

PROJECT DESCRIPTION/SCOPE

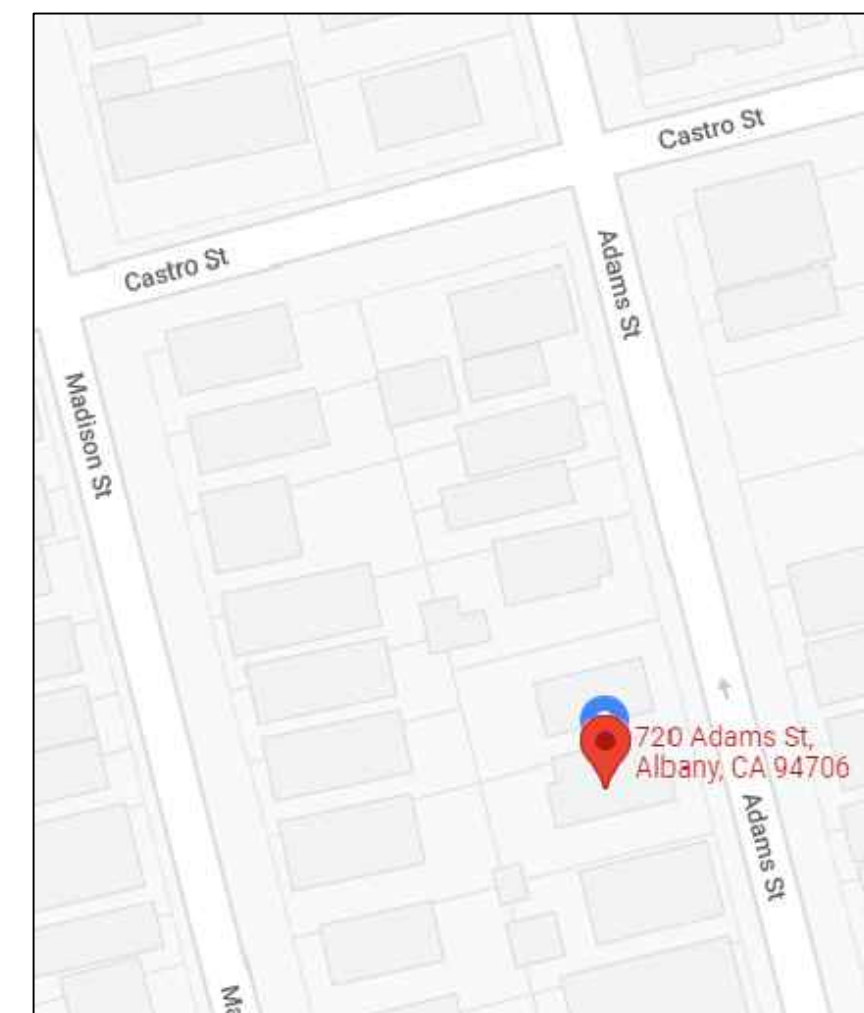
- LIFT HOUSE TO RAISE BASEMENT CEILING
- CONVERT TO TWO STORY HOUSE
- NEW INTERIOR STAIRS
- REMODEL KITCHEN, REMODEL HALL BATH
- NEW PRIMARY SUITE IN BASEMENT ADDITION
- NEW JACUZZI IN BACK YARD

TABLE OF CONTENTS

- G1.0 TITLE PAGE
- A1.0 SITE PLAN & ROOF PLAN
- A1.1 PHOTOGRAPHS
- A1.2 SURVEY
- A2.0 FLOOR PLAN - LOWER
- A2.1 FLOOR PLAN - UPPER
- A2.2 ELECTRICAL PLAN
- A3.0 ELEVATIONS
- A3.1 STREET ELEVATION
- A4.0 DETAILS 1 - SECTIONS
- A4.1 DETAILS 2 - KITCHEN
- A4.2 DETAILS 3 - BATHROOMS



720 ADAMS STREET, ALBANY CA



VICINITY MAP

MOISTURE REQUIRMENTS

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE NCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE CITY OF BERKELEY AND SHALL SATISFY REQUIREMENTS FOUND IN CALGREEN SECTION 101.8.
2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THEGRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE CITY OF BERKELEY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS

INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURES' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

SITE INFORMATION

EXISTING CONDITONED SPACE (LOWER) = 0 SF
 EXISTING CONDITONED SPACE (UPPER) = 1112 SF
 TOTAL EXISTING CONDITIONED SPACE = 1112 SF

PROPOSED CONDITIONED SPACE (LOWER) = 498
 PROPOSED CONDITIONED SPACE (UPPER) = 0 SF
 TOTAL PROPOSED CONDITIONED SPACE = 1112 + 498 = 1610 SF

EXISTING BUILDING FOOTPRINT = 1270 SF
 PROPOSED ADDITION = 0
 TOTAL FOOTPRINT = 1270 SF
 LOT SIZE = 5000 SF

EXISTING COVERAGE
 TOTAL COVERAGE = 1270 SF
 NEW COVERAGE = 0
 PERCENTAGE COVERAGE = 25%

FLOOR AREA RATIO

GARAGE = 483 SF
 COVERED PORCH = 43 SF
 INTERIOR STAIRS = 42 SF
 LOWER LEVEL = 536 SF
 MAIN LEVEL = 1142 SF
 DEDUCTION = 262

TOTAL AREA = 2008 SF
 FLOOR AREA RATIO = 40%

IMPERVIOUS SURFACE

CONCRETE PATIO = 170 SF
 DRIVEWAY - 165 SF
 UPPER WALKWAY 220 SF
 BACKYARD WALKWAY = 116 SF
 LOWER WALKWAY = 53 SF
 FRONT WALKWAY = 41SF
 BRICK PATIO =179 SF
 MAIN HOUSE = 1588 SF

2532 SF TOTAL
 2532 / 5000 = 51%

GENERAL:

1. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
2. ALL CONSTRUCTION SHALL CONFORM TO THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE BRACING, SHORING, AND SUPPORT OF ALL TEMPORARY CONSTRUCTION, TEMPORARY EXCAVATION, AND PARTIALLY COMPLETED PORTIONS OF THE BUILDING; SUCH BRACING, SHORING AND SUPPORT MUST INSURE THE SAFETY OF THE ADJACENT PROPERTY AND OF ANY PERSONS WHO MAY COME IN CONTACT WITH THE PROJECT.
4. VERIFY ALL SITE CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. BEFORE STARTING WORK. REPORT ANY DISCREPANCIES TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING.
5. IN THE EVENT OF ANY DISCREPANCIES BETWEEN STRUCTURAL DRAWINGS AND ARCHITECTURAL, MECHANICAL, OR PLUMBING DRAWINGS, NOTIFY THE ARCHITECT BEFORE PROCEEDING.

OCCUPANCY: R3
 CONSTRUCTION TYPE: V-B

ALL CONSTRUCTION SHALL COMPLY WITH 2019 CALIFORNIA CODE EDITION: CRC, CMC, CEC, CPC, Calgreen and Energy Code

ALL CONSTRUCTION DEBRIS WILL BE DISPOSED OF IN SUCH A WAY AS TO MEET THE REQUIREMENTS OF CRC 2019 R334. RECEIPTS WILL BE PROVIDED TO INSPECTOR AS CONDITION OF FINAL INSPECTION VERIFYING DISPOSAL OF DEBRIS AND RECYCLING OF REUSABLE MATERIALS.

VIF Smoke detector in each bedroom, at area leading to bedroom, and on each level.
 VIF Carbon monoxide detector at area leading to bedrooms and on each level.

CARPENTRY

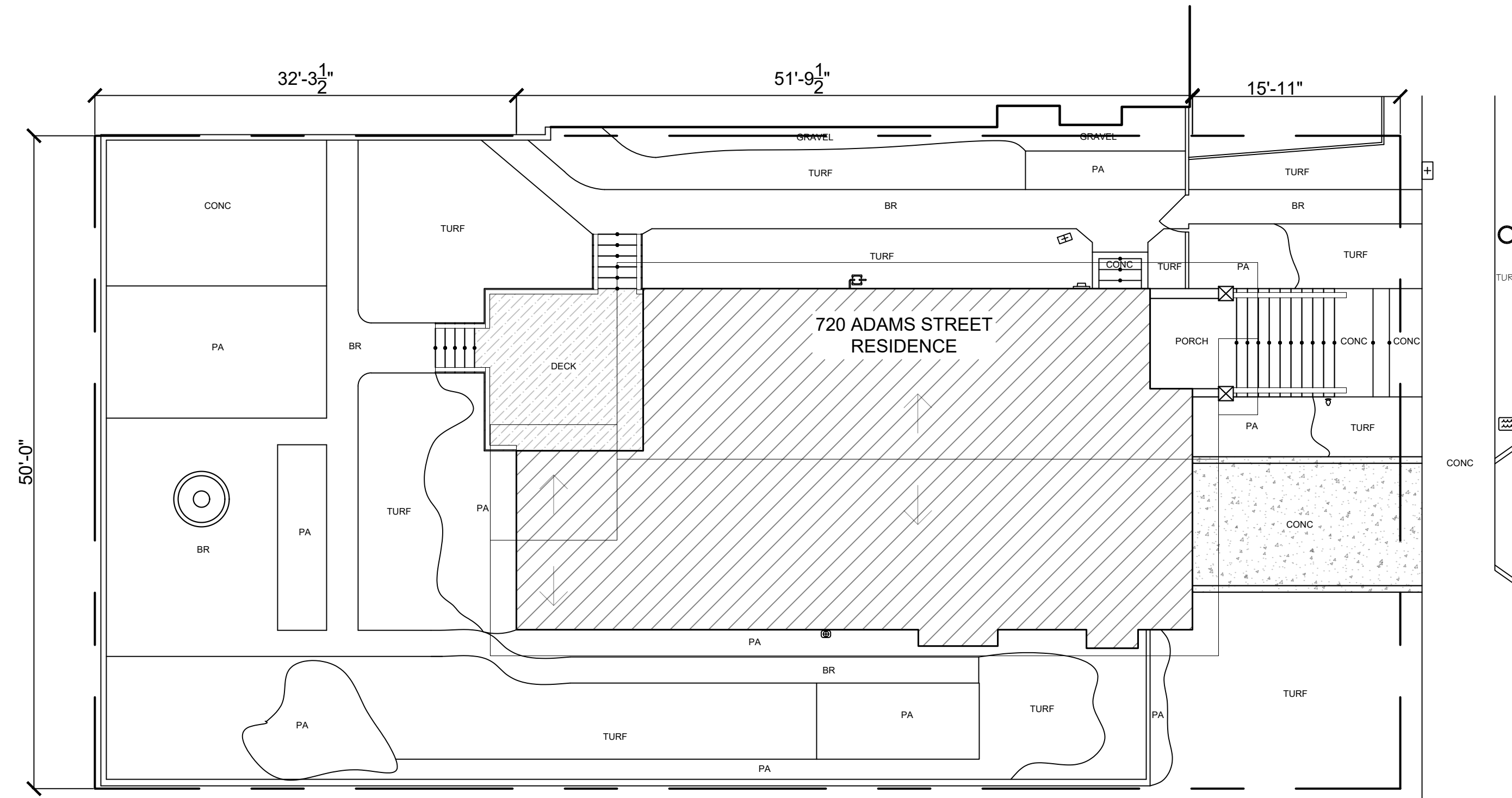
1. INDICATES BLOCKING; INDICATES CONTINUOUS MEMBER.
2. SHEATHING:
 WOOD SHEATHING PANELS TO CONFORM TO PS 1-95 OR PS 2-92, EXPOSURE 1.

 ROOF - 1/2" CDX 40/20 APA RATED SHEATHING WITH T&G EDGES (UNBLOCKED). NAIL ALL SUPPORTED EDGES WITH 10d @ 6"; ALL OTHER BEARINGS WITH 10d @ 12".

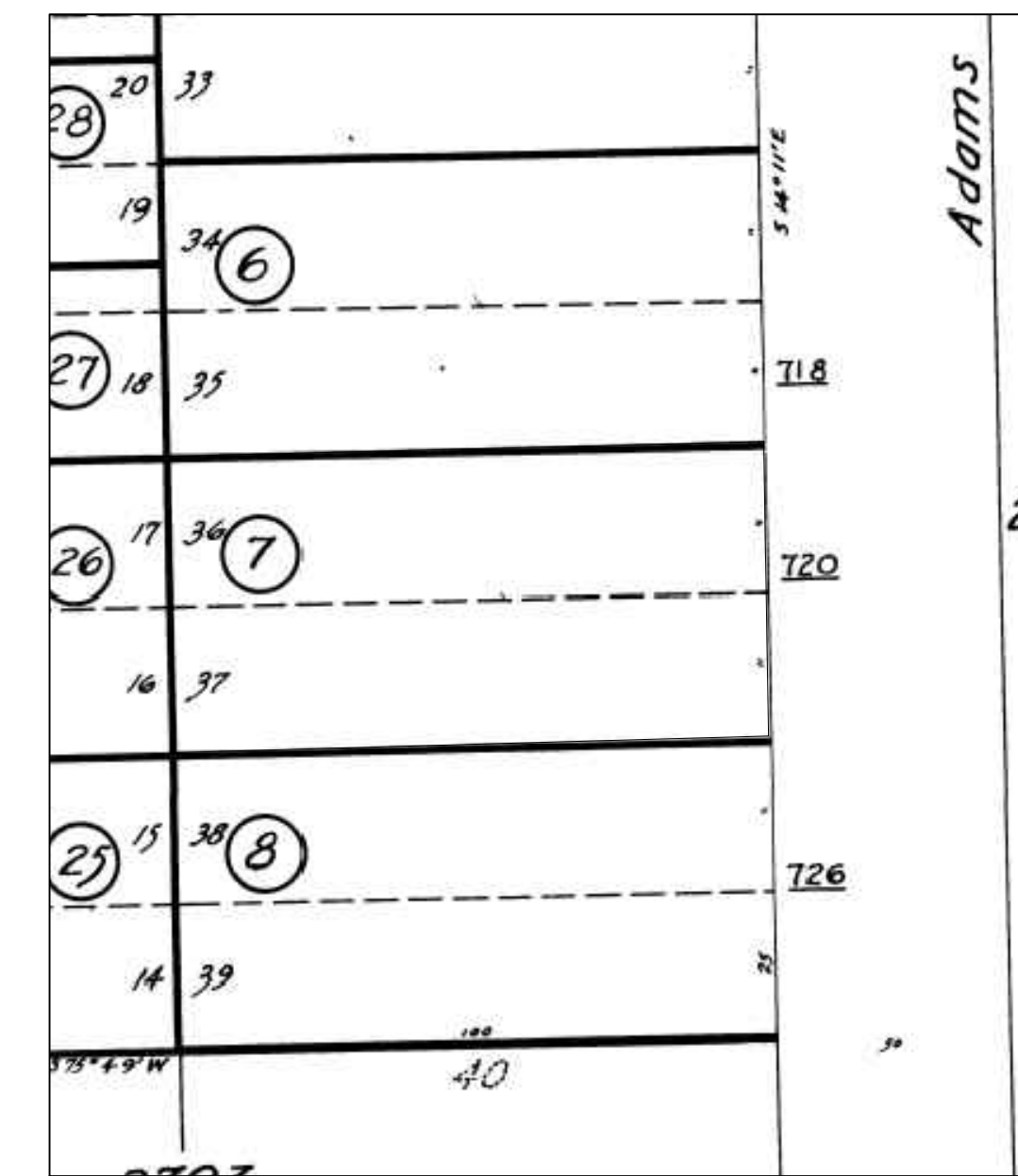
 FLOORS - 3/4" OR 23/32" 24 O.C. APA RATED STURD-I-FLOOR WITH T&G EDGES (UNBLOCKED). NAIL ALL SUPPORTED EDGES WITH 10d @ 6"; ALL OTHER BEARINGS WITH 10d @ 10".

 WALLS - (WHERE SHOWN ON PLANS) 1/2" 32/16 APA RATED SHEATHING . EDGES BLOCKED. PANELS 1/32" LESS IN THICKNESS THAN INDICATED ARE ACCEPTABLE . NAIL ALL PANEL EDGES PER SHEAR WALL SCHEDULE WHERE INDICATED OR WITH 10d @ 6" U.O.N.; NAIL ALL OTHER BEARINGS WITH 10d @ 12".
3. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE 2304.9.1 OF THE CALIFORNIA BUILDING CODE.
4. FASTENERS FOR PRESSURE TREATED AND FIRE RETARDANT WOOD SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL. COATING WEIGHTS FOR ZINC-COATED FASTENERES SHALL BE IN ACCORDANCE WITH ASTM B 695, CLASS 55 MIN.
5. JOIST HANGERS AND OTHER SHEET METAL CONNECTORS SHALL BE AS PROVIDED BY SIMPSON COMPANY OF SAN LEANDRO, CA. OR EQUAL.
6. NAILS SHALL BE COMMON WIRE NAILS U.O.N. ALL NAILS FOR EXTERIOR CONSTRUCTION SHALL BE HOT DIPPED GALVANIZED.
7. PROVIDE 4X6 OR 6X6 MIN. HEADERS OVER ALL DOOR AND WINDOW OPENINGS U.O.N.. PROVIDE 2x4 OR 2X6 FULL HEIGHT STUD AT EACH JAMB.
8. BLOCKING- PROVIDE FULL DEPTH SOLID BLOCKING BETWEEN STUDS @ 10'-0" MAX. AND BETWEEN JOISTS @ 12'-0" MAX.

General Notes		
<h2 style="margin: 0;">Arnold Addition</h2>		
<p style="margin: 0;">720 Adams Street Albany, CA 94706 2022</p>		
<p style="margin: 0;">66-2793-7</p>		
No.	Revision/Issue	Date
<small>Firm Name and Address</small> Home Healing Renovations Inc. Dylan Sang 2342 Shattuck Ave., #325 Berkeley CA 94704 		
<small>Project Name and Address</small> Colin Arnold and Kelley Cox 720 Adams Street Albany, CA 94706		
<small>Project</small>	G1.0	
<small>Date</small> 11/09/2022		
<small>Scale</small>		



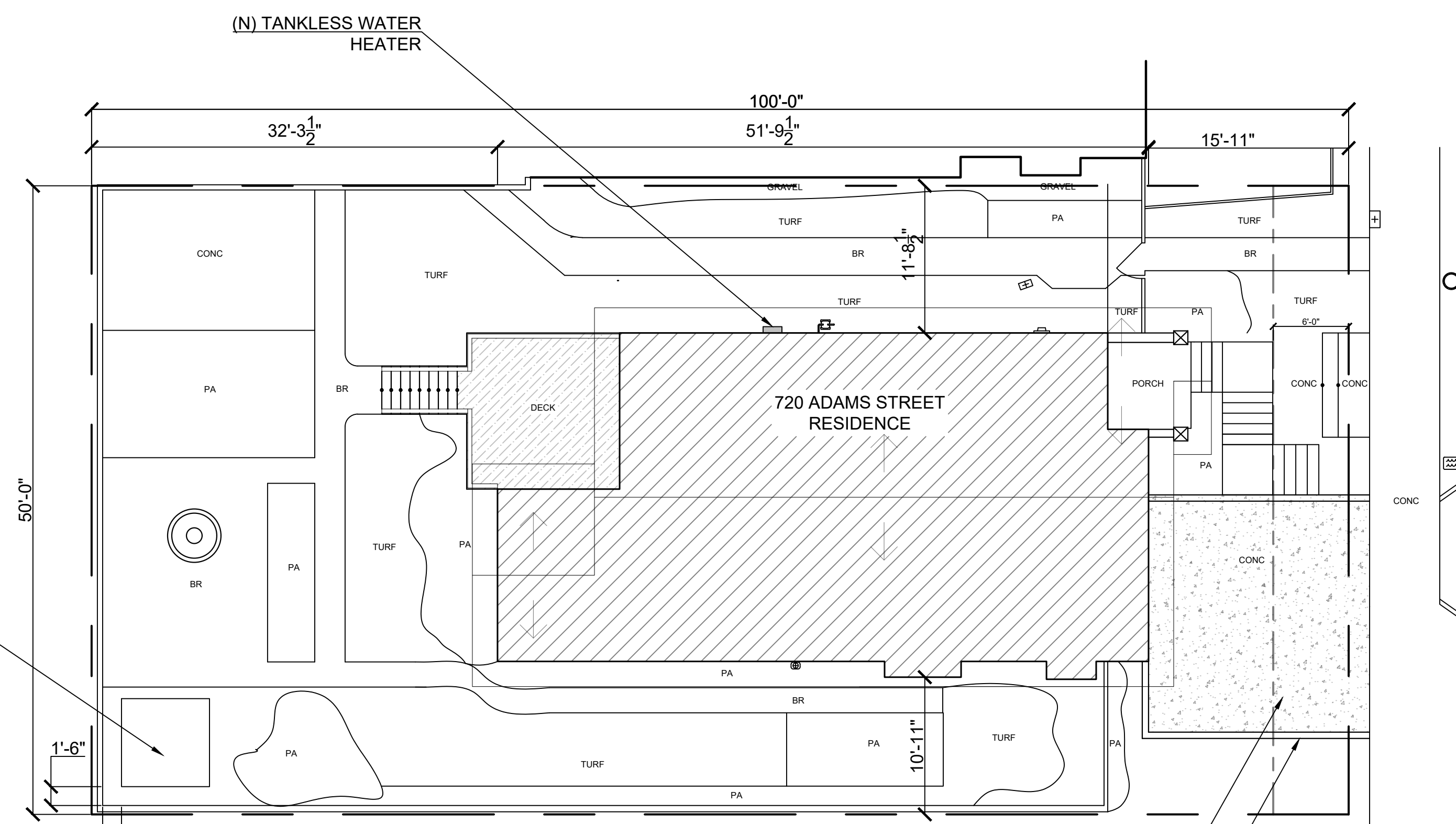
Site Plan
Existing



Parcel Map



Aerial View



Site Plan
Proposed

(N) 7' x 7' x 36" STRONGSPA
JACUZZI ON (E) 10' x 10' x 8"
CONCRETE PAD

(N) TANKLESS WATER
HEATER

EXPAND CONCRETE
DRIVEWAY 9' TOWARD
PROPERTY LINE

REBUILD RETAINING WALL
(BELOW 4' HIGH)

General Notes



**Arnold
Addition**

720 Adams Street
Albany, CA 94706
2022

66-2793-7

**Site Plan
&
Roof Plan**

No.	Revision/Issue	Date

Firm Name and Address
Home Healing Renovations Inc.
Dylan Sang
2342 Shattuck Ave., #325
Berkeley CA 94704
Dylan Sang

Project Name and Address
Colin Arnold and
Kelley Cox
720 Adams Street
Albany, CA 94706

Project	Sheet
Date 11/09/2022	A1.0
Scale 3/8" = 1'	



REAR OF HOUSE (EAST)



PORCH (WEST)



FRONT OF HOUSE (WEST)



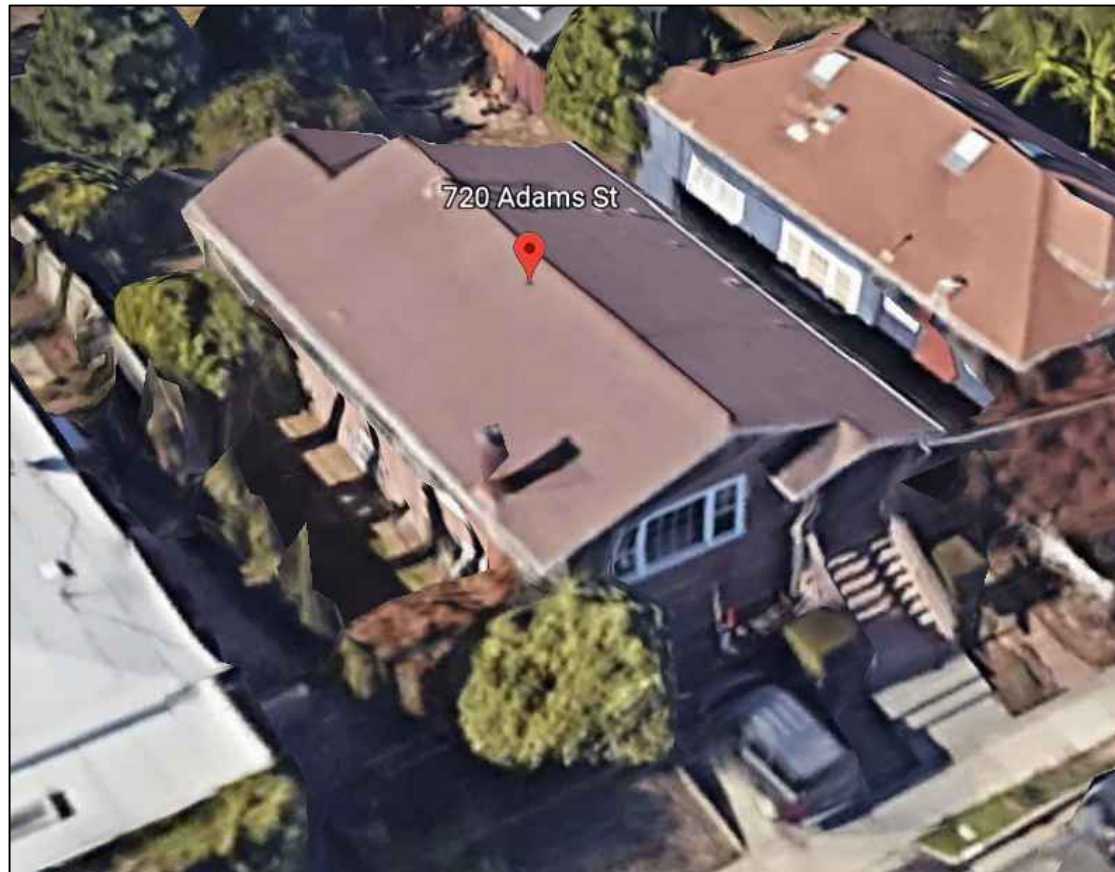
SIDEYARD (NORTH)



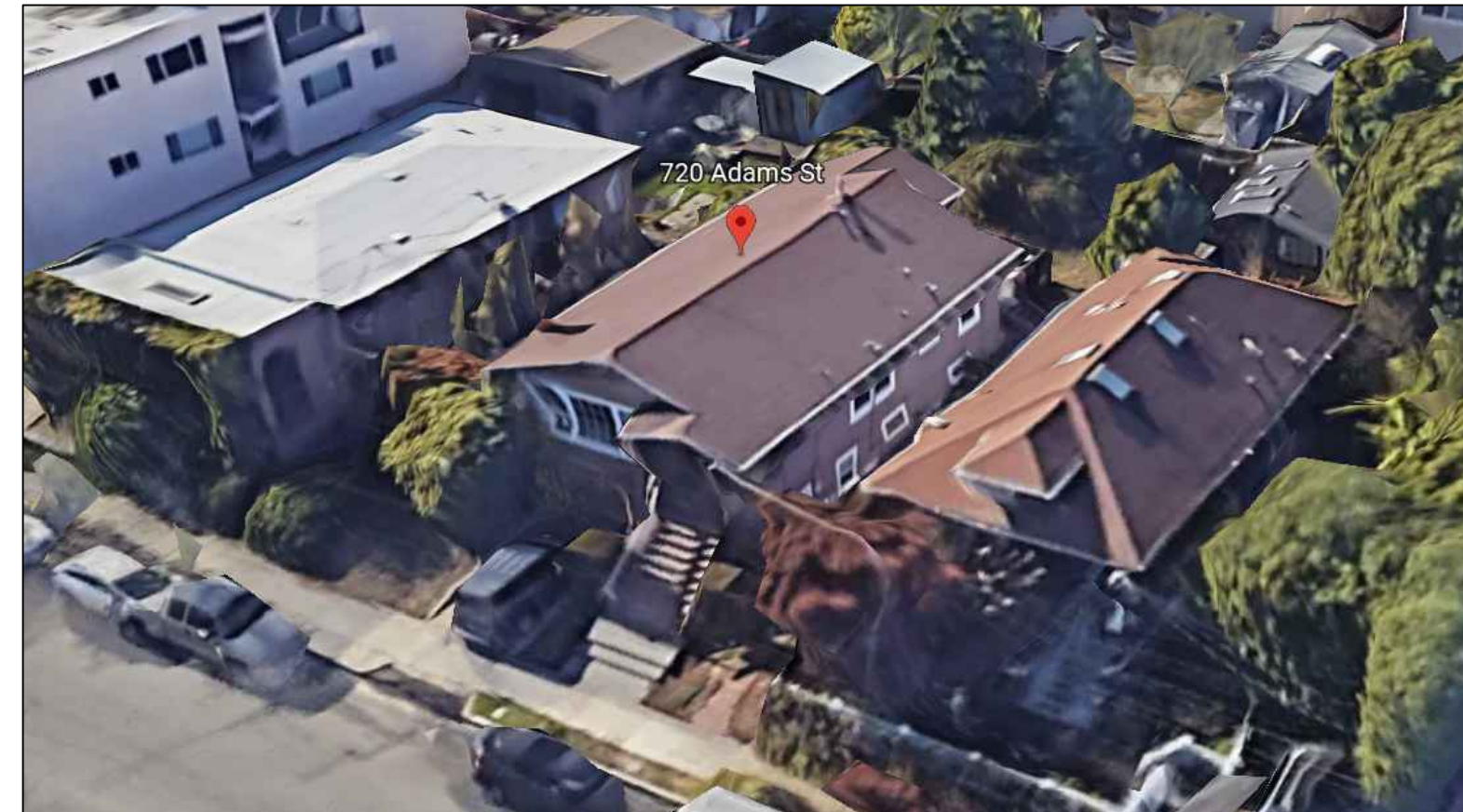
REAR OF HOUSE (EAST)



SIDEYARD (SOUTH)



AERIAL VIEW 1



AERIAL VIEW 2



AERIAL VIEW 3

General Notes



Arnold
Addition

720 Adams Street
Albany, CA 94706
2022

66-2793-7

Photographs

No.	Revision/Issue	Date

Firm Name and Address
Home Healing Renovations Inc.
Dylan Sang
2342 Shattuck Ave., #325
Berkeley CA 94704
Dylan Sang

Project Name and Address
Colin Arnold and
Kelley Cox
720 Adams Street
Albany, CA 94706

Project	Sheet
Date 11/09/2022	A1.1
Scale	

MADISON STREET (50' WIDE)

CASTRO STREET (49.87' WIDE)

ADAMS STREET (49.90' WIDE)

WASHINGTON AVENUE (49.85' WIDE)

LEGEND

BC	BUILDING CORNER
BLDG	BUILDING
BS	BASE OF STEPS
BW	BASE OF WALL
CATV	CABLE TELEVISION
CHIM	CHIMNEY
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
EM	ELECTRIC METER
FF	FINISHED FLOOR
FL	FLOWLINE
GM	GAS METER
MT	METAL THRESHOLD
OH	OVERHANG
OHW	OVERHEAD WIRES
PL	PROPERTY LINE
SS	SANITARY SEWER
SW	SIDEWALK
TC	TOP OF CURB
TS	TOP OF STEPS
WM	WATER METER
WT	WOOD THRESHOLD
	BRICK
	BUILDING LINE
	CONCRETE
	CONCRETE WALL
	WOOD SURFACE
	WOOD FENCE
	FOUND CITY MONUMENT, AS NOTED

GENERAL NOTES:
 DIMENSIONS ARE IN FEET AND DECIMAL FEET.

DIMENSIONS SHOWN FROM BUILDINGS TO PROPERTY LINES ARE MEASURED AT BUILDING CORNERS FROM THE EXTERIOR BUILDING FACE PERPENDICULAR TO THE PROPERTY LINE.

OLD REPUBLIC TITLE COMPANY PRELIMINARY REPORT ORDER NUMBER 0132009822-AH, DATED DECEMBER 9, 2021 DOES NOT REFERENCE ANY EASEMENTS RELATED TO THIS PROPERTY.

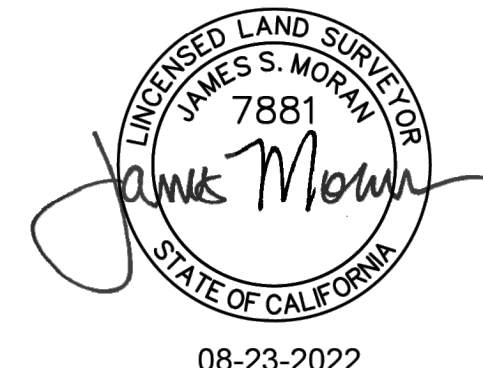
APN: 066-2793-007

PROPERTY AREA: 5,000 SQUARE FEET

DATE OF FIELD SURVEY: AUGUST 5, 2022

BASIS OF BEARINGS:
 THE MONUMENT LINE IN MADISON STREET WAS TAKEN AS NORTH 14°11'00" WEST AS SHOWN ON CITY OF ALBANY MONUMENTATION MAP T-4897.

DATUM NOTE:
 ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).



BOUNDARY AND TOPOGRAPHIC SURVEY

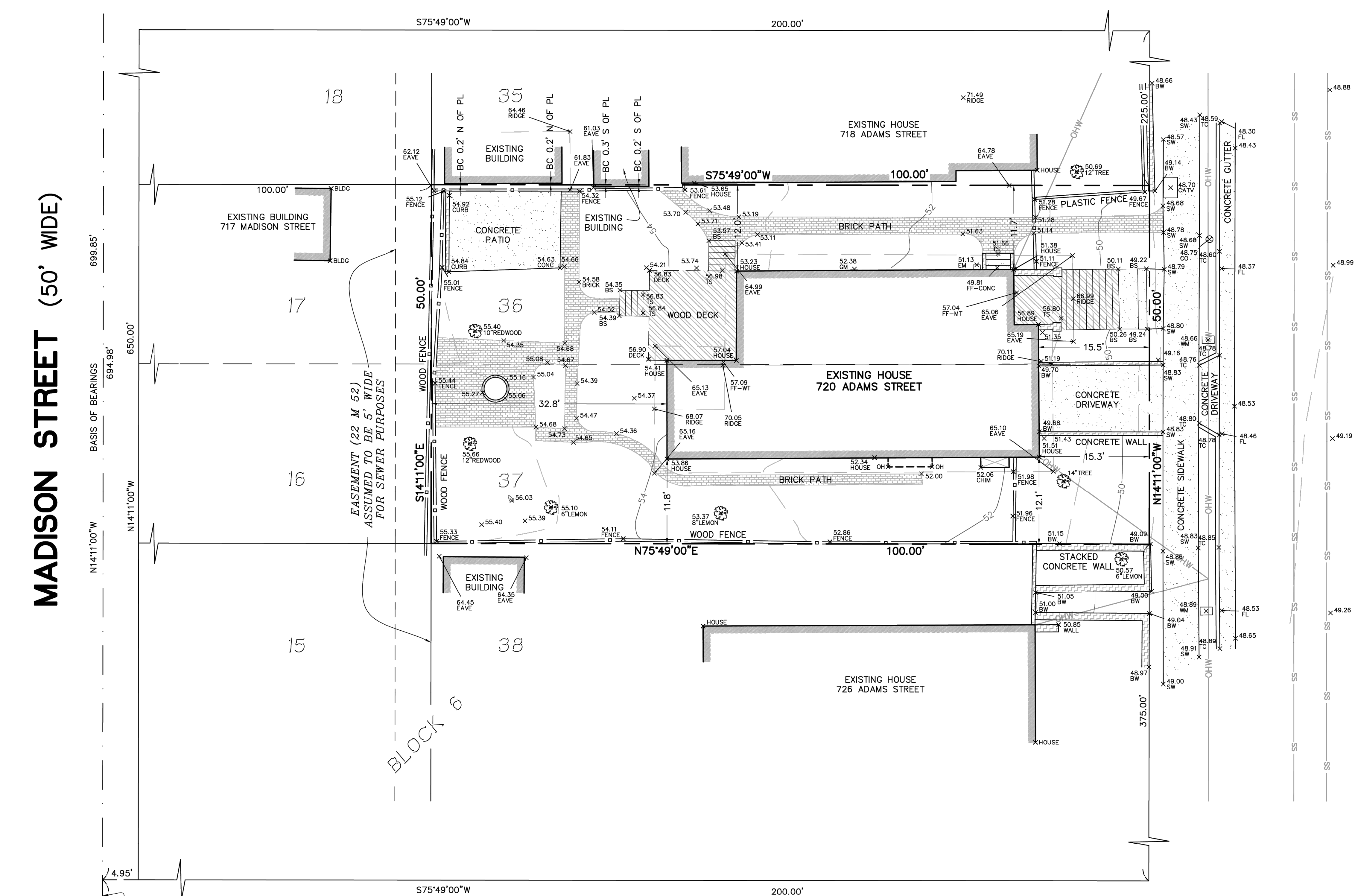
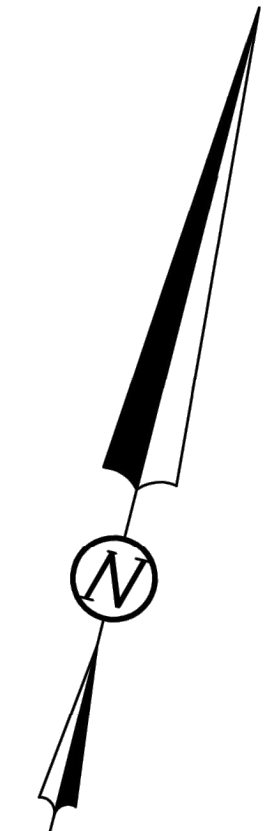
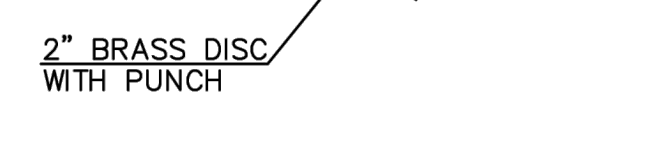
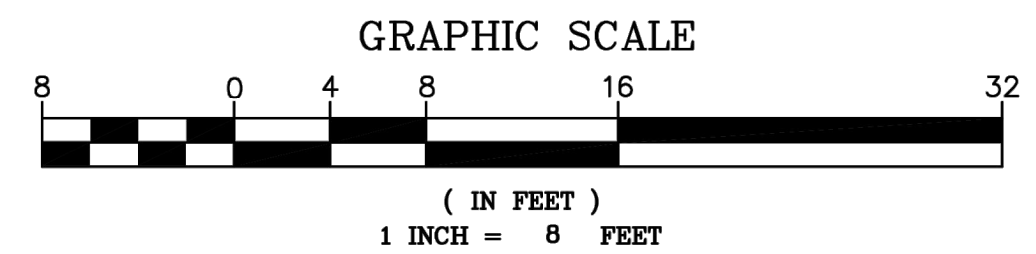
LOTS 36 AND 37, BLOCK 6, MAP NO. 7 OF REGENTS PARK (22 M 52)
 LOCATED AT 720 ADAMS STREET
 CITY OF ALBANY, COUNTY OF ALAMEDA, CALIFORNIA

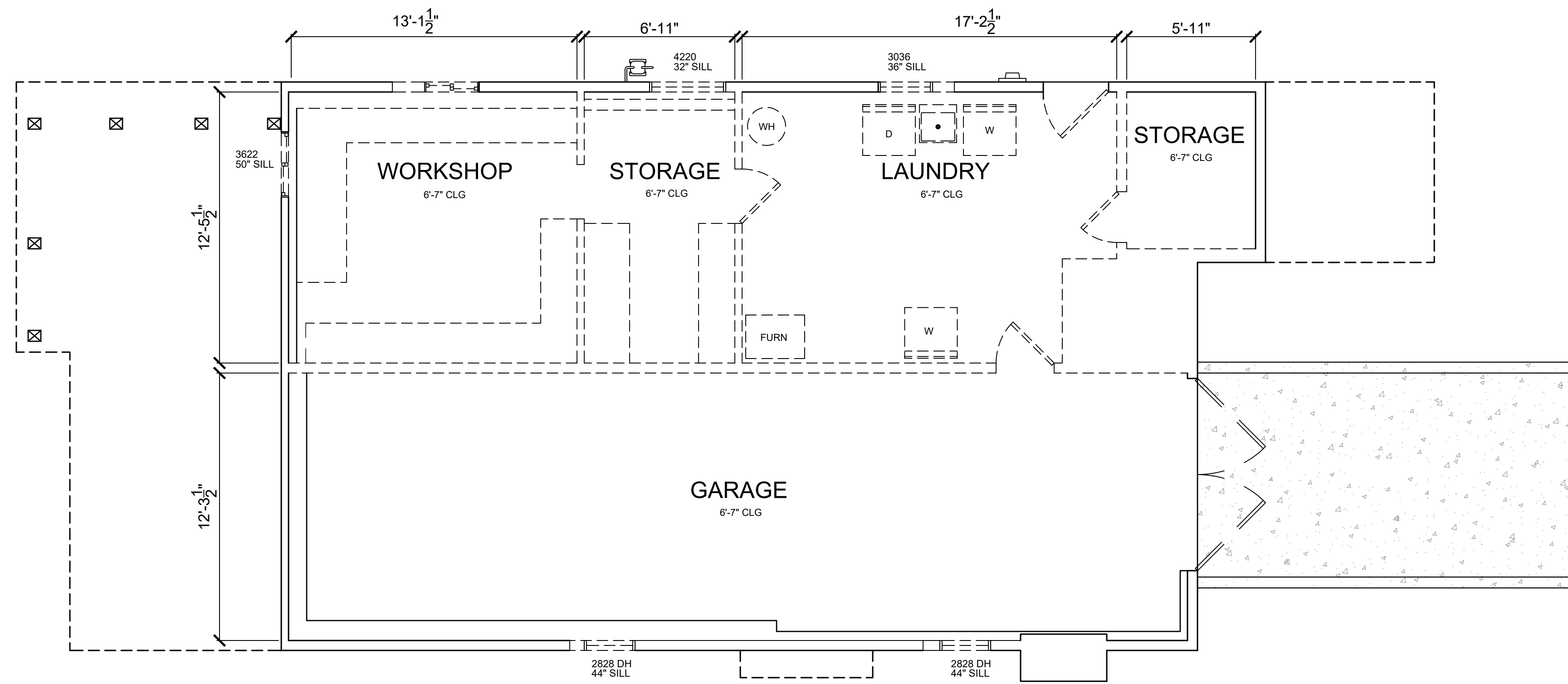
AUGUST 23, 2022 SCALE: 1" = 8'

MORAN ENGINEERING, INC.

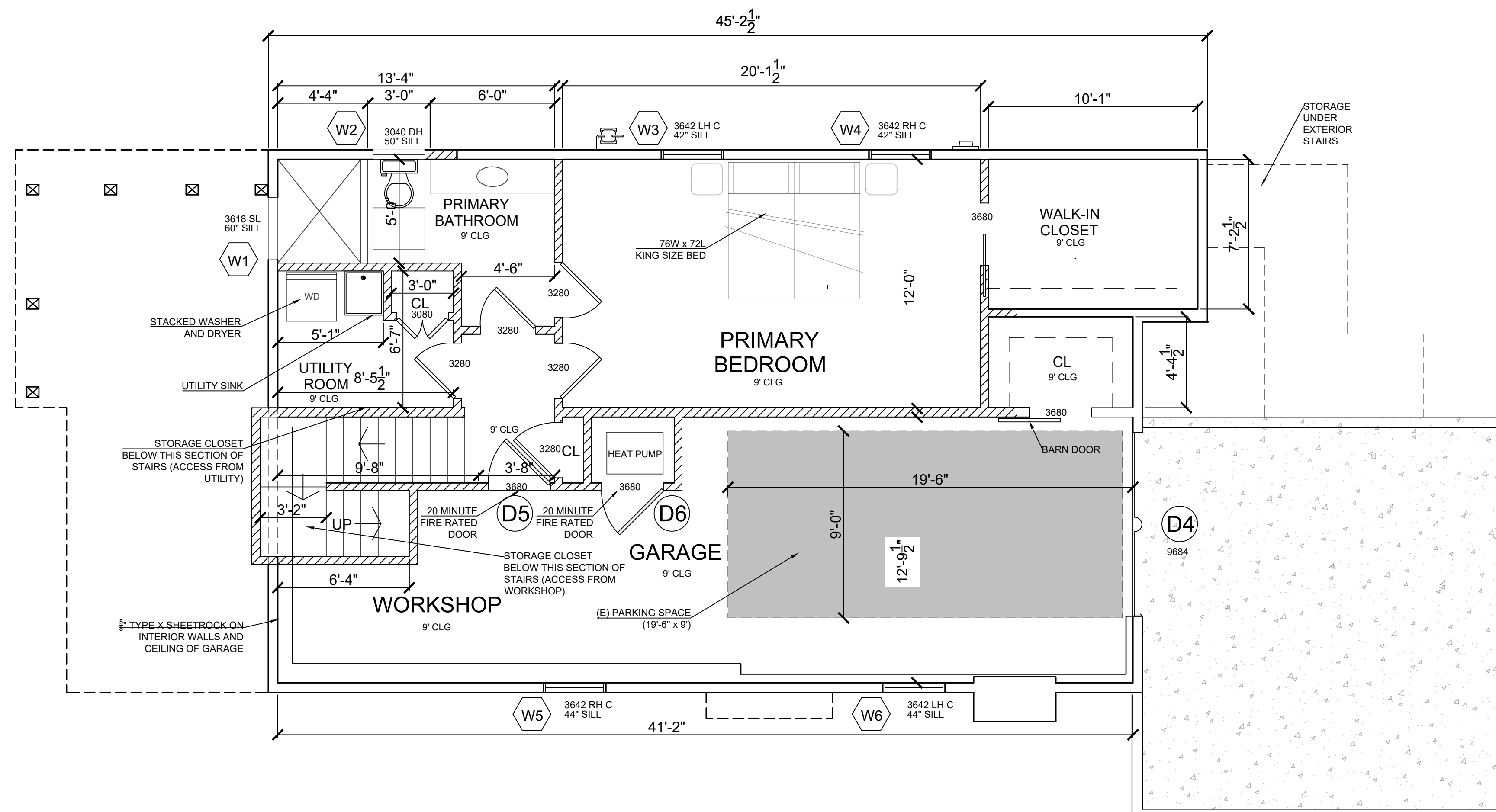
CIVIL ENGINEERS \ LAND SURVEYORS
 1930 SHATTUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930

A1.2

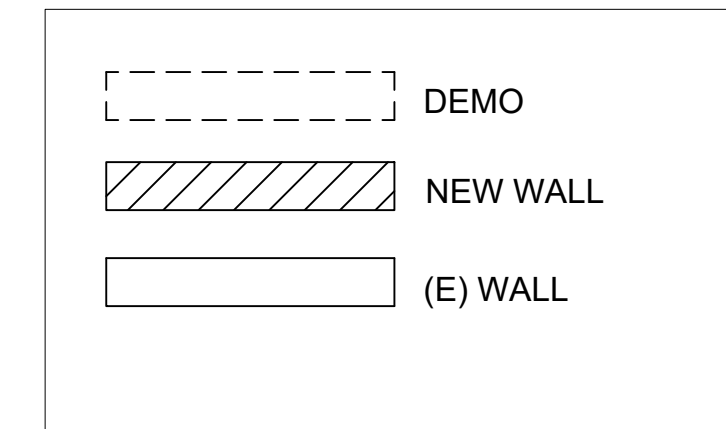




Lower Floor Plan
Existing



Lower Floor Plan
Proposed



WINDOW SCHEDULE						
#	LOCATION	TYPE	RO SIZE	SILL HEIGHT	U-FACTOR	NOTES
W1	PRIMARY BATHROOM (WEST)	SLIDER	3618	60"	.30	NEW CONSTRUCTION, TEMPERED, OBSCURED
W2	PRIMARY BATHROOM (NORTH)	DOUBLE HUNG	3040	50"	.30	LOWER HALF OBSCURED, TEMPERED
W3	PRIMARY BEDROOM (NORTH, LEFT)	CASEMENT	3642	42"	.30	RETROFIT, EGRESS, LH OUTSWING, EGRESS
W4	PRIMARY BEDROOM (NORTH, RIGHT)	CASEMENT	3642	42"	.30	RETROFIT, EGRESS, RH OUTSWING, EGRESS
W5	GARAGE (SOUTH, LEFT)	CASEMENT	3642	42"	.30	NEW CONSTRUCTION. EGRESS, RH OUTSWING, EGRESS
W6	GARAGE (SOUTH, RIGHT)	CASEMENT	3642	42"	.30	NEW CONSTRUCTION. EGRESS, LH OUTSWING, EGRESS
W7	OFFICE (WEST)	CASEMENT-FIXED-CASEMENT	7246	34"	.30	NEW CONSTRUCTION
W8	BEDROOM 2 (UPPER LEVEL, NORTH)	CASEMENT	3652	28"	.30	RETROFIT. EGRESS, LH OUTSWING, EGRESS
W9	BEDROOM 1 (UPPER LEVEL, NORTH)	CASEMENT	3652	28"	.30	RETROFIT. EGRESS, LH OUTSWING, EGRESS
W10	BEDROOM 1 (UPPER LEVEL, