

HANSEN & RUSHTON RESIDENCE  
602 Masonic Avenue, Albany, CA 94706  
RESIDENTIAL ADDITION

STREET VIEW



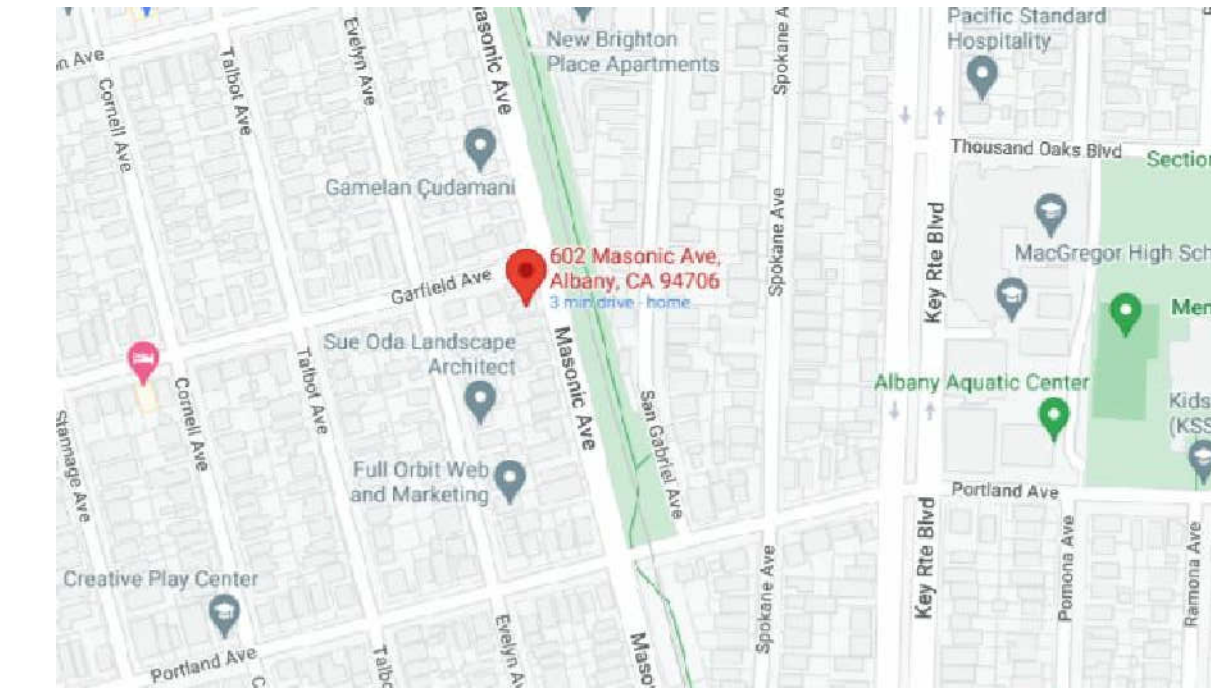
SCALE: NONE

AERIAL VIEW



SCALE: NONE

PROJECT LOCATION



SCALE: NONE

DORRICE PYLE  
DESIGN GROUP

contact: DORRICE PYLE  
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ALBANY CA 94706  
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email: dorricep@gmail.com



project

HANSEN &  
RUSHTON.  
RESIDENCE

602 MASONIC AVENUE,  
ALBANY, CA  
94706

PROJECT DIRECTORY

HOMEOWNER CONTACT:

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kjrushton@gmail.com

DESIGNER

Dorrice Pyle  
904 Curtis Street  
Albany, CA 94706  
(910) 316-2757  
dorricep@gmail.com

STRUCTURAL ENGINEER

Chung Lu / SN Building Design Group  
4101 Dublin Blvd.,  
Suite F #554  
Dublin, CA 94568  
510-507-0902

CONTRACTOR

tkd

SCOPE OF WORK

RESIDENTIAL REMODEL AND ADDITION. EXISTING HOME IS 1021 SQUARE FEET- 3 BEDROOM, 1 BATH. REAR BEDROOM TO BE REMOVED (-142 SQUARE FEET). UPPER LEVEL TO BE ADDED WITH TWO BEDROOMS, 1 BATH AND INTERNAL STAIR (+680 SQ FT). PROPOSED RESIDENCE TO BE 1499 SQUARE FEET, RESULTING IN 4 BEDROOM, 2 BATH HOME.

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A.2.1	EXTERIOR ELEVATIONS- EXISTING AND PROPOSED
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ADOPTED CODES:

- 2019 California Residential Code (CRC)
- 2019 California Building Code (CBC)
- 2019 California Mechanical Code (CMC)
- 2019 California Plumbing Code (CPC)
- 2019 California Electrical Code (CEC)
- 2019 California Energy Efficiency Standards Code (CEEC)
- 2019 California Fire Code (CFC)
- 2019 California Green Building Standards Code (CGBS or CalGreen)

PROJECT NOTES:

- The applicant shall obtain an encroachment permit from the Engineering Division prior to commencing any construction activities within any public right-of-way or easement.
- All mud, dirt or construction debris carried off the construction site onto adjacent streets shall be removed each day. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.
- Any damage to street improvements now existing or done during construction on or adjacent to the subject property shall be repaired to the satisfaction of the City Engineer at the full expense of the applicant. This shall include sidewalk repair, slurry seal, street reconstruction or others, as may be required by the City Engineer.
- All improvements within the public right-of-way, including curbs, gutters, sidewalks, driveways, paving and utilities, shall be reconstructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the Community Development Department and Chapter 14 of the City Code.
- The owner and builder shall comply with all City requirements regarding water pollution prevention, noise control, construction work hours, and archeological discoveries.

PLUMBING NOTES:

- Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi and comply with Division 4.3 of the California Green Building Standards Code (CALGreen).
- Shower shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type per 2019 plumbing code.
- The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.
- Shower receptor dam shall be not less than 2 inches.
- The effective flush volume of water closet shall not exceed 1.28 gallons per flush when tested in accordance with ASME A112.19.2/CSA B45.1.
- Gas shut off valves to be installed.
- Prior to final inspection, applicant must replace all non-conforming plumbing fixtures with water conserving plumbing fixtures. Non-compliant fixtures include any of the following:
  - Toilets manufactured to use more than 1.6 gpm
  - Showerheads with flow capacity of >2.5 gpm
  - Interior faucets with flow capacity >2.2 gpm
- One automatic clothing washer connection shall be provided [CPC 422.1]
- In no case shall any shower dam or threshold be less than 2 inches or more than 9 inches in depth when measured from the top of the dam or threshold to the top of the drain. [CPC 408.5]

SITE/ GRADING

IMPERVIOUS SURFACES SLOPE AT 2% MIN FROM FOUNDATION.

MECHANICAL NOTES:

- Heating system is required to maintain 68 degrees at 3 feet above floor level and 2 feet from exterior walls in all habitable rooms.
- Each bathroom containing a bathing facility shall be mechanically ventilated, by an Energy Star vent, for the purposes of humidity control. (R303.3.1). Fan shall be controlled by a humidistat and be energy star rated. CGBC 4.506
- Per 2016 CMC, gas line pressure testing is 10 PSI for 15 minutes and welded piping is 60 PSI for 30 minutes.
- Mechanical exhaust system in kitchen demand controlled ventilation rate shall be 100 cubic ft per minute minimum and continuous ventilation rates shall provide 5 air changes per hour. The range hood must vent to the outside, recirculating range hoods cannot be used to satisfy this requirement [CEnC 150.0(o) and ASHRAE-62.2 5.1]

ELECTRICAL NOTES:

- GFCI outlets are required for all kitchen receptacles that are designed to serve countertop surfaces, in the bathroom, in underfloor spaces at or below grade level, in exterior outlets, and in all garage outlets not dedicated to a single device or appliance. (CEC 210.8) All dwellings must have at least one exterior outlet at the front and the back of the dwelling. (CEC 210.52E)
- Receptacles must be installed at 12' o.c. maximum in walls, walls longer than 2 feet and halls longer than 10' must have a receptacle. A receptacle must be provided within 3' of bathroom sinks. (CEC 210.52)
- Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of an approved type. (CEC 250.104)
- When alterations, repairs, or additions require a permit smoke alarms shall be installed where required in new dwellings. (R314.3.1)
- For new construction and work in an existing dwelling where the value of the work exceeds \$1000 carbon monoxide alarms shall be installed in all dwelling units and in the sleeping rooms with which fuel-burning appliances are installed and in dwelling units that have attached garages. (R315.1; R315.2)
- All 120-volt 15 and 20 amp branch circuits in dwelling units except those in kitchens, bathrooms, unfinished basements, garages and outdoors shall have AFCI protection. (CEC 210.12)
- Receptacles in 120-volt 15 and 20 amp circuits shall be tamper resistant. Except when located more than 5.5' above the floor; within cabinets or cupboards; or when part of a luminaire or appliance. (CEC 406.12)
- GFCI outlets are required in the bathroom, (CEC 210.8)
- Receptacles must be installed within 3' of bathroom sinks. (CEC 210.52)
- All installed luminaires shall be high-efficacy in accordance with Table 150.0-A.
- All luminaires required to have light sources compliant with Reference Joint Appendix JA8, except hallways and closets over 70 sq. ft, shall be controlled by dimmers or vacancy sensors. (This applies to all GU-24 LEDs and recessed luminaires.) CBEE5 150.0(k)2K
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used. (GBC Section 4.504.2.4).
- Carpet and carpet systems shall be compliant with VOC limits. (GBC Section 4.504.3).
- All luminaires required to have light sources compliant with Reference Joint Appendix JA8, except hallways and closets over 70 sq. ft, shall be controlled by dimmers or vacancy sensors. (This applies to all GU-24 LEDs and recessed luminaires.) CBEE5 150.0(k)2K

- In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.
- All 120 volt, single phase, 15-# 20-amp branch circuits supplying outlets installed in dwelling unit kitchens, dining rooms, family rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, rec rooms, closets, laundry areas, hallways and similar rooms shall be protected by a listed arc-fault circuit interrupter (AFCI), combination type, installed to provide protection of the branch circuit. CEC 210.12.
- Smoke alarms must be listed in accordance with UL 217 and California State Fire Marshal approved for smoke alarms. [CRC SR314.1.1]
- Carbon Monoxide alarm must be listed in accordance with UL 2034. [CRC SR315.1.1]
- Smoke and Carbon Monoxide alarm shall get primary power from the building's electrical system and shall have a battery backup power supply [CRC SR314.6 and SR315.5]
- Service disconnection means shall have a rating of not less than 100 amperes, 3-wire [CEC 230.79(C)]
- At least one receptacle outlet shall be installed for the laundry [CEC 210.52(F)]

CALGREEN COMMENTS

- Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar acceptable method. (GBC Section 4.406)
- A minimum of 65 percent of the construction waste generated at the site shall be diverted to recycle or salvage. (GBC Section 4.408.1)
- Duct and vent openings shall be covered during construction. (GBC Section 4.504.1)
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. (GBC Section 4.504.2.1)
- Paints, stains, and other coatings shall be compliant with VOC limits. (GBC Section 4.504.2.2)
- Aerosol paints and coating shall be compliant with product weighted MIR limits for VOC and other toxic compounds. (GBC Section 4.504.2.3).
- All installed luminaires shall be high-efficacy in accordance with Table 150.0-A.
- All luminaires required to have light sources compliant with Reference Joint Appendix JA8, except hallways and closets over 70 sq. ft, shall be controlled by dimmers or vacancy sensors. (This applies to all GU-24 LEDs and recessed luminaires.) CBEE5 150.0(k)2K
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used. (GBC Section 4.504.2.4).
- Carpet and carpet systems shall be compliant with VOC limits. (GBC Section 4.504.3).

