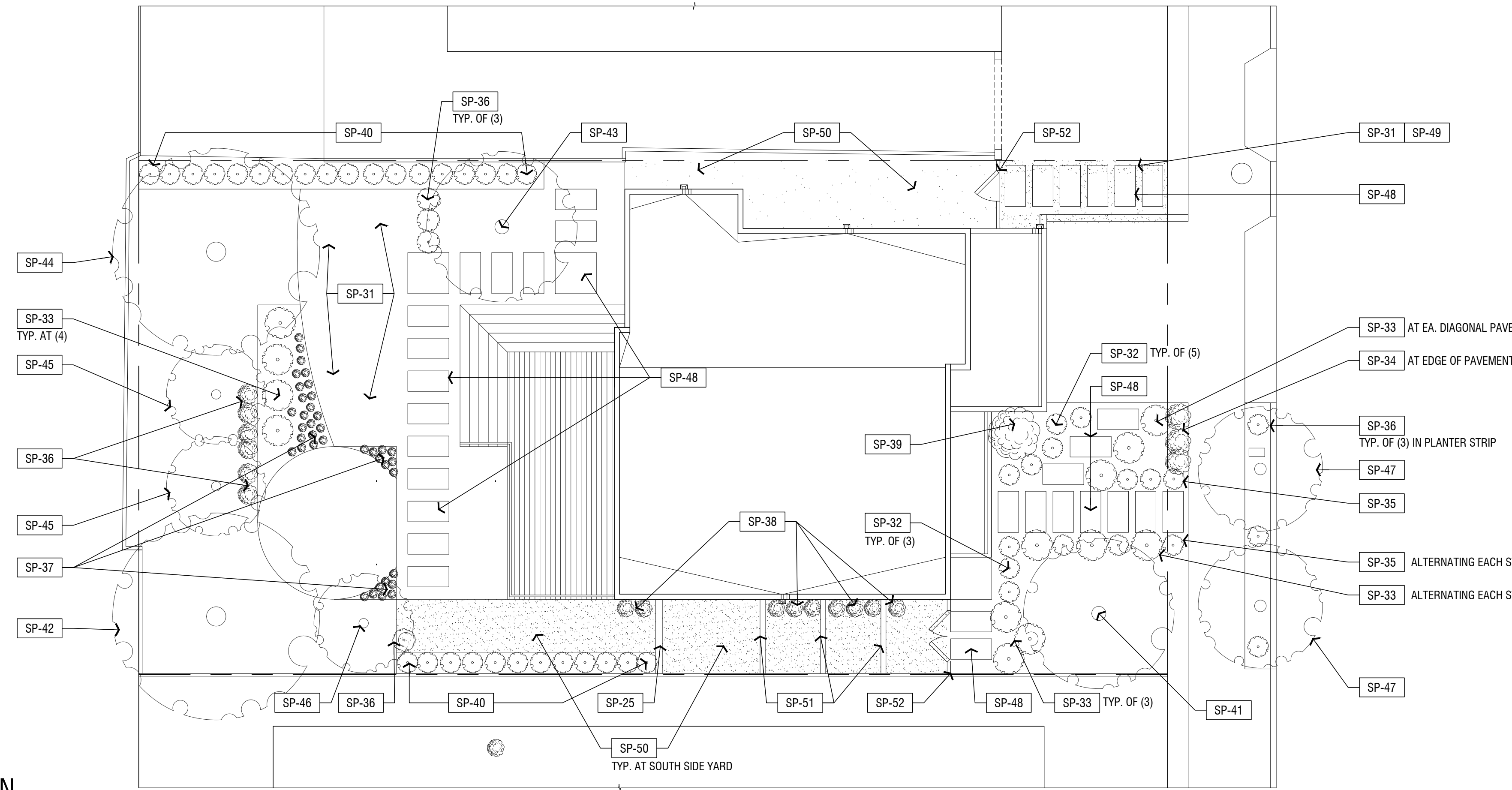
01 EXISTING SITE/ROOF PLAN
SCALE: 1/8" = 1'-0"



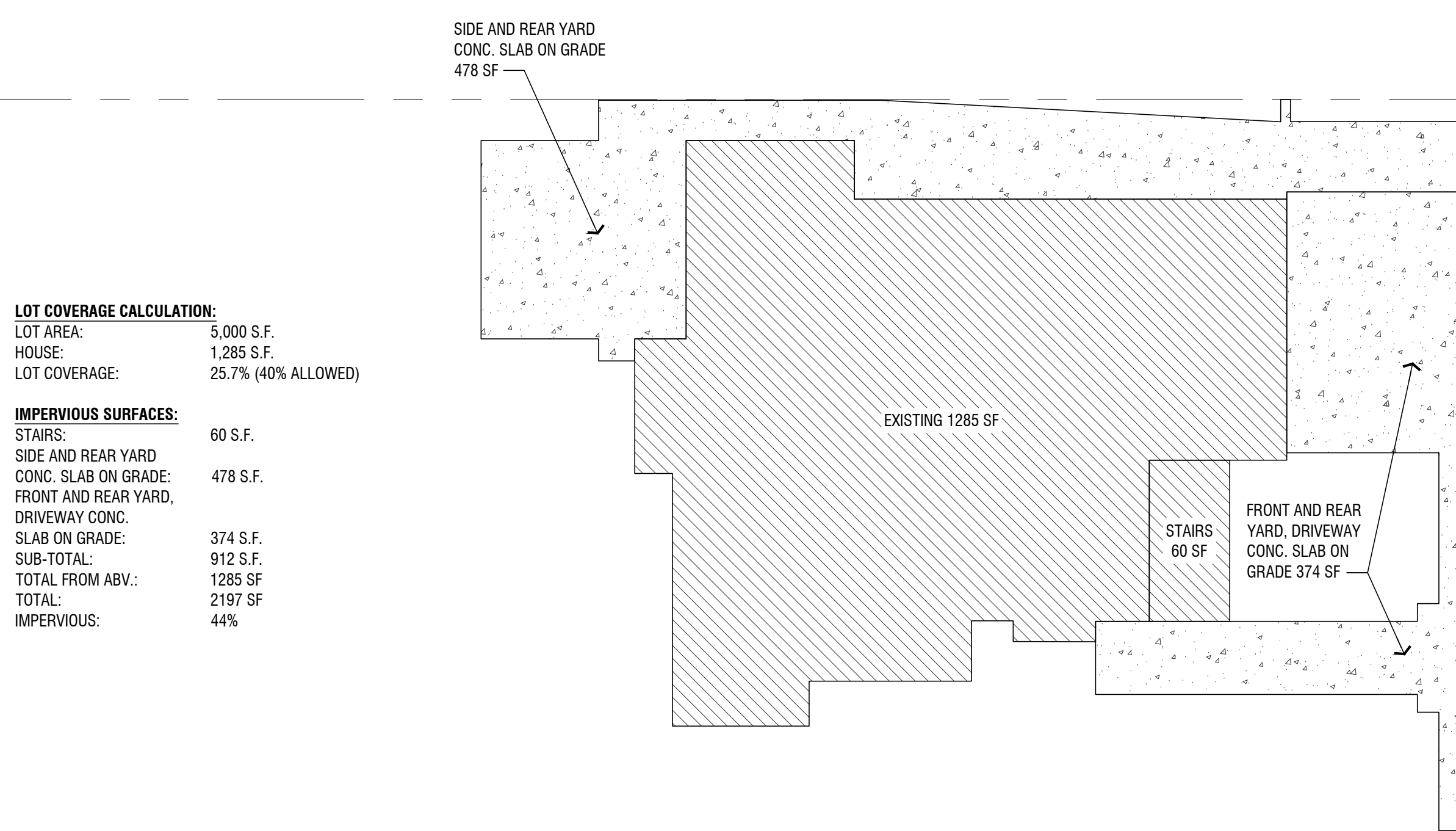
02 PROPOSED SITE/ROOF PLAN
SCALE: 1/8" = 1'-0"



