

# ADDITION & ALTERATIONS FOR SINGLE-FAMILY DWELLING

## 727 TALBOT AVENUE

## ALBANY, CALIFORNIA 94706

**A. CLARK**  
ARCHITECTURE  
250 MAC ARTHUR BLVD.  
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### DRAWING INDEX

- A0.1 SITE PLAN
- A1.0 DEMOLITION PLANS, EXISTING CONDITIONS
- A2.0 FIRST & SECOND FLOOR PLANS
- A3.0 EXTERIOR ELEVATIONS
- A4.0 SECTIONS & DETAILS

### PROJECT TEAM

OWNER: JAMES CROFT & LINDSAY MELNYK  
727 TALBOT AVE.  
ALBANY, CA 94706  
(510) 830-8811

ARCHITECT: ARTHUR L. CLARK  
A. CLARK ARCHITECTURE  
250 MACARTHUR BLVD.  
SAN LEANDRO, CA 94577  
(510) 568-5599

### PROJECT DATA

ADDRESS: 727 TALBOT AVE.  
APN: 66-2808-20-1  
ZONING: R-1  
LOT SIZE: 3,650 SF  
OCCUPANCY: R-3  
CONSTRUCTION TYPE: V-B  
(E) BUILDING AREA: 1,151 S.F.  
(E) GARAGE AREA: 249 S.F.  
(N) ADDITION: 407 S.F.  
LOT COVERAGE:  $1,151+249+407 = 1,557/3,650 = 43\%$

### DEFERRED SUBMITTALS

ROOF TRUSS CALCULATIONS/DESIGN MUST BE REVIEWED AND APPROVED PRIOR TO ROOF AND/OR SHEAR WALL INSPECTION.

### SCOPE OF WORK

THE FOLLOWING SCOPE OF WORK IS PROPOSED FOR AN EXISTING SINGLE-FAMILY RESIDENCE AT 727 TALBOT AVENUE:

ADDITION AND ALTERATIONS TO SINGLE-FAMILY DWELLING UNIT:

1. REMODEL EXISTING BATHROOM
2. REMODEL EXISTING KITCHEN
3. MASTER BEDROOM SUITE ADDITION
4. NEW EXTERIOR DECK



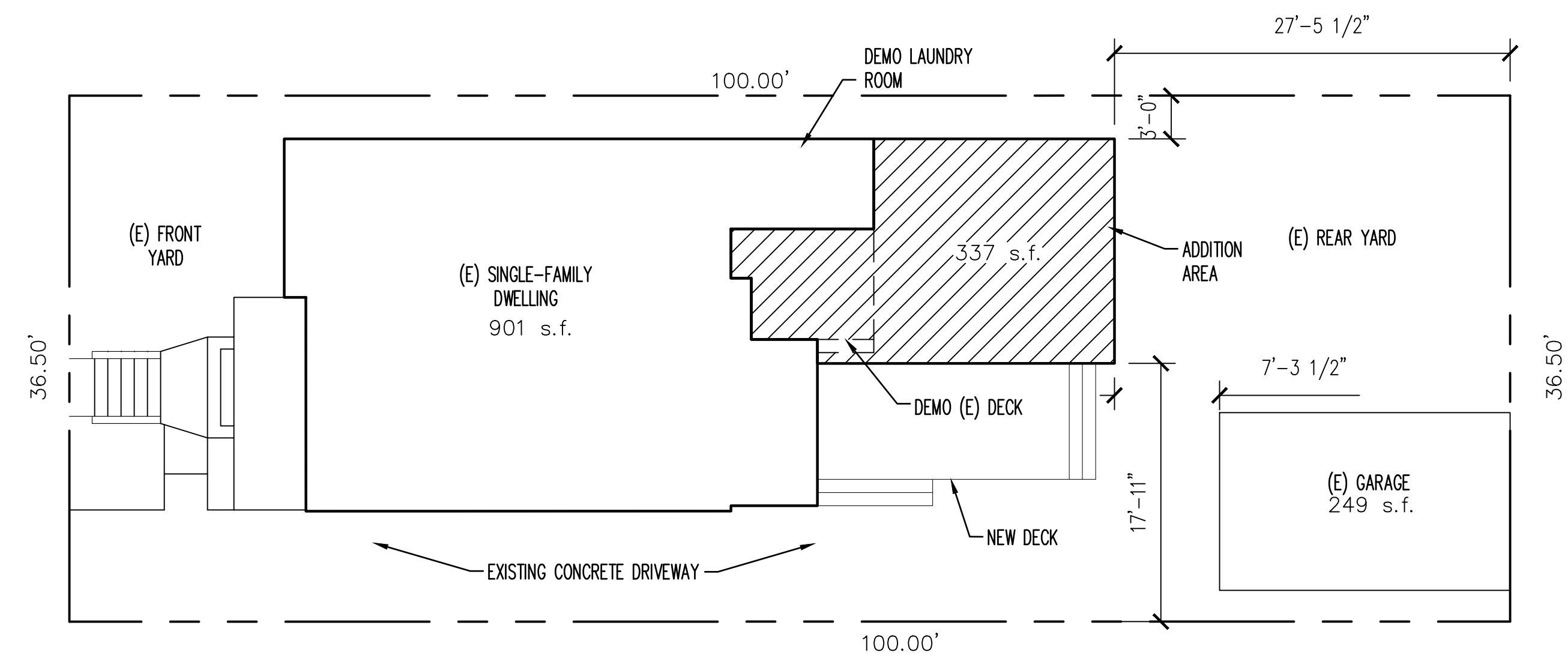
3  
A0.1 VICINITY MAP  
NOT TO SCALE

### GENERAL NOTES

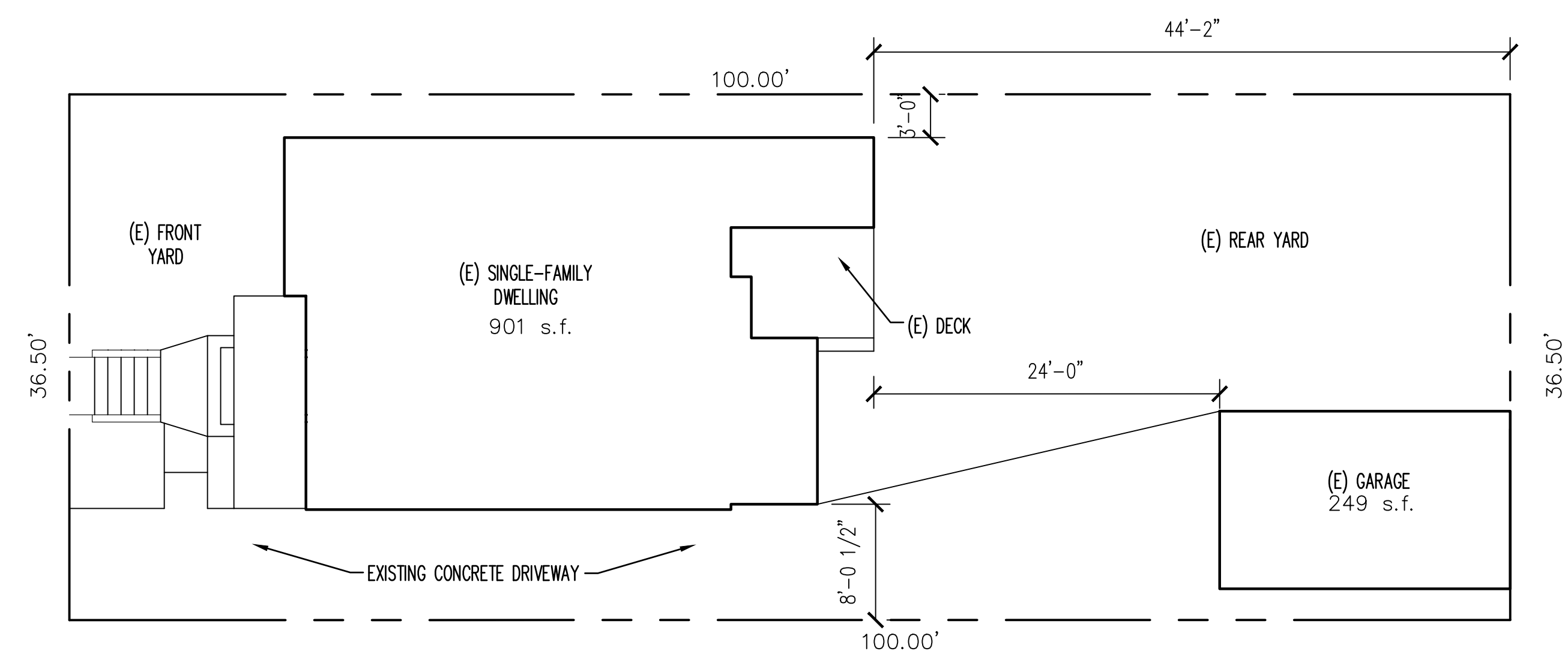
1. ALL WORK SHALL CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE AND CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS AS AMENDED BY THE CITY OF ALBANY.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE START OF WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
3. LUMBER:  
ALL LUMBER SHALL BE DOUGLAS FIR OF THE FOLLOWING GRADE UNLESS NOTED OTHERWISE AND SHALL HAVE MAX. 19% MOISTURE CONTENT AT TIME OF INSTALLATION.  
  
RAFTERS AND JOISTS: NO. 2 OR BETTER  
STUDS AND PLATES: CONSTRUCTION  
BEAMS: NO. 2 OR BETTER  
POSTS AND MULLIONS: NO. 2 OR BETTER  
MISC. - BLOCKING, FURRING NO. 2  
  
ALL BEAMS, POSTS, LEDGERS AND JOISTS SHALL BE PRESSURE-TREATED
4. CONCRETE:  
ALL REINFORCED CONCRETE SHALL OBTAIN A COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.  
ALL CEMENT SHALL CONFORM TO ASTM C-150, TYPE 1  
AGGREGATE SHALL CONFORM TO ASTM C-33.

