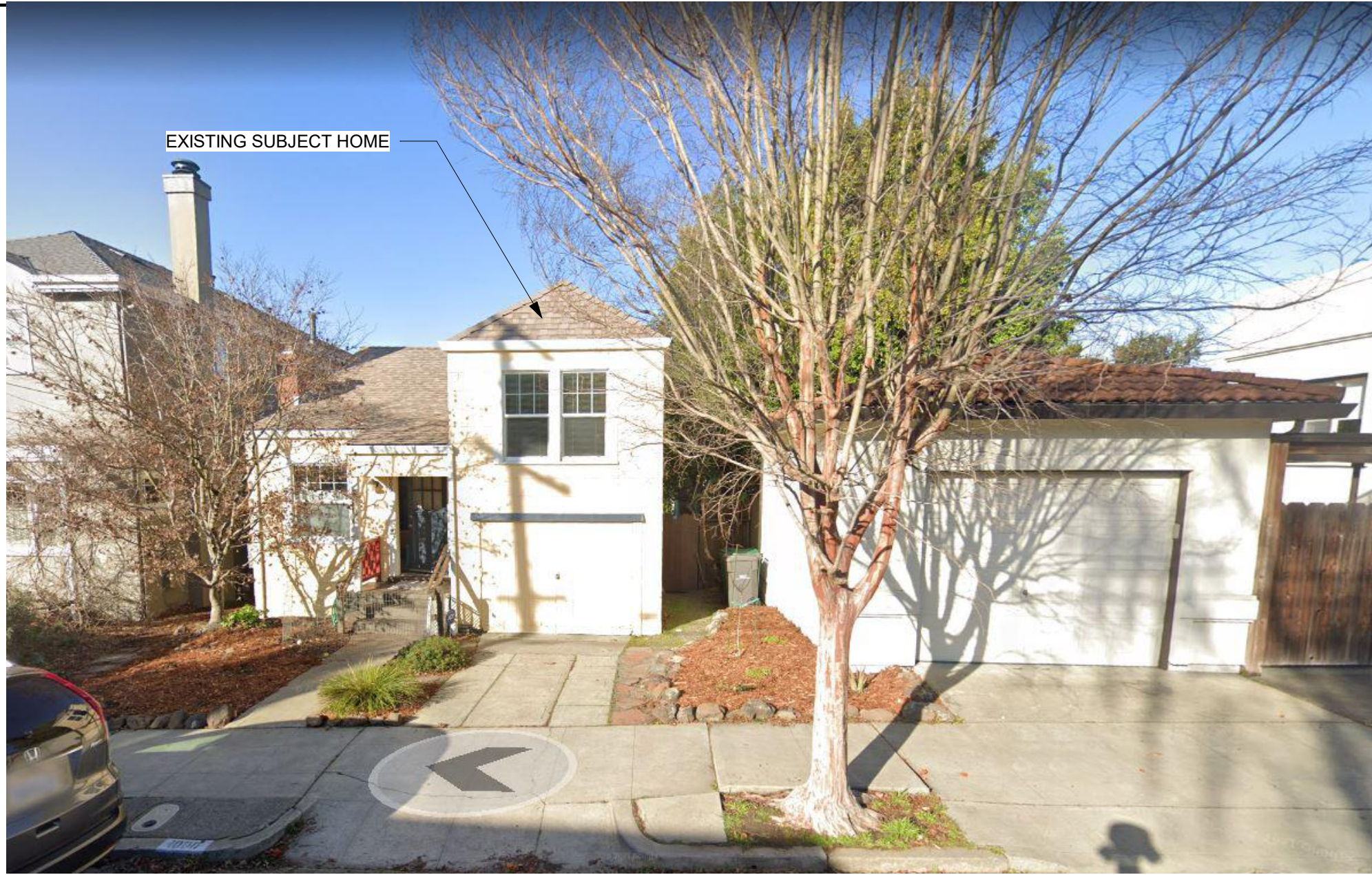


TITLE PAGE - DRAWING INDEX				
SHEET NUMBER	SHEET NAME	PLANNING PERMIT #	PLAN CHECK / PRICING SET	BID SET XXXXX
A000	COVER SHEET	X		
A100	EXISTING SITE PLAN	X		
A101	EXISTING FLOOR PLANS	X		
A102	EXISTING ROOF PLAN	X		
A200	(N) SITE PLAN	X		
A201	(N) BASEMENT FLOOR PLAN	X		
A202	(N) FIRST FLOOR PLAN	X		
A203	(N) ROOF PLAN	X		
A300	EXISTING ELEVATIONS	X		
A301	PROPOSED ELEVATIONS	X		
A302	STREET ELEVATIONS & PHOTOS	X		
A400	BUILDING SECTIONS	X		
A800	WINDOW SCHEDULE	X		
A900	SECTION PERSPECTIVES	X		
SU1	SURVEY	X		

SHEET NUMBER	SHEET NAME	PLANNING PERMIT #	PLAN CHECK / PRICING SET	BID SET XXXXX	100% CD SET
A000	COVER SHEET	X			
A100	EXISTING SITE PLAN	X			
A101	EXISTING FLOOR PLANS	X			
A102	EXISTING ROOF PLAN	X			
A200	(N) SITE PLAN	X			
A201	(N) BASEMENT FLOOR PLAN	X			
A202	(N) FIRST FLOOR PLAN	X			
A203	(N) ROOF PLAN	X			
A300	EXISTING ELEVATIONS	X			
A301	PROPOSED ELEVATIONS	X			
A302	STREET ELEVATIONS & PHOTOS	X			
A400	BUILDING SECTIONS	X			
A800	WINDOW SCHEDULE	X			
A900	SECTION PERSPECTIVES	X			
SU1	SURVEY	X			

	FIRM	ADDRESS	CONTACT	PHONE	EMAIL
CLIENT	SIMON HARA AND SADIKA SULAIMAN	1000 VENTURA AVE. ALBANY, CA 94706	SADIKA SULAIMAN	(510) 326-6334	SADIKA.SULAIMAN@GMAIL.COM
ARCHITECT	KAILEEN YEN		KAILEEN YEN	(408) 529-2903	KAILEENY@GMAIL.COM
SURVEY	LEA & BRAZE ENGINEERING, INC.	2945 INDUSTRIAL PKWY WEST HAYWARD, CA 94545	RYAN BARTON	(510) 887-4086 X150	RBARTON@LEABRAZE.COM
CIVIL					
GEOTECHNICAL					
GREEN BUILDING					
STRUCTURAL					
MEP					
TITLE 24					
ARBORIST					
CONTRACTOR					

# 1000 VENTURA AVENUE



## PROJECT DATA

## PROJECT INFORMATION

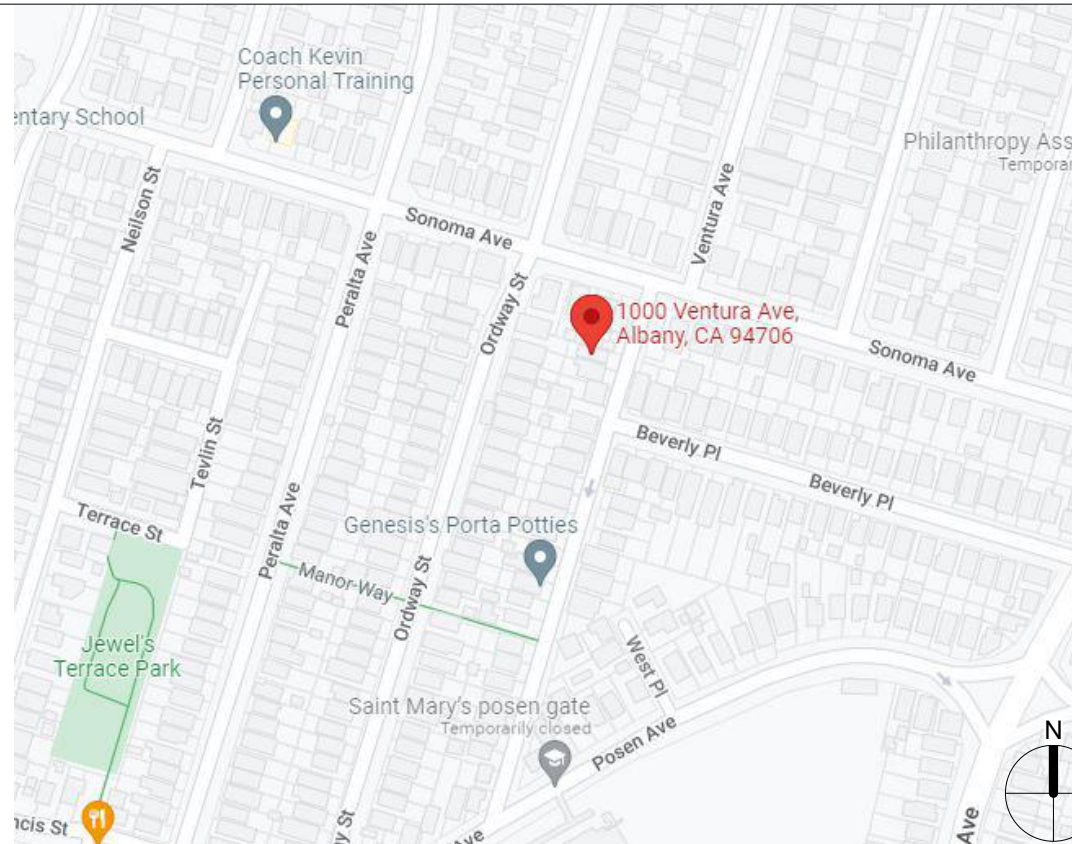
RENOVATION AND REAR ADDITION OF AN EXISTING SINGLE FAMILY 2 BED/ 1 BATH HOME.  
 PROPOSED HOME WILL HAVE 4 BED/ 2.5 BATH, NEW REAR DECK AND PARTIAL BASEMENT.  
 PROPOSED FAR: 0.55  
 PROPOSED FLOOR AREA: 1,749 SF  
 PROPOSED LOT COVERAGE: 1,415 SF

## PROJECT DESCRIPTION

ADDRESS: 1000 VENTURA AVE. ALBANY, CA 94706  
 PARCEL: 65-2630-5  
 ZONING: R1  
 INTERSECTION: VENTURA AVE. AND SONOMA AVE.  
 LOT SIZE: 30'-10.5" x 102'-6.5"  
 LOT AREA: 3,181 SF  
 OCCUPANCY TYPE: R-3  
 CONSTRUCTION TYPE: V-B

APPLICABLE CODES:  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALGREEN CODE  
 2019 CALIFORNIA FIRE CODE

## VICINITY MAP



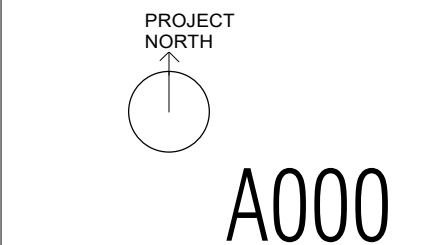
1000 Ventura Avenue  
Albany, CA, 94706

## REVISION SCHEDULE

#	Date	Description

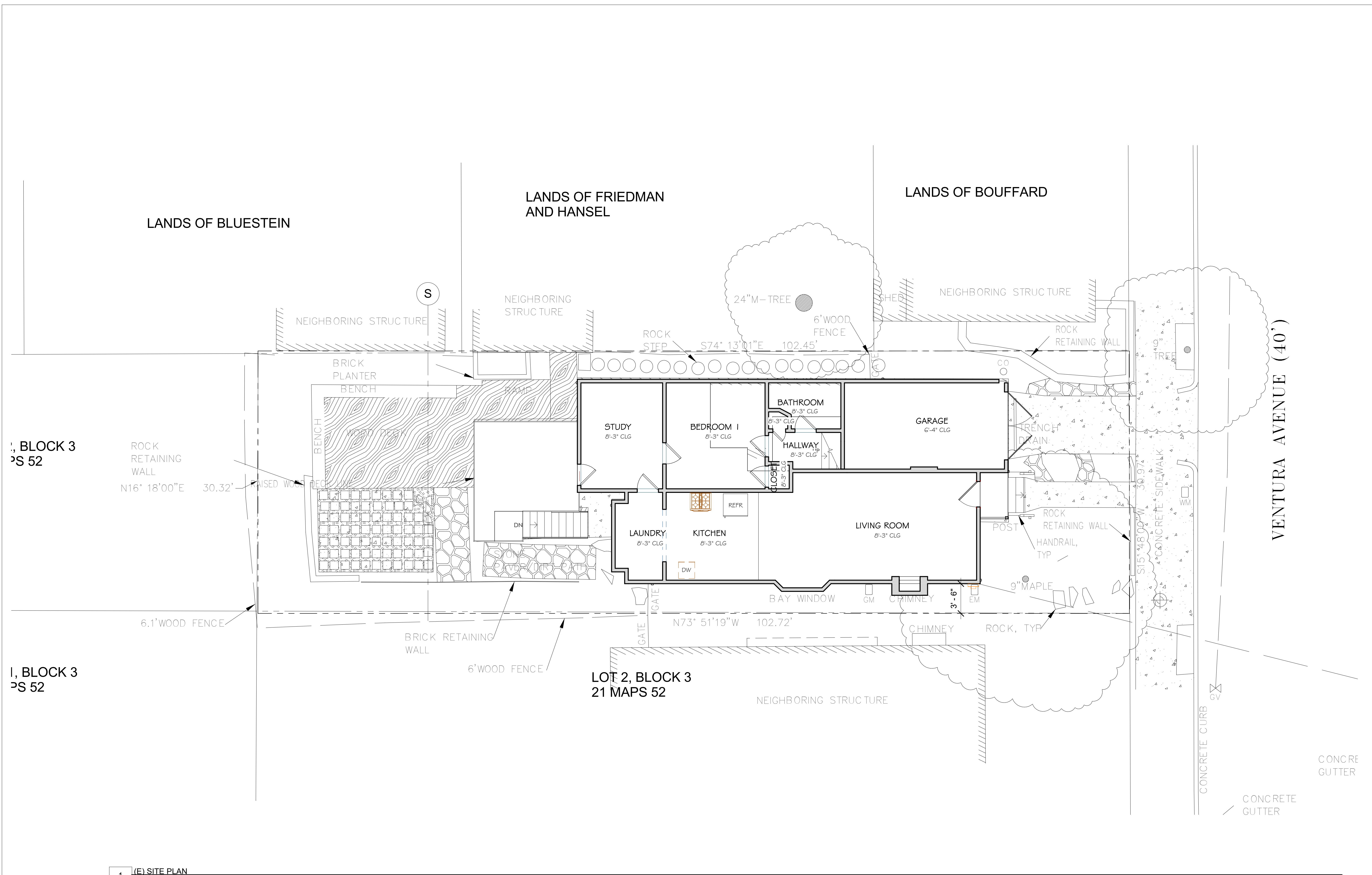
## PLANNING PERMIT

COVER SHEET



DATE	11/19/2020
SCALE	As Indicated
DRAWN	GG, MH, JD
Project Number	





1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

PLANNING PERMIT

EXISTING SITE PLAN

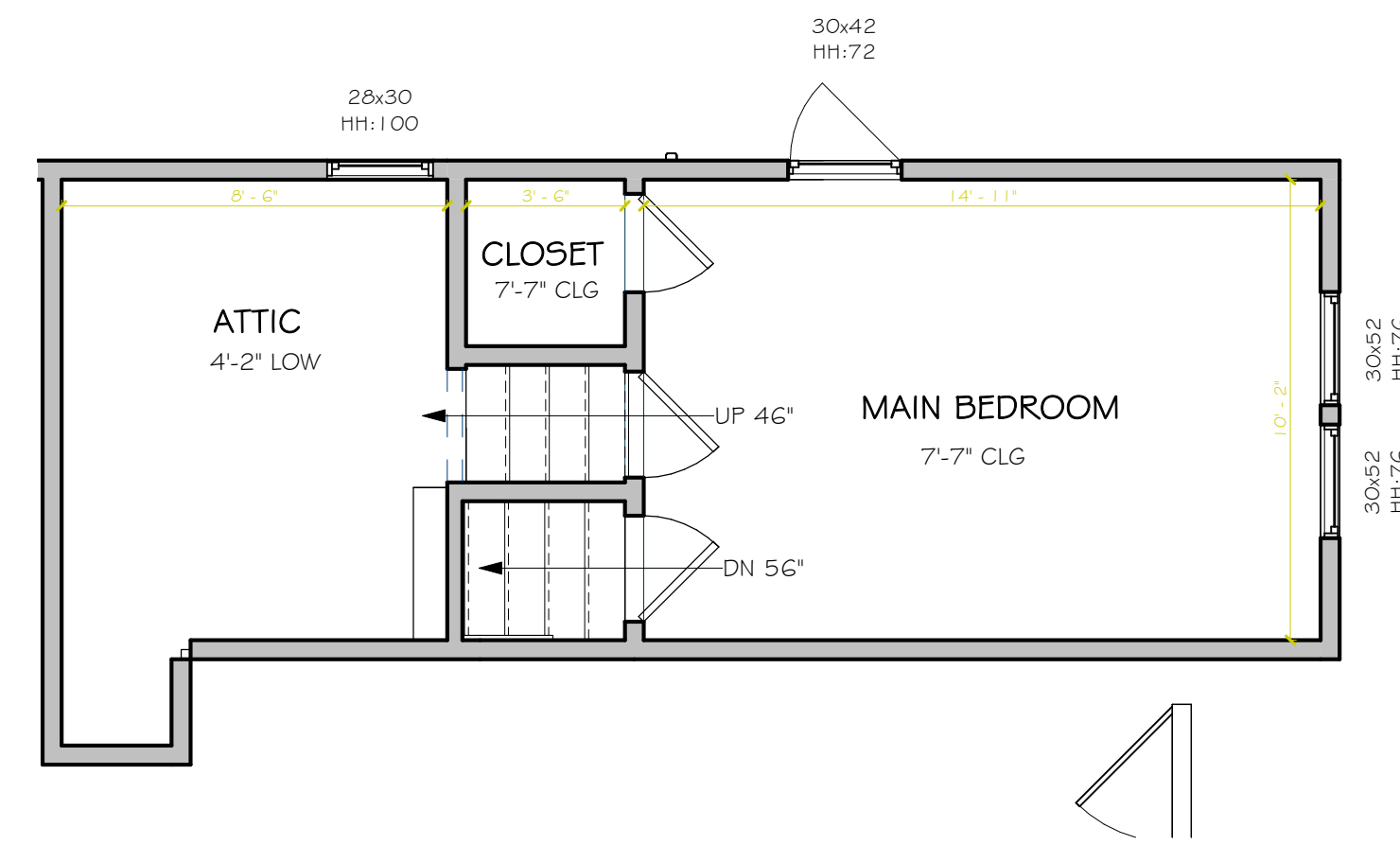
PROJECT NORTH

**A100**

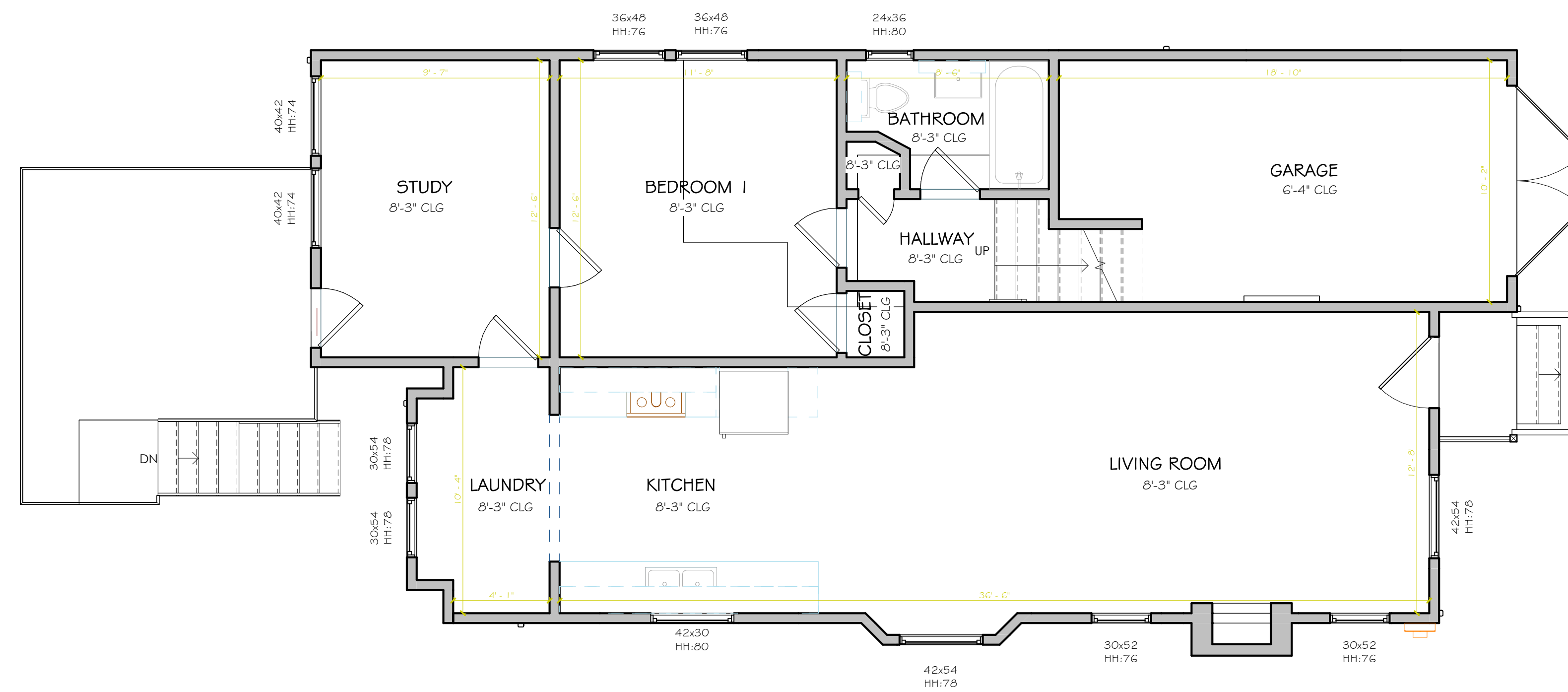
DATE	11/19/2020
SCALE	3/16" = 1'-0"
DRAWN	GG, MH, JD

Project Number

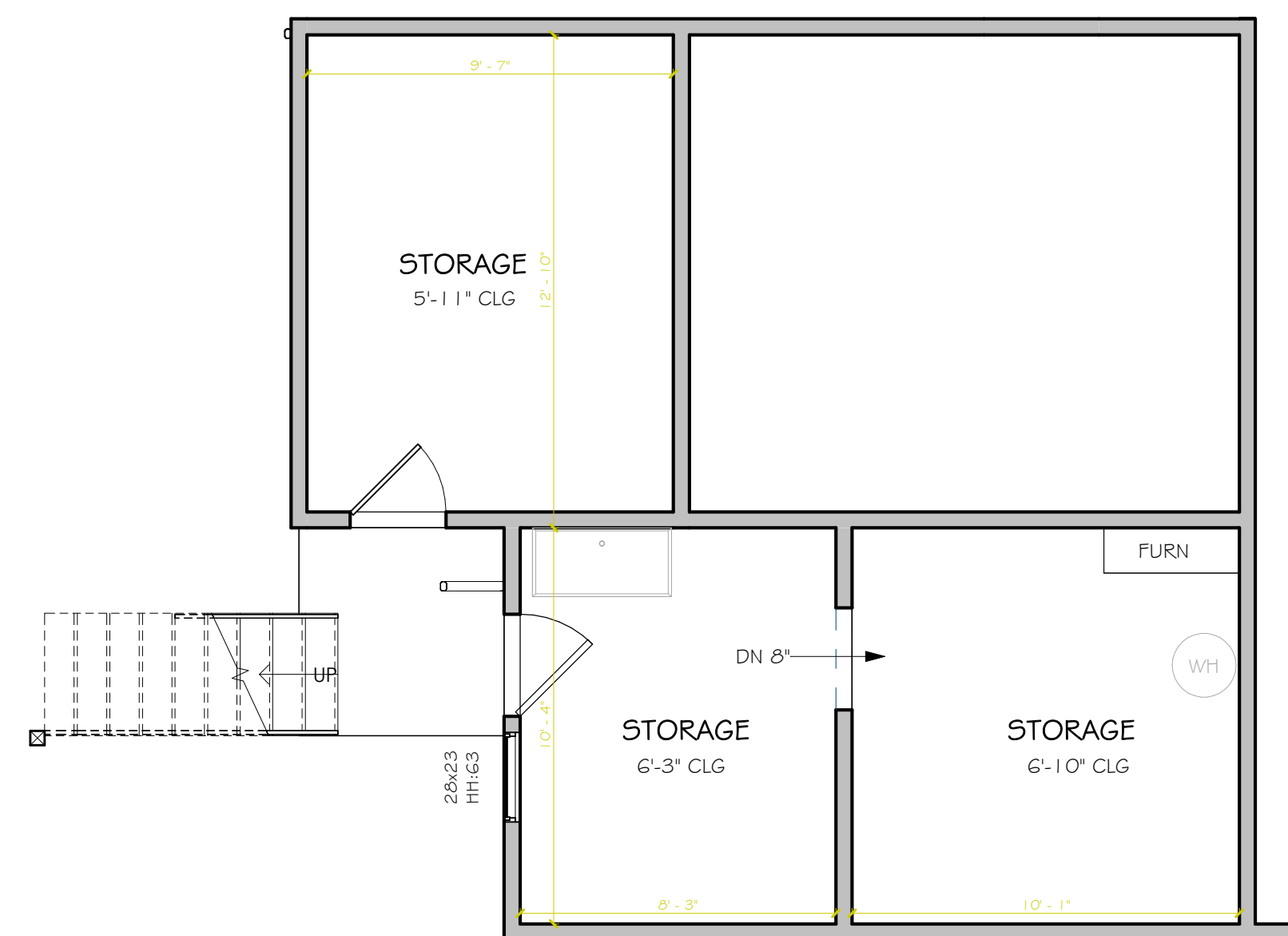
1 (E) SITE PLAN  
3/16" = 1'-0"



2 (E) Second Floor  
1/4" = 1'-0"



1 (E) First Floor  
1/4" = 1'-0"



3 (E) Basement Floor  
1/4" = 1'-0"

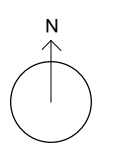
1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE

#	Date	Description

PLANNING PERMIT

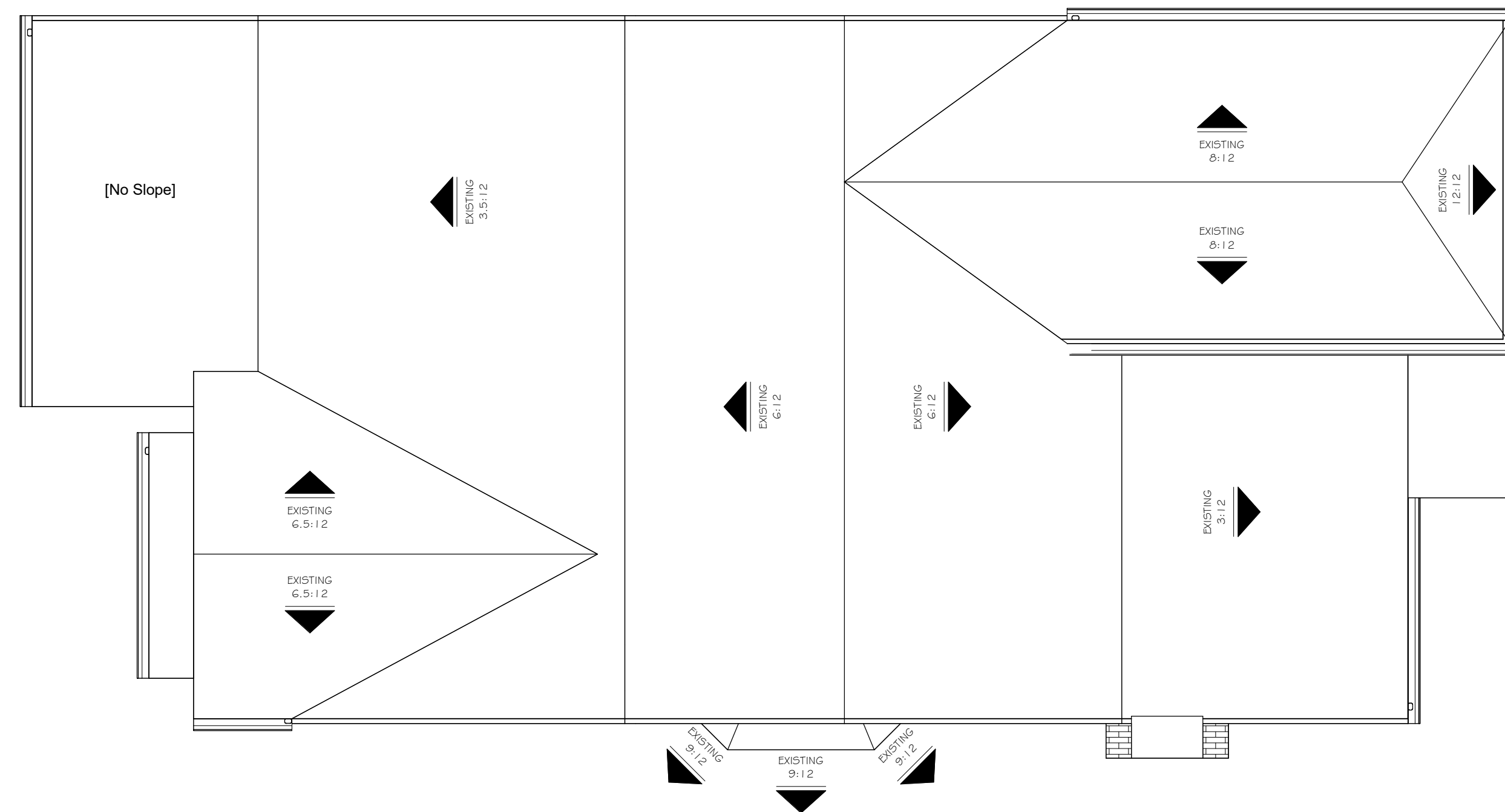
EXISTING FLOOR PLANS



A101

DATE	09/19/2022
SCALE	1/4" = 1'-0"
DRAWN	GG, MH, JD

Project Number



① T.O. ROOF  
1/4" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE

#	Date	Description

PLANNING PERMIT

EXISTING ROOF PLAN

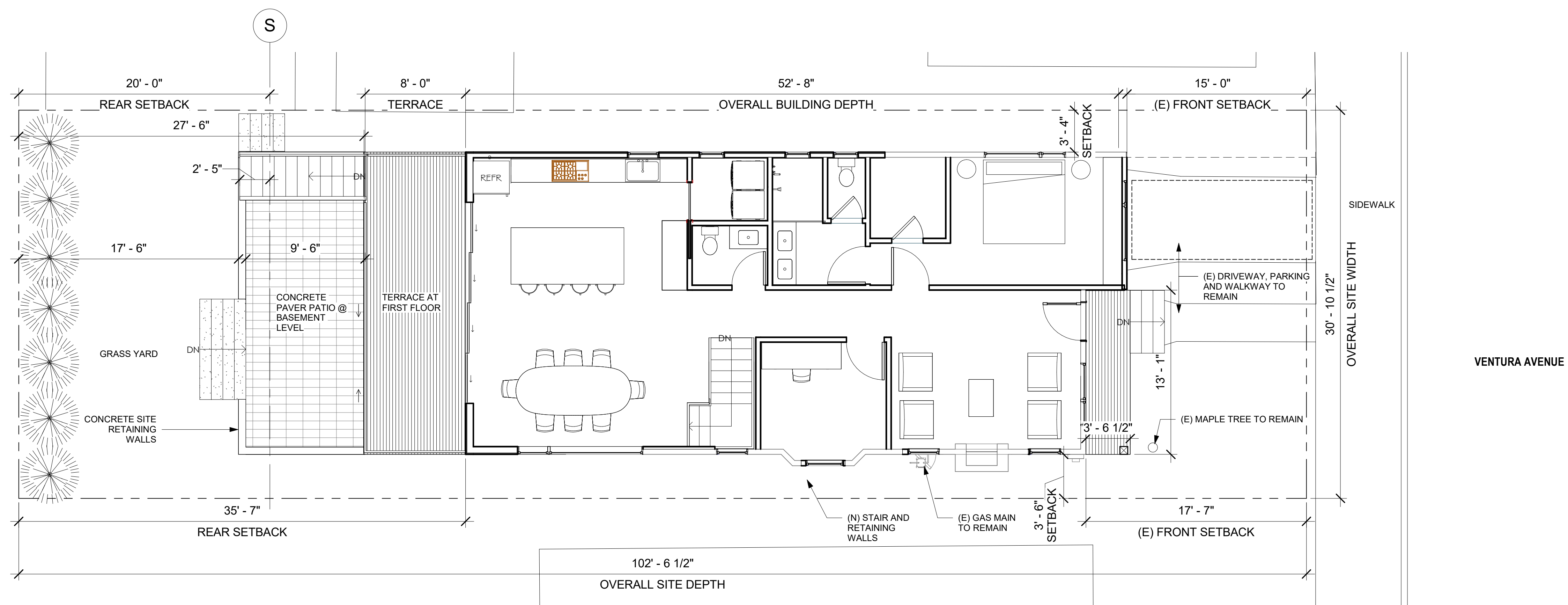


A102

DATE	11/19/2020
SCALE	1/4" = 1'-0"
DRAWN	GG, MH, JD

Project Number





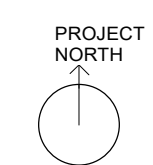
1 (N) SITE PLAN  
3/16" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

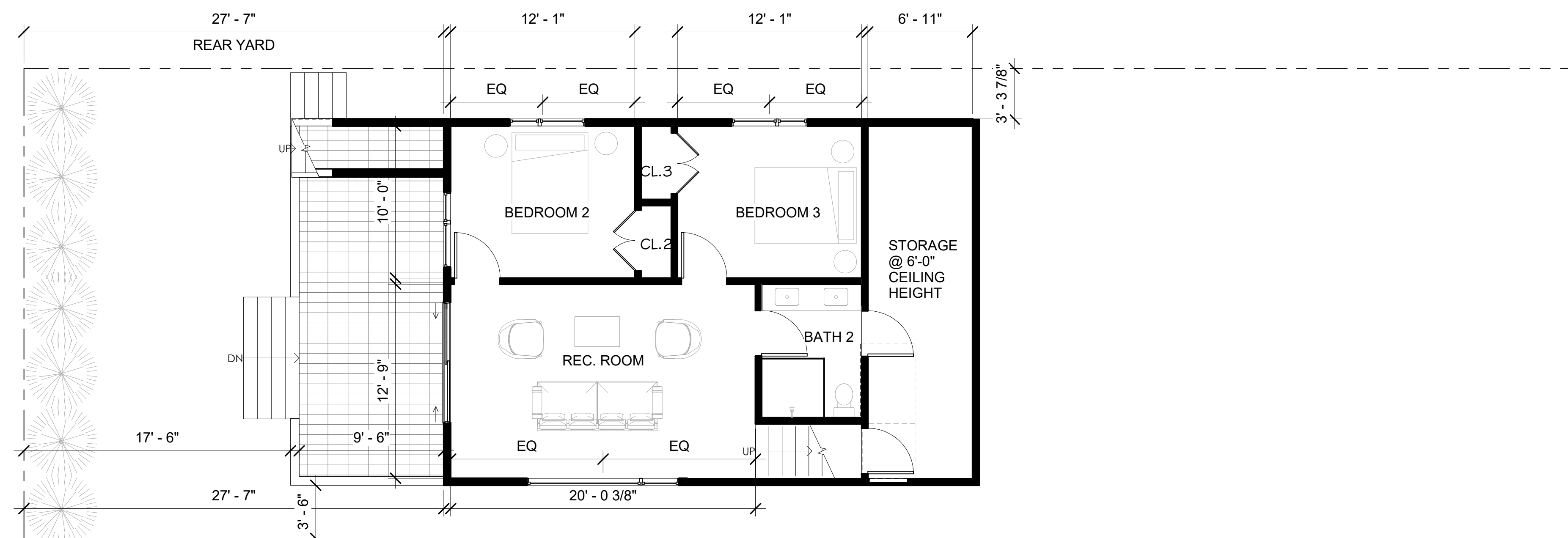
PLANNING PERMIT

(N) SITE PLAN



A200

DATE	11/19/2020
SCALE	3/16" = 1'-0"
DRAWN	GG, MH, JD
Project Number	



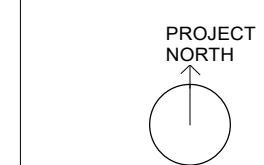
1 (N) BASEMENT FLOOR  
3/16" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