- 80% of floor area receiving resilient flooring shall comply with VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database or compliant with CHPS criteria certified under the Green Guard Children & Schools program or be certified under the Resilient Floor Covering Institute (RFCI) Floor Score program or meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers." (GBC Section 4.504.4)
- Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. (GBC Section 4.504.5)
- Moisture content of building materials used in enclosed wall and floor framing is checked before enclosure and cannot exceed 19%. (GBC Section 4.505.3)
- HVAC system installers are trained and certified in the proper installation of HVAC systems. (GBC Section 702.1)
- GFCI outlets are required for all kitchen receptacles that are designed to serve countertop surfaces, in the bathroom, in underfloor spaces at or below grade level, in exterior outlets, and in all garage outlets not dedicated to a single device or appliance. (CEC 210.8) All dwellings must have at least one exterior outlet at the front and the back of the dwelling. (CEC 210.52E)
- Receptacles must be installed at 12' o.c. maximum in walls, walls longer than 2 feet and halls longer than 10' must have a receptacle. A receptacle must be provided within 3' of bathroom sinks. (CEC 210.52)
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- When alterations, repairs, or additions require a permit smoke alarms shall be installed where required in new dwellings. (R314.3.1)
- For new construction and work in an existing dwelling where the value of the work exceeds \$1000 carbon monoxide alarms shall be installed in all dwelling units and in the sleeping rooms with which fuel-burning appliances are installed and in dwelling units that have attached garages. (R315.1; R315.2)
- All 120-volt 15 and 20 amp branch circuits in dwelling units except those in kitchens, bathrooms, unfinished basements, garages and outdoors shall have AFCI protection. (CEC 210.12)

ADDRESS IDENTIFICATION NOTE:

New dwelling shall be provided with identification affixed to the dwelling unit. The address identification characters shall contrast to background, and each character shall be not less than 4- inches in height with a stroke not less than .5 inch.

AS INDICATED

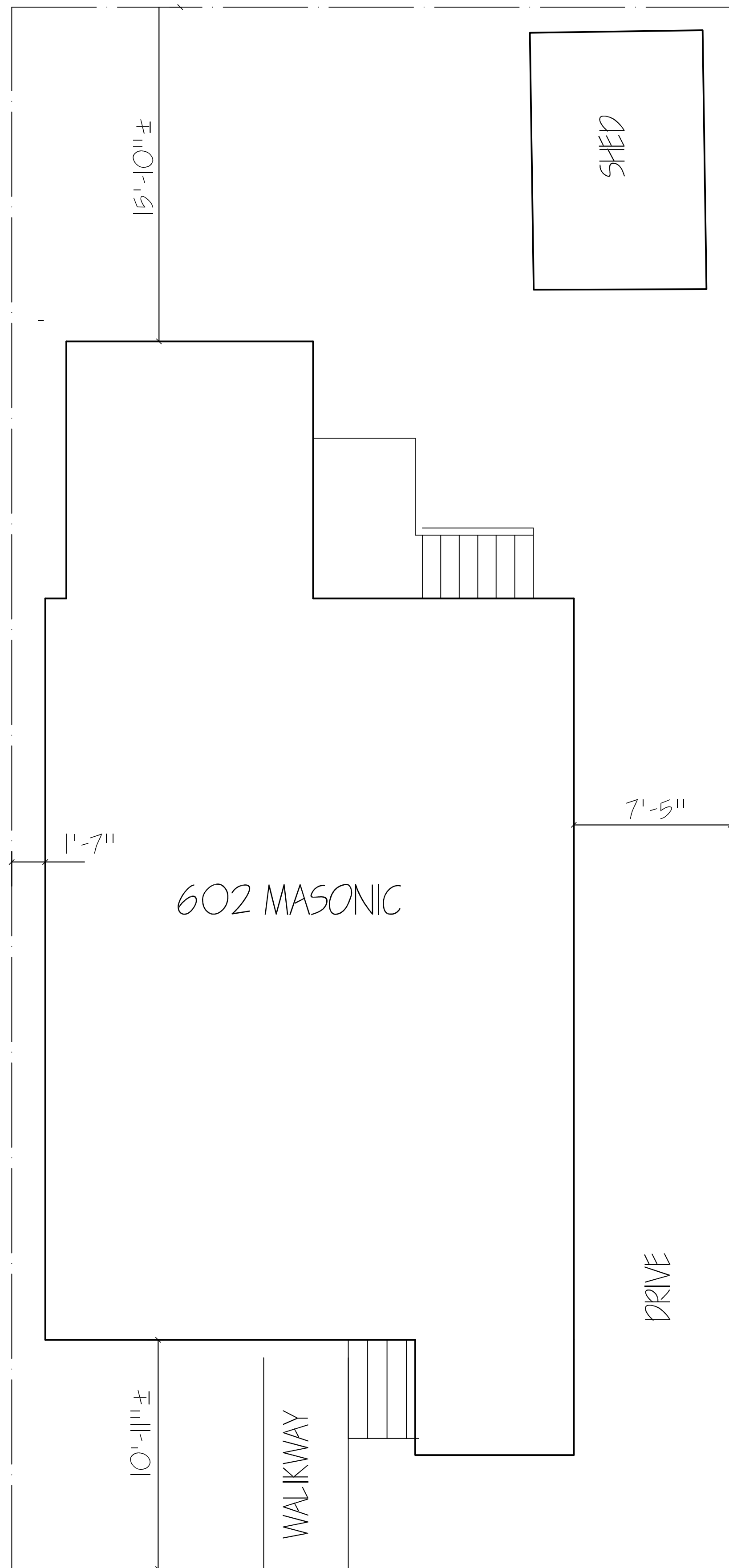
10/21/2022

COVER SHEET  
PROJECT INFO

A.0

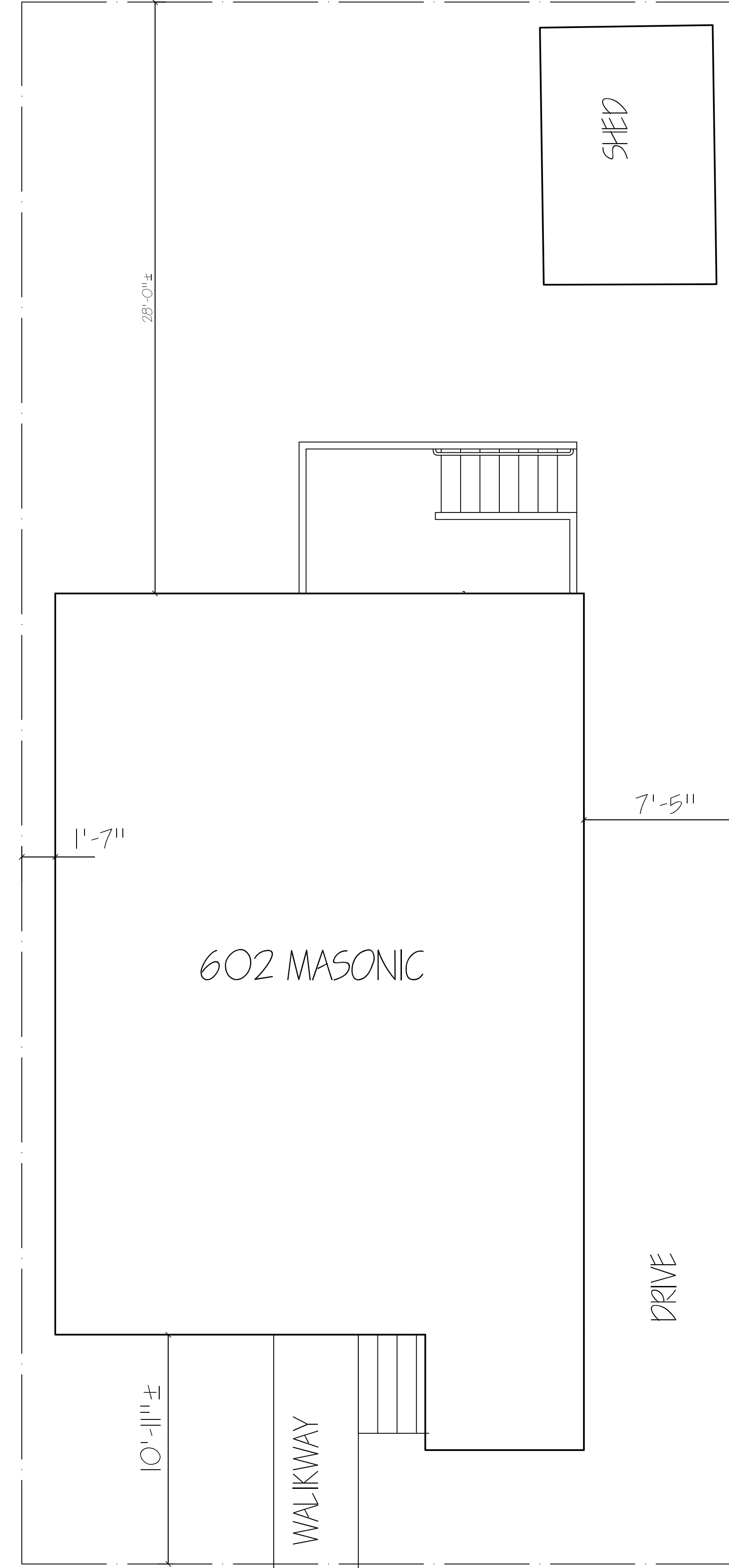
sheet 1 of 10





SITE PLAN- EXISTING

SCALE: 1/4" = 1'-0"



SITE PLAN- PROPOSED

SCALE: 1/4" = 1'-0"

DORRICE PYLE  
DESIGN GROUP

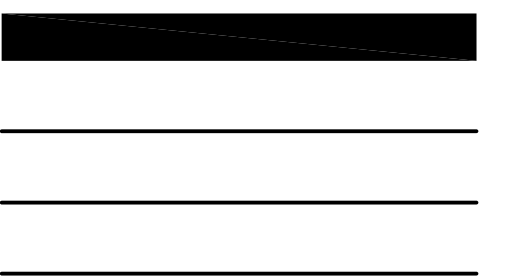
contact: DORRICE PYLE  
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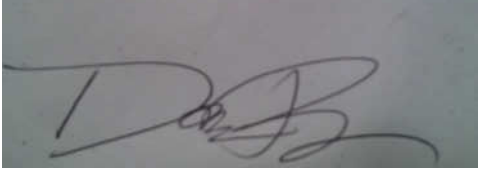
AS INDICATED

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SITE PLAN-  
EXISTING AND  
PROPOSED