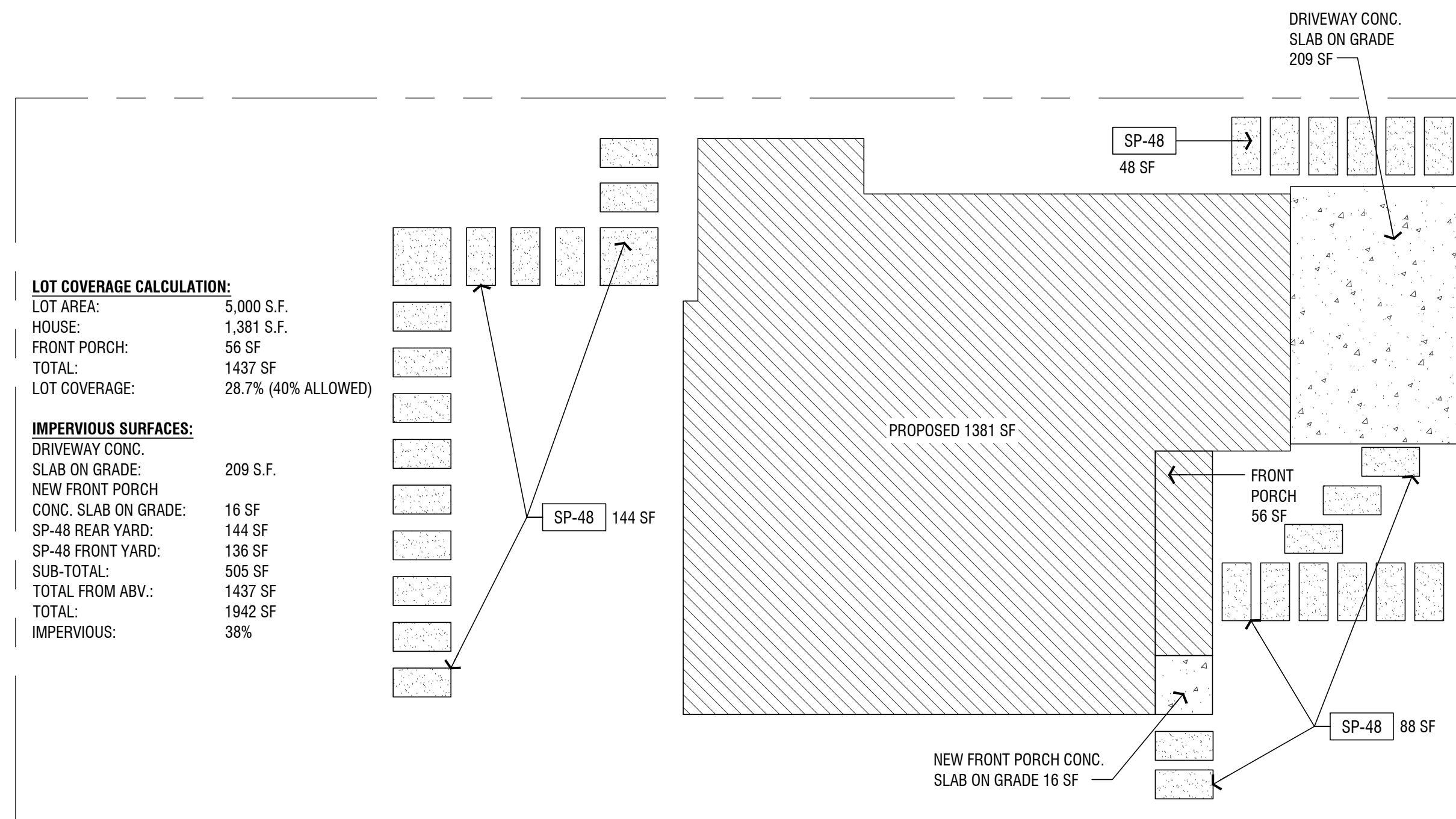
SITE PLAN LEGEND	
SP-XX	SITE PLAN KEY NOTE
SP-01	(E) GAS METER LOCATION
SP-02A	(E) PGE METER LOCATION
SP-02B	(N) PGE METER LOCATION
SP-03	(E) WATER METER
SP-04	(E) CURB CUT
SP-05	(E) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT TO BE REMOVED.
SP-06	(E) CHIMNEY TO BE REMOVED
SP-07	(E) SIDEWALK
SP-08	(E) FRONT YARD LAWN
SP-09	(E) CONCRETE DRIVEWAY AND SIDE RETAINING WALLS TO REMAIN
SP-10	(E) SEWER MANHOLE
SP-11	(E) SIDE YARD CONC. PATH TO BE REMOVED
SP-12	SIDE YARD SETBACK = SIDE YARD SETBACK 10% PER PLANNING CODE
SP-13	FRONT YARD SETBACK
SP-14	REAR YARD SETBACK
SP-15	(E) SIDE YARD STUCCO WALL / PASS THRU TO BE REMOVED.
SP-16	(E) TILED ROOF AND STUCCO COLUMNS TO BE REMOVED, SEE PROPOSED PLAN FOR COORDINATION
SP-17	(E) FRONT STAIRS TO BE REMOVED, SEE PROPOSED PLAN FOR COORDINATION
SP-18	(E) FRONT CONCRETE PATH TO BE REMOVED
SP-19	(E) SIDE YARD FENCE/GATE TO BE REMOVED
SP-20	(E) FRONT YARD WOOD FENCE, GATE AND CONCRETE LOW RETAINING WALL/ STEPS TO BE REMOVED
SP-21	(E) REAR YARD CONCRETE SLAB ON GRADE TO BE REMOVED
SP-22	(N) DECK AND STEPS AT REAR YARD W/ 42" TALL GUARD (WD. POSTS AND STAINLESS STEEL CABLE RAILS)
SP-23	AREA OF (N) ADDITION SHOWN HATCHED
SP-24	(N) TALLER PARAPET OVER ON T.O. (E) WALL AT THE GARAGE ROOF.
SP-25	(N) CONC. RETAINING WALL AT SIDE YARD, SEE EXTERIOR ELEVATIONS
SP-26	LOCATION OF (N) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT, SEE EXTERIOR ELEVATIONS
SP-27	(N) SLOPED BUILT UP ROOF AND CRICKETS, SLOPE TO THRU WALL SCUPPER/ OVERFLOW, SEE EXTERIOR ELEVATIONS
SP-28	(N) CANOPY AT FRONT DOOR, SLOPE BUILT UP ROOF AT CANOPY TO GUTTER.
SP-29	(N) SLOPED BUILT UP ROOF, SLOPE GUTTER, GUTTER TO SLOPE TO THRU WALL SCUPPER/ OVERFLOW
SP-30	(N) CONC. SLAB ON GRADE AT ENTRY
SP-31	(N) GROUND COVER RUSCHIA NANA
SP-32	(N) PERENNIAL ANIGOZANTHOS (KANGAROO PAN)
SP-33	(N) FOUNTAIN GRASS SHRUB - PENNISETUM ORIENTALE 'KARLEY ROSE'
SP-34	(N) FOUNTAIN GRASS SHRUB - FESTUCA GLAUCA 'ELIJAH BLUE' (BLUE FESCUE)
SP-35	(N) PERENNIAL PHORMIUM 'AMAZING RED' (NEW ZEALAND FLAX)
SP-36	(N) PERENNIAL - LAVANDULA X INTERMEDIA 'PHENOMENAL' (LAVENDER)
SP-37	(N) GRASS - OPHIOPOGON PLANISCAPUS 'NIGRESCENS' (BLACK MONDO)
SP-38	(N) PERENNIAL - JASMINUM OFFICINALE (COMMON JASMINE)
SP-39	(N) SHRUB - LEUCADENDRON 'SAFARI SUNSHINE' (CONEBUSH)
SP-40	(N) SHRUB - BAMBUSA TEXTILIS VAR. GRACILIS 'SLENDER WEAVERS'
SP-41	(N) TREE - BLOODGOOD JAPANESE MAPLE
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SP-44	(N) TREE - TULIP POPLAR LIRIODENDRON TULIPIFERA
SP-45	(N) SHRUB - FRAGRANT TEA OLIVE TREE OSMANTHUS FRAGRANS
SP-46	(N) TREE - DWARF FIG
SP-47	(N) TREE - ZELKOVA
SP-48	(N) 2x3 BLUE STONE PAVERS
SP-49	(N) RIVERSTONE FLANKING AROUND PAVERS
SP-50	(N) DECOMPOSED GRANITE AT SIDE YARD
SP-51	(N) WD. RAILROAD TIES AT SIDE YARD FOR STEPS/ SHORT RETAINING, GRADE TO LEVEL OUT BTWN TIES.
SP-52	(N) 6" TALL RDWD. GATE AND FENCE AT SIDE YARD.
SP-53	(E) ROOFING SLOPES FROM SOUTHWEST CORNER DOWN TO NORTHEAST CORNER. REMOVE (E) ROOFING AT WHOLE ROOF.
SP-54	REMOVE (E) ROOF FRAMING SOUTH
SP-55	(E) 6" TALL WD. FENCE TO REMAIN
SP-56	(N) PARAPET OR HIGHTP OF ROOF AS REQ. BTWN BOTH SIDES OF ROOF.



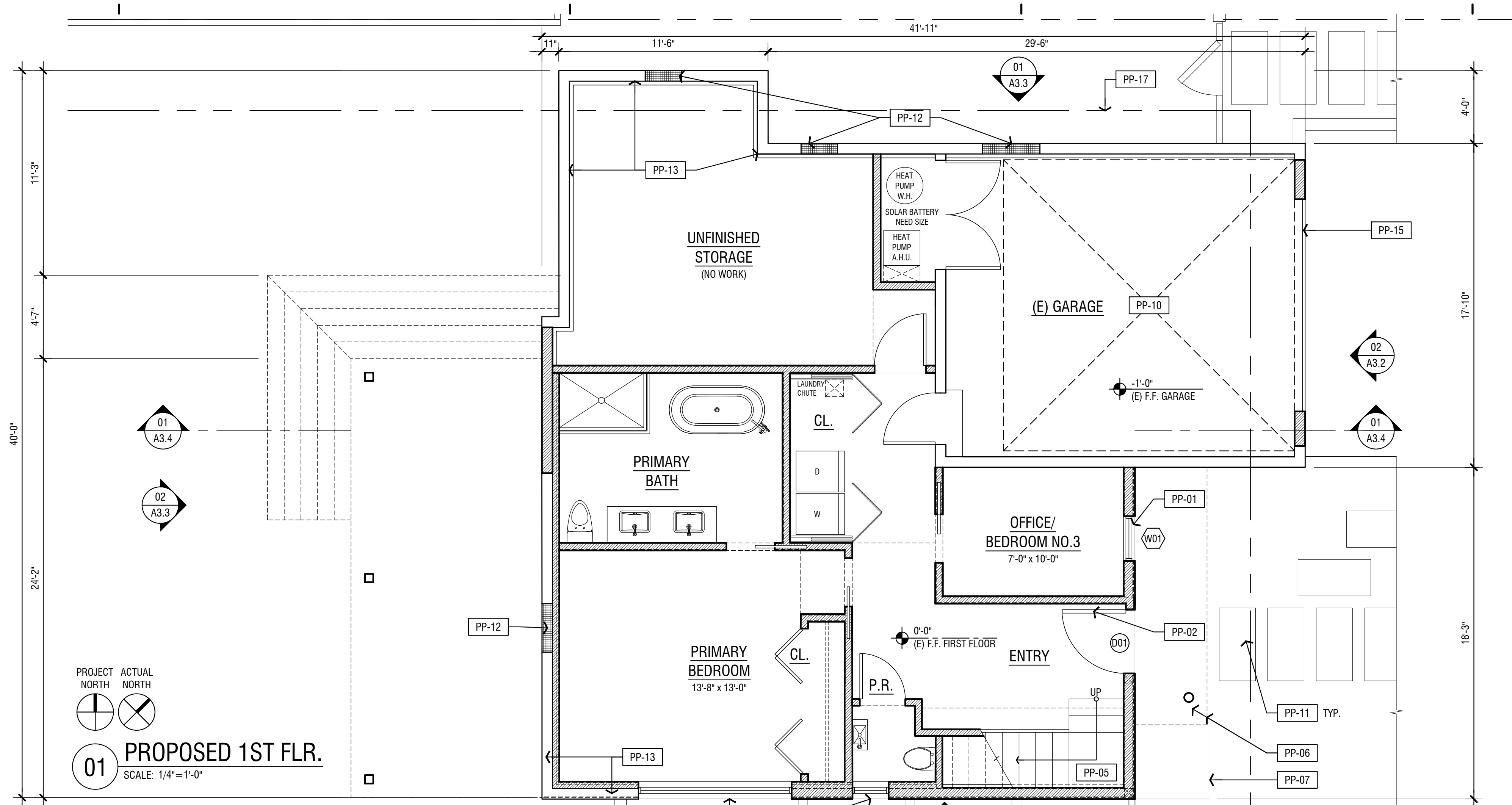
01 LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