### LEGEND

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL - SEE TYPES ON SHEET A2.0
- WALL TYPE - SEE TYPES ON SHEET A2.0
- DUPLEX RECEPTACLE (G = GFCI)  
ALL NEW RECEPTACLES TO BE TAMPER-RESISTANT
- CEILING EXHAUST FAN
- SMOKE ALARM - HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE ALARM - HARDWIRED AND INTERCONNECTED
- WALL MOUNTED LIGHT FIXTURE  
HIGH EFFICACY - CFL OR LED FIXTURE
- SURFACE MOUNTED CEILING LIGHT FIXTURE  
HIGH EFFICACY - CFL OR LED FIXTURE
- RECESSED CEILING LIGHT FIXTURE  
HIGH EFFICACY - CFL OR LED FIXTURE
- SWITCH 3 = 3 WAY
- SWITCH (2) = CIRCUIT NUMBER
- SWITCH (HE) = HIGH EFFICACY LIGHT
- UNDERCABINET LIGHT FIXTURE  
HIGH EFFICACY FIXTURE - COMPACT FLUORESCENT (CFL)
- (N) NEW
- (E) EXISTING
- W.O. WHERE OCCURS



2  
A0.1 PROPOSED SITE PLAN  
SCALE: 1/8"=1'-0"



1  
A0.1 EXISTING SITE PLAN  
SCALE: 1/8"=1'-0"

DATE OCT. 01, 2022

JOB NO. 2022.14

DRAWN

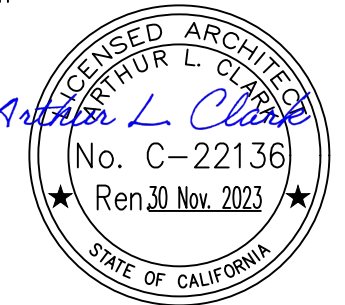
CHECKED

Approved for the Owner

Approved for the Architect

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PROFESSIONAL STAMP



NO. REVISION DATE

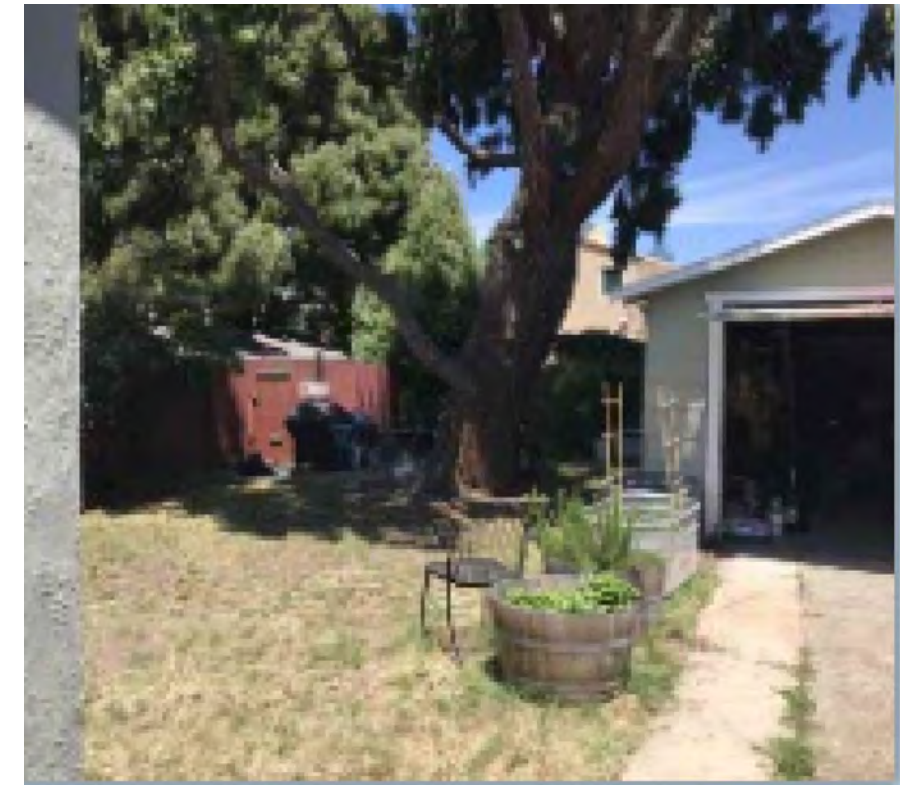
ADDITION  
AND  
ALTERATIONS  
SINGLE-FAMILY  
DWELLING

727 TALBOT AVENUE  
ALBANY, CALIFORNIA


SITE  
PLAN

SHEET NO.

A0.1



|                            |                           |
|----------------------------|---------------------------|
| DATE                       | OCT. 01, 2022             |
| JOB NO.                    | 2022.14                   |
| DRAWN                      |                           |
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PROFESSIONAL STAMP  


| NO. | REVISION | DATE |
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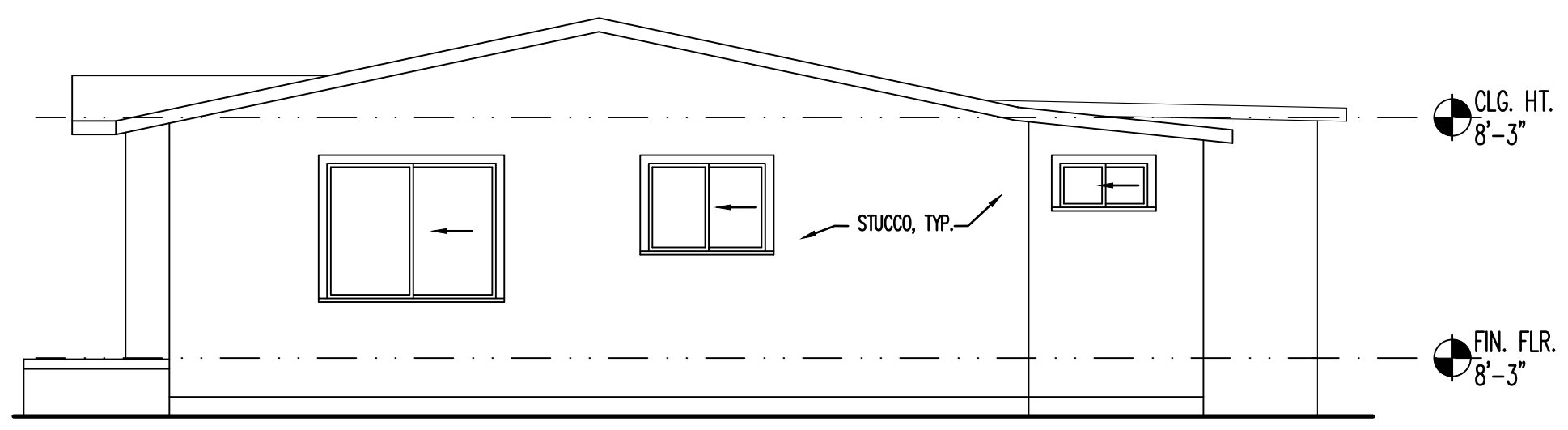
ADDITION  
 AND  
 ALTERATIONS  
 SINGLE-FAMILY  
 DWELLING

727 TALBOT AVENUE  
 ALBANY, CALIFORNIA

EXISTING  
 CONDITIONS

SHEET NO.

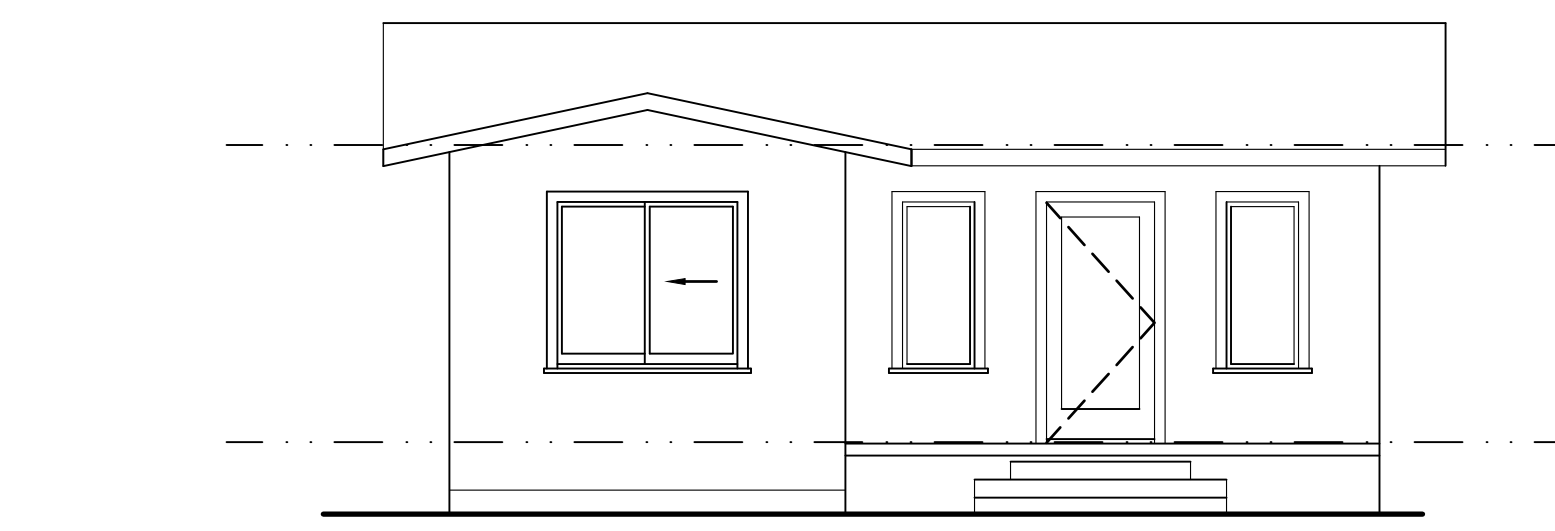
**A1.0**



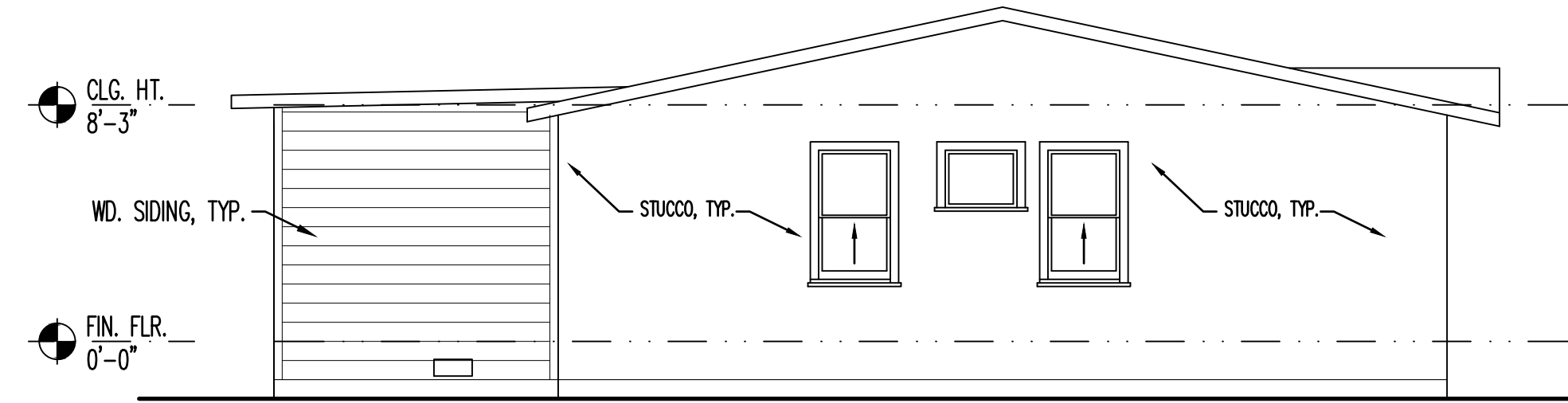
4 SOUTH ELEVATION  
 A3.0 SCALE: 1/4"=1'-0"



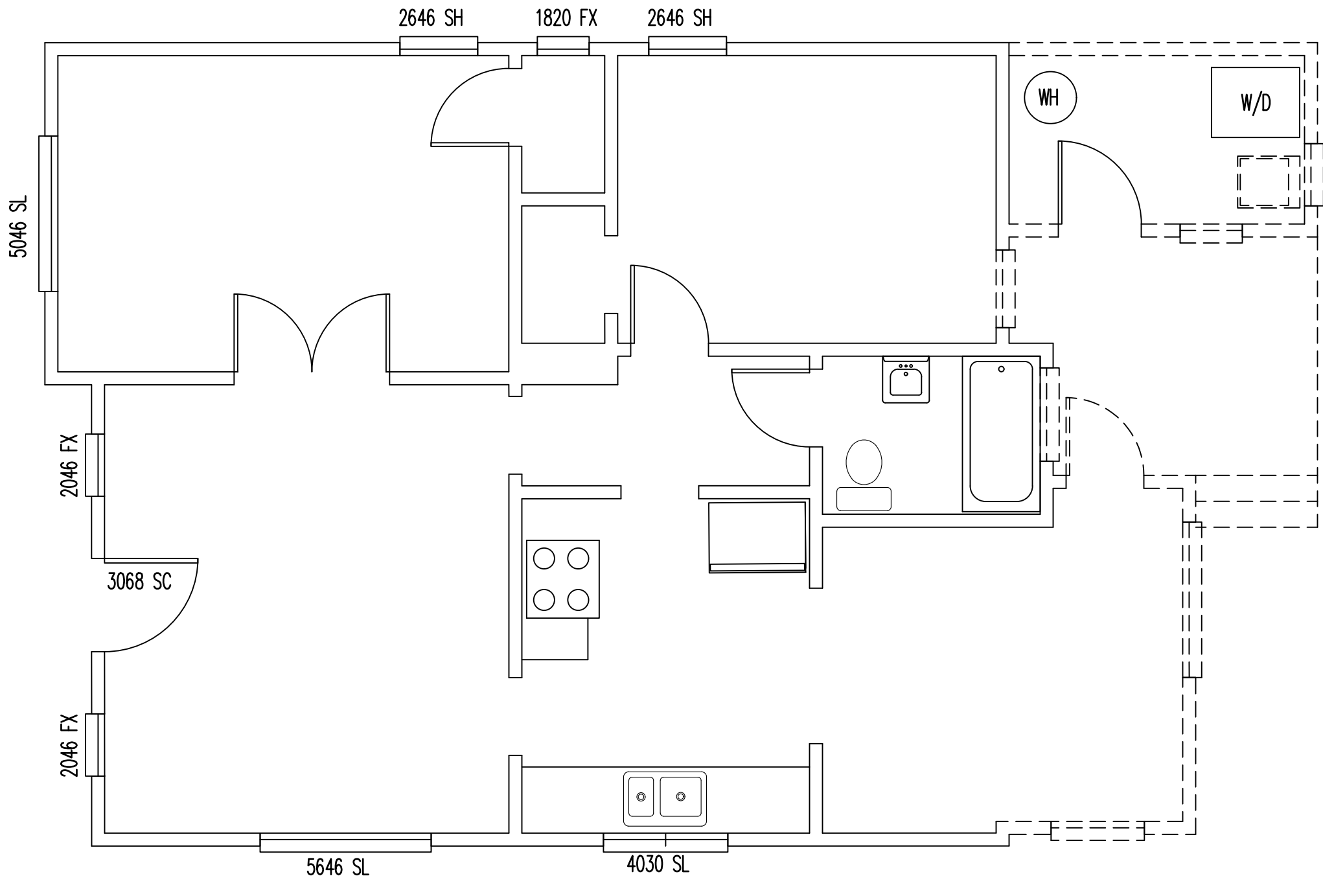
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 A3.0 SCALE: 1/4"=1'-0"



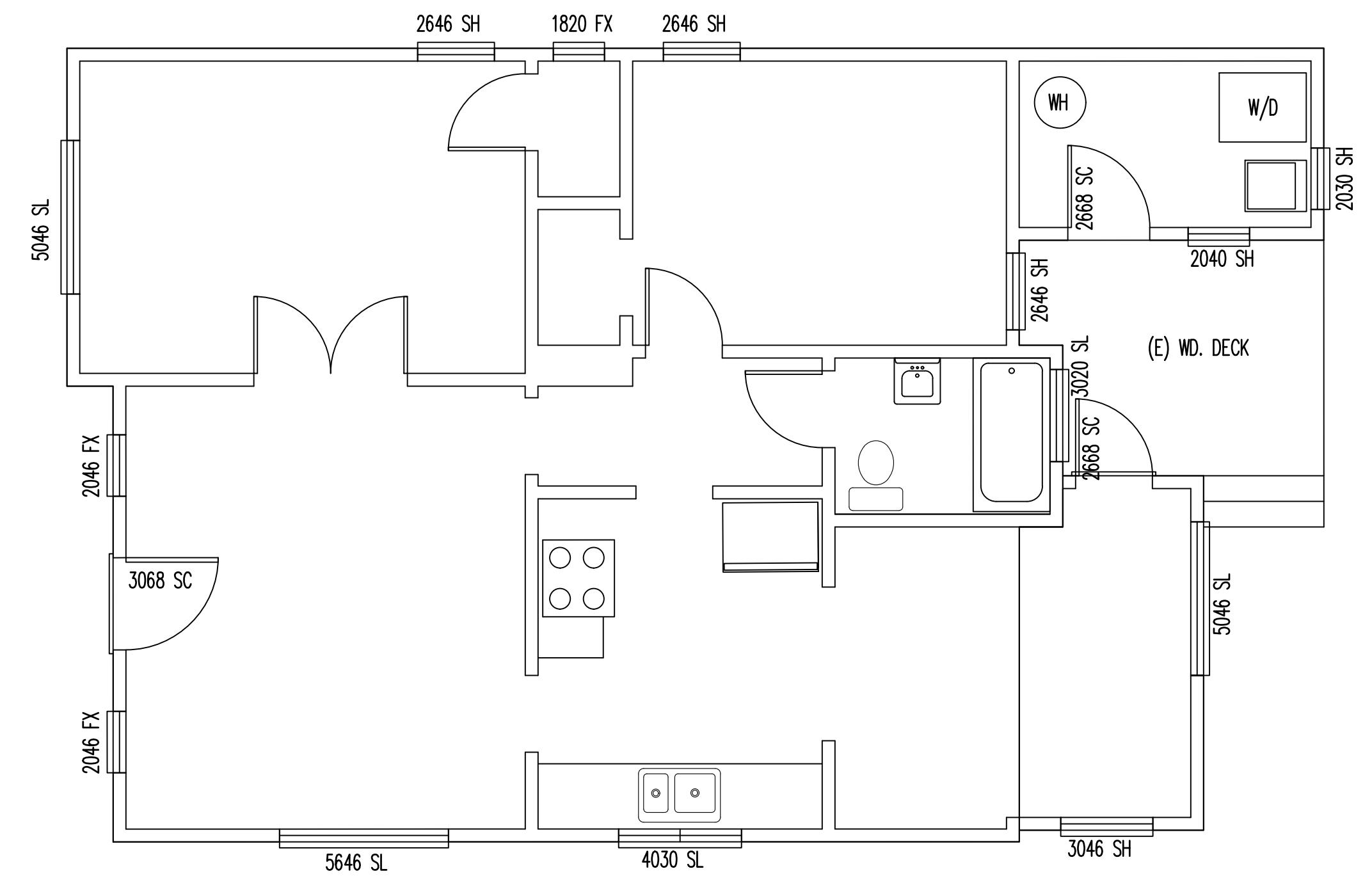
4 WEST ELEVATION  
 A3.0 SCALE: 1/4"=1'-0"



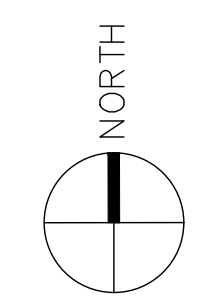
4 NORTH ELEVATION  
 A3.0 SCALE: 1/4"=1'-0"



2 DEMOLITION FLOOR PLAN  
 A3.0 SCALE: 1/4"=1'-0"



1 EXISTING FLOOR PLAN  
 A3.0 SCALE: 1/4"=1'-0"



**GENERAL NOTES**

- ALL PLUMBING FIXTURES SHALL BE WATER CONSERVING PLUMBING FIXTURES. FIXTURES SHALL BE IN COMPLIANCE WITH TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE.
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE HARD-WIRED CONNECTED TO BUILDING POWER SOURCE WITH BATTERY BACKUP. INTERCONNECT SMOKE ALARMS AND CARBON MONOXIDE ALARMS TO ACTIVATE ALL DEVICES IN THE EVENT OF AN ALARM. SMOKE ALARM IN LIVING AREA TO BE IONIZATION TYPE WITH ALARM SILENCING SWITCH OR PHOTOELECTRIC TYPE. SMOKE ALARMS MUST BE LISTED IN ACCORDANCE WITH UL 217 AND BE CALIFORNIA STATE FIRE MARSHAL APPROVED. CO ALARMS MUST BE LISTED IN ACCORDANCE WITH UL 2034 AND BE CALIFORNIA STATE FIRE MARSHAL APPROVED. COMBINATION SMOKE AND CO ALARMS SHALL COMPLY WITH ALL OF THE ABOVE STANDARDS.
- ALL LIGHTING SHALL BE HIGH EFFICACY FIXTURES.
- ALL 125V, 15 AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- ALL BATHROOM EXHAUST FANS TO HAVE INTEGRAL HUMIDISTAT PER CGCS 4.506.1, BE ENERGYSTAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING.
- KITCHEN VENTILATION TO HAVE 100 CFM MINIMUM PROVIDING 5 AIR CHANGES PER HOUR. VENT RANGE HOOD TO EXTERIOR.
- 2019 CGBC MANDATORY MEASURES ARE INCORPORATED:  
 A. ENERGY COMPLIANCE CERTIFICATE  
 B. WATER CONSERVING PLUMBING FIXTURES  
 C. CONSTRUCTION WASTE MANAGEMENT PLAN - SUBMITTED AS PART OF THIS APPLICATION  
 D. DUCT OPENINGS TO BE COVERED DURING CONSTRUCTION  
 E. PAINTS AND ADHESIVES TO COMPLY WITH VOC CONTENT LIMITS  
 F. BATH EXHAUST FANS TO BE ENERGY STAR COMPLIANT WITH HUMIDISTAT CONTROLS  
 G. BUILDING AND OPERATION MANUAL TO BE PROVIDED AT FINAL INSPECTION
- ENVIRONMENTAL AIR DUCT EXHAUSTS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINES AND OPENINGS INTO BUILDING.S.
- TWO 20-AMP CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES. ONE 20-AMP CIRCUIT SHALL BE PROVIDED FOR LAUNDRY APPLIANCES AND BATHROOM RECEPTACLES OUTLETS EACH.
- A DEDICATED 20-AMP CIRCUIT SHALL SUPPLY THE KITCHEN DISHWASHER, GARBAGE DISPOSAL UNIT AND BATHROOM RECEPTACLES.
- ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN FAMILY/LIVING/DINING ROOMS, BEDROOMS, CLOSETS AND SIMILAR ROOMS/AREAS (EXCEPT KITCHENS/BATHROOMS/LAUNDRY) SHALL BE PROTECTED WITH ARC-FAULT CIRCUIT, COMBINATION TYPE INSTALLED TO PROTECT THE CIRCUITS.
- ALL KITCHEN COUNTERTOP ELECTRICAL OUTLETS SHALL BE GFCI PROTECTED.
- LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".
- PERMANENTLY MOUNTED OUTDOOR LIGHT FIXTURES SHALL BE CONTROLLED BY ON-OFF SWITCH THAT DOES NOT OVERRIDE AUTOMATIC CONTROLS.
- SHOWER COMPARTMENTS SHALL HAVE A FINISHED INTERIOR AREA OF 1,024 SQ. IN., MINIMUM.
- SHOWER ENCLOSURES SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR. FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
- SHOWERS SHALL BE PROVIDED WITH SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD.
- SHOWER DAM OR THRESHOLD SHALL BE NO LESS THAN 2 INCHES NOR MORE THAN 9 INCHES IN DEPTH AS MEASURED FROM TOP OF DAM TO TOP OF DRAIN.
- SHOWER THRESHOLDS SHALL BE SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 INCH DOOR. DOORS SHALL OPEN TO MAINTAIN 22 INCH UNOBSTRUCTED OPENING.
- SHOWER COMPARTMENTS SHALL HAVE MINIMUM FINISHED INTERIOR AREA OF 1024 SQ. INCHES AND ALLOW A 30" CIRCLE. AREA AND DIMENSIONS TO BE MAINTAINED TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE SHOWER DRAIN.
- WATER CLOSETS SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION, NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO ANY SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL NOT BE LESS THAN 24 INCHES.
- SHOWER GLASS ENCLOSURES SHALL BE SAFETY GLAZING.
- WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING EXCEEDS 19% MOISTURE CONTENT. DETERMINE MOISTURE CONTENT WITH PROBE OR CONTACT TYPE MOISTURE METER AT A POINT 2 TO 4 FEET FROM THE GRADE STAMPED END OF EACH PIECE.

**FLOOR PLAN NOTES**

- 2X6 PLUMBING WALL FRAMING AT LAUNDRY/BATH AS REQUIRED.
- BATHROOM STORAGE UNIT BY OWNER.
- 2' X 2' OPERABLE SKYLIGHT.
- 22" X 30" ATTIC ACCESS.

**WALL TYPES**

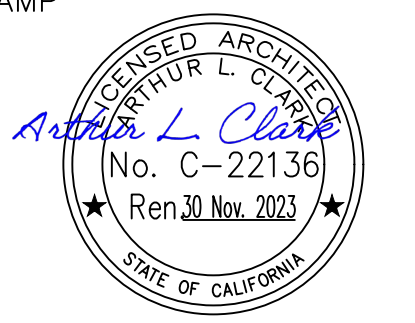
- A EXTERIOR WALL - NON RATED**  
 2 X 4 STUDS @ 16" O.C. W/7/8" CEMENT PLASTER ON PLYWD.SHTG, R-15 BATT INSULATION, 1/2" GYP. BD.
- B INTERIOR WALL**  
 2 X 4 STUDS @ 16" O.C. W/1/2" GYPSUM BOARD BOTH SIDES

**FINISH SCHEDULE**

| NO. | ROOM OR SPACE   | MATERIAL & FINISH CODE |      |          |       |         |         | NOTES           |
|-----|-----------------|------------------------|------|----------|-------|---------|---------|-----------------|
|     |                 | FLOOR                  | BASE | WAINSCOT | WALLS | CEILING | CLNG HT |                 |
| --- | KITCHEN         | LAM                    | WD   | -        | PGB   | AC TILE | 8'-3"   | TILE BACKSPLASH |
| --- | DINING          | LAM                    | WD   | -        | PGB   | PGB     | 8'-3"   |                 |
| --- | HALL            | LAM                    | WD   | -        | PGB   | PGB     | 8'-3"   |                 |
| --- | LAUNDRY         | LAM                    | WD   | -        | PGB   | PGB     | 8'-3"   |                 |
| --- | MASTER BEDROOM  | WD                     | LAM  | -        | PGB   | PGB     | 8'-3"   |                 |
| --- | MASTER BATHROOM | WD                     | TILE | -        | PGB   | PGB     | 8'-3"   | TILE SHWR ENCL  |

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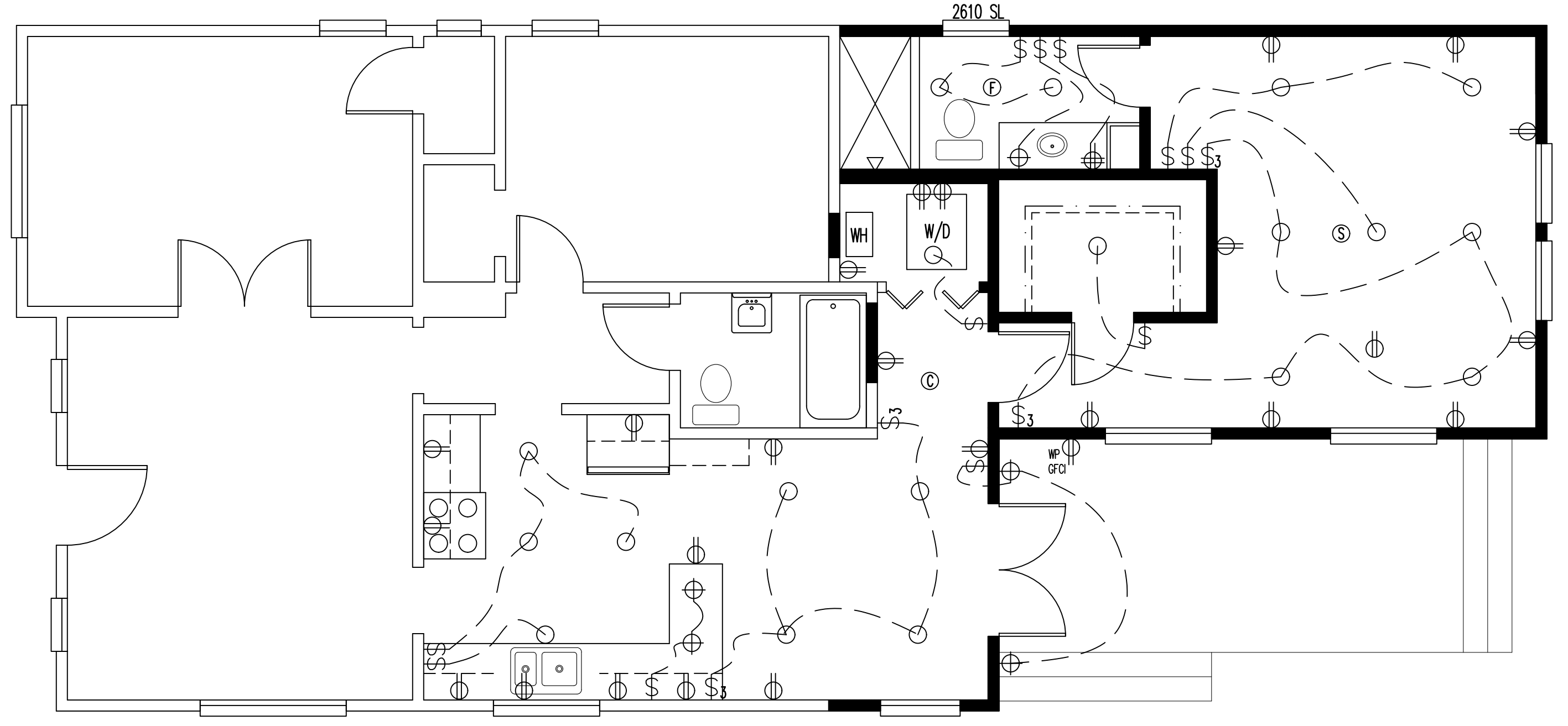
**ADDITION AND ALTERATIONS SINGLE-FAMILY DWELLING**

727 TALBOT AVENUE  
 ALBANY, CALIFORNIA

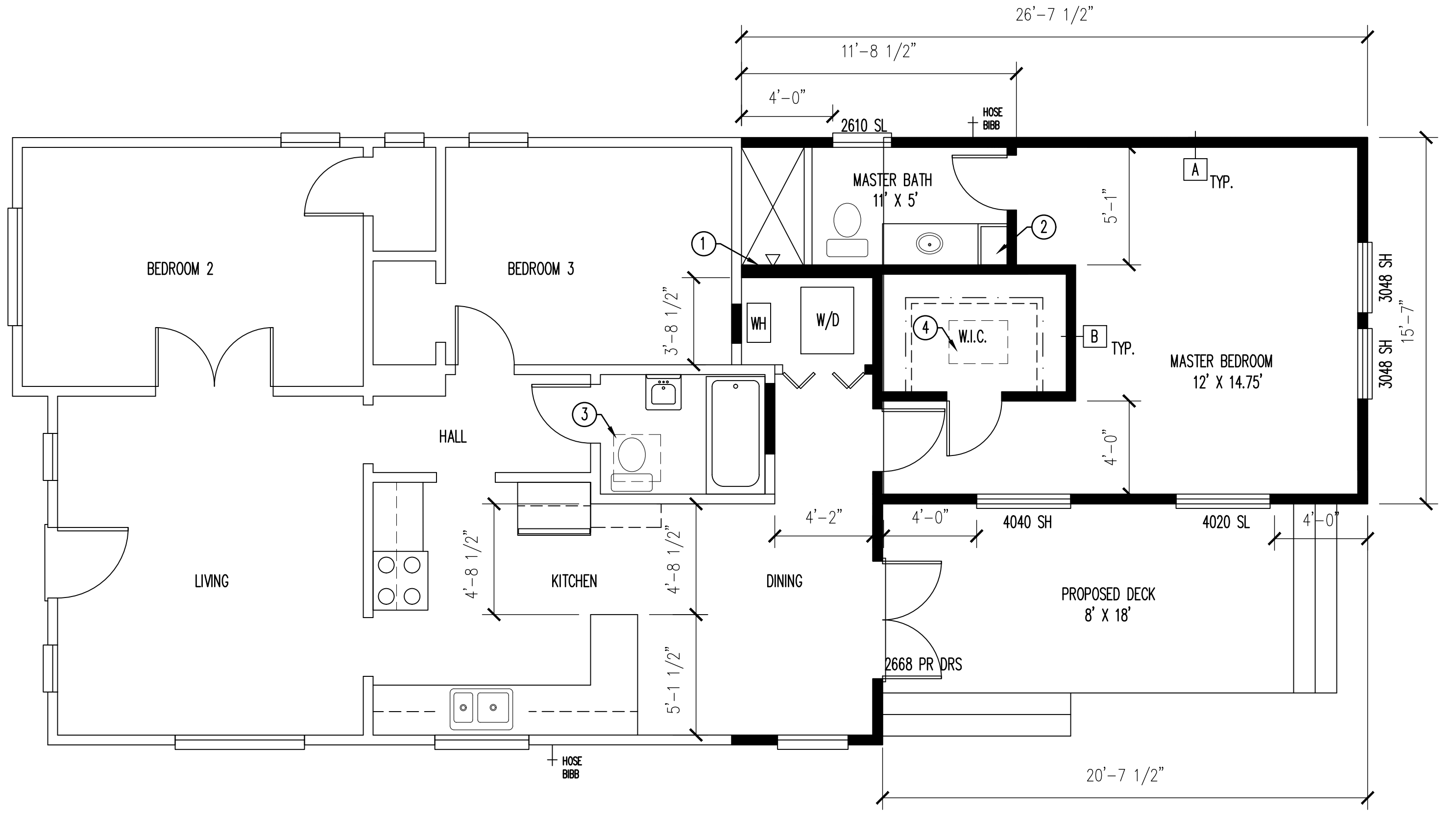
**FLOOR PLAN**

SHEET NO.

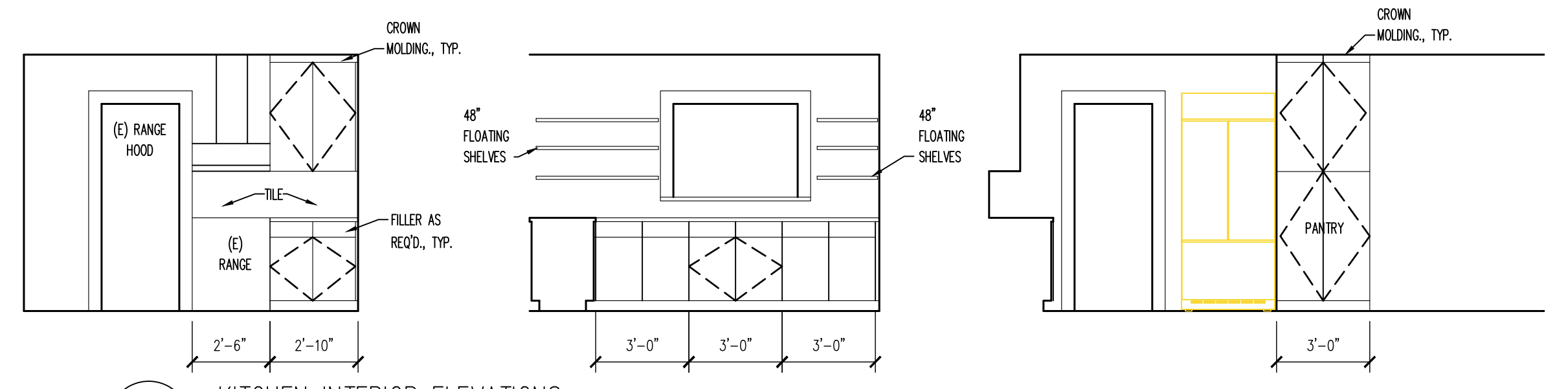
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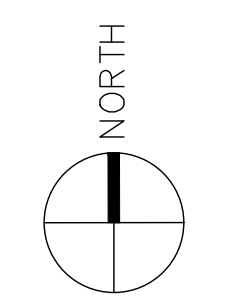
**2 ELECTRICAL FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



**1 PROPOSED FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

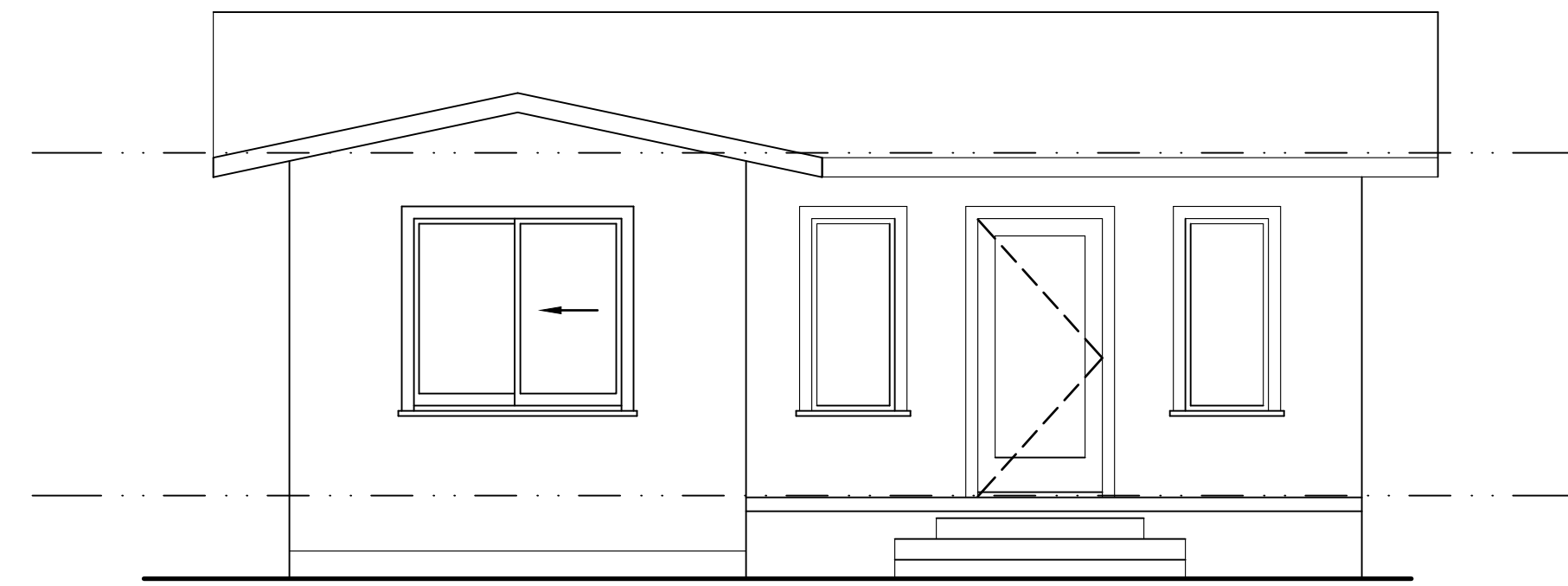


**3 KITCHEN INTERIOR ELEVATIONS**  
 SCALE: 1/4"=1'-0"

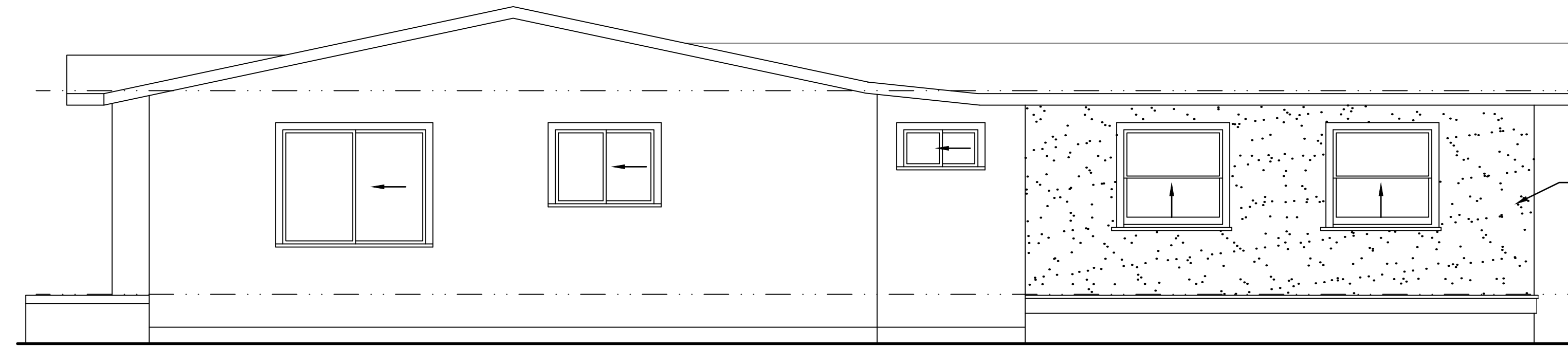


**GENERAL NOTES**

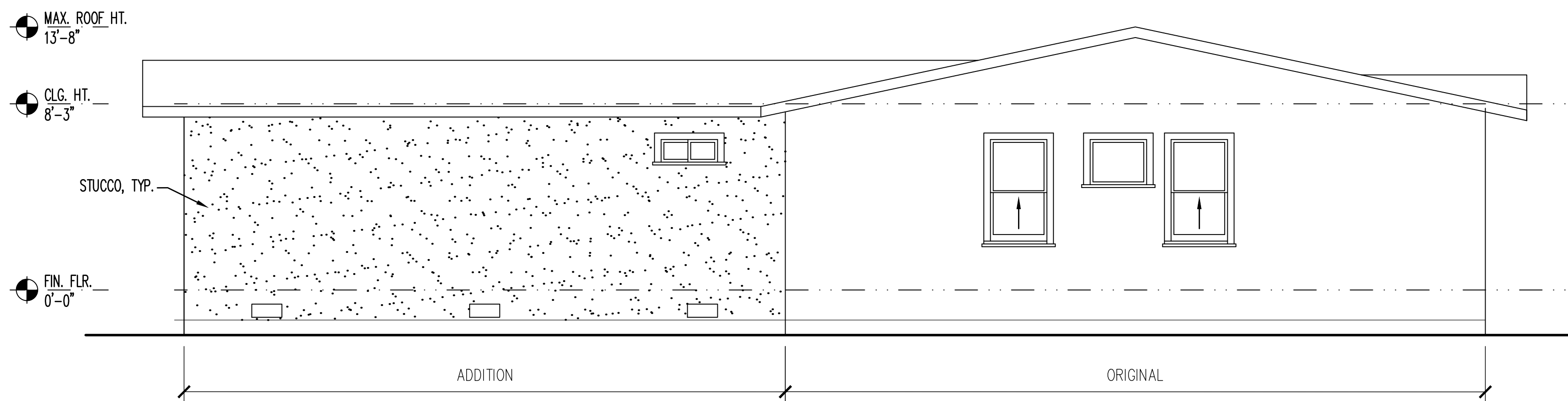
1. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH REQUIREMENTS OF CALIFORNIA FIRE CODE CHAPTER 10 SECTION 1030 OR CALIFORNIA RESIDENTIAL CODE SECTION 310.
2. PROVIDE SOLID 2X BLOCKING AT ROOF TRUSSES AT RIDGE, TOP OF WALL AND ALL PLYWOOD EDGES.
2. PROVIDE SOLID 2X BLOCKING AND CLIPS AT ALL TOP PLATE CONNECTIONS.



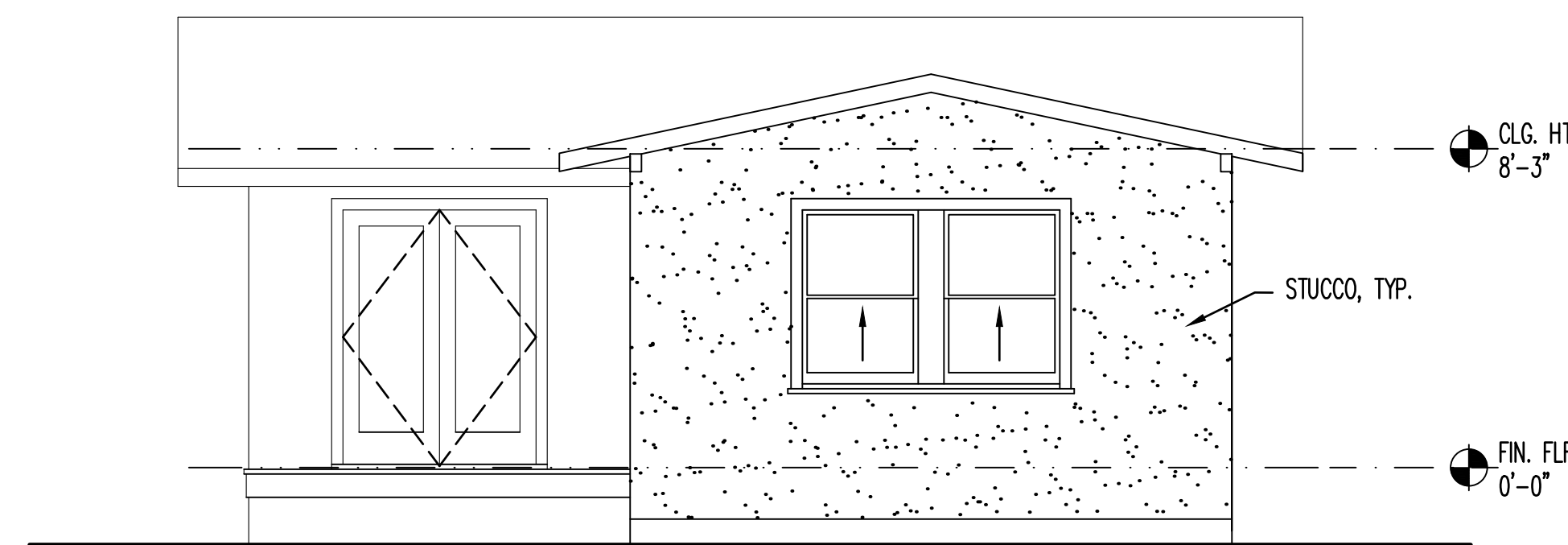
4  
A3.0 WEST ELEVATION  
SCALE: 1/4"=1'-0"



3  
A3.0 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

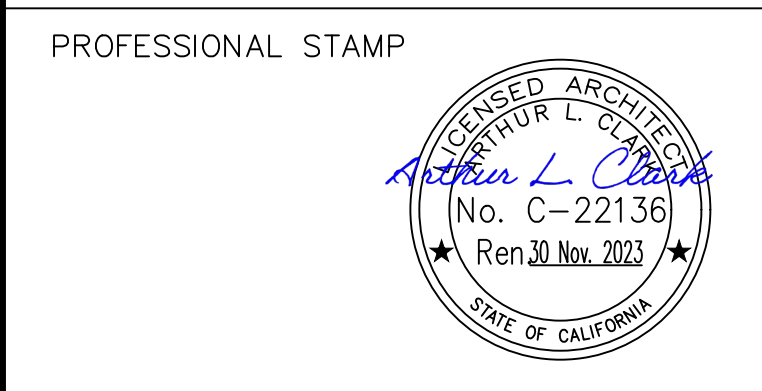


2  
A3.0 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



1  
A3.0 EAST ELEVATION  
SCALE: 1/4"=1'-0"

|                            |                           |
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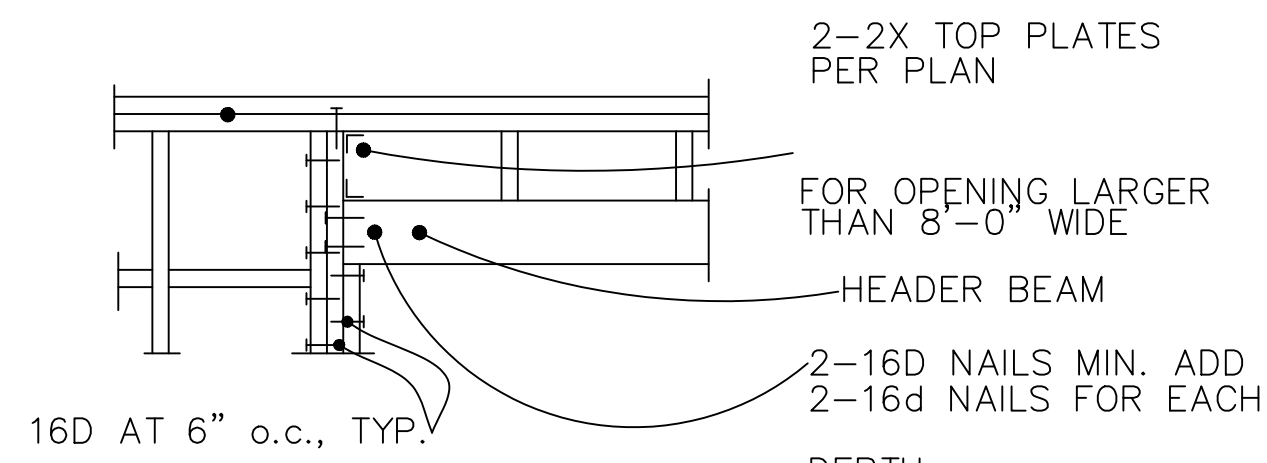
ADDITION  
AND  
ALTERATIONS  
SINGLE-FAMILY  
DWELLING

727 TALBOT AVENUE  
ALBANY, CALIFORNIA

EXTERIOR  
ELEVATIONS

SHEET NO.

**A3.0**

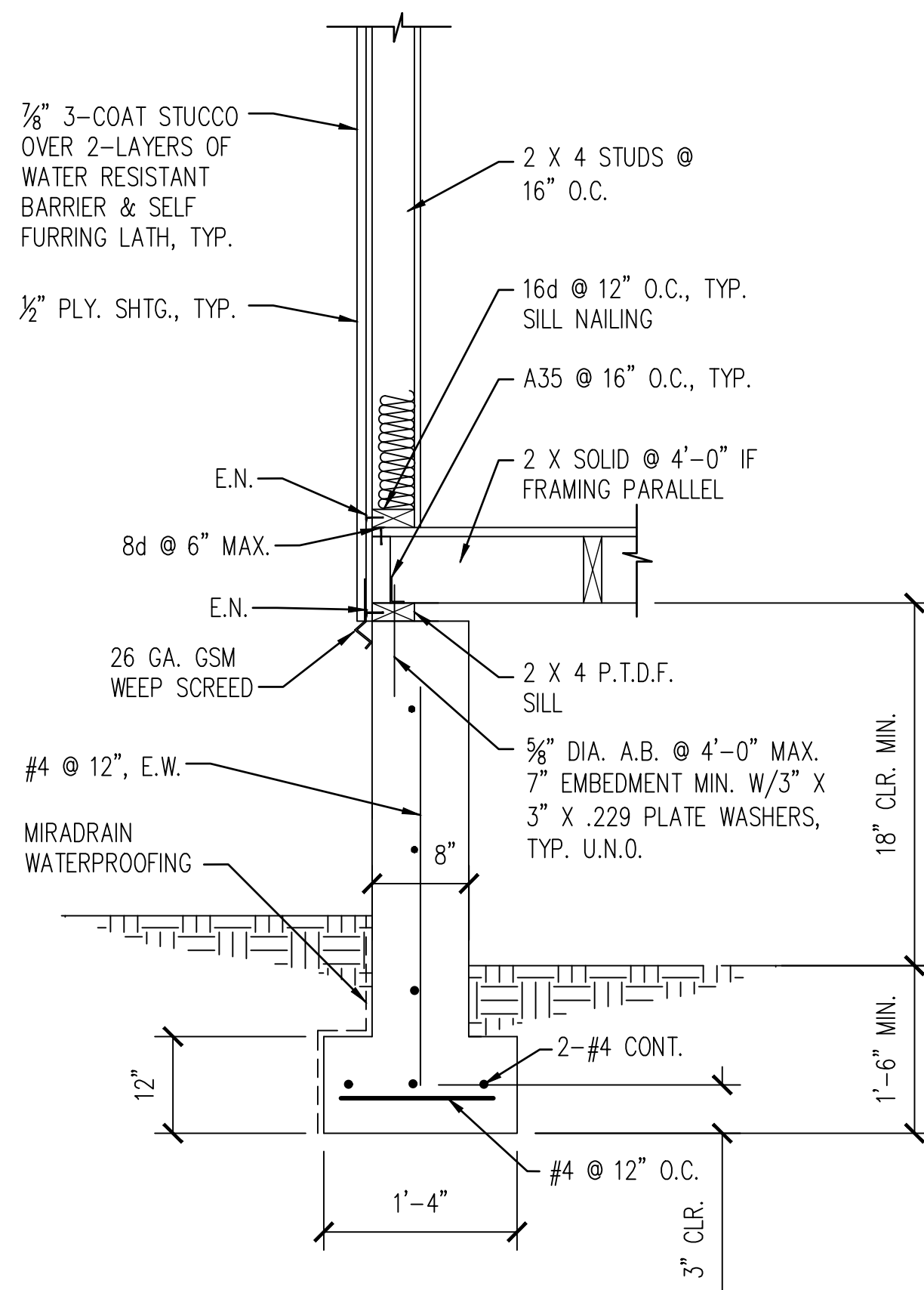
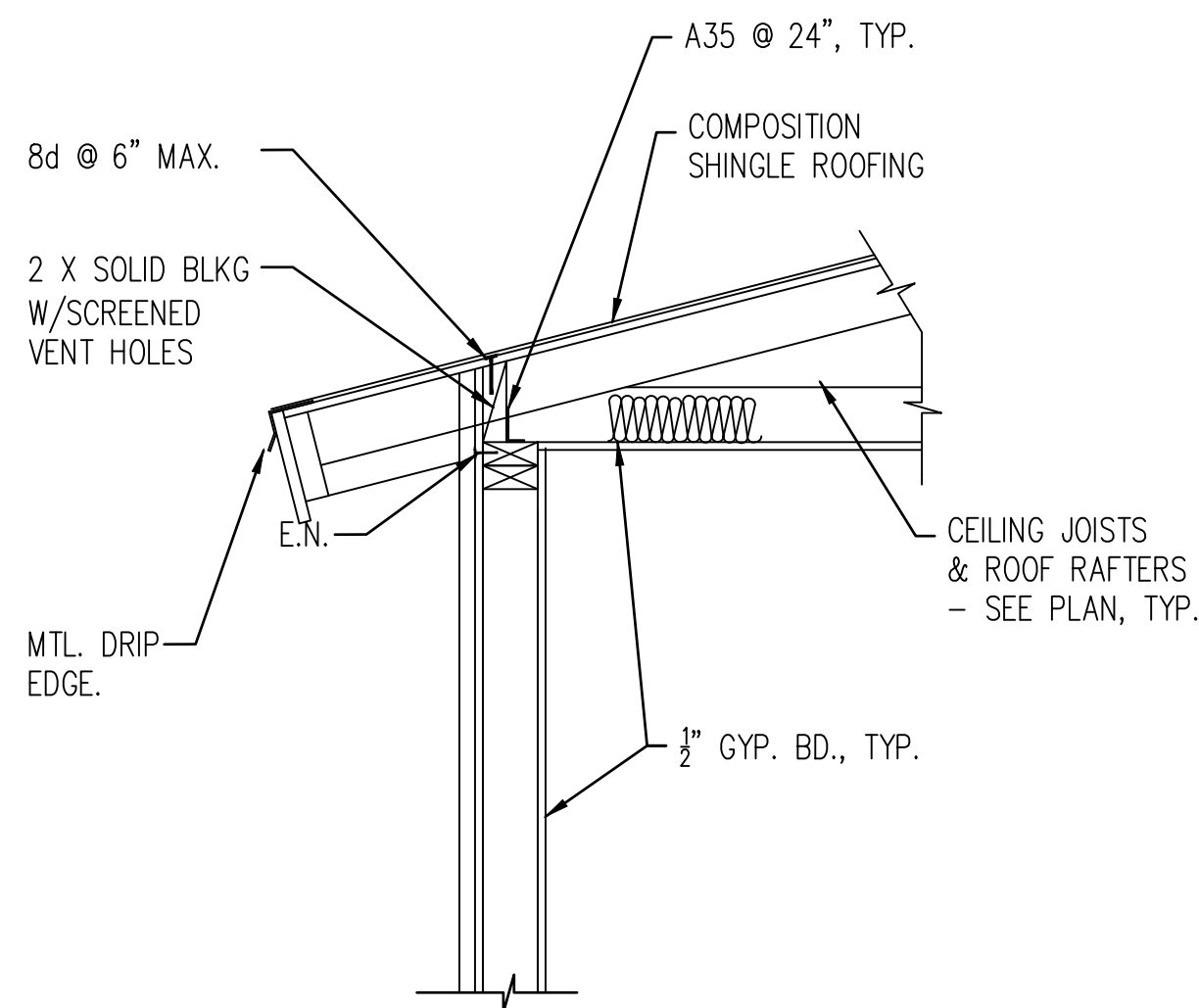


| HEADER SCHEDULE |              |      |              |
|-----------------|--------------|------|--------------|
| SIZE            | MAX. OPENING | SIZE | MAX. OPENING |
| 4X8             | 4'-0"        | 6X12 | 9'-0"        |
| 4X10            | 6'-0"        |      |              |
| 4X12            | 7'-0"        |      |              |

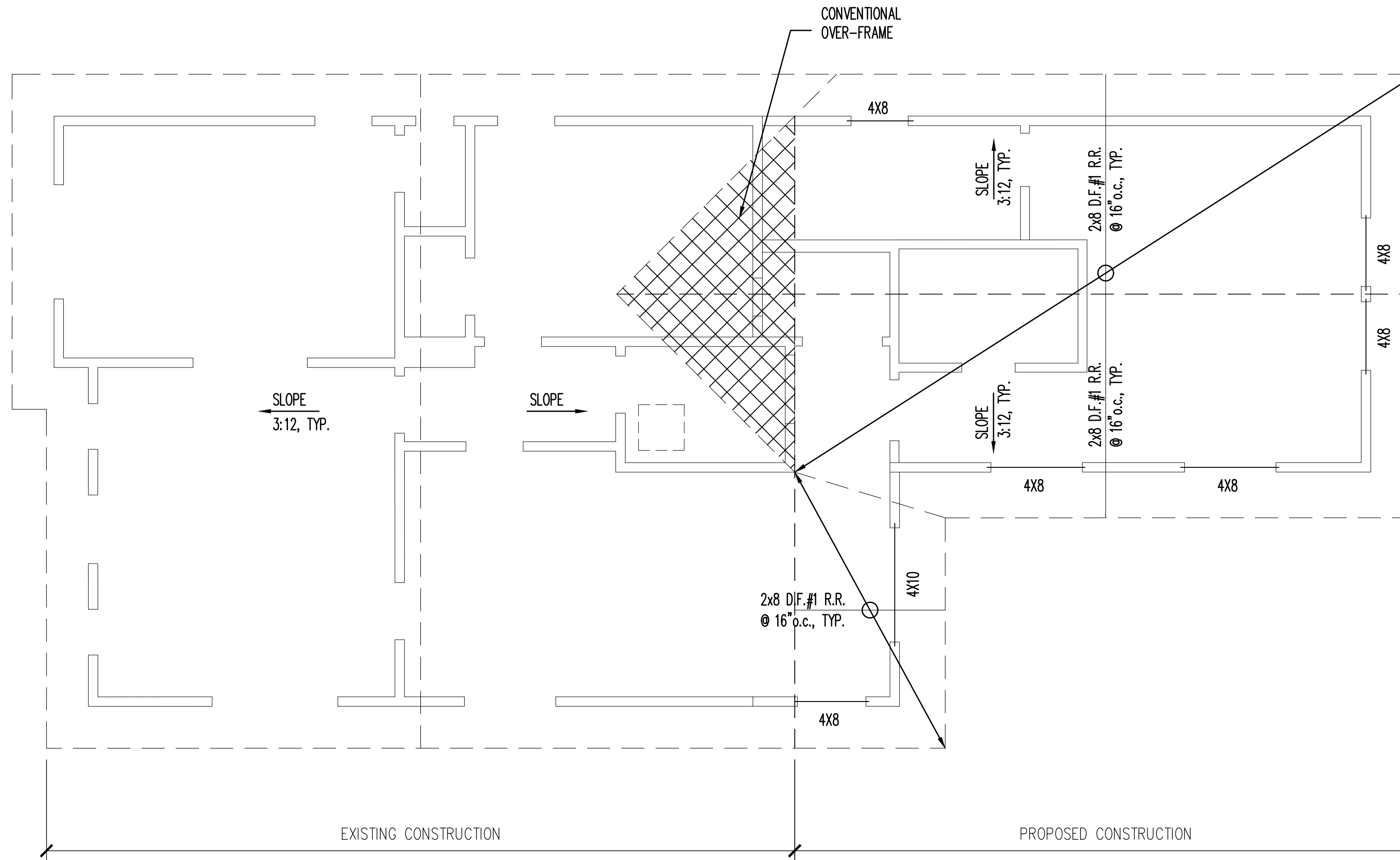
NOTE: WHERE 6" STUDS ARE USED, USE 6X HEADER.

NOTE: PROVIDE 2X HORIZ. SOLID BLK'G STUDS @ 8'-0" MAX. ALSO PROVIDE 2X FIRE BLK'G @ CEILING LINE AS REQ'D.

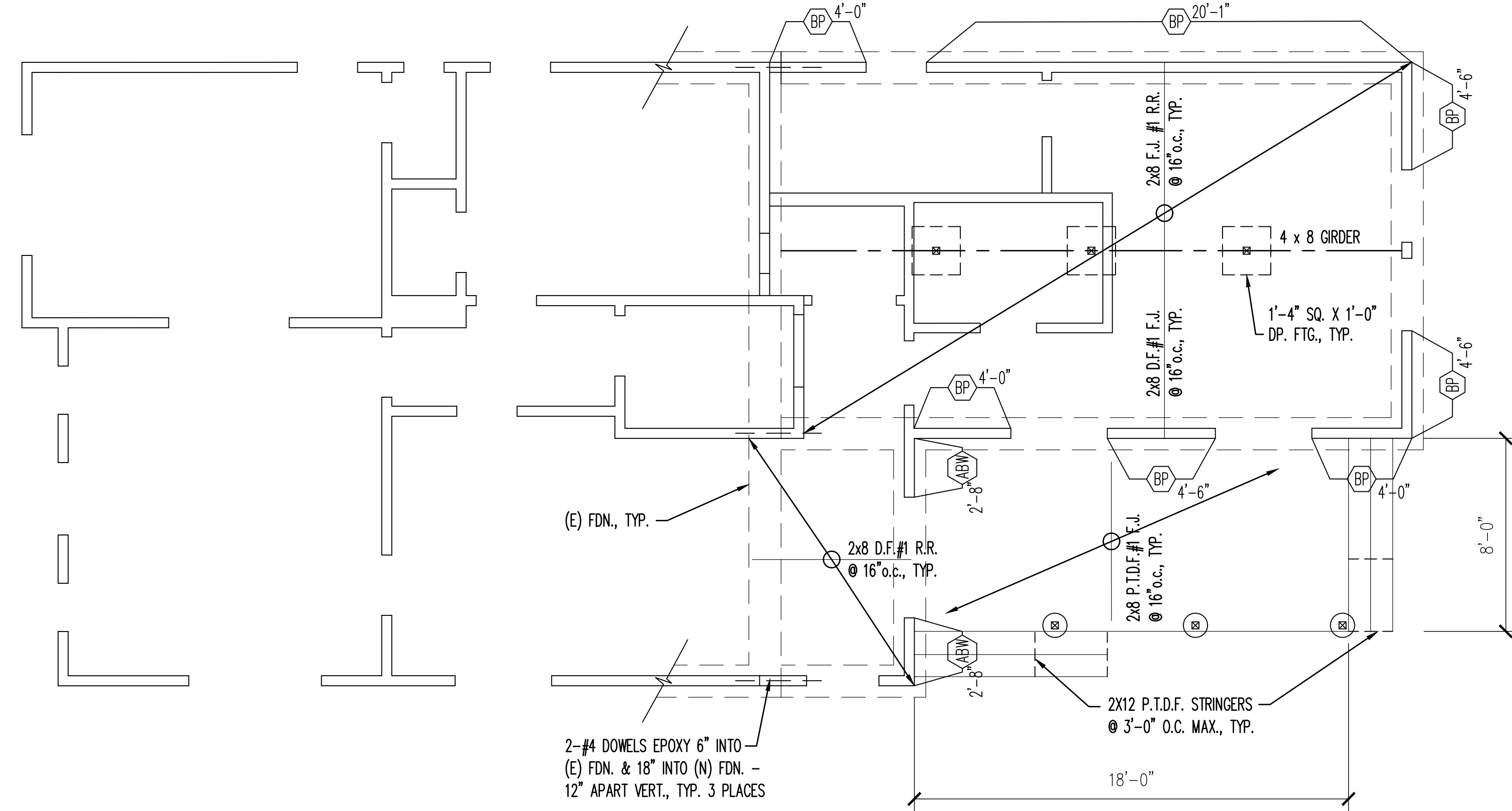
4 TYP. FRAMING @ STUD WALL OPENING  
SCALE: NONE



3 TYPICAL WALL SECTION  
SCALE: 1/4"=1'-0"

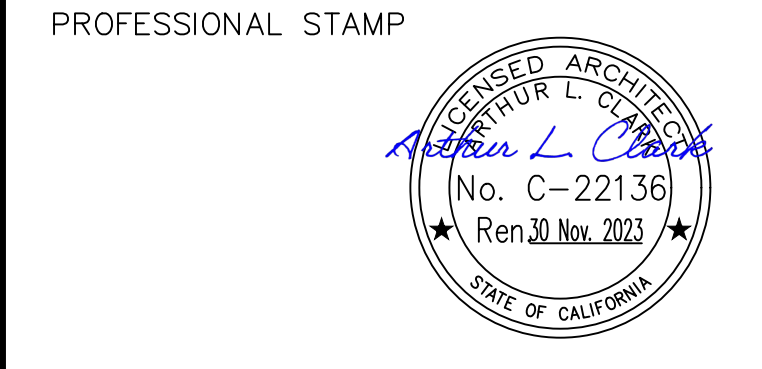


2 ROOF & CEILING FRAMING PLAN  
SCALE: 1/4"=1'-0"



1 FOUNDATION & FLOOR FRAMING  
SCALE: 1/4"=1'-0"

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ADDITION AND ALTERATIONS SINGLE-FAMILY DWELLING

727 TALBOT AVENUE  
ALBANY, CALIFORNIA

FRAMING PLANS

SHEET NO.

A4.0