PLANNING PERMIT

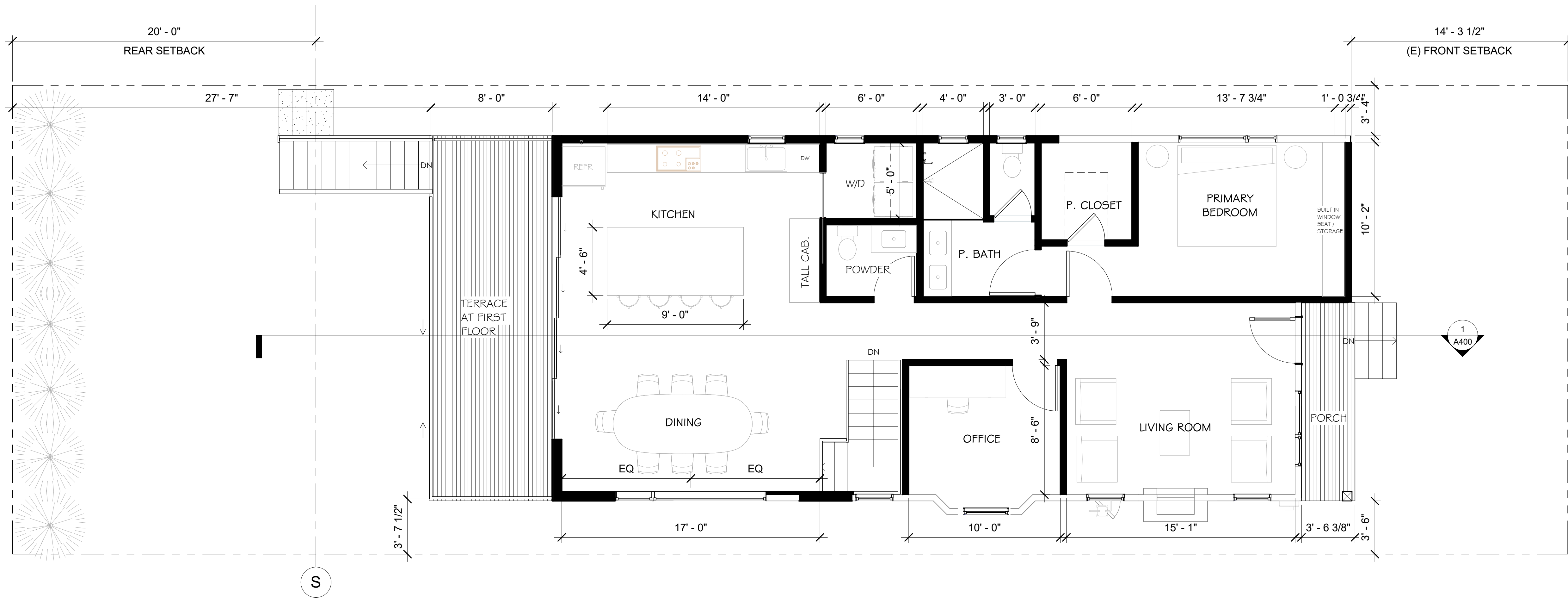
(N) BASEMENT FLOOR PLAN



A201

DATE	11/19/2020
SCALE	3/16" = 1'-0"
DRAWN	GG, MH, JD
Project Number	





1 (N) First Floor Plan  
1/4" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description
1		A400

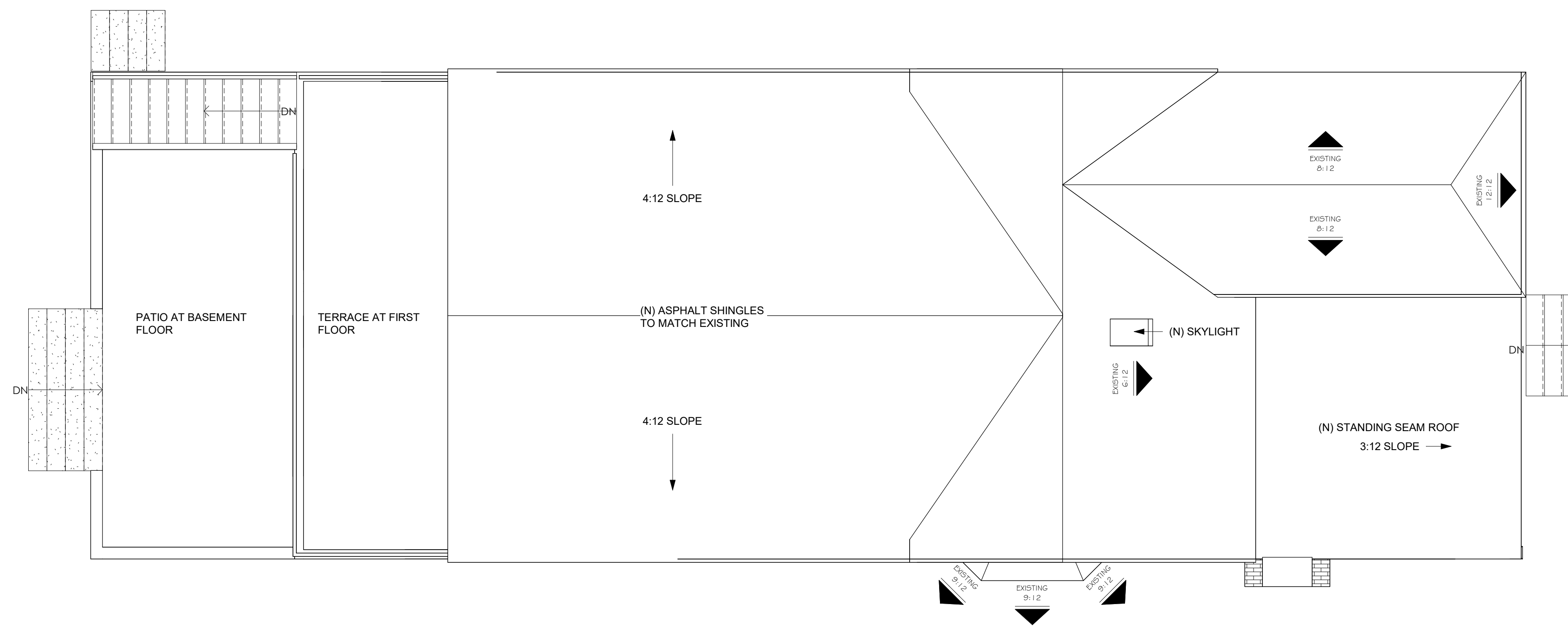
PLANNING PERMIT

(N) FIRST FLOOR PLAN



A202

DATE	11/19/2020
SCALE	1/4" = 1'-0"
DRAWN	GG, MH, JD
Project Number	



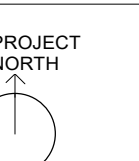
1 (N) ROOF PLAN  
1/4" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

PLANNING PERMIT

(N) ROOF PLAN



A203

DATE	11/19/2020
SCALE	1/4" = 1'-0"
DRAWN	GG, MH, JD
Project Number	

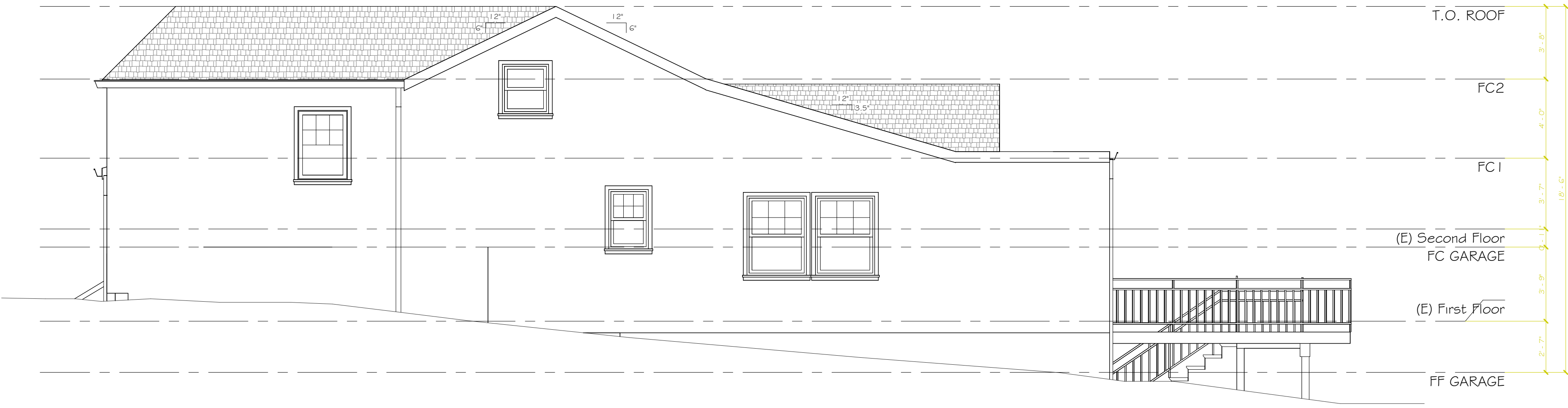




2 (E) South Elevation  
1/4" = 1'-0"



1 (E) East Elevation  
1/4" = 1'-0"



3 (E) North Elevation  
1/4" = 1'-0"



4 (E) West Elevation  
1/4" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

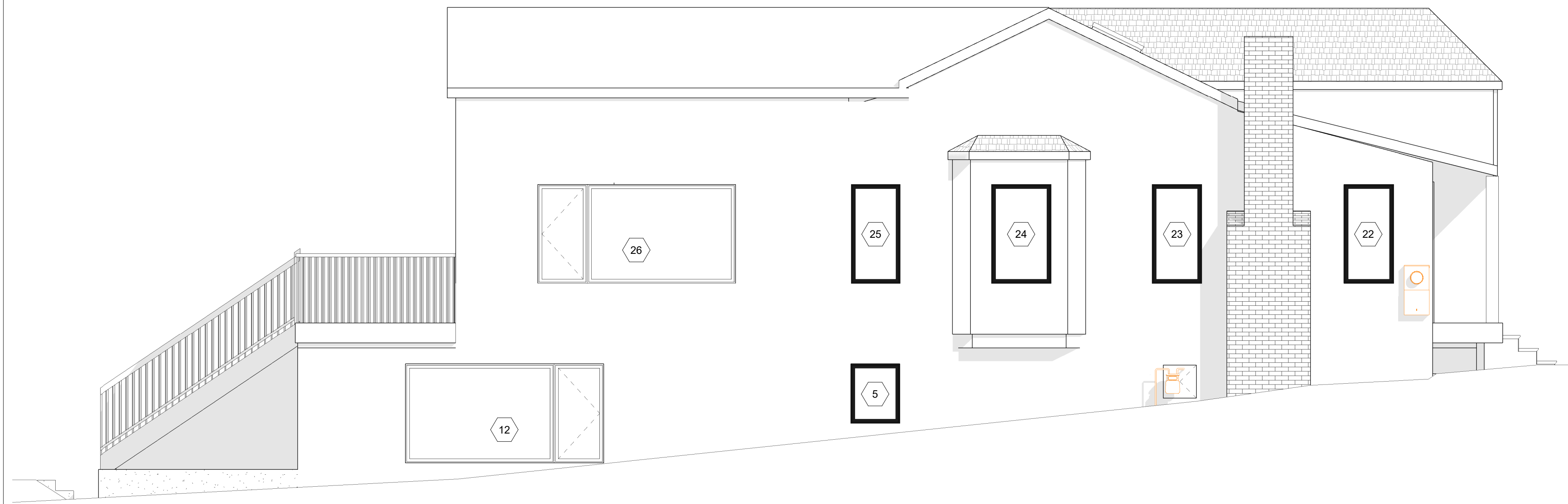
PLANNING PERMIT

EXISTING ELEVATIONS

A300

DATE	09/19/2022
SCALE	1/4" = 1'-0"
DRAWN	GG, MH, JD
Project Number	

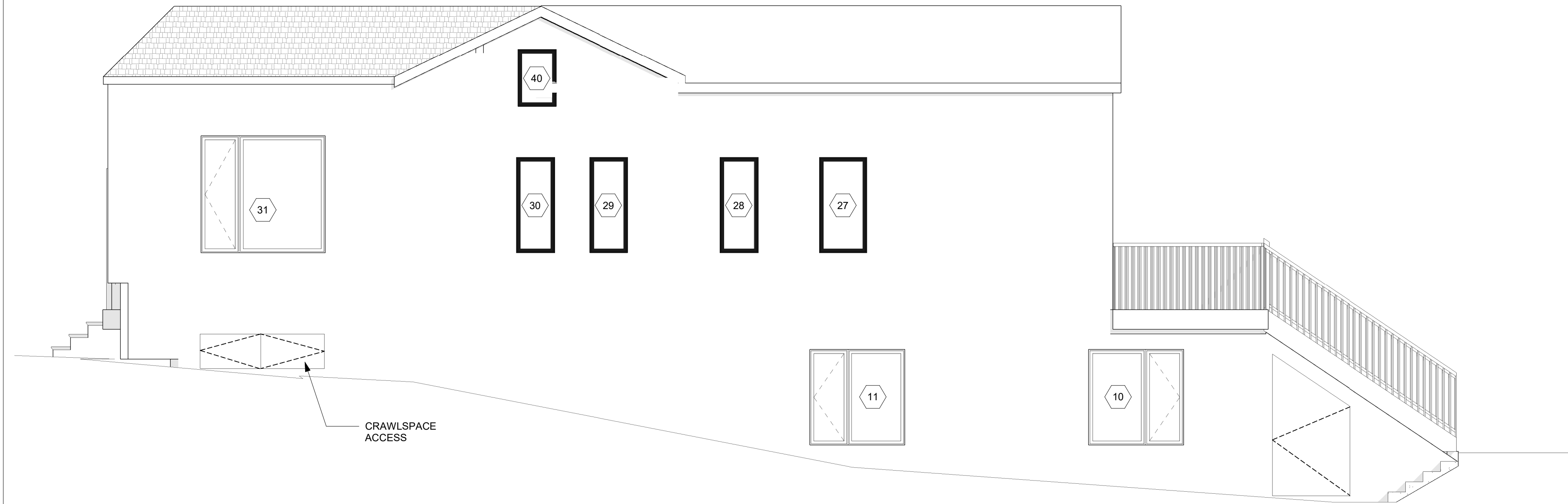
GENERAL NOTE: ALL NEW FACADES WILL BE PAINTED SMOOTH STUCCO AND NEW WINDOWS TO BE THERMALLY BROKEN ALUMINUM WINDOWS.



3 (N) South Elevation  
1/4" = 1'-0"



1 (N) East Elevation  
1/4" = 1'-0"



4 (N) North Elevation  
1/4" = 1'-0"



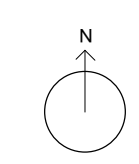
2 (N) West Elevation  
1/4" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

PLANNING PERMIT

PROPOSED ELEVATIONS



A301

DATE	09/19/2022
SCALE	1/4" = 1'-0"
DRAWN	GG, MH, JD
Project Number	

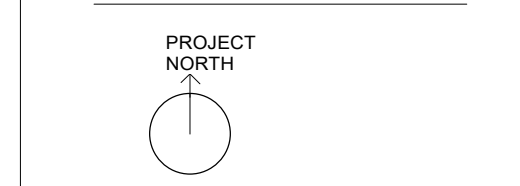



1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

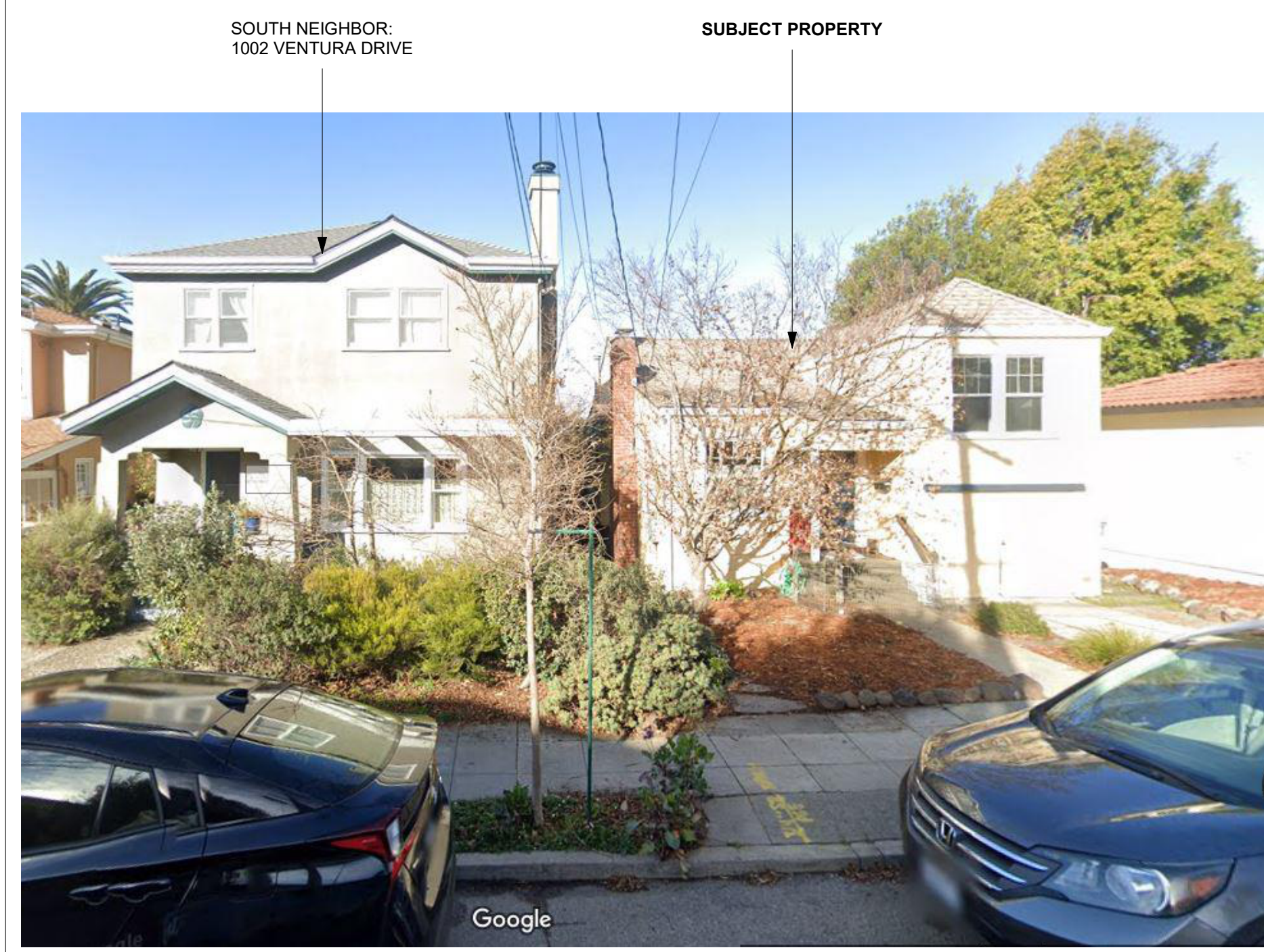
PLANNING PERMIT

STREET ELEVATIONS & PHOTOS



A302

DATE	11/19/2020
SCALE	6" = 1'-0"
DRAWN	GG, MH, JD
Project Number	

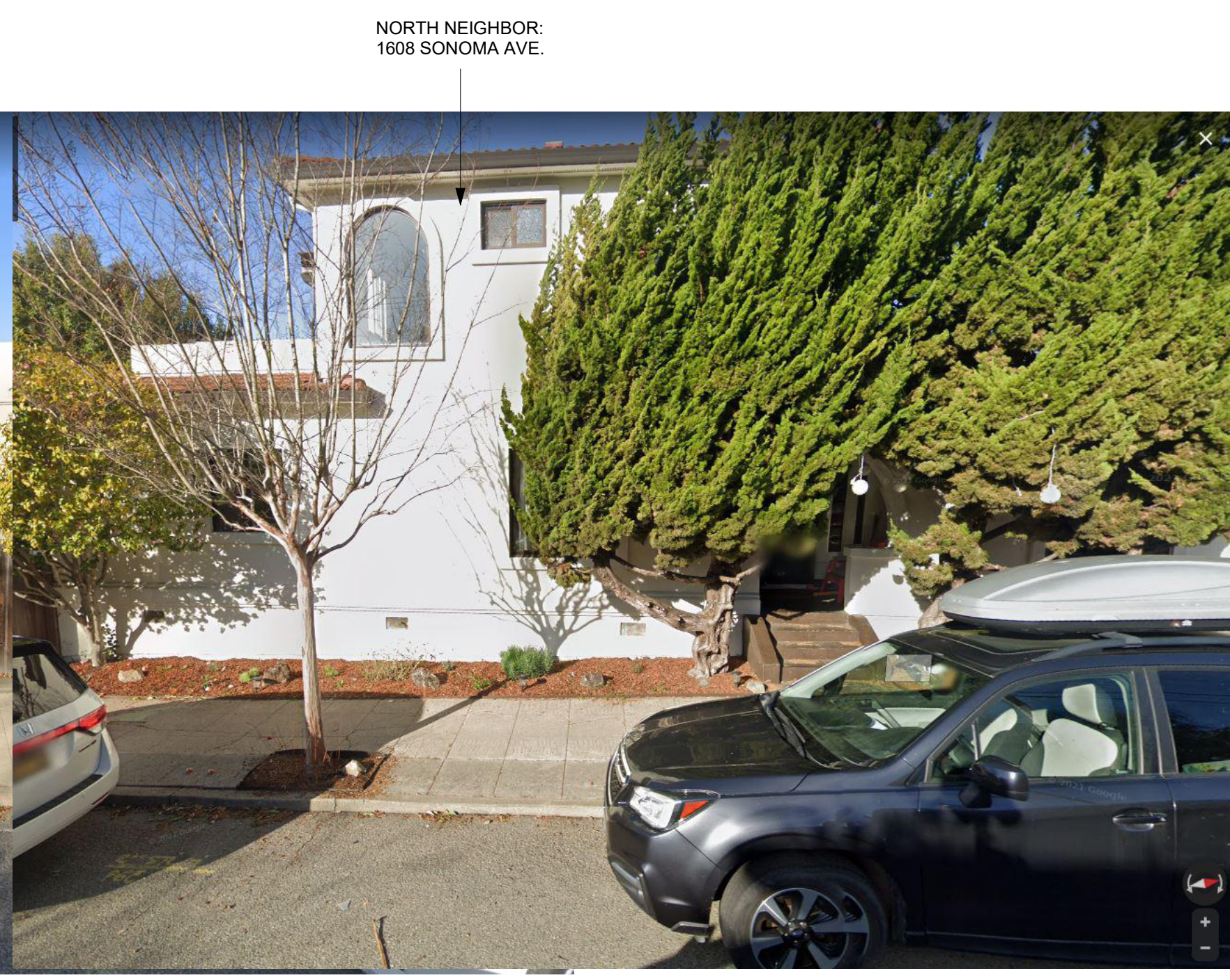


SOUTH NEIGHBOR:  
1002 VENTURA DRIVE

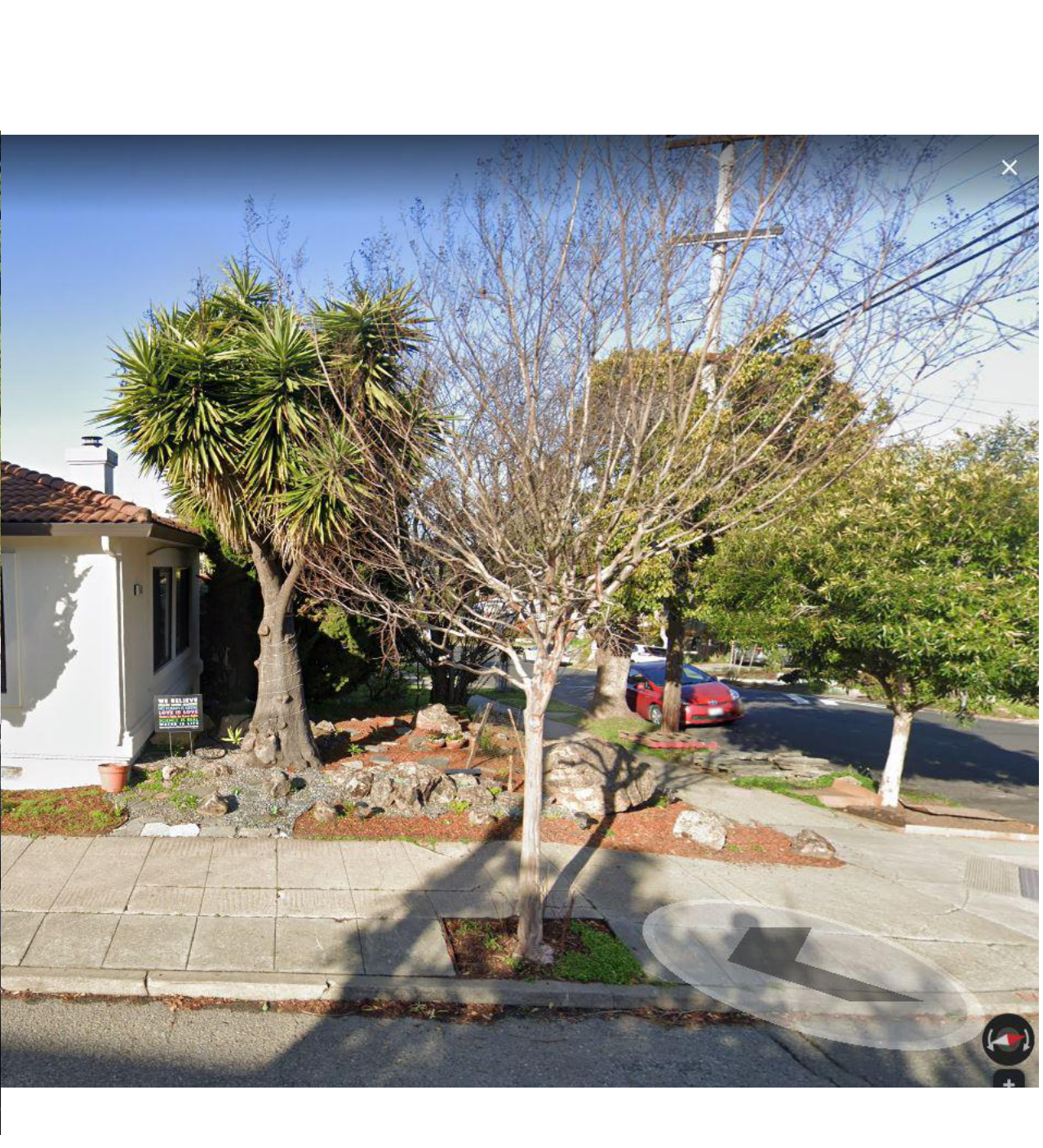
SUBJECT PROPERTY



NORTH NEIGHBOR'S GARAGE:  
1608 SONOMA AVE.

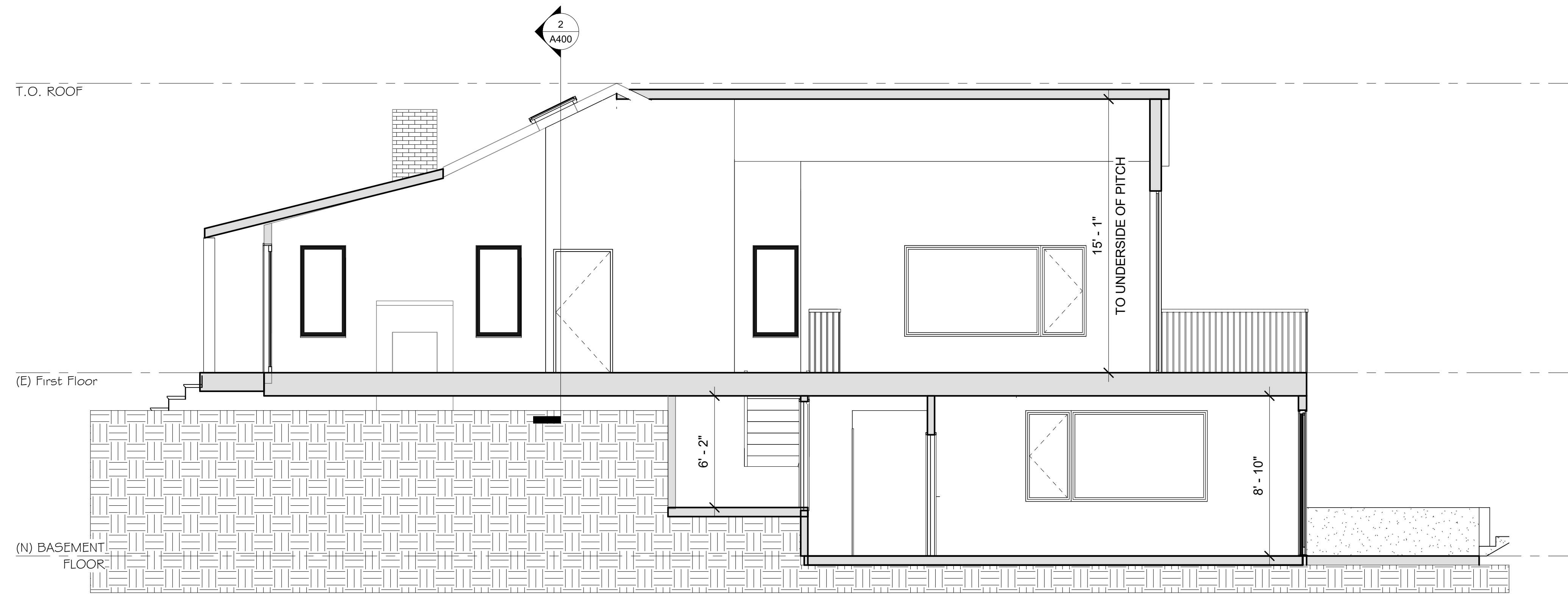


NORTH NEIGHBOR:  
1608 SONOMA AVE.

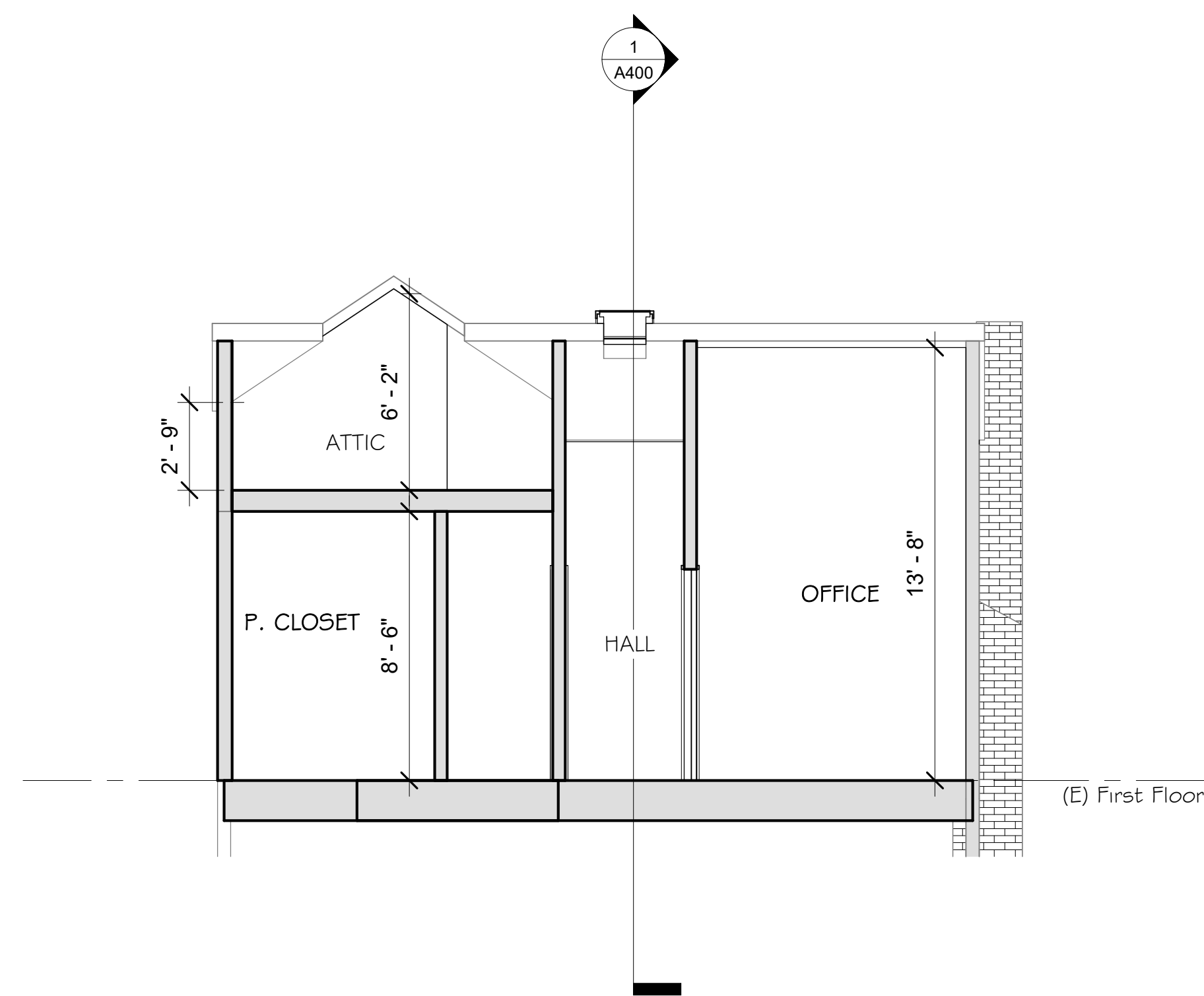


Google





1 LONG SECTION  
1/4" = 1'-0"



2 Section 2  
1/4" = 1'-0"

1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE

#	Date	Description

PLANNING PERMIT

BUILDING SECTIONS

PROJECT NORTH



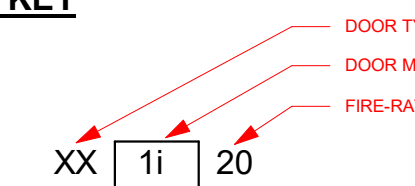
A400

DATE	11/19/2020
SCALE	1/4" = 1'-0"
DRAWN	GG, MH, JD
Project Number	

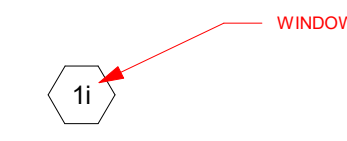
WINDOW SCHEDULE									
Mark	Level	Manufacturer	Operation	Width	Height	Frame Material	Sill Height	Glazing	Comments
5	(N) BASEMENT FLOOR	Marvin Windows and Doors	Casement	2' - 6"	3' - 0"		5' - 0"		
10	(N) BASEMENT FLOOR	Marvin Windows and Doors	Casement	5' - 0"	5' - 0"		3' - 0"	Tempered; Double glazing	
11	(N) BASEMENT FLOOR	Marvin Windows and Doors	Casement	5' - 0"	5' - 0"		3' - 0"	Tempered; Double glazing	
12	(N) BASEMENT FLOOR	Marvin Windows and Doors	Casement	10' - 0"	5' - 0"		3' - 0"	Tempered; Double glazing	
13	(N) BASEMENT FLOOR	Marvin Windows and Doors	Casement	5' - 0"	5' - 0"		3' - 0"	Tempered; Double glazing	
20	(E) First Floor	Marvin Windows and Doors	Casement	6' - 6"	6' - 2"		3' - 0"	Tempered; Double glazing	
21	(E) First Floor	Marvin Windows and Doors	Casement	5' - 0"	5' - 0"		2' - 2"	Tempered; Double glazing	
22	(E) First Floor	Marvin Windows and Doors	Casement	2' - 6"	5' - 0"		2' - 0"		
23	(E) First Floor	Marvin Windows and Doors	Casement	2' - 6"	5' - 0"		2' - 0"		
24	(E) First Floor	Marvin Windows and Doors	Casement	3' - 0"	5' - 0"		2' - 0"		
25	(E) First Floor	Marvin Windows and Doors	Casement	2' - 6"	5' - 0"		2' - 0"		
26	(E) First Floor	Marvin Windows and Doors	Casement	10' - 0"	5' - 0"		2' - 0"	Tempered; Double glazing	
27	FC2	Velux	Skylight	1' - 10"	2' - 10"				
27	(E) First Floor	Marvin Windows and Doors	Casement	2' - 6"	5' - 0"		3' - 0"		
28	(E) First Floor	Marvin Windows and Doors	Casement	2' - 0"	5' - 0"		3' - 0"		
29	(E) First Floor	Marvin Windows and Doors	Casement	2' - 0"	5' - 0"		3' - 0"		
30	(E) First Floor	Marvin Windows and Doors	Casement	2' - 0"	5' - 0"		3' - 0"		
31	(E) First Floor	Marvin Windows and Doors	Casement	6' - 6"	6' - 2"		3' - 0"	Tempered; Double glazing	
40	FC1	Marvin Windows and Doors	Casement	2' - 0"	3' - 0"		2' - 5"		

EXTERIOR DOOR SCHEDULE									
Mark	Level	Manufacturer	Operation	Width	Height	Material	Glazing	Comments	
1	(E) First Floor	TBD	Swing	3' - 0"	7' - 0"				
2	(E) First Floor	Marvin Windows and Doors	Multi-slider	16' - 0"	10' - 0"		Tempered; Double glazing		
3	(N) BASEMENT FLOOR	Marvin Windows and Doors	Slider	8' - 0"	8' - 0"		Tempered; Double glazing		

**DOOR KEY**



**WINDOW KEY**

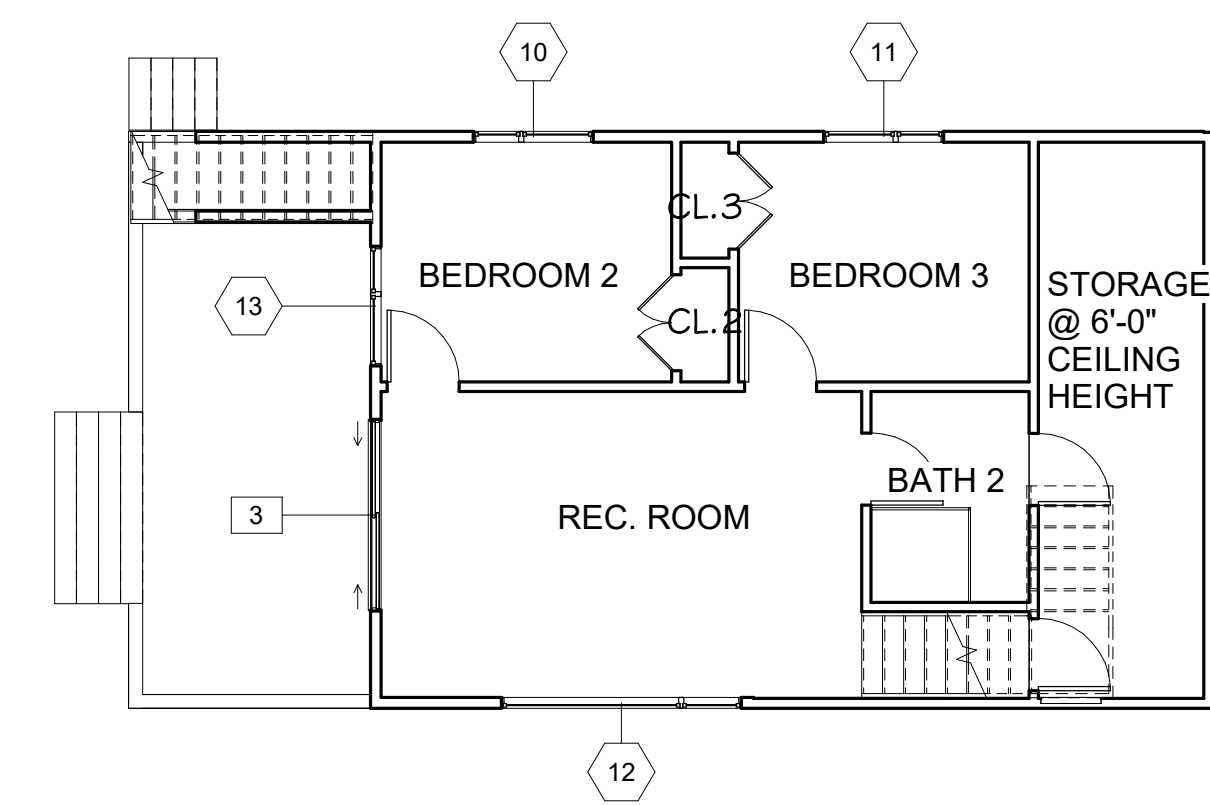


**KEY**

F = FROSTED      E = EGRESS  
T = TEMPERED  
X = OPERABLE  
O = INOPERABLE

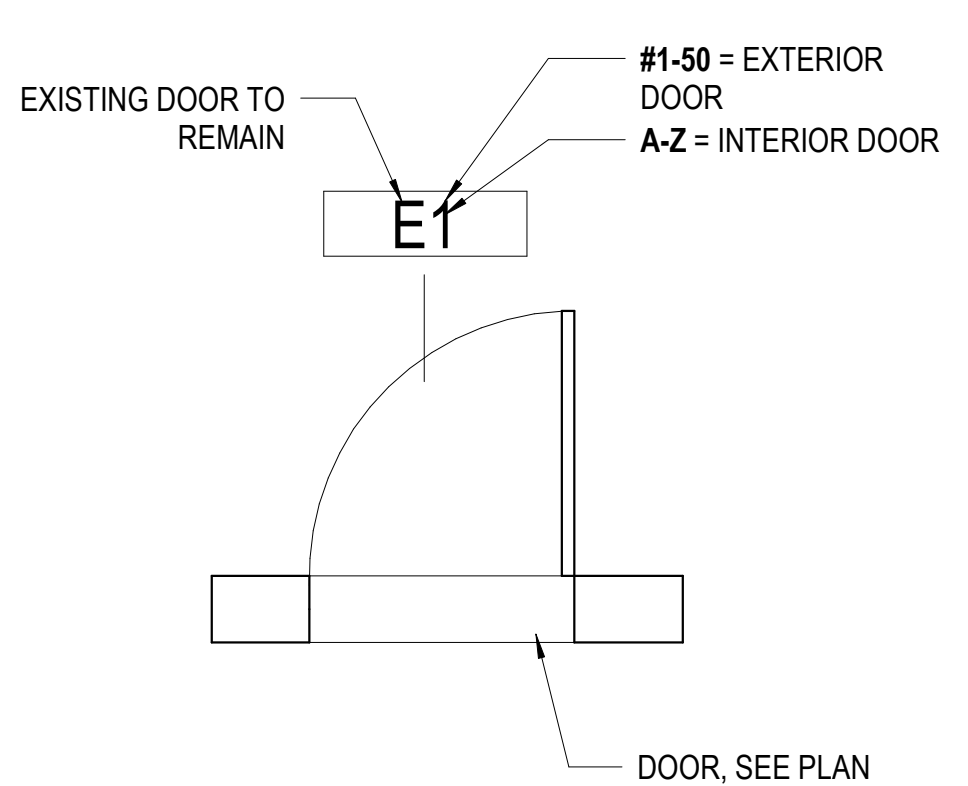
1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE		
#	Date	Description

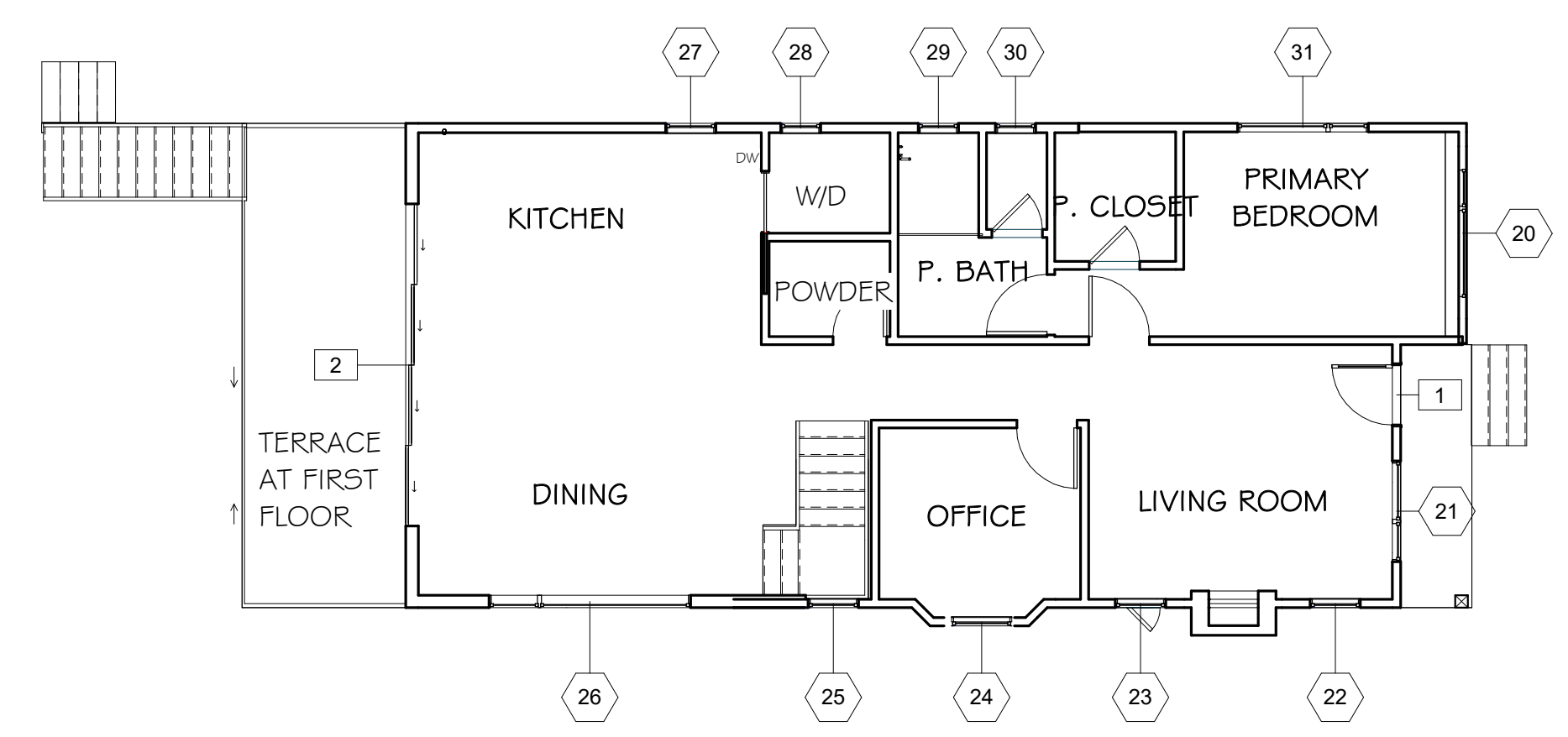
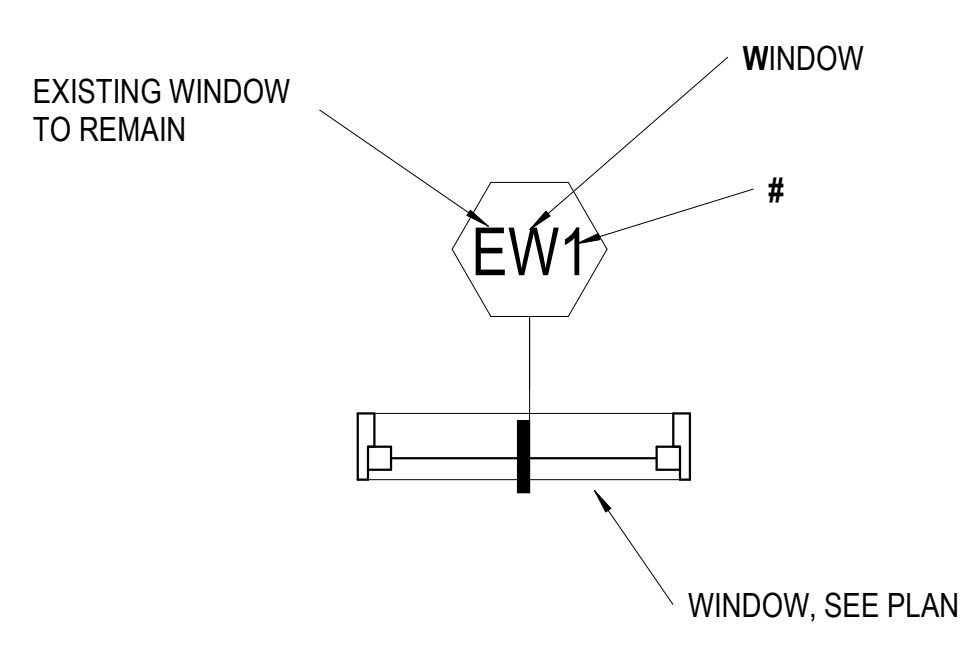


1 (N) BASEMENT FLOOR - WINDOW KEY PLAN  
1/8" = 1'-0"

**DOOR TAG LEGEND:**



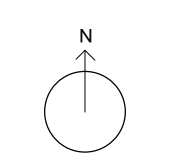
**WINDOW TAG LEGEND:**



2 (N) First Floor Plan - WINDOW KEY PLAN  
1/8" = 1'-0"

PLANNING PERMIT

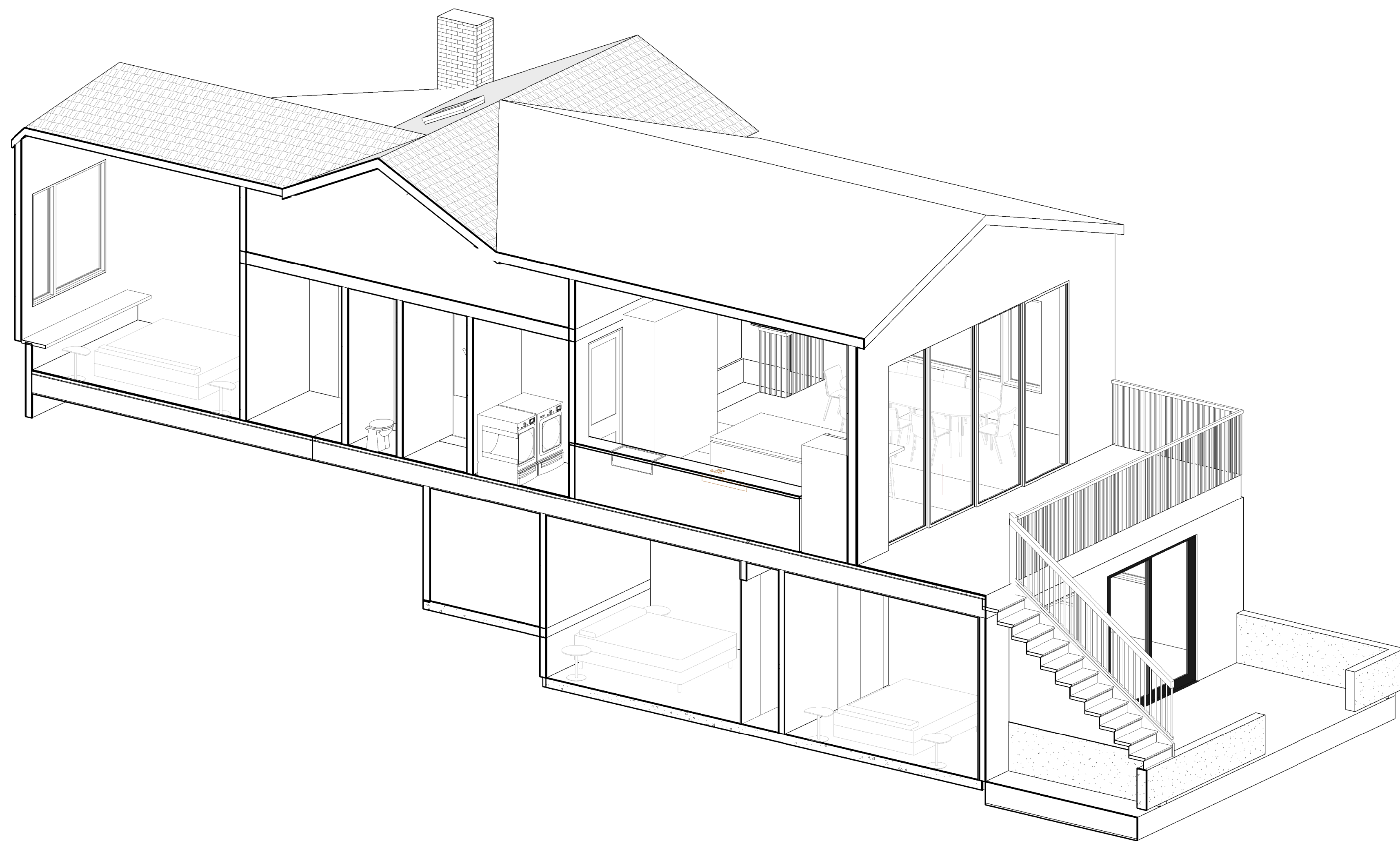
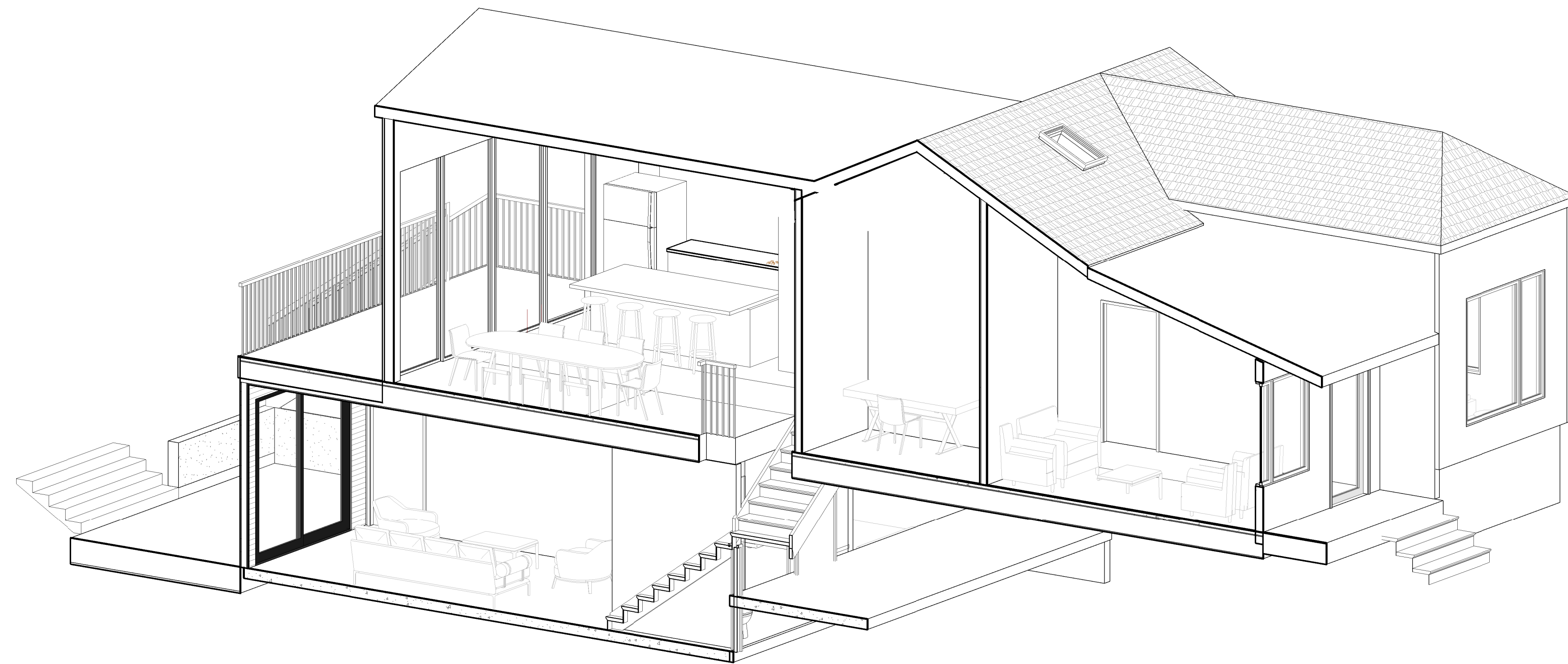
WINDOW SCHEDULE



**A800**

DATE	09/19/2022
SCALE	As Indicated
DRAWN	GG, MH, JD
Project Number	





1000 Ventura Avenue  
Albany, CA, 94706

REVISION SCHEDULE

#	Date	Description
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PLANNING PERMIT

SECTION PERSPECTIVES



A900

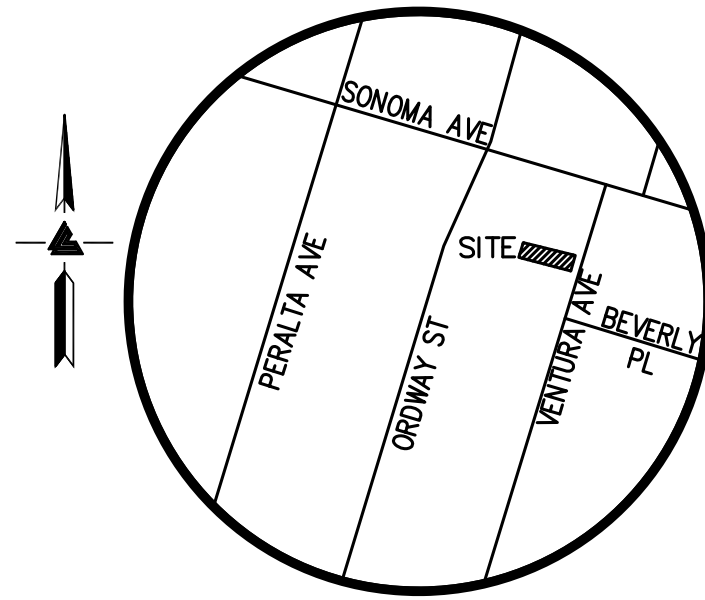
DATE 09/19/2022

SCALE

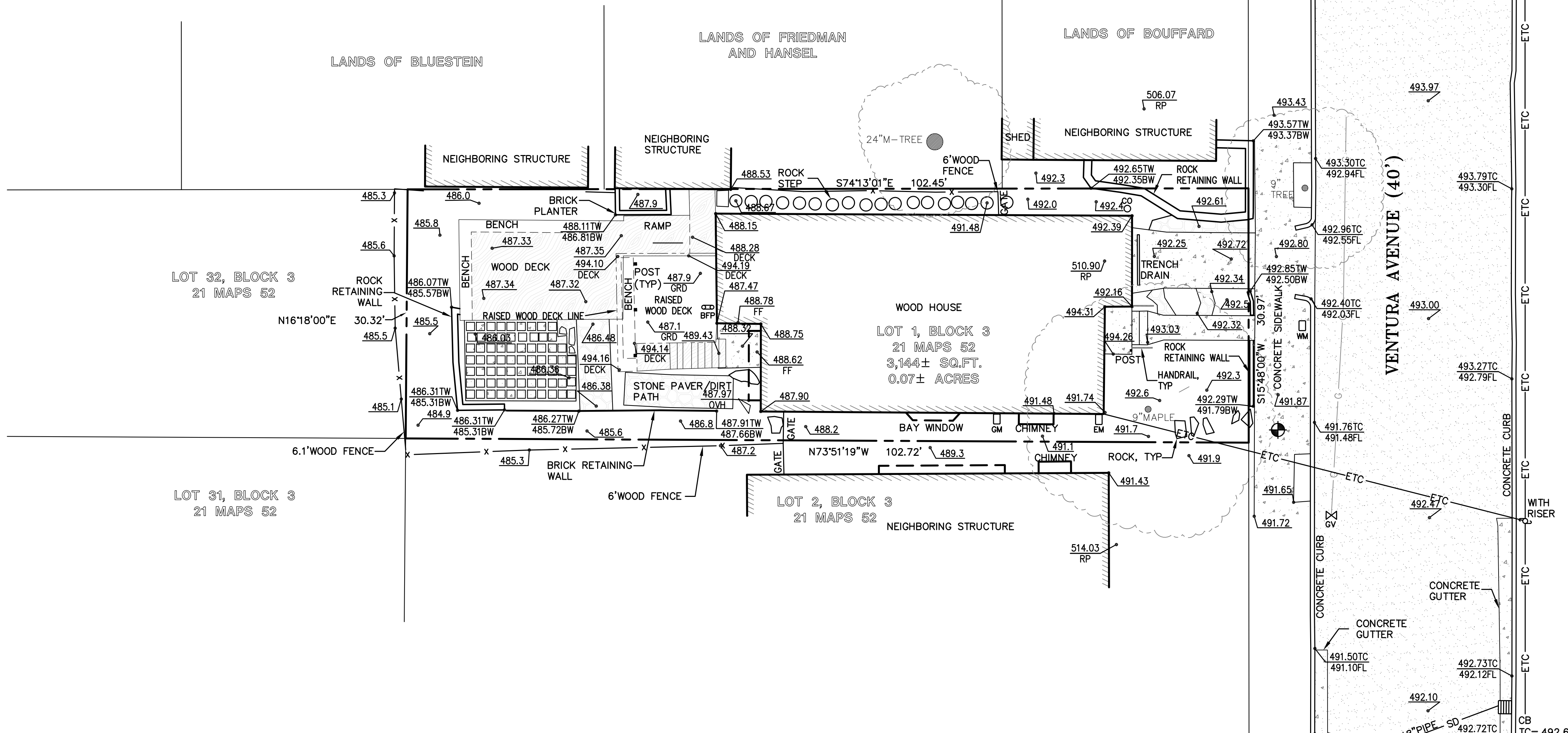
DRAWN GG, MH, JD

Project Number





VICINITY MAP  
NO SCALE



**LEGEND AND NOTES**

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- ETC - ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- x - FENCE LINE
- G - GAS LINE (PAINT MARKINGS)
- SS - SANITARY SEWER LINE
- SD - STORM DRAIN LINE
- ⊕ BENCHMARK
- BW BOTTOM RETAINING WALL
- BFP BACK FLOW PREVENTER
- CB CATCH BASIN
- CO CLEAN-OUT BOX
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FL FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- GV GAS VALVE
- GRD GROUND
- INV INVERT
- ⊕ JOINT POLE
- M- MULTI-TRUNK TREE
- OVH OVERHANG
- ⊠ POST/PILLAR
- RP ROOF PEAK
- SSMH SANITARY SEWER MAINTENANCE HOLE
- TC TOP OF CURB
- TW TOP OF RETAINING WALL
- WM WATER METER
- WV WATER VALVE
- XXX.XX SPOTGRADE
- ASPHALT
- BRICK
- CONCRETE
- GRAVEL
- STONE PAVER
- WOOD

**FEMA FLOOD NOTE**

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)  
FLOOD INSURANCE RATE MAP No.: 06001C0018H  
EFFECTIVE DATE: DECEMBER 21, 2018

**EASEMENT NOTE**

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY LEA & BRAZE ENGINEERING, INC. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

**TREE NOTE**

TREE SIZE, TYPE AND DRILINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

**NOTES**

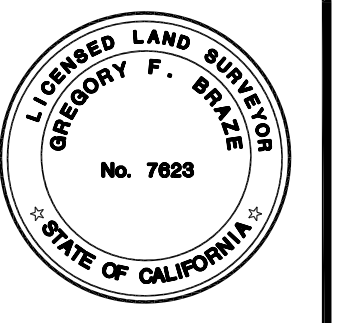
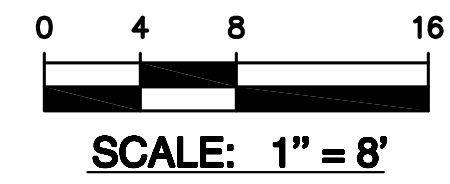
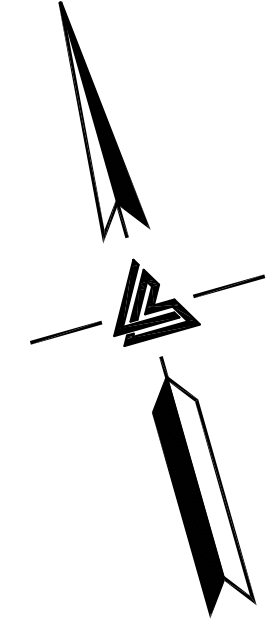
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.  
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).  
THE AREA OF THE SURVEYED LOT IS 3,144± SQUARE FEET / 0.07± ACRES

**UTILITY NOTE**

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

**⊕ SITE BENCHMARK**

SURVEY CONTROL POINT CUT CROSS IN CONCRETE ELEVATION = 491.78' (ASSUMED)



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
ROSEVILLE  
DUBLIN  
SAN JOSE  
WWW.LEABRAZE.COM

1000 VENTURA AVENUE  
ALBANY  
CALIFORNIA  
ALAMEDA COUNTY  
APN: 065-2630-005-00

TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO:	2220961
DATE:	07-27-22
SCALE:	1"=8'
BNDY BY:	RM
FIELD BY:	DW
DRAWN BY:	ER
SHEET NO:	