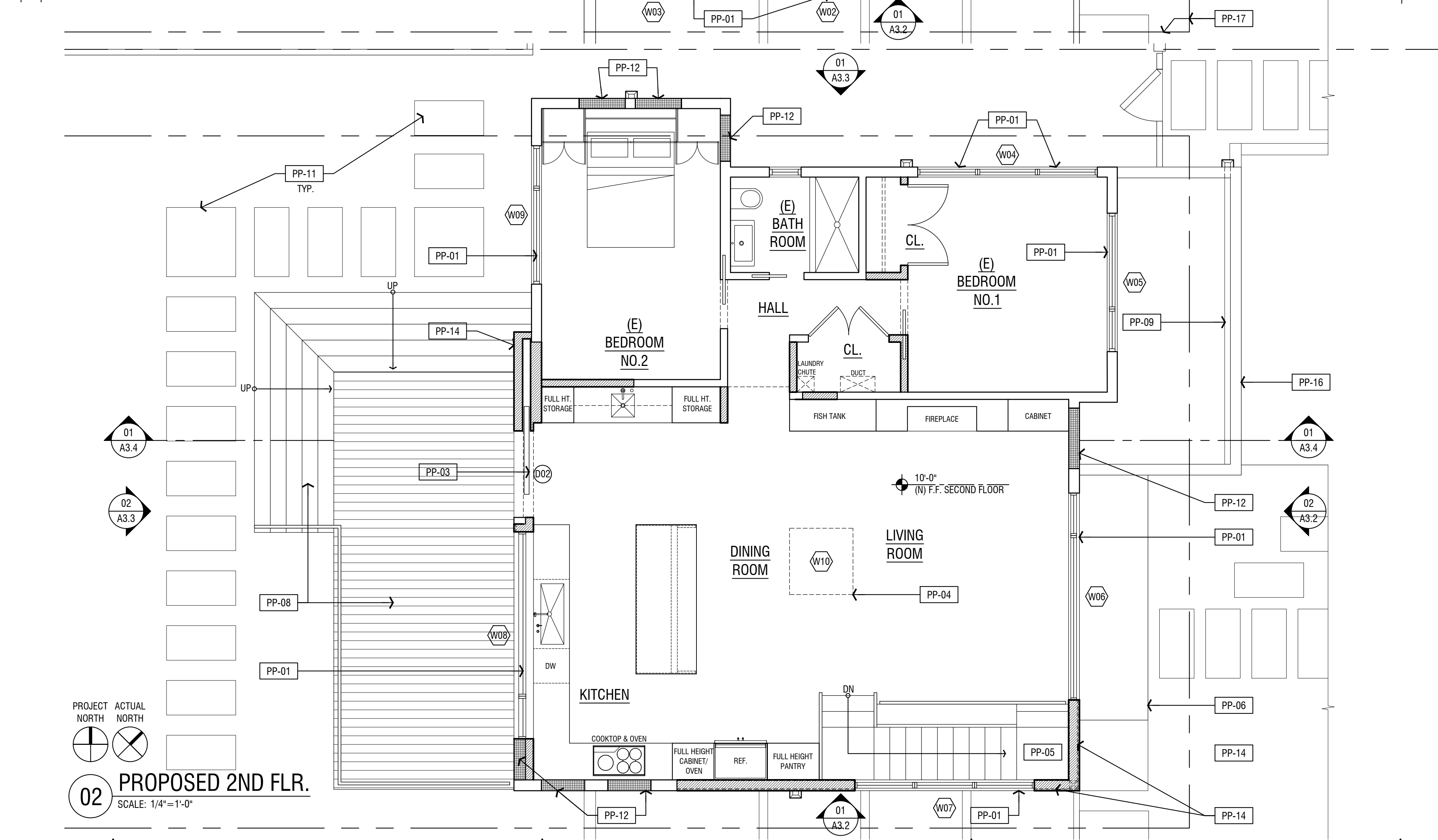
02 EXISTING LOT COVERAGE/ IMPERVIOUS SURFACE
SCALE: 1/8"=1'-0"



03 PROPOSED LOT COVERAGE/ IMPERVIOUS SURFACE
SCALE: 1/8"=1'-0"



PROJECT NORTH ACTUAL NORTH
 01 PROPOSED 1ST FLR.
 SCALE: 1/4" = 1'-0"



PROJECT NORTH ACTUAL NORTH
 02 PROPOSED 2ND FLR.
 SCALE: 1/4" = 1'-0"

PROPOSED PLAN LEGEND

(N) WALL	(E) WD. FRAMED WALL TO REMAIN
INFLILL (E) WALL WHERE (E) OPENING WAS REMOVED.	(E) ITEMS TO REMAIN
	(N) WINDOW TAG, SEE SHEET A5.0
	(N) DOOR TAG, SEE SHEET A5.0
	PROPOSED PLAN KEY NOTE

PROPOSED FLOOR PLAN KEY NOTES

PP-01	(N) FIBERGLASS WINDOW, SEE SCHEDULE ON SHEET A5.0
PP-02	(N) EXTERIOR FIBERGLASS DOOR, SEE SCHEDULE ON SHEET A5.0
PP-03	(N) ALUM. CLAD WD. EXTERIOR POCKET DOOR, SEE SCHEDULE ON SHEET A5.0
PP-04	(N) SKYLIGHT, SEE SCHEDULE ON SHEET A5.0
PP-05	(N) INTERNAL STAIR BETWEEN FLOORS
PP-06	(N) CANOPY AND PTD. STL. COLUMN, SEE EXTERIOR ELEVATIONS
PP-07	(N) CONC. SLAB ON GRADE AT ENTRY
PP-08	(N) ROWD. (STAINED, SEALED) DECK AND STAIRS W/ GUARD, SEE EXTERIOR ELEVATIONS
PP-09	(N) SLOPED BUILT UP ROOF, SLOPE GUTTER, GUTTER TO SLOPE TO THRU WALL SCUPPER/ OVERFLOW
PP-10	PER MEASURE D, DOUBLE PARKING MIN. WIDTH 14' + 1' ON EA SIDE = 16' IN WIDTH, 16' LONG
PP-11	SEE PROPOSED SITE PLAN AND LANDSCAPE PLAN FOR MORE INFORMATION ON SITE LAYOUT
PP-12	INFLILL WALL WHERE (E) WINDOW/ DOOR WAS REMOVED.
PP-13	(N) RETAINING WALL AT FIRST FLOOR TO REPLACE (E) IN (E) LOCATION
PP-14	(N) EXTERIOR WALL TO MATCH (E) STUCCO FINISH
PP-15	(N) GARAGE DOOR, SEE EXTERIOR ELEVATIONS/ DOOR SCHEDULE
PP-16	(N) LOWERED PARAPET OVER ON T.O. (E) WALL AT THE GARAGE ROOF.
PP-17	SETBACK LINE, SEE SITE PLAN FOR MORE INFORMATION

WASHINGTON-ERICKSON
 RESIDENCE
 830 CERRITO STREET
 ALBANY, CALIFORNIA
 PARCEL # 66-2748-0

SHEET DATA

DATE: 2022.11.28
 JOB NO.: 22001
 PHASE: PLANNING
 ISSUED: DESIGN REVIEW
 SCALE: 1/4" = 1'-0"
 SHEET TITLE

PROPOSED FLOOR PLAN

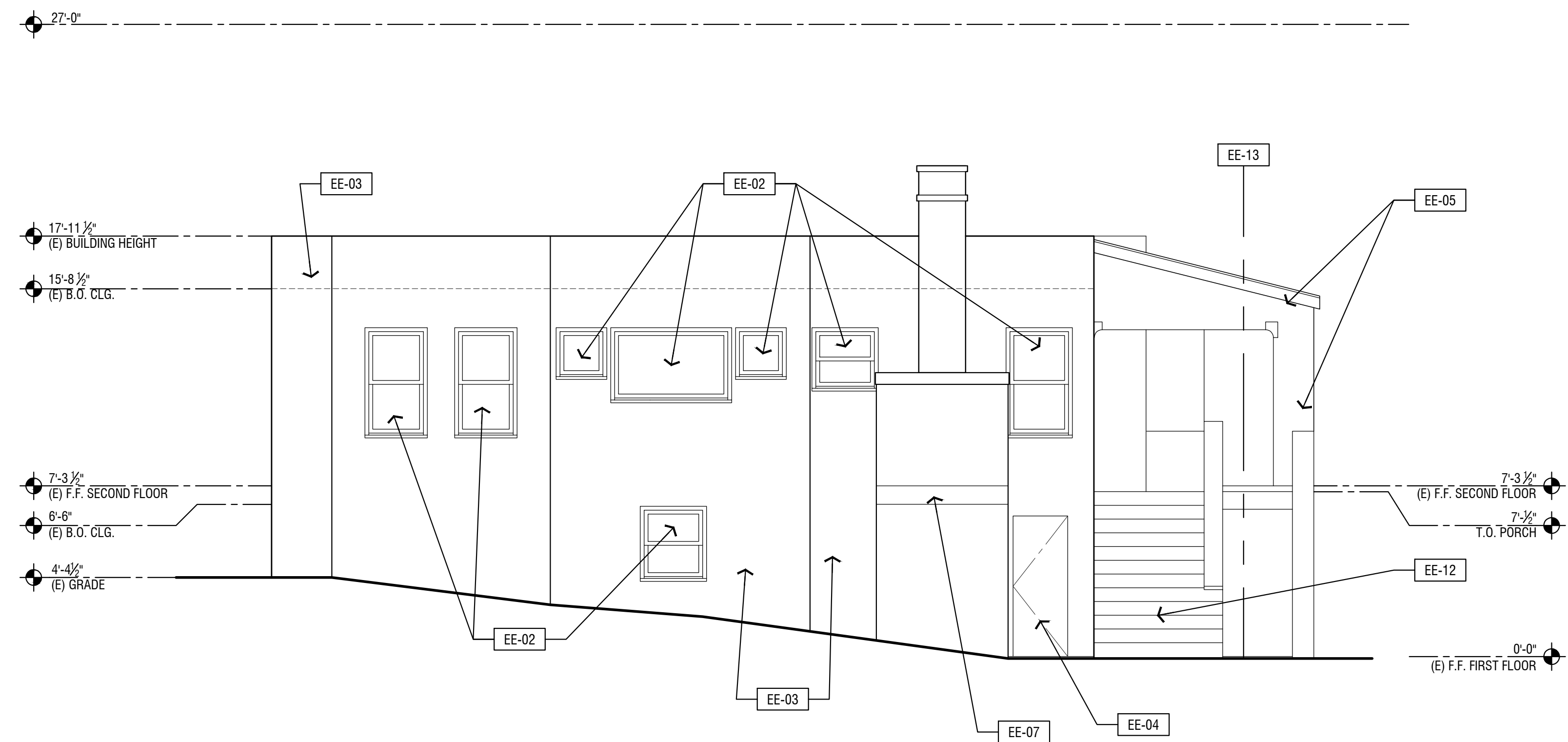
EXISTING EXTERIOR ELEVATION LEGEND

EE-XX EXISTING ELEVATION KEY NOTE

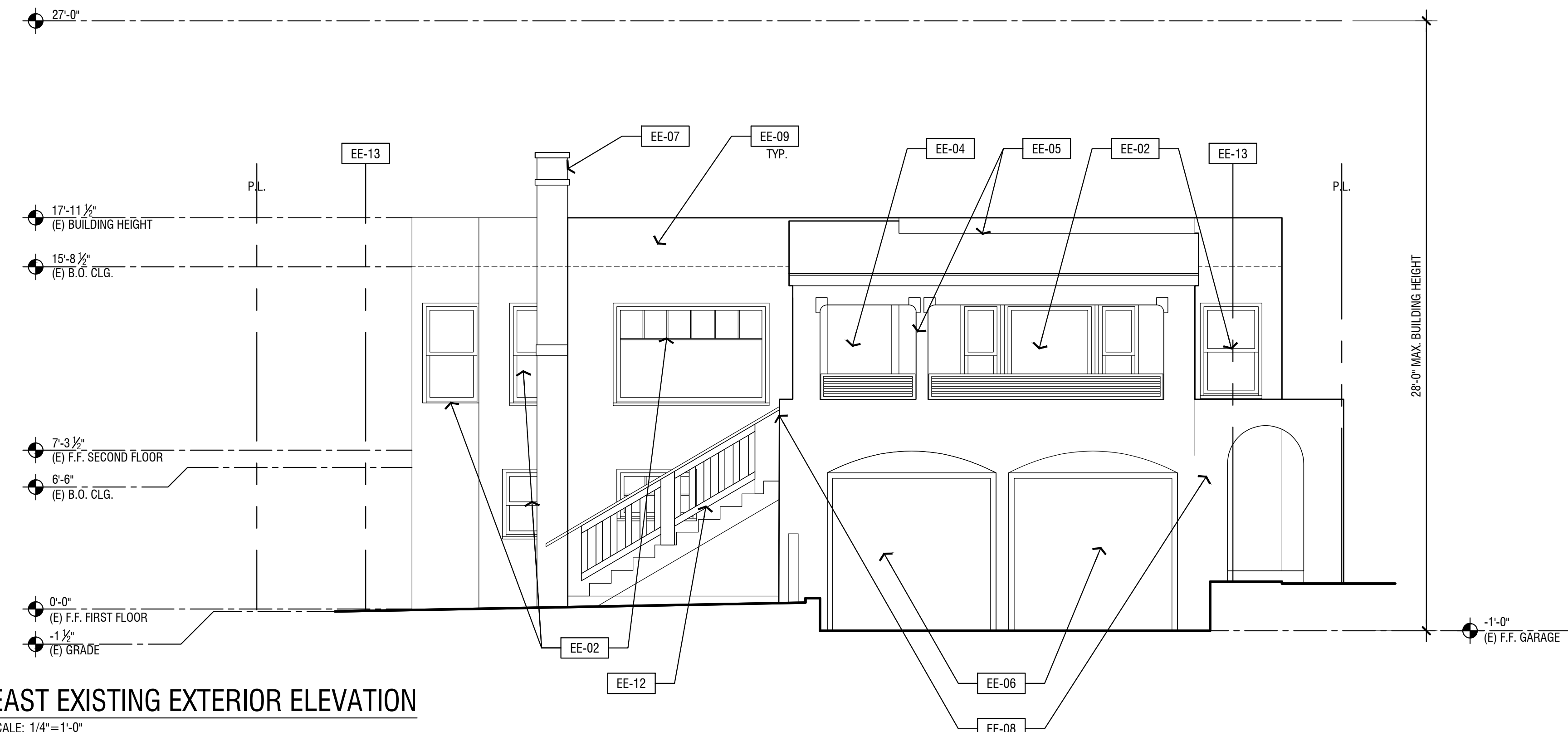


EXISTING EXTERIOR ELEVATION KEY NOTES

- EE-01 (E) WINDOW AND PTD. WD. TRIM TO REMAIN
- EE-02 (E) WINDOW AND PTD. WD. TRIM TO BE REMOVED
- EE-03 REMOVE (E) WALL, SEE PROPOSED PLAN.
- EE-04 (E) DOOR AND PTD. WD. TRIM TO BE REMOVED
- EE-05 (E) TILED ROOF AND STUCCO COLUMNS TO BE REMOVED, SEE PROPOSED PLAN FOR COORDINATION
- EE-06 REMOVE (E) GARAGE DOOR
- EE-07 REMOVE EXISTING CHIMNEY
- EE-08 REMOVE (E) WING WALL/ PASS THROUGH ADJACENT TO GARAGE
- EE-09 (E) STUCCO EXTERIOR FINISH, TYP.
- EE-10 (E) CONC. SLAB ON GRADE TO BE REMOVED, SEE SITE PLANS.
- EE-11 (E) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT TO BE REMOVED
- EE-12 REMOVE (E) FRONT ENTRY STAIRS
- EE-13 SETBACK LINE, SEE SITE PLANS
- EE-14 REMOVE (E) SIDE YARD FENCE/ GATE



01 SOUTH EXISTING EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



02 EAST EXISTING EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

PROJECT

WASHINGTON-ERICKSON
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 830 CERRITO STREET
 ALBANY, CALIFORNIA
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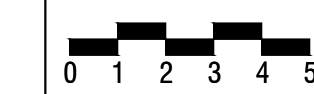
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EXISTING
 EXTERIOR
 ELEVATIONS

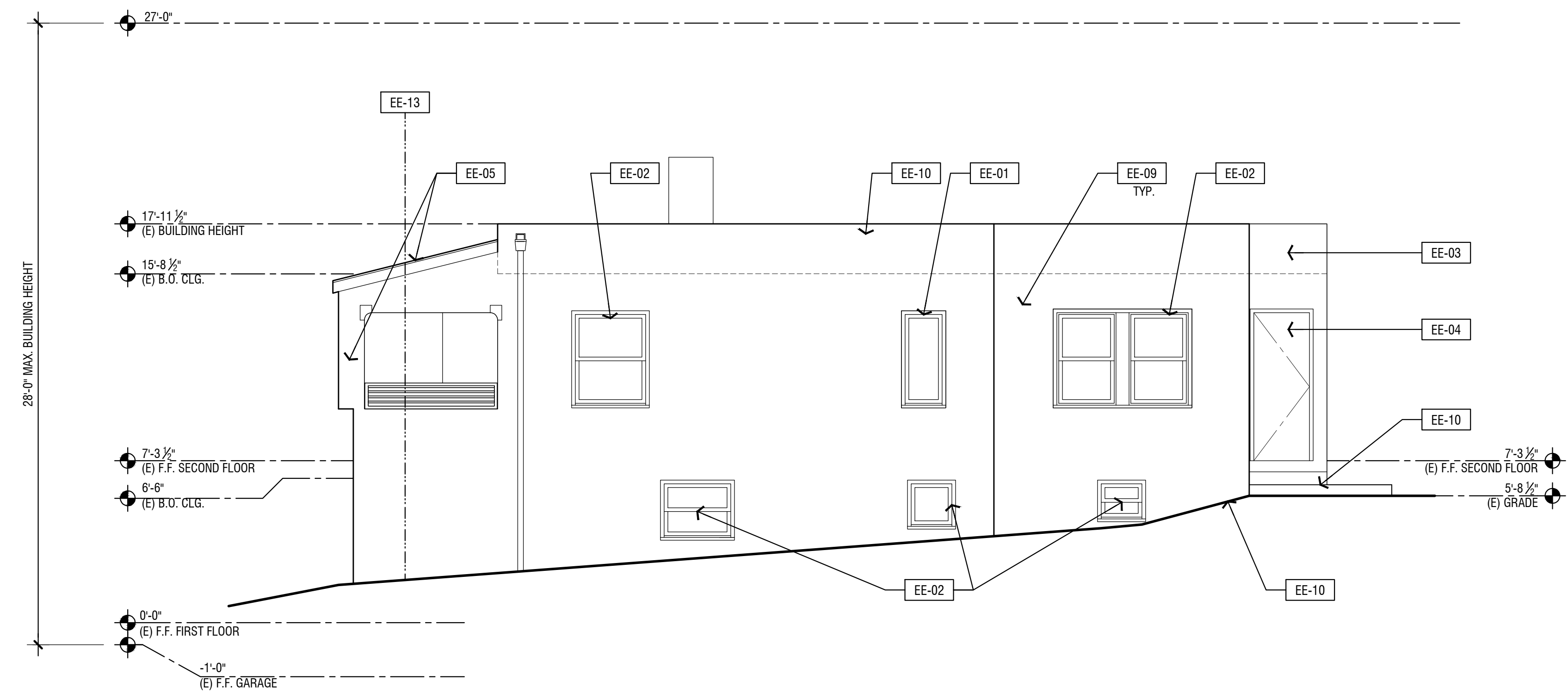
EXISTING EXTERIOR ELEVATION LEGEND

EE-XX EXISTING ELEVATION KEY NOTE

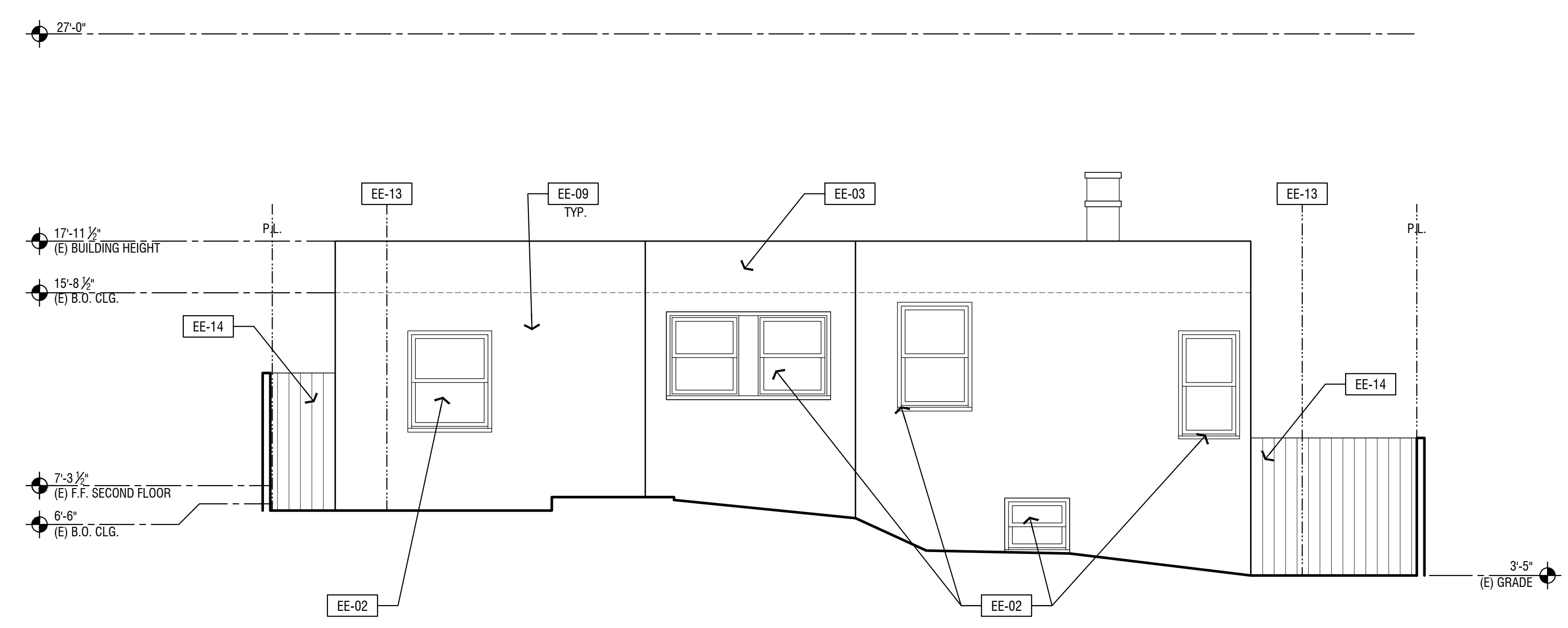


EXISTING EXTERIOR ELEVATION KEY NOTES

- EE-01 (E) WINDOW AND PTD. WD. TRIM TO REMAIN
- EE-02 (E) WINDOW AND PTD. WD. TRIM TO BE REMOVED
- EE-03 REMOVE (E) WALL, SEE PROPOSED PLAN.
- EE-04 (E) DOOR AND PTD. WD. TRIM TO BE REMOVED
- EE-05 (E) TILED ROOF AND STUCCO COLUMNS TO BE REMOVED, SEE PROPOSED PLAN FOR COORDINATION
- EE-06 REMOVE (E) GARAGE DOOR
- EE-07 REMOVE EXISTING CHIMNEY
- EE-08 REMOVE (E) WING WALL/ PASS THROUGH ADJACENT TO GARAGE
- EE-09 (E) STUCCO EXTERIOR FINISH, TYP.
- EE-10 (E) CONC. SLAB ON GRADE TO BE REMOVED, SEE SITE PLANS.
- EE-11 (E) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT TO BE REMOVED
- EE-12 REMOVE (E) FRONT ENTRY STAIRS
- EE-13 SETBACK LINE, SEE SITE PLANS
- EE-14 REMOVE (E) SIDE YARD FENCE/ GATE



01 NORTH EXISTING EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"



02 WEST EXISTING EXTERIOR ELEVATION
 SCALE: 1/4"=1'-0"

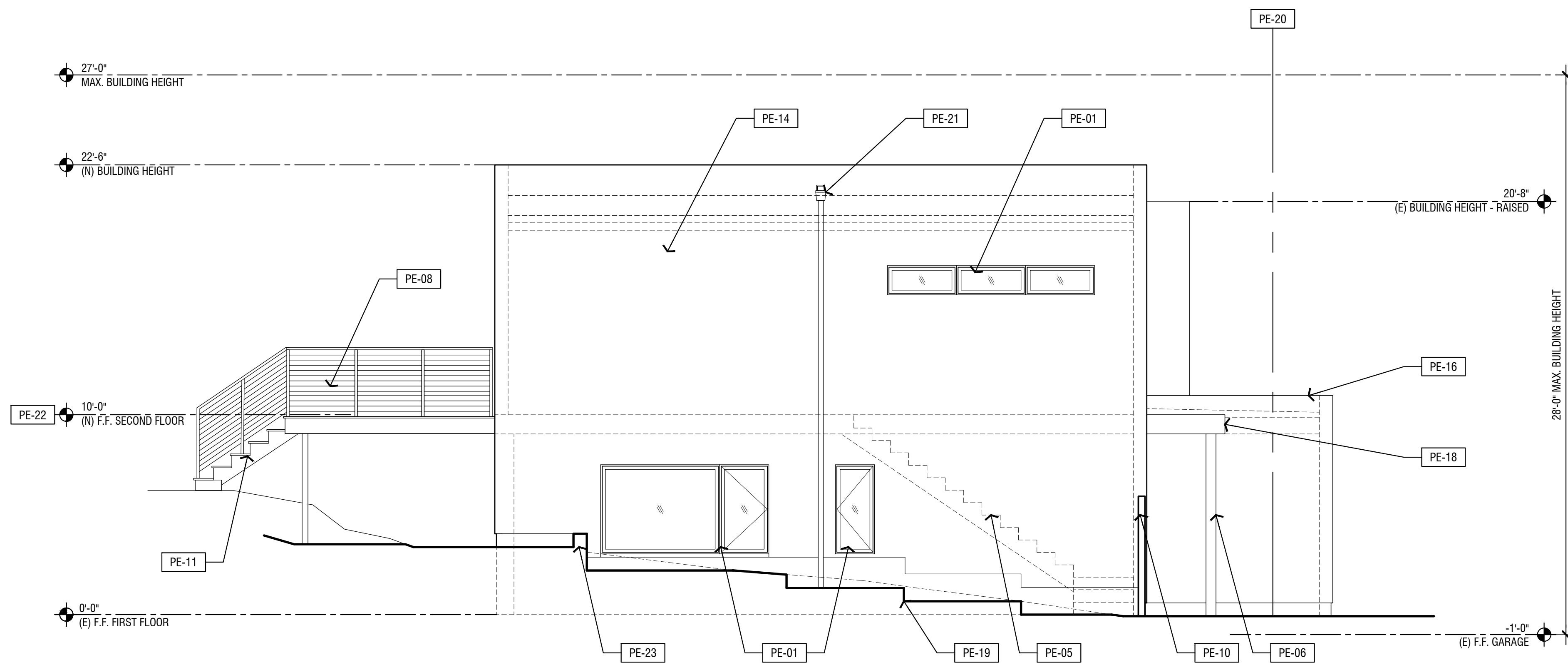
PROJECT

WASHINGTON-ERICKSON
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 PARCEL # 66-2748-0

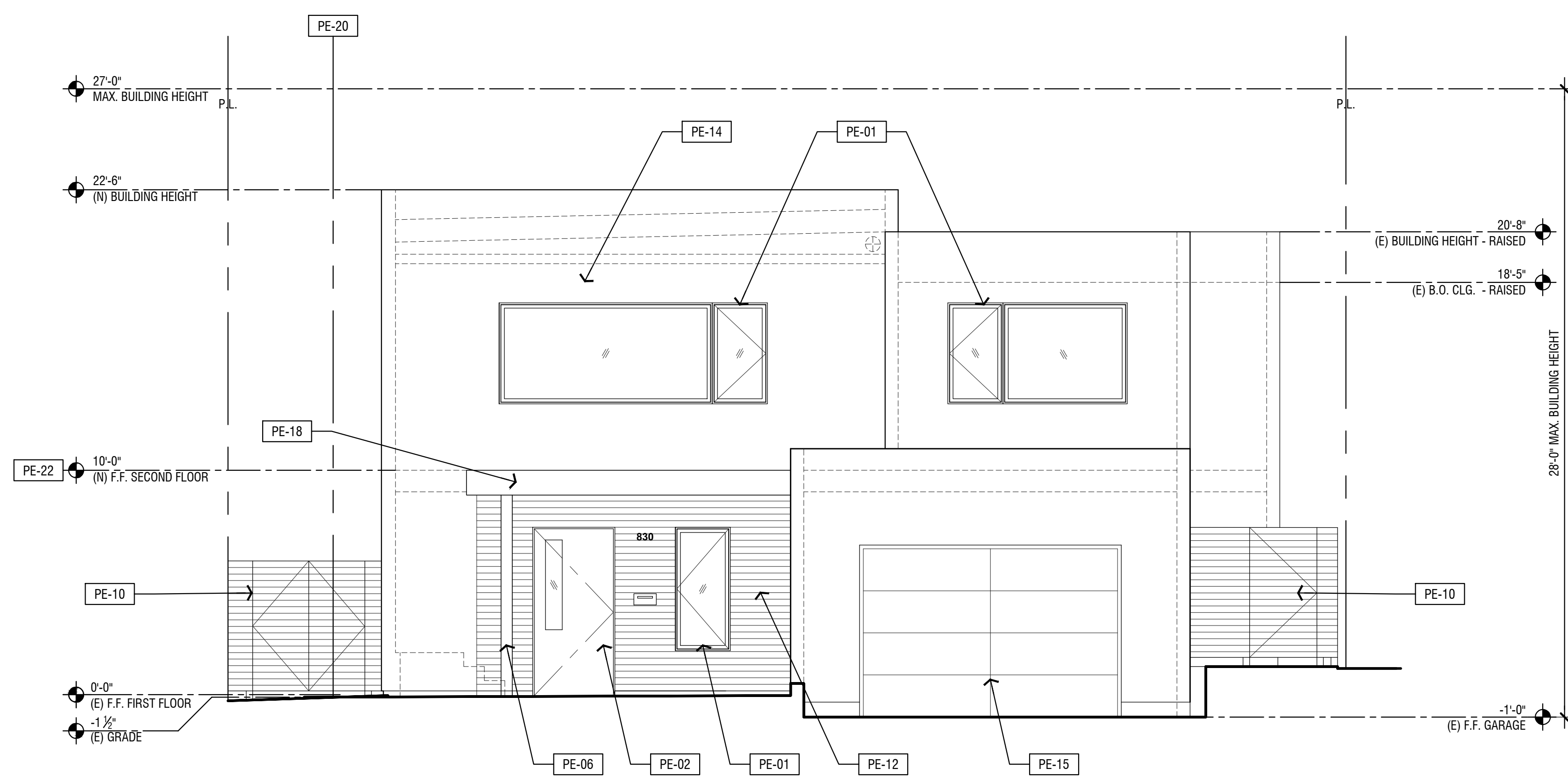
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EXISTING
 EXTERIOR
 ELEVATIONS



01 SOUTH PROPOSED EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



02 EAST PROPOSED EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

PROPOSED EXT. ELEV./ SECTION LEGEND

PE-XX PROPOSED ELEVATION KEY NOTE 0 1 2 3 4 5

PROPOSED EXT. ELEV./ SECTION KEY NOTES

- PE-01 (N) FIBERGLASS WINDOW, SEE SCHEDULE ON SHEET A5.0
- PE-02 (N) EXTERIOR FIBERGLASS DOOR, SEE SCHEDULE ON SHEET A5.0
- PE-03 (N) ALUM. CLAD WD. EXTERIOR POCKET DOOR, SEE SCHEDULE ON SHEET A5.0
- PE-04 (N) PARAPET AT ROOF
- PE-05 (N) INTERNAL STAIR BETWEEN FLOORS SHOWN DASHED
- PE-06 (N) PTD. STL. COLUMN
- PE-07 (N) CONC. SLAB ON GRADE
- PE-08 (N) RDWD. (STAINED, SEALED) DECK AND STAIRS W/ GUARD - CABLE RAILS BTWN POSTS
- PE-09 (N) SLOPED BUILT UP ROOF - SLOPE GUTTER, GUTTER TO SLOPE TO THRU WALL SCUPPER/ OVERFLOW
- PE-10 (N) 6' TALL RDWD. GATE AND FENCE AT SIDE YARD.
- PE-11 (N) STAIRS AT DECK - (5) 11" TREADS, (6) EQ. RISERS (MAX. 7 1/2") W/ 1X REDWOOD, STAINED AND SEALED
- PE-12 (N) 1x4 STAINED AND SEALED CEDAR T&G SIDING UNDER CANOPY
- PE-13 (N) RETAINING WALL AT FIRST FLOOR TO REPLACE (E) IN (E) LOCATION
- PE-14 (N) STUCCO FINISH TO MATCH EXISTING
- PE-15 (N) PTD. GARAGE DOOR
- PE-16 (N) LOWERED PARAPET OVER ON T.O. (E) WALL AT THE GARAGE ROOF.
- PE-17 SETBACK LINE, SEE SITE PLAN FOR MORE INFORMATION
- PE-18 (N) CANOPY AT FRONT DOOR, SLOPE BUILT UP ROOF AT CANOPY TO GUTTER BEHIND FASCIA.
- PE-19 (N) WD. RAILROAD TIES AT SIDE YARD FOR STEPS/ SHORT RETAINING, GRADE TO LEVEL OUT BTWN TIES.
- PE-20 SETBACK, SEE SITE PLAN
- PE-21 (N) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT, SEE SITE PLAN
- PE-22 (E) 2ND FLR. RAISED TO (N) HEIGHT INDICATED (TOTAL RAISED IS 2'-9")
- PE-23 (N) CONC. RETAINING WALL AT SIDE YARD, SEE EXTERIOR ELEVATIONS
- PE-24 INTERIOR LAYOUT NOT SHOWN

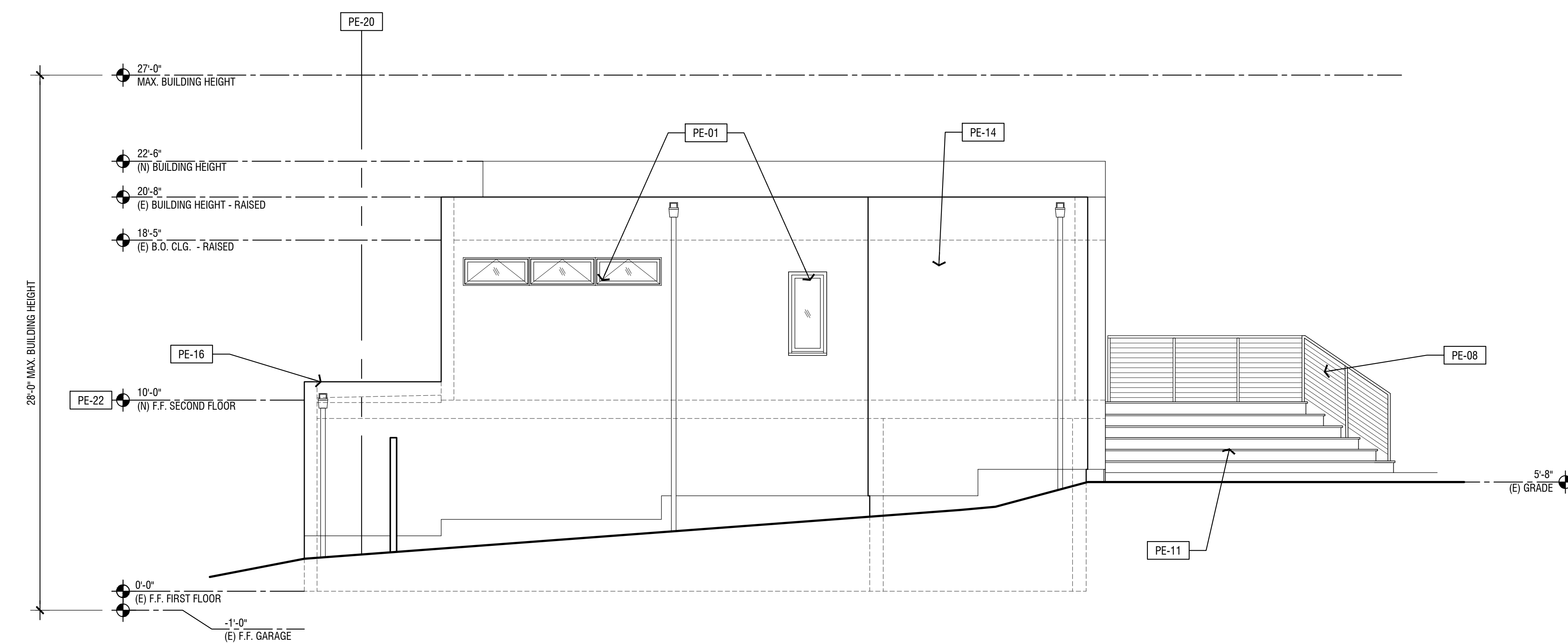
PROJECT

WASHINGTON-ERICKSON
RESIDENCE
830 CERRITO STREET
ALBANY, CALIFORNIA
PARCEL # 66-2748-0

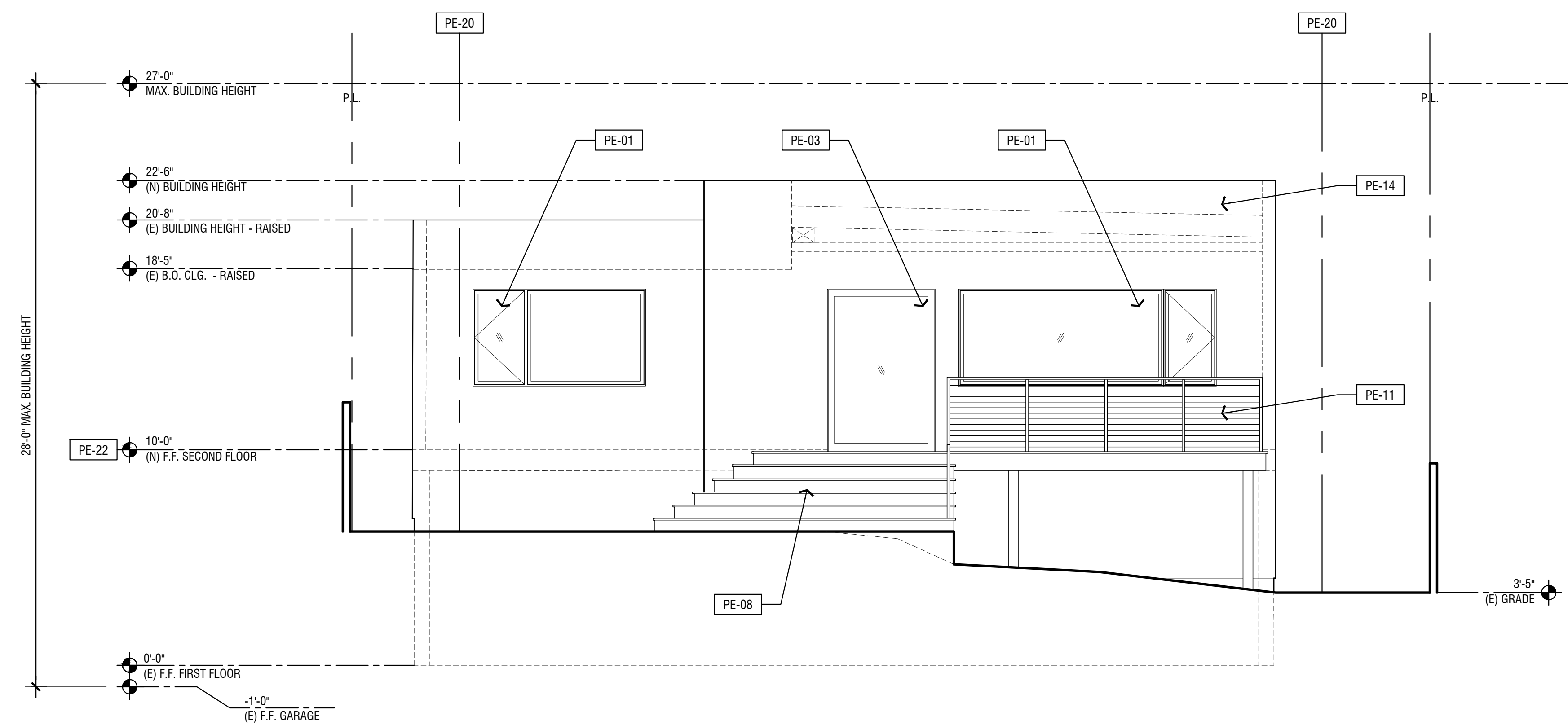
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DATE: 2022.11.28
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PROPOSED
EXTERIOR
ELEVATIONS



01 NORTH PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



02 WEST PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED EXT. ELEV./ SECTION LEGEND

PE-XX	PROPOSED ELEVATION KEY NOTE	0 1 2 3 4 5
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PROPOSED EXT. ELEV./ SECTION KEY NOTES

- PE-01 (N) FIBERGLASS WINDOW, SEE SCHEDULE ON SHEET A5.0
- PE-02 (N) EXTERIOR FIBERGLASS DOOR, SEE SCHEDULE ON SHEET A5.0
- PE-03 (N) ALUM. CLAD WD. EXTERIOR POCKET DOOR, SEE SCHEDULE ON SHEET A5.0
- PE-04 (N) PARAPET AT ROOF
- PE-05 (N) INTERNAL STAIR BETWEEN FLOORS SHOWN DASHED
- PE-06 (N) PTD. STL. COLUMN
- PE-07 (N) CONC. SLAB ON GRADE
- PE-08 (N) RDWD. (STAINED, SEALED) DECK AND STAIRS W/ GUARD - CABLE RAILS BTWN POSTS
- PE-09 (N) SLOPED BUILT UP ROOF, SLOPE GUTTER, GUTTER TO SLOPE TO THRU WALL SCUPPER/ OVERFLOW
- PE-10 (N) 6" TALL RDWD. GATE AND FENCE AT SIDE YARD.
- PE-11 (N) STAIRS AT DECK - (5) 11" TREADS, (6) EQ. RISERS (MAX. 7 1/2") W/ 1X REDWOOD, STAINED AND SEALED
- PE-12 (N) 1x4 STAINED AND SEALED CEDAR T&G SIDING UNDER CANOPY
- PE-13 (N) RETAINING WALL AT FIRST FLOOR TO REPLACE (E) IN (E) LOCATION
- PE-14 (N) STUCCO FINISH TO MATCH EXISTING
- PE-15 (N) PTD. GARAGE DOOR
- PE-16 (N) LOWERED PARAPET OVER ON T.O. (E) WALL AT THE GARAGE ROOF.
- PE-17 SETBACK LINE, SEE SITE PLAN FOR MORE INFORMATION
- PE-18 (N) CANOPY AT FRONT DOOR, SLOPE BUILT UP ROOF AT CANOPY TO GUTTER BEHIND FASCIA.
- PE-19 (N) WD. RAILROAD TIES AT SIDE YARD FOR STEPS/ SHORT RETAINING, GRADE TO LEVEL OUT BTWN TIES.
- PE-20 SETBACK, SEE SITE PLAN
- PE-21 (N) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT, SEE SITE PLAN
- PE-22 (E) 2ND FLR. RAISED TO (N) HEIGHT INDICATED (TOTAL RAISED IS 2'-9")
- PE-23 (N) CONC. RETAINING WALL AT SIDE YARD, SEE EXTERIOR ELEVATIONS
- PE-24 INTERIOR LAYOUT NOT SHOWN

PROJECT

**WASHINGTON-ERICKSON
RESIDENCE**
830 CERRITO STREET
ALBANY, CALIFORNIA
PARCEL # 66-2748-0

SHEET DATA

DATE: 2022.11.28
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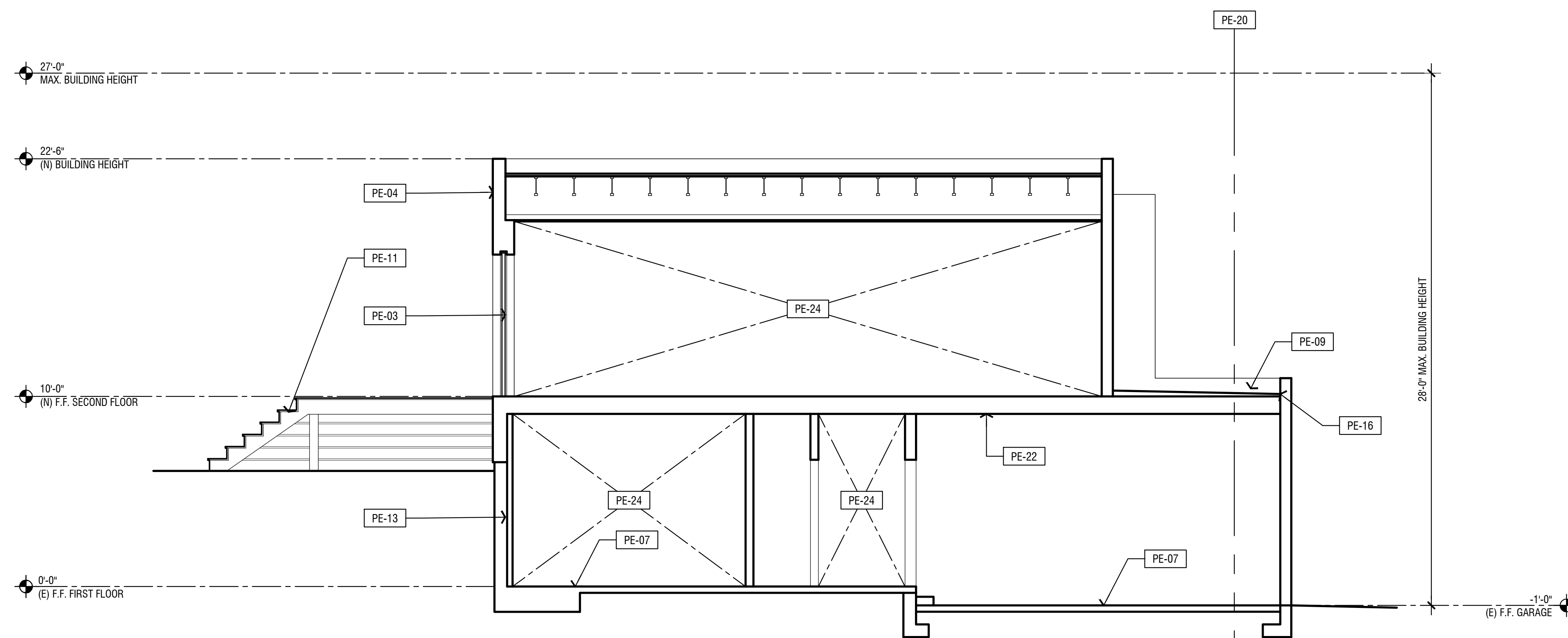
**PROPOSED
EXTERIOR
ELEVATIONS**

PROPOSED EXT. ELEV./ SECTION LEGEND

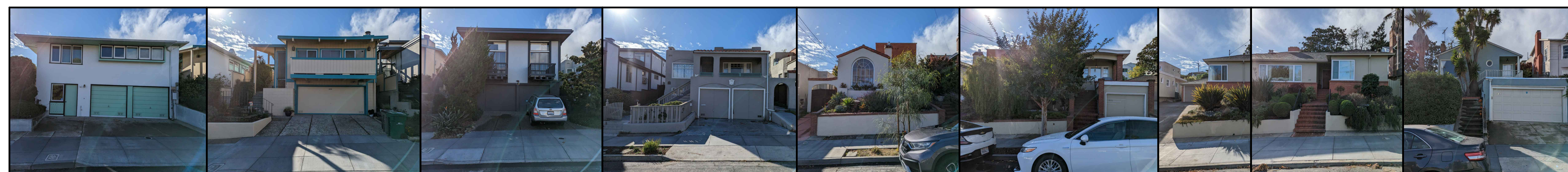
PE-XX	PROPOSED ELEVATION KEY NOTE	0 1 2 3 4 5
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PROPOSED EXT. ELEV./ SECTION KEY NOTES

- PE-01 (N) FIBERGLASS WINDOW, SEE SCHEDULE ON SHEET A5.0
- PE-02 (N) EXTERIOR FIBERGLASS DOOR, SEE SCHEDULE ON SHEET A5.0
- PE-03 (N) ALUM. CLAD WD. EXTERIOR POCKET DOOR, SEE SCHEDULE ON SHEET A5.0
- PE-04 (N) PARAPET AT ROOF
- PE-05 (N) INTERNAL STAIR BETWEEN FLOORS SHOWN DASHED
- PE-06 (N) PTD. STL. COLUMN
- PE-07 (N) CONC. SLAB ON GRADE
- PE-08 (N) RDWD. (STAINED, SEALED) DECK AND STAIRS W/ GUARD - CABLE RAILS BTWN POSTS
- PE-09 (N) SLOPED BUILT UP ROOF, SLOPE GUTTER, GUTTER TO SLOPE TO THRU WALL SCUPPER/ OVERFLOW
- PE-10 (N) 6" TALL RDWD. GATE AND FENCE AT SIDE YARD.
- PE-11 (N) STAIRS AT DECK - (5) 11" TREADS, (6) EQ. RISERS (MAX. 7 3/4") W/ 1X REDWOOD, STAINED AND SEALED
- PE-12 (N) 1x4 STAINED AND SEALED CEDAR T&G SIDING UNDER CANOPY
- PE-13 (N) RETAINING WALL AT FIRST FLOOR TO REPLACE (E) IN (E) LOCATION
- PE-14 (N) STUCCO FINISH TO MATCH EXISTING
- PE-15 (N) PTD. GARAGE DOOR
- PE-16 (N) LOWERED PARAPET OVER ON T.O. (E) WALL AT THE GARAGE ROOF.
- PE-17 SETBACK LINE, SEE SITE PLAN FOR MORE INFORMATION
- PE-18 (N) CANOPY AT FRONT DOOR, SLOPE BUILT UP ROOF AT CANOPY TO GUTTER BEHIND FASCIA.
- PE-19 (N) WD. RAILROAD TIES AT SIDE YARD FOR STEPS/ SHORT RETAINING, GRADE TO LEVEL OUT BTWN TIES.
- PE-20 SETBACK, SEE SITE PLAN
- PE-21 (N) THRU WALL SCUPPER, OVERFLOW AND DOWNSPOUT, SEE SITE PLAN
- PE-22 (E) 2ND FLR. RAISED TO (N) HEIGHT INDICATED (TOTAL RAISED IS 2'-9")
- PE-23 (N) CONC. RETAINING WALL AT SIDE YARD, SEE EXTERIOR ELEVATIONS
- PE-24 INTERIOR LAYOUT NOT SHOWN



01 PROPOSED BUILDING SECTION
SCALE: 1/4"=1'-0"

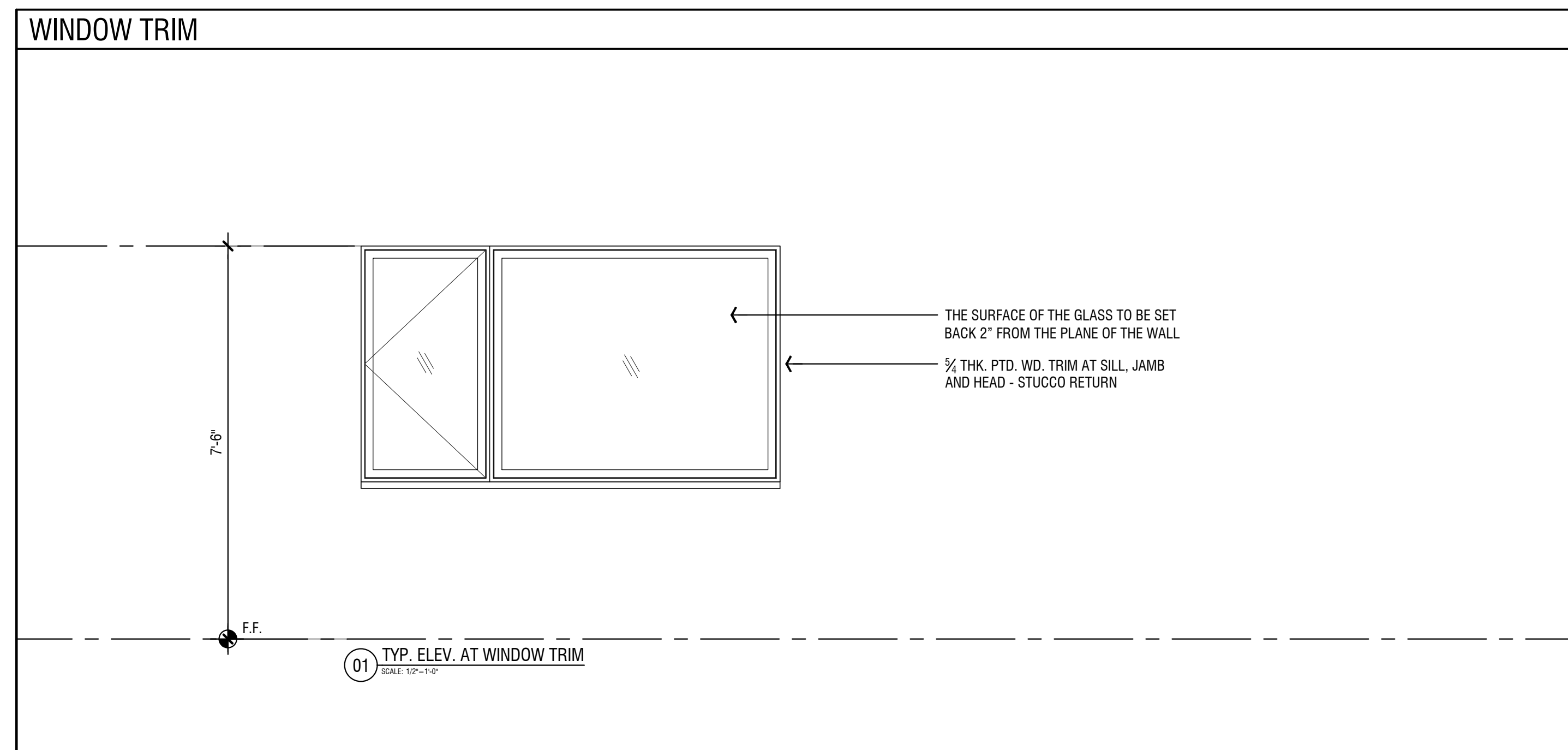


895 SOLANO AVENUE 836 CERRITO STREET 832 CERRITO STREET 830 CERRITO STREET 828 CERRITO STREET 826 CERRITO STREET 820 CERRITO STREET 816 CERRITO STREET

02 PANORAMIC STREET PHOTO ELEVATION
SCALE: N.T.S.

WINDOW SCHEDULE										
NO.	TYPE	LOCATION	HEAD A.F.F.	WIDTH	HEIGHT	MATERIAL	FINISH/ COLOR	GLAZING	MANUF./ MODEL NO.	NOTES
W01	SEE EXT. ELEV.	OFFICE	7'-6"	2'-6"	5'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL ESCA2656	
W02	SEE EXT. ELEV.	POWDER ROOM	7'-6"	2'-0"	4'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL ESCA2046	
W03	SEE EXT. ELEV.	MASTER BEDROOM	7'-6"	8'-5"	4'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL ESCAP6046/ ESCA2646	
W04	SEE EXT. ELEV.	(E) BEDROOM NO.1	7'-6"	10'-4 1/2"	1'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL ESAWN3616/ ESAWN3616/ ESAWN3616	
W05	SEE EXT. ELEV.	(E) BEDROOM NO.1	7'-6"	8'-0"	4'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL ESCA2646/ FIXED PICTURE WINDOW	
W06	SEE EXT. ELEV.	LIVING ROOM	7'-6"	11'-11 1/2"	4'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL FIXED PICTURE WINDOW 9'-6" WIDE/ ESCA2646	
W07	SEE EXT. ELEV.	LIVING ROOM	7'-6"	10'-4 1/2"	1'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL ESAWN3616/ ESAWN3616/ ESAWN3616	
W08	SEE EXT. ELEV.	KITCHEN	7'-6"	11'-11 1/2"	4'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL FIXED PICTURE WINDOW 9'-6" WIDE/ ESCA2646	
W09	SEE EXT. ELEV.	(E) BEDROOM NO.2	7'-6"	8'-0"	4'-6"	FIBERGLASS	INT: TBD; EXT: TBD	INSULATED; LOW-E2	MARVIN/ ESSENTIAL ESCA2646/ FIXED PICTURE WINDOW	
W10	SEE PLAN SKYLIGHT	DINING ROOM	--	3'-8"	3'-10"	--	--	INSULATED; SAFETY GLAZING	VELUX/ VSS-S06 SOLAR POWERED "FRESH AIR" SKYLIGHT	

DOOR SCHEDULE											
NO.	TYPE	LOCATION	FIRE RATING	WIDTH	HEIGHT	MATERIAL	FINISH	GLAZING	MANUF./ MODEL NO.	HDW GROUP	NOTES
D01	SEE EXT. ELEV.	EXTERIOR ENTRY	--	3'-6"	7'-6"	FIBERGLASS	TBD	INSULATED; LOW E2 SAFETY GLAZING	TBD	TBD	
D02	SEE EXT. ELEV.	EXTERIOR KITCHEN	--	5'-0"	7'-6"	ALUM. CLAD WD.	TBD	INSULATED; LOW E2 SAFETY GLAZING	TBD	TBD	



WASHINGTON-ERICKSON
RESIDENCE
830 CERRITO STREET
ALBANY, CALIFORNIA
PARCEL # 66-2748-0

SHEET DATA

DATE: 2022.11.28
JOB NO.: 22001
PHASE: PLANNING
ISSUED: DESIGN REVIEW
SCALE: 1/4" = 1'-0"
SHEET TITLE

SCHEDULES