NOMINAL  
**A.0.b**

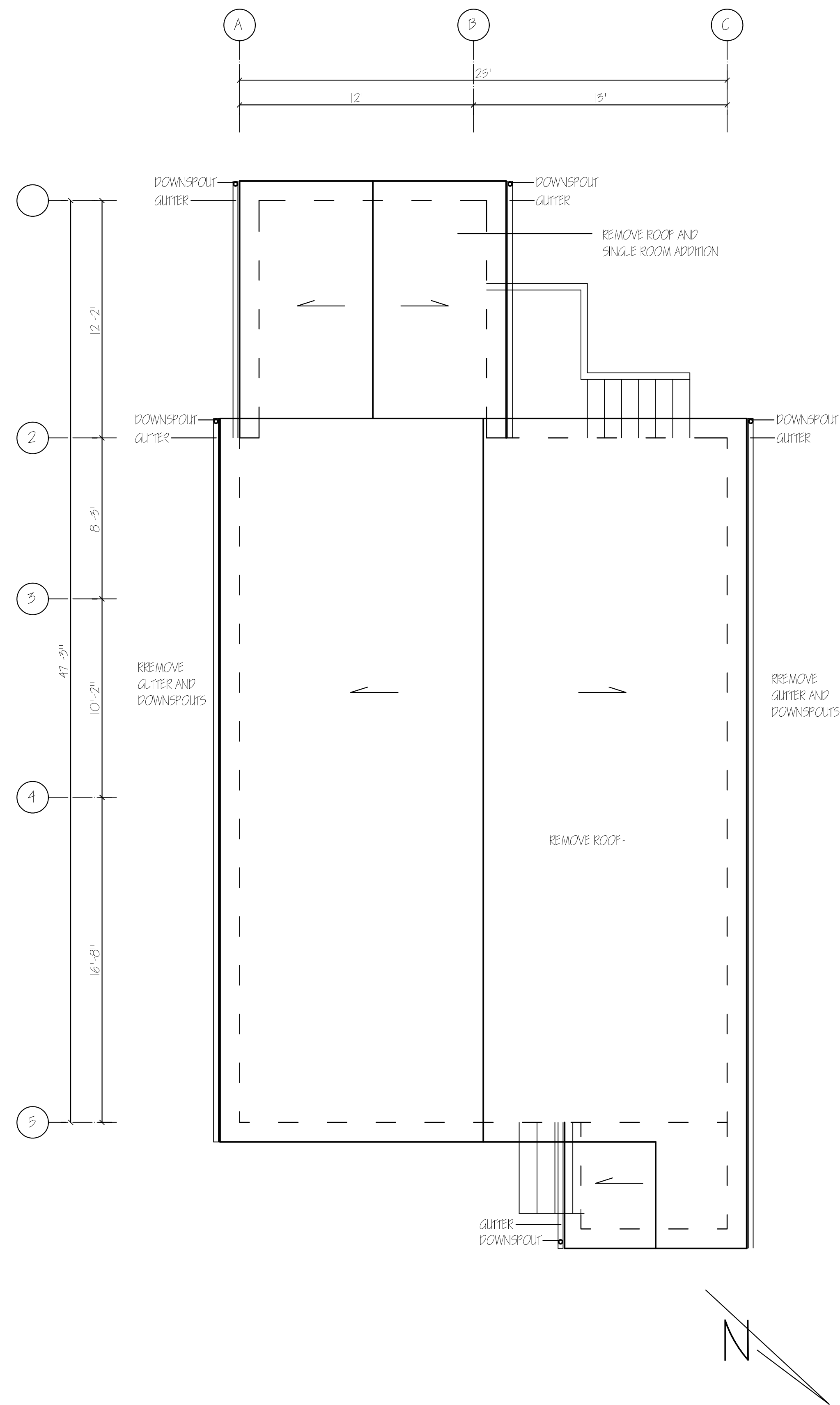
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project

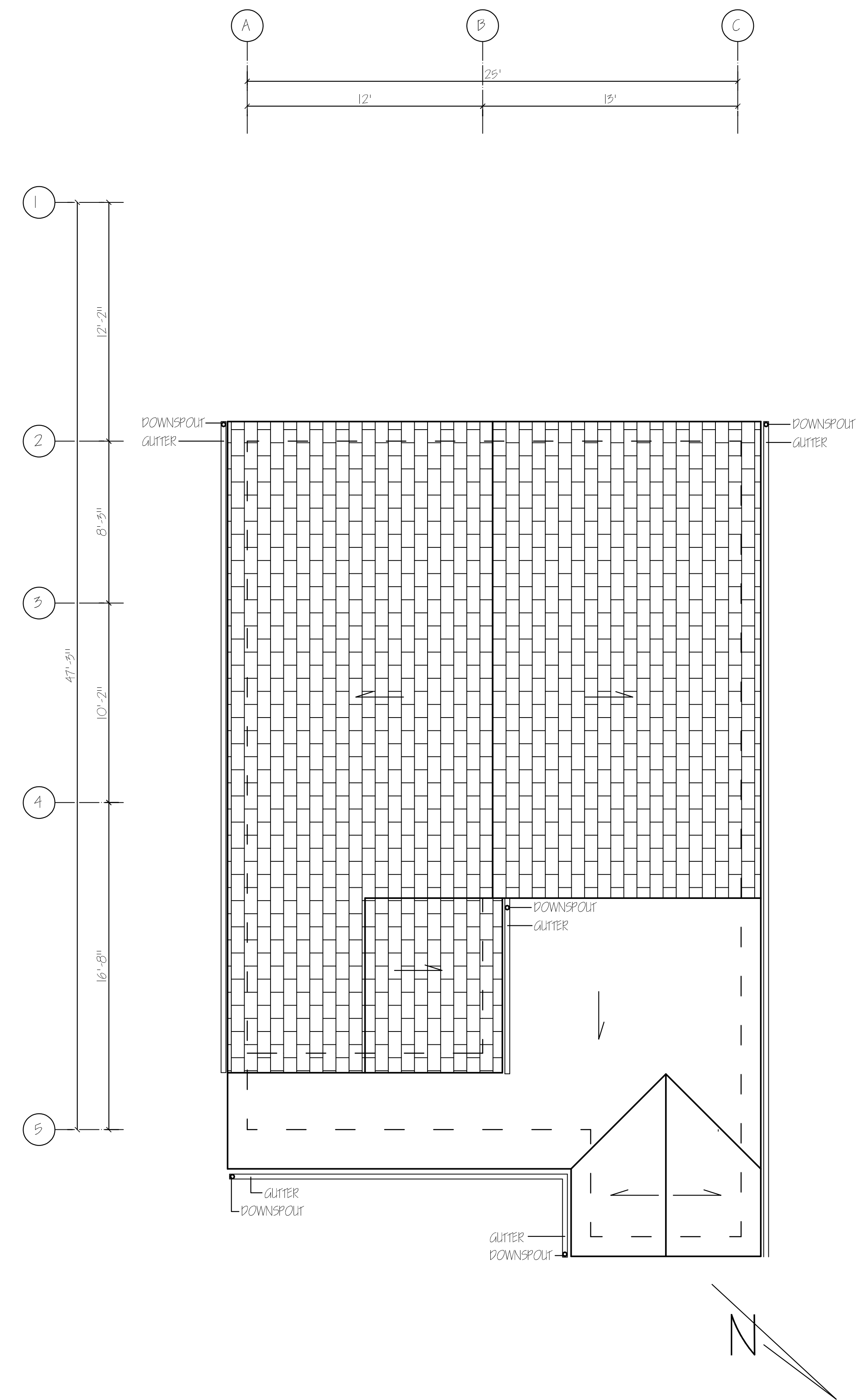
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ROOF PLAN- EXISTING

SCALE: 1/4" = 1'-0"



ROOF PLAN- PROPOSED

SCALE: 1/4" = 1'-0"

AS INDICATED

10/21/2022

ROOF PLAN-  
EXISTING AND  
PROPOSED

A.1.0

sheet 4 of 10

DORRICE PYLE  
DESIGN GROUP

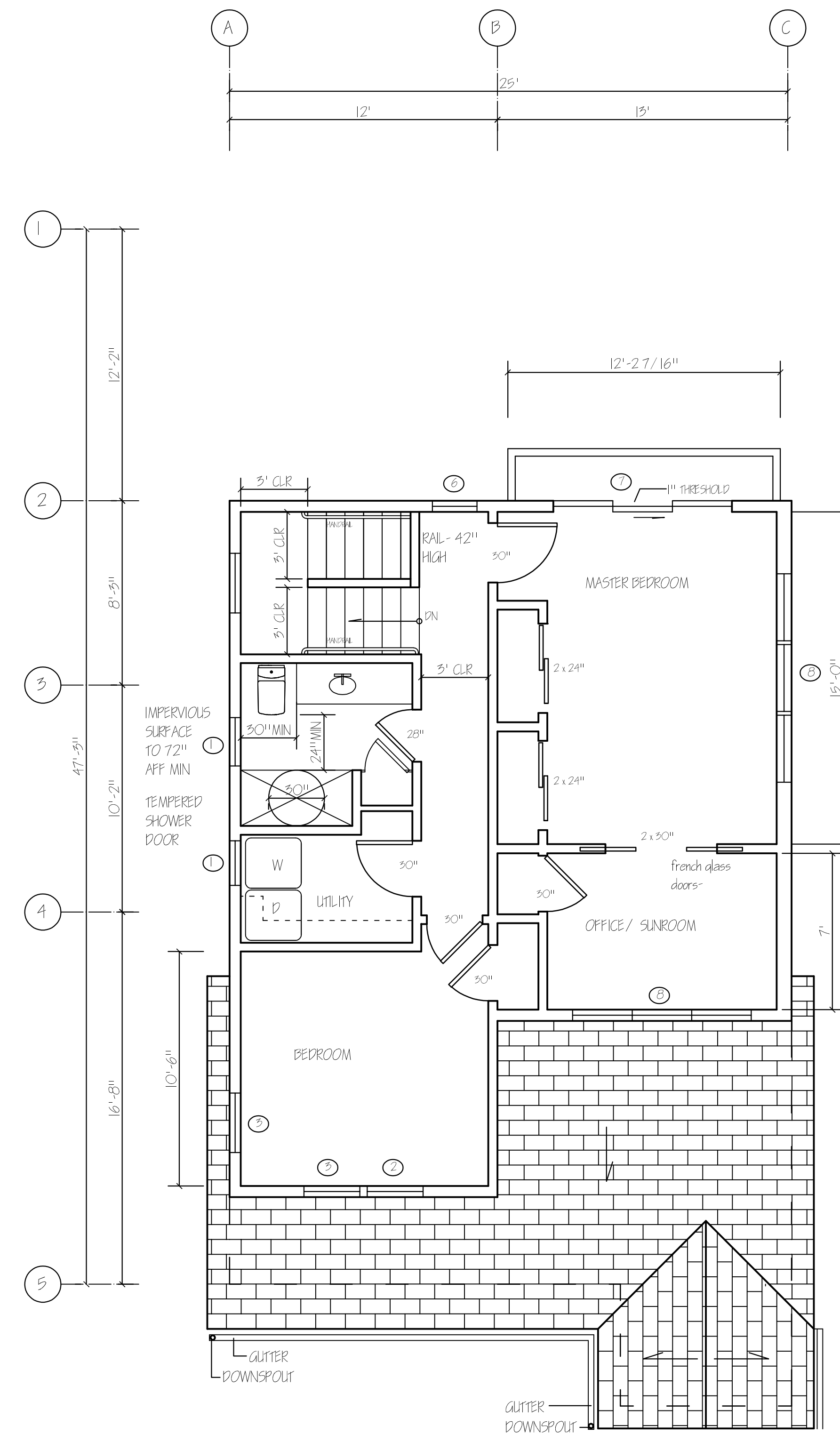
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SECOND FLOOR PLAN- PROPOSED

SCALE: 1/4" = 1'-0"

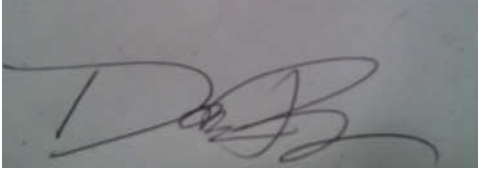
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UPPER LEVEL PLAN-  
PROPOSED

A.1.1

sheet 5 of 10



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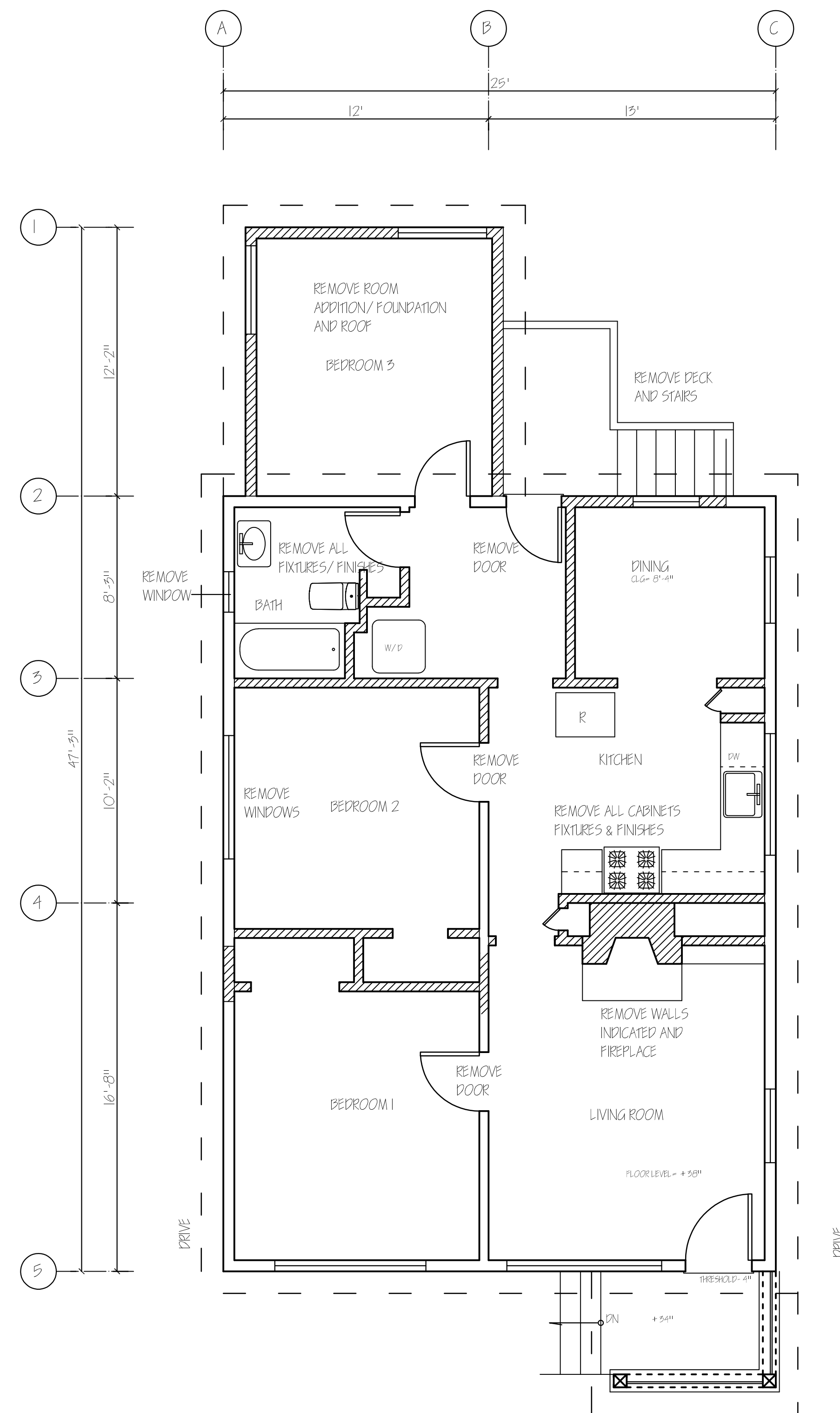
AS INDICATED

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LOWER LEVEL PLAN-  
EXISTING AND  
PROPOSED

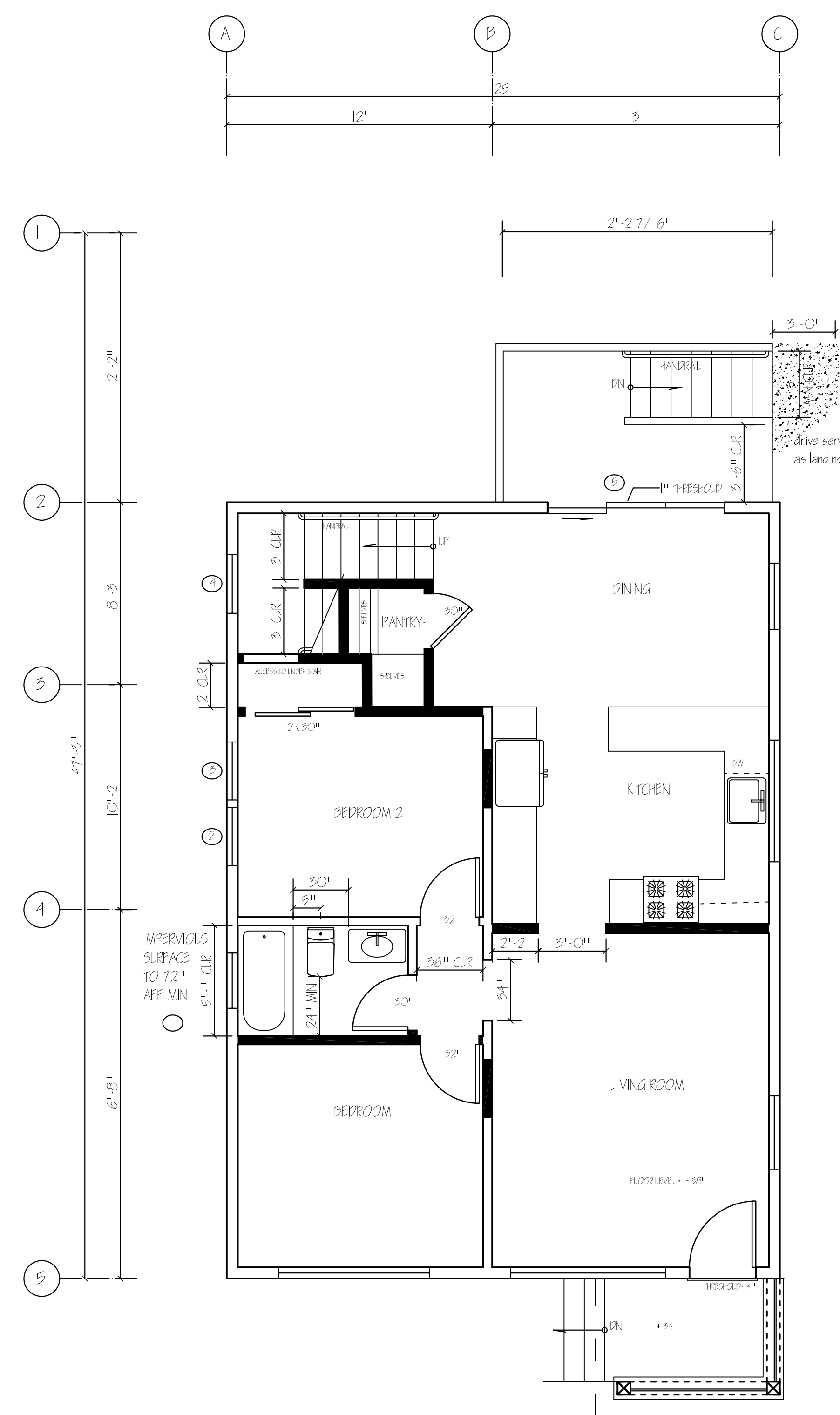
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sheet 6 of 10



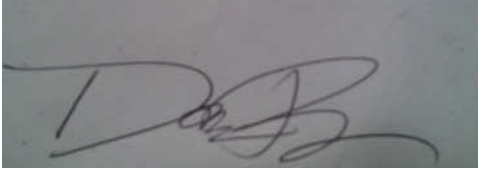
LOWER LEVEL PLAN- EXISTING

SCALE: 1/4" = 1'-0"



LOWER LEVEL PLAN- PROPOSED

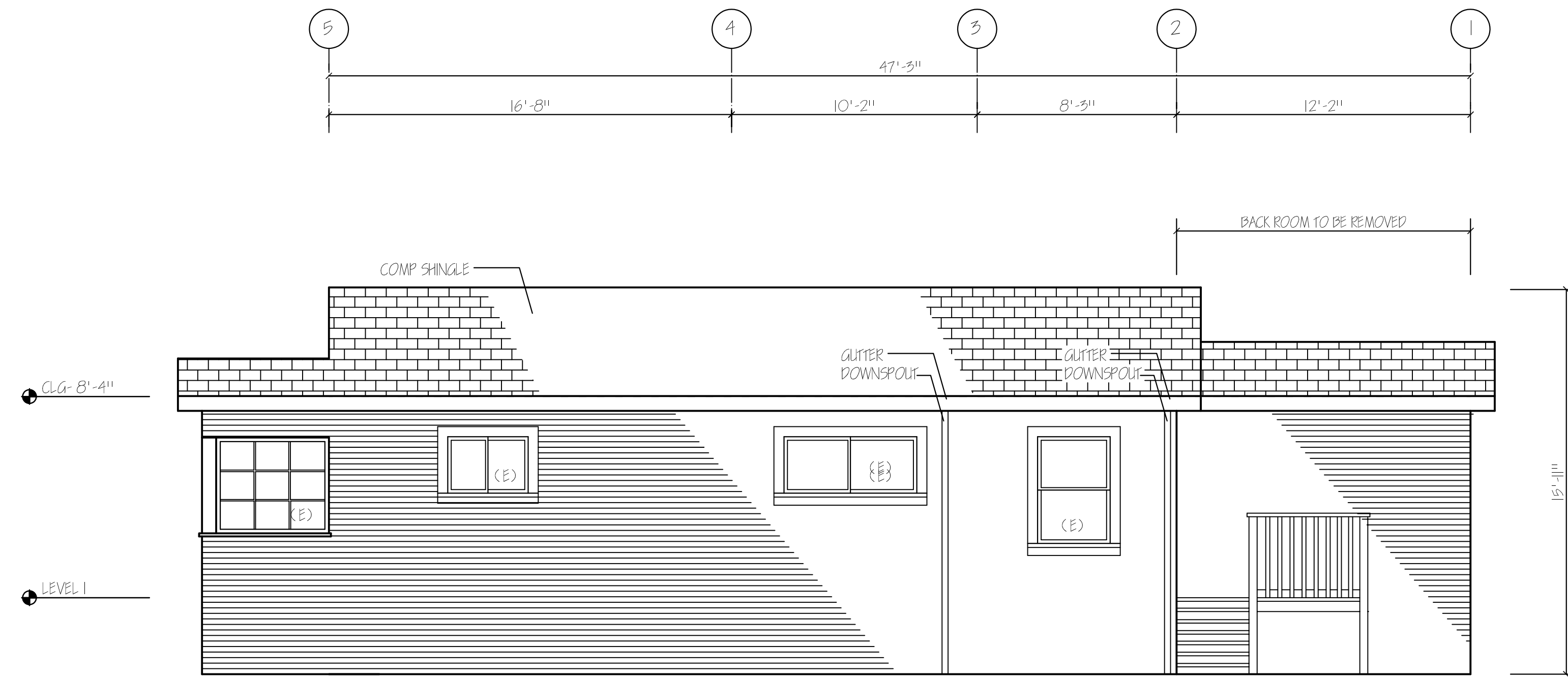
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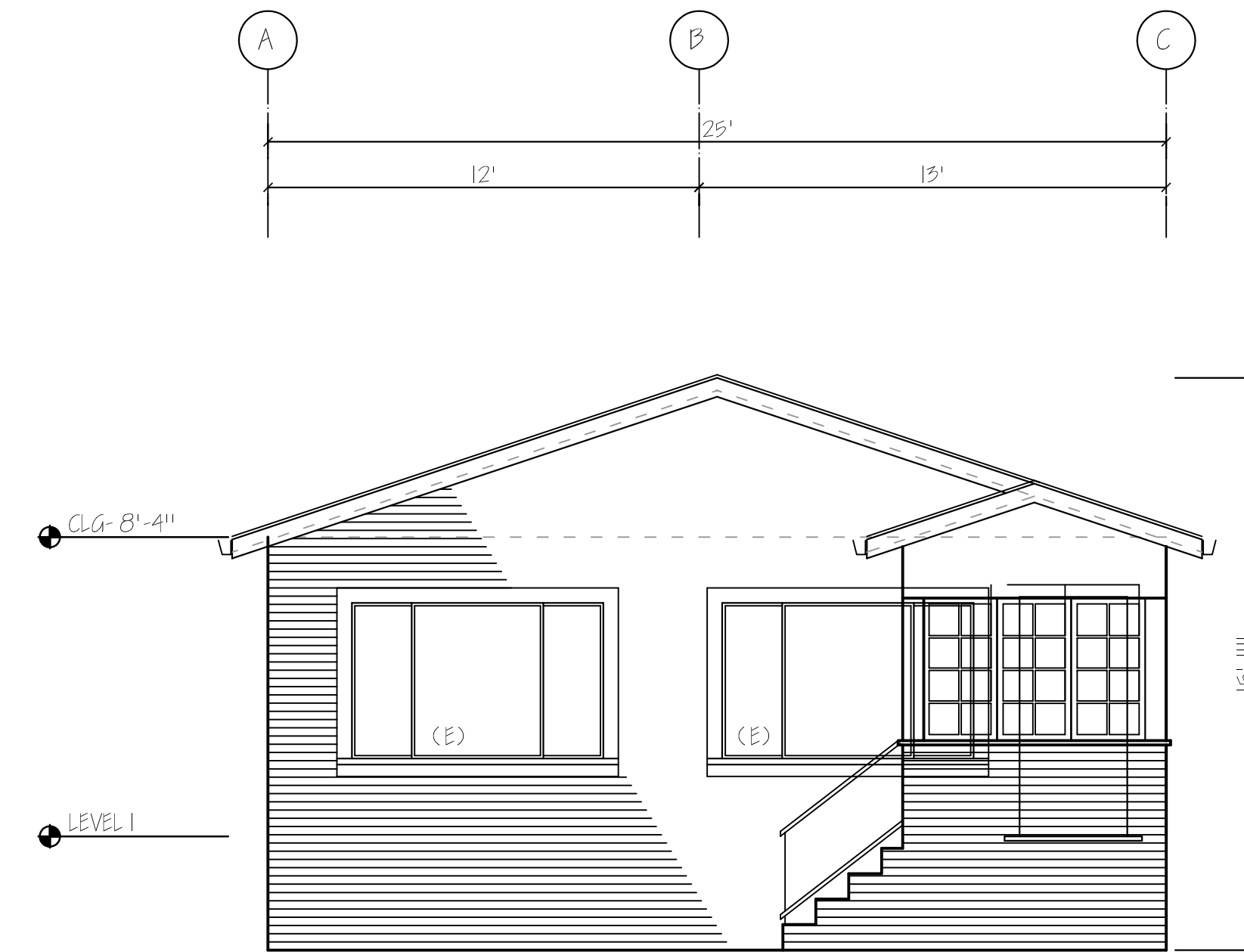
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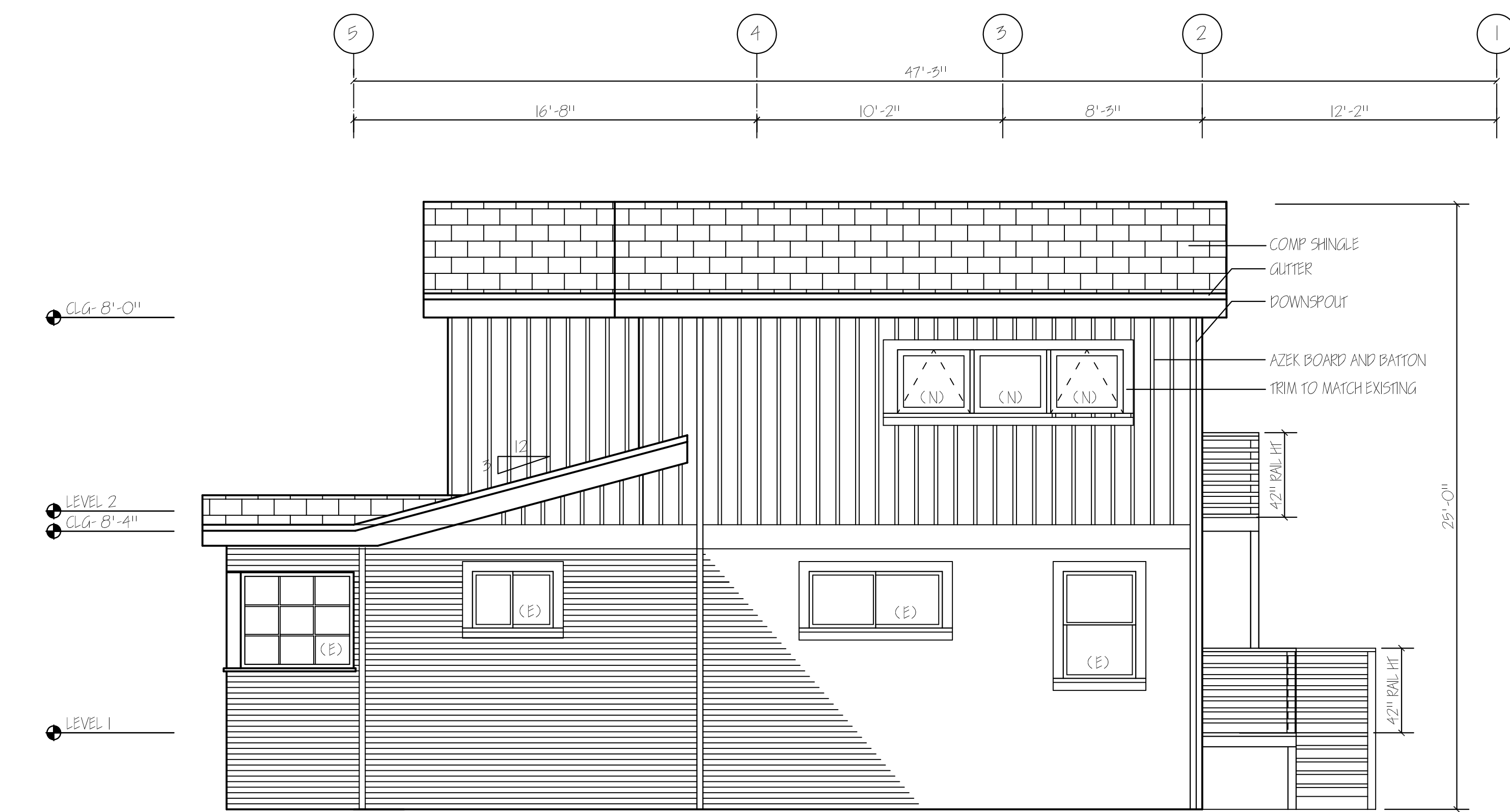
SIDE ELEVATION- EXISTING

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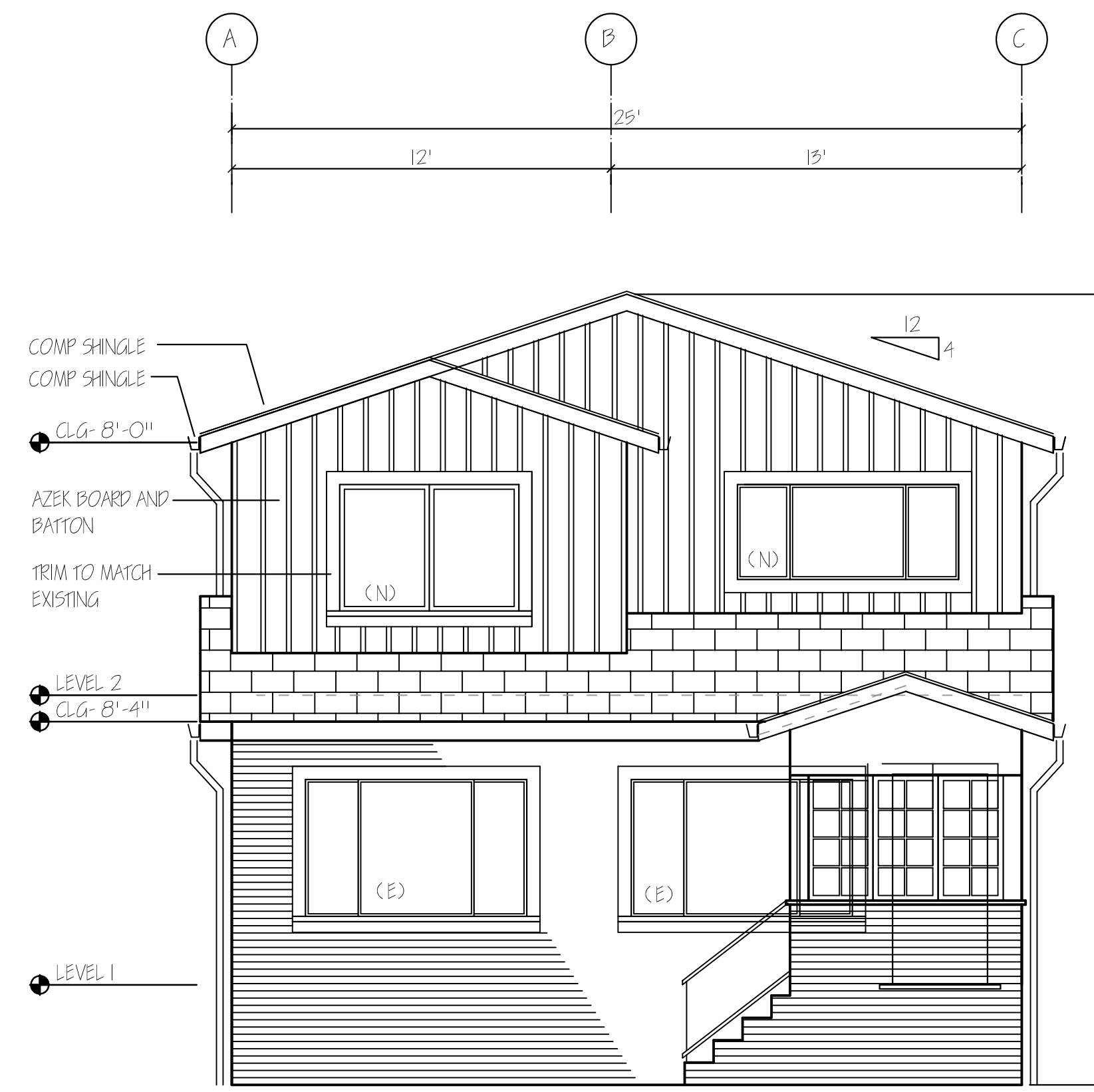
FRONT ELEVATION- EXISTING

SCALE: 1/4" = 1'-0"



SIDE ELEVATION- PROPOSED

SCALE: 1/4" = 1'-0"



FRONT ELEVATION- PROPOSED

SCALE: 1/4" = 1'-0"

AS INDICATED

10/21/2022

ELEVATIONS-  
EXISTING AND  
PROPOSED

A.2.0

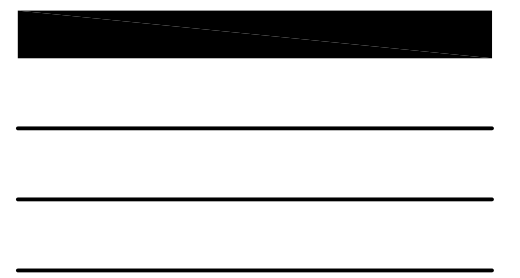
sheet 7 of 10



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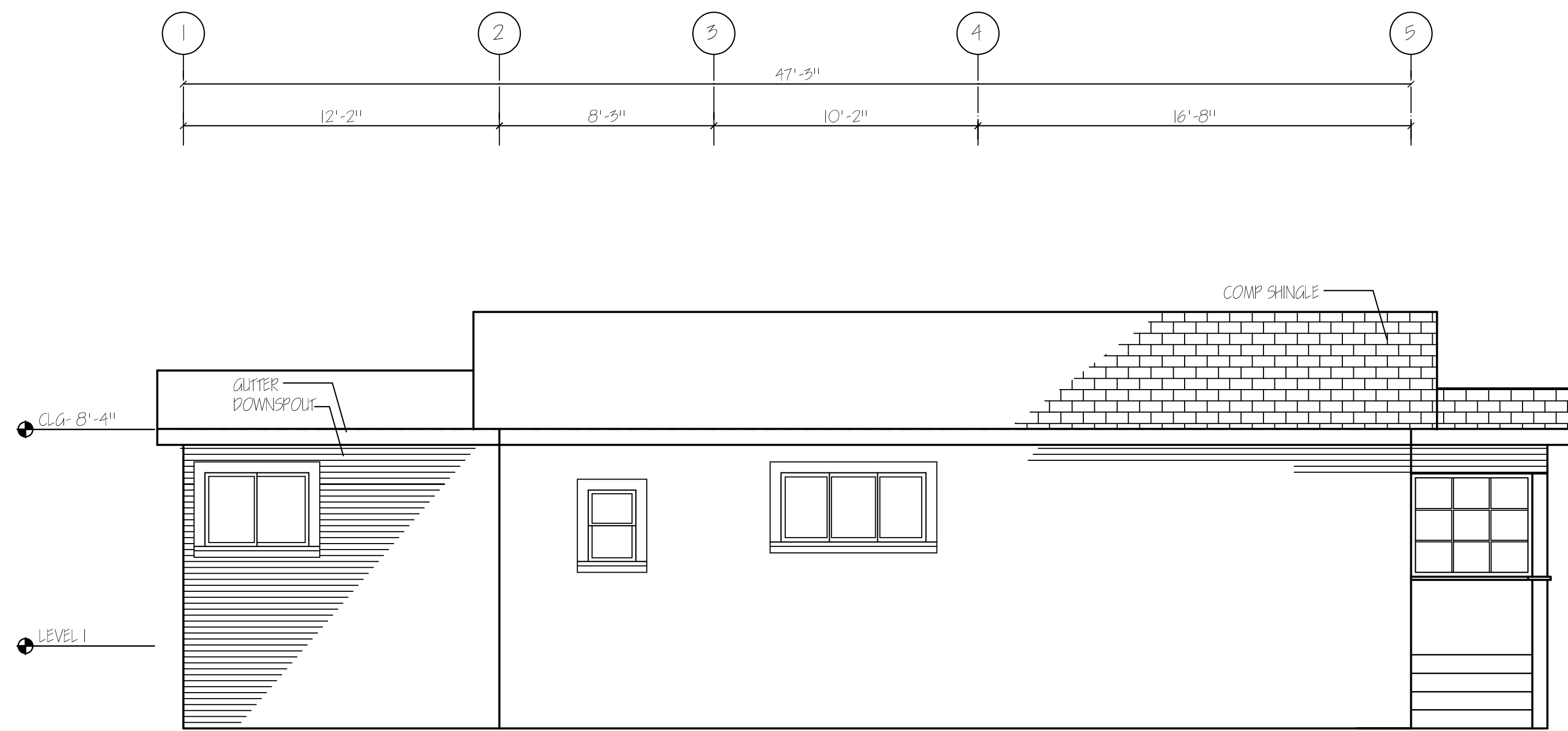


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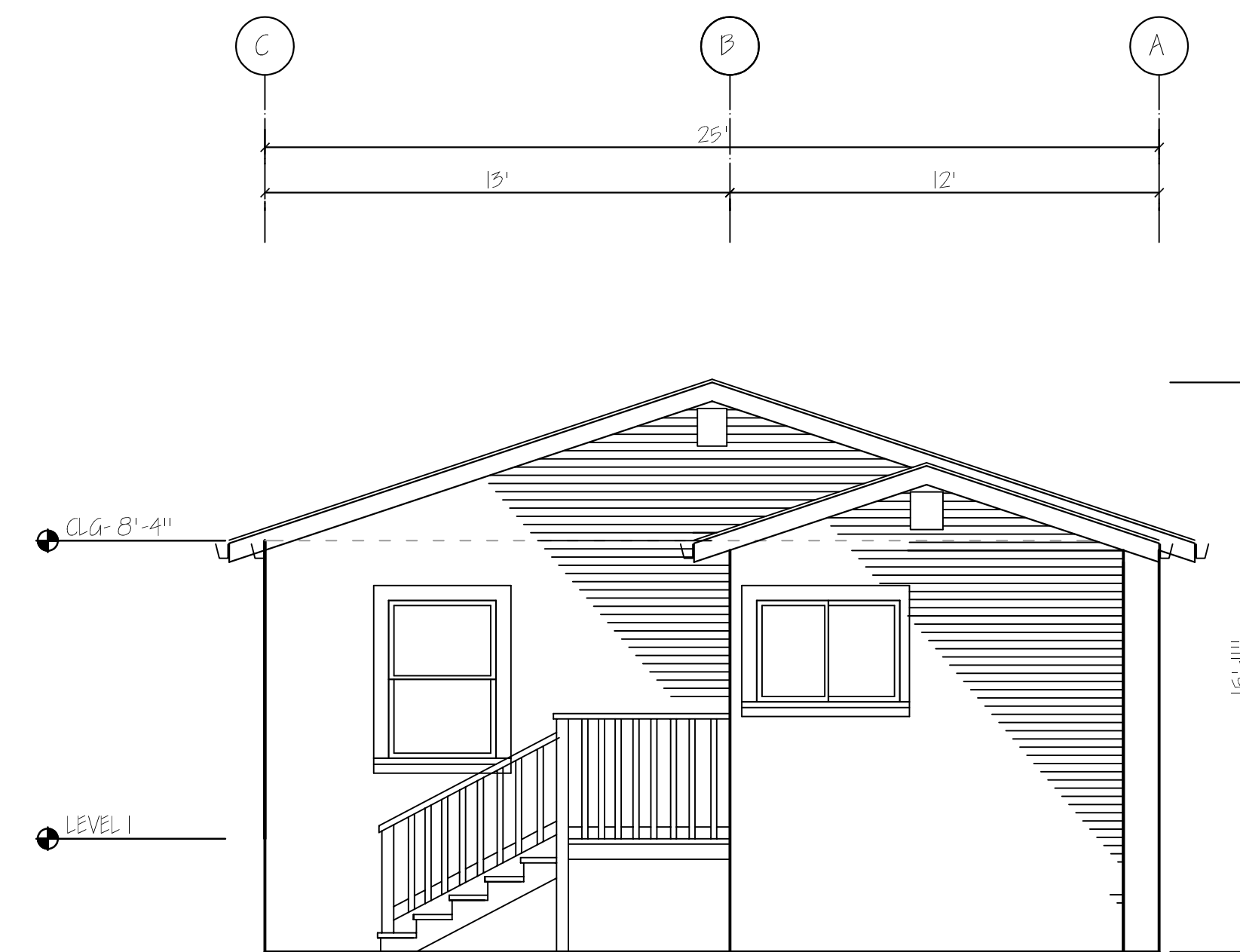
ELEVATIONS-  
EXISTING AND  
PROPOSED

A.2.1



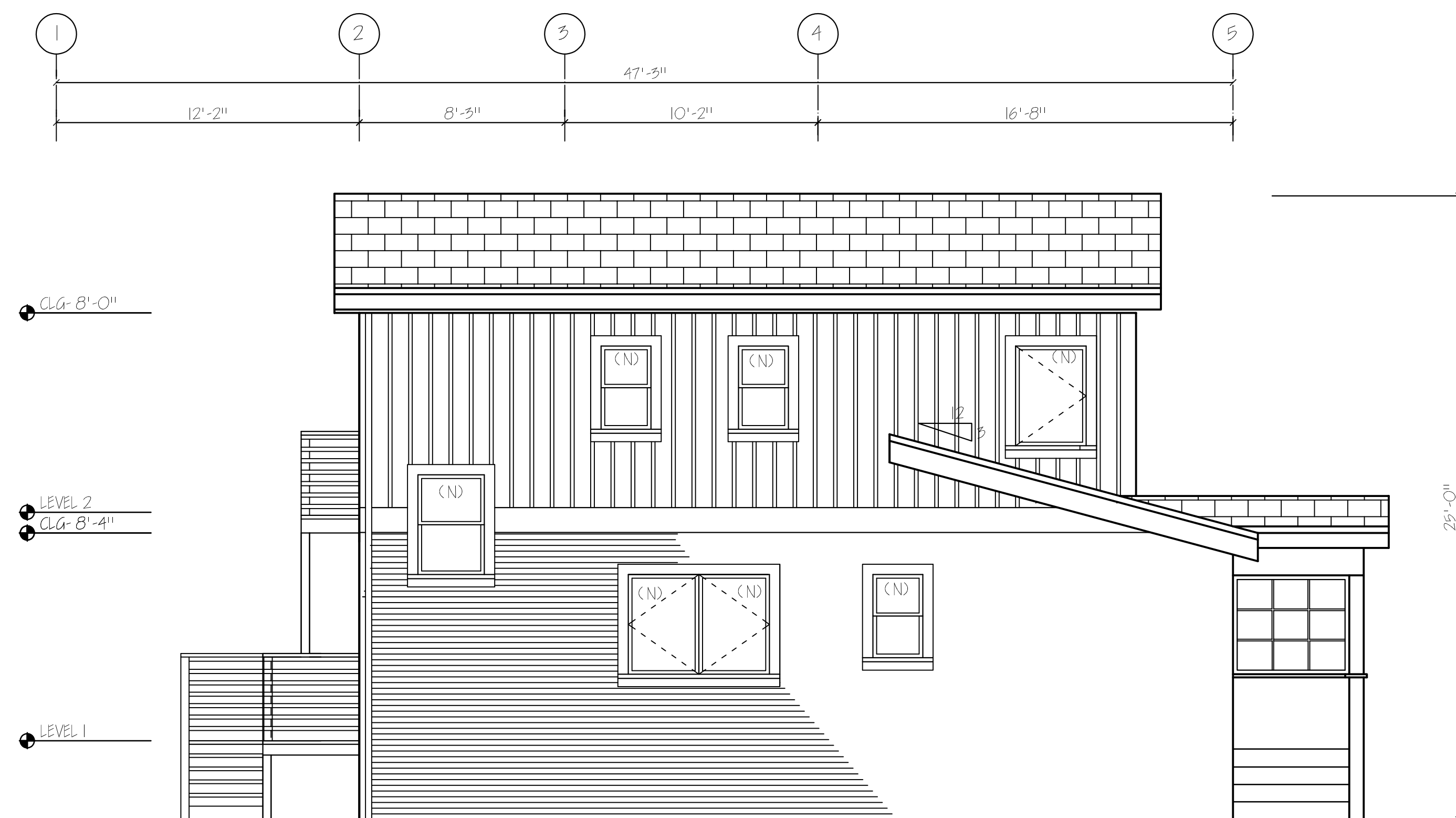
SIDE ELEVATION- EXISTING

SCALE: 1/4" = 1'-0"



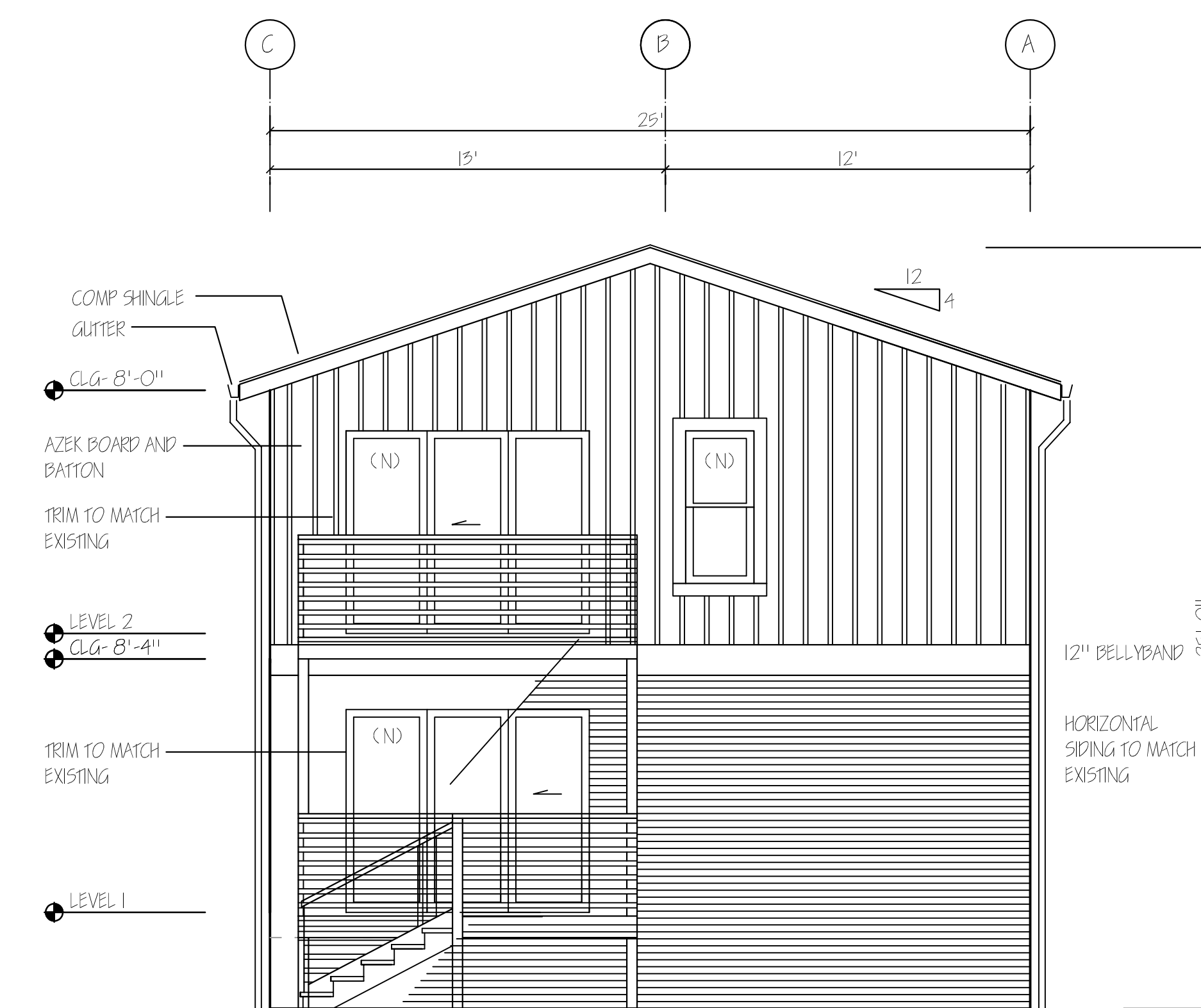
REAR ELEVATION- EXISTING

SCALE: 1/4" = 1'-0"



SIDE ( SOUTH) ELEVATION- PROPOSED

SCALE: 1/4" = 1'-0"



REAR ( WEST) ELEVATION- PROPOSED

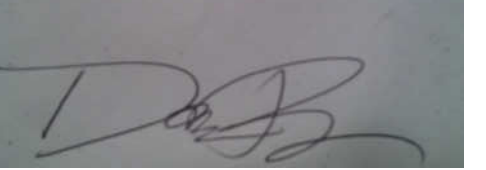
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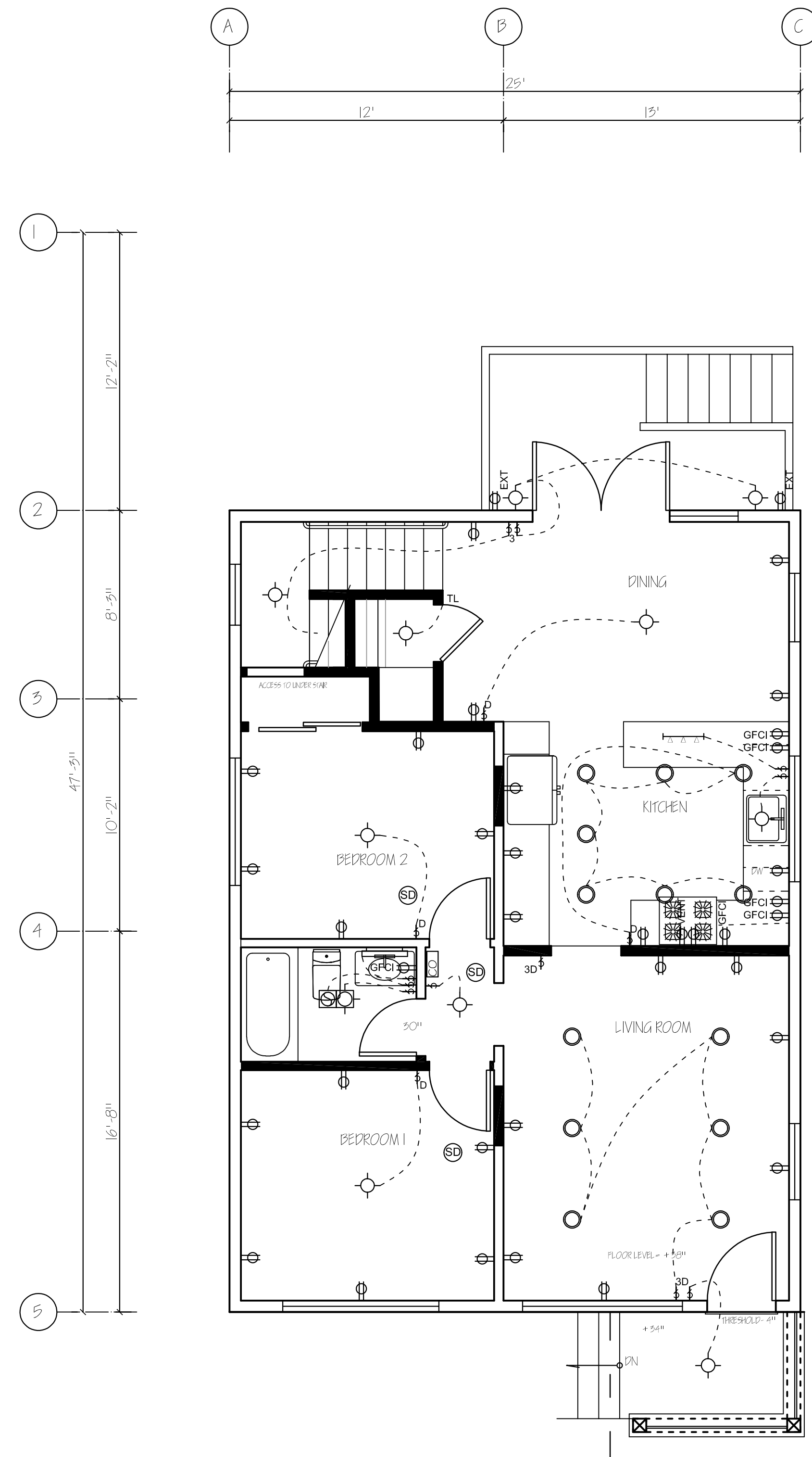
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ELECTRICAL PLANS

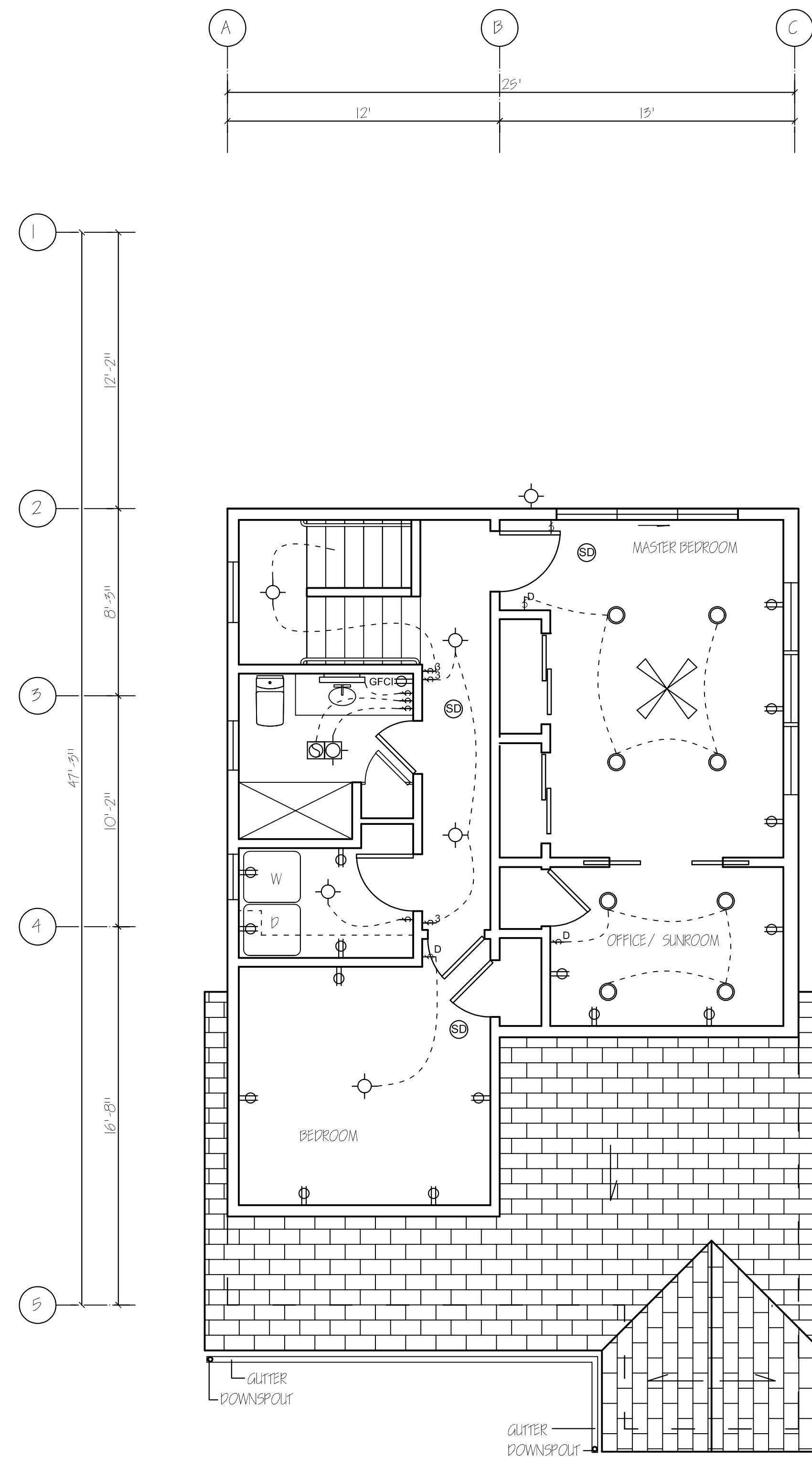
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sheet 9 of 10



ELECTRICAL PLAN- LOWER LEVEL

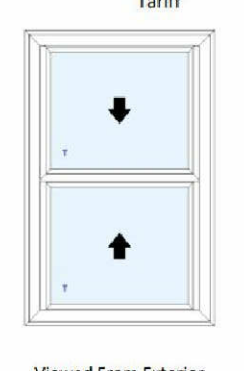
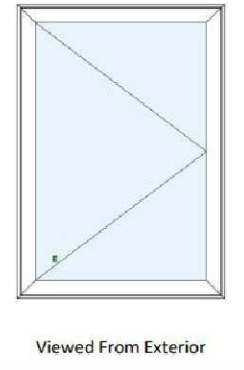
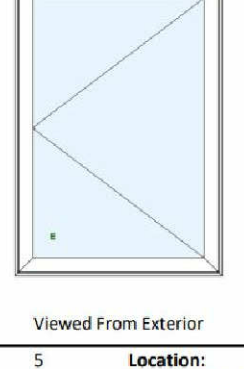
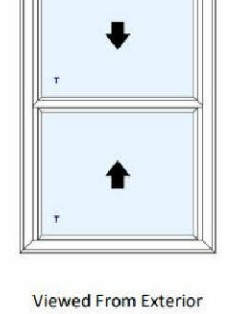
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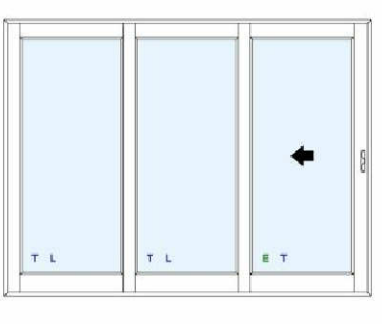
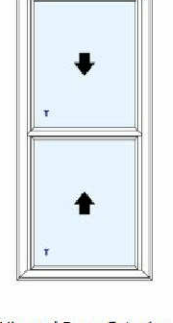
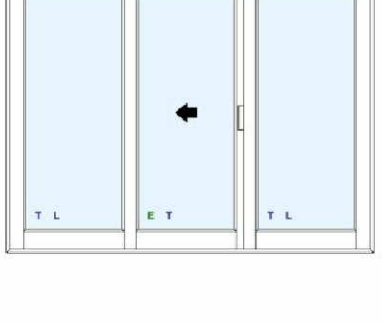
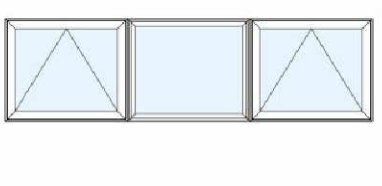


UPPER LEVEL- ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

1	<p><b>Line:</b> 4 <b>Quantity:</b> 1</p> <p><b>Location:</b> Tuscany V400, 8225T, DH, 1 3/8" Setback, Ext White / Int White, U-Factor: .29, SHGC: .20, VT: .47</p> <p>1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered Argon Gas Filled Tariff</p>  <p>Model = Double Hung Size = RD: 26" x 40" Net Frame: 25 1/2" x 39 1/2" Dimensions = Sash Height: One Half Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer Glazing = Dual Glaze with Argon Hardware = SmartTouch Lock Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 26, OITC: 22, PG: LC-PG20 Clear Opening = W 21 1/4" x H 12" Sq. Ft. 1.77 Calculations = Unit Area (Sq. Ft.): 7, Unit Perimeter (nominal in lineal ft.): 11' Other Ratings = CPD: MIL-A-234-0567-00001</p> <p><b>Item Total:</b> \$456.80 <b>Line Total:</b> \$572.82</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	TEMPERED
2	<p><b>Line:</b> 6 <b>Quantity:</b> 2</p> <p><b>Location:</b> Tuscany V400, 8320T, FC, 1 3/8" Setback, Ext White / Int White, U-Factor: .26, SHGC: .19, VT: .42</p> <p>1/8" SunCoatMAX (Low-E) over 1/8" Clear Argon Gas Filled Tariff</p>  <p>Model = Casement Size = RD: 34" x 48" Net Frame: 33 1/2" x 47 1/2" Handling = Right Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer Glazing = Dual Glaze with Argon Hardware = Nesting Fold Down Roto/Stainless Steel Operator Handle, 90 Degree Hinge Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 31, OITC: 24, PG: LC-PG60 Clear Opening = W 26 1/8" x H 42 15/16" Sq. Ft. 7.77, Egress: Yes Calculations = Unit Area (Sq. Ft.): 11, Unit Perimeter (nominal in lineal ft.): 14' Other Ratings = CPD: MIL-A-227-07661-00001</p> <p><b>Item Total:</b> \$553.60 <b>Line Total:</b> \$1,107.24</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	EGRESS
3	<p><b>Line:</b> 7 <b>Quantity:</b> 3</p> <p><b>Location:</b> Tuscany V400, 8320T, FC, 1 3/8" Setback, Ext White / Int White, U-Factor: .26, SHGC: .19, VT: .42</p> <p>1/8" SunCoatMAX (Low-E) over 1/8" Clear Argon Gas Filled Tariff</p>  <p>Model = Casement Size = RD: 34" x 48" Net Frame: 33 1/2" x 47 1/2" Handling = Left Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer Glazing = Dual Glaze with Argon Hardware = Nesting Fold Down Roto/Stainless Steel Operator Handle, 90 Degree Hinge Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 31, OITC: 24, PG: LC-PG60 Clear Opening = W 26 1/8" x H 42 15/16" Sq. Ft. 7.77, Egress: Yes Calculations = Unit Area (Sq. Ft.): 11, Unit Perimeter (nominal in lineal ft.): 14' Other Ratings = CPD: MIL-A-227-07661-00001</p> <p><b>Item Total:</b> \$553.60 <b>Line Total:</b> \$1,660.80</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	EGRESS
4	<p><b>Line:</b> 5 <b>Quantity:</b> 1</p> <p><b>Location:</b> Tuscany V400, 8225T, DH, 1 3/8" Setback, Ext White / Int White, U-Factor: .29, SHGC: .20, VT: .47</p> <p>1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered Argon Gas Filled Tariff</p>  <p>Model = Double Hung Size = RD: 32" x 48" Net Frame: 31 1/2" x 47 1/2" Dimensions = Sash Height: One Half Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer Glazing = Dual Glaze with Argon Hardware = SmartTouch Lock Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 26, OITC: 22, PG: LC-PG20 Clear Opening = W 27 1/4" x H 16" Sq. Ft. 3.03 Calculations = Unit Area (Sq. Ft.): 11, Unit Perimeter (nominal in lineal ft.): 14' Other Ratings = CPD: MIL-A-234-0567-00001</p> <p><b>Item Total:</b> \$526.40 <b>Line Total:</b> \$695.22</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	TEMPERED

5	<p><b>Line:</b> 8 <b>Quantity:</b> 1</p> <p><b>Location:</b> Tuscany V400, 8621FT, SD3F, 1 3/8" Setback, Ext White / Int White, U-Factor: .29, SHGC: .19, VT: .43</p> <p>1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered Milgard to Field Glaze Multi Point Lock Custom Size Upgraded Screen with Fiberglass Mesh Argon Gas Filled Tariff</p>  <p>Model = Sliding Door Three Panel French Size = RD: 106 1/2" x 80" Net Frame: 105" x 79 1/2" Handling = OOX Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered with Gray EdgeGuardMAX Spacer Glazing = Dual Glaze with Argon Hardware = SmartTouch Handle, Multi Point Lock Other Options = Glass Breakage Warranty, Glazing Policy: Vent: Glazed and Panel Out, Fixed: Open and Panel In, Field Glaze: Milgard to Glaze Screen = Upgraded with Fiberglass Mesh, Screen Ship Loose Ratings = STC: 29, OITC: 22, PG: R-PG20 Clear Opening = W 26 11/16" x H 76 1/2" Sq. Ft. 14.18, Egress: Yes Calculations = Unit Area (Sq. Ft.): 59, Unit Perimeter (nominal in lineal ft.): 32' Other Ratings = CPD: MIL-A-205-05357-00001</p> <p><b>Item Total:</b> \$3,046.40 <b>Line Total:</b> \$4,814.08</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	
6	<p><b>Line:</b> 3 <b>Quantity:</b> 1</p> <p><b>Location:</b> Tuscany V400, 8225T, DH, 1 3/8" Setback, Ext White / Int White, U-Factor: .29, SHGC: .20, VT: .47</p> <p>1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered Argon Gas Filled Tariff</p>  <p>Model = Double Hung Size = RD: 28" x 40" Net Frame: 27 1/2" x 39 1/2" Dimensions = Sash Height: One Half Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer Glazing = Dual Glaze with Argon Hardware = SmartTouch Lock Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 26, OITC: 22, PG: LC-PG20 Clear Opening = W 23 1/4" x H 12" Sq. Ft. 3.55 Calculations = Unit Area (Sq. Ft.): 12, Unit Perimeter (nominal in lineal ft.): 15' Other Ratings = CPD: MIL-A-234-0567-00001</p> <p><b>Item Total:</b> \$533.60 <b>Line Total:</b> \$1,600.80</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	TEMPERED
7	<p><b>Line:</b> 1 <b>Quantity:</b> 1</p> <p><b>Location:</b> Tuscany V400, 8621FT, SD3F, 1 3/8" Setback, Ext White / Int White, U-Factor: .29, SHGC: .19, VT: .43</p> <p>1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered Milgard to Field Glaze Upgraded Screen with Fiberglass Mesh Argon Gas Filled Tariff</p>  <p>Model = Sliding Door Three Panel French Size = RD: 106 1/2" x 80" Net Frame: 105" x 79 1/2" Handling = OX/O Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered with Gray EdgeGuardMAX Spacer Glazing = Dual Glaze with Argon Hardware = SmartTouch Handle, Multi Point Lock Other Options = Glass Breakage Warranty, Glazing Policy: Vent: Glazed and Panel Out, Fixed: Open and Panel In, Field Glaze: Milgard to Glaze Screen = Upgraded with Fiberglass Mesh, Screen Ship Loose Ratings = STC: 29, OITC: 22, PG: R-PG20 Clear Opening = W 24 5/16" x H 76 1/2" Sq. Ft. 12.92, Egress: Yes Calculations = Unit Area (Sq. Ft.): 59, Unit Perimeter (nominal in lineal ft.): 32' Other Ratings = CPD: MIL-A-205-05357-00001</p> <p><b>Item Total:</b> \$3,046.40 <b>Line Total:</b> \$3,946.08</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	
8	<p><b>Line:</b> 2 <b>Quantity:</b> 1</p> <p><b>Location:</b> Tuscany V400, 8420T, SP, 1 3/8" Setback, Ext White / Int White, U-Factor: .27, SHGC: .19, VT: .42, <b>PG: No Rating</b></p> <p>1/8" SunCoatMAX (Low-E) over 1/8" Clear Argon Gas Filled Tariff</p>  <p>Model = Special - Composite Design Size = Net Frame: 108" x 30" Dimensions = FA 1.1, CADG 1.2, FA 1.3: 36" x 30" Composite Method = Vertical: IMR Energy Package = Title 24 2019 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray Foam Spacer Glazing = Dual Glaze with Argon Hardware = Nesting Fold Down Roto/Stainless Steel Operator Handle Other Options = Glass Breakage Warranty Screen = Standard with Fiberglass Mesh Ratings = STC: 28, OITC: 22, PG: No Rating Calculations = Unit Area (Sq. Ft.): 23, Unit Perimeter (nominal in lineal ft.): 24' Other Ratings = CPD: MIL-A-226-07662-00001</p> <p><b>Item Total:</b> \$1,395.20 <b>Line Total:</b> \$1,458.42</p> <p style="text-align: right;"><b>Customer Approval:</b> _____</p>	

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project

HANSEN &  
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RESIDENCE

602 MASONIC AVENUE,  
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94706

AS INDICATED

10/21/2022

WINDOW SCHEDULE

A.4.0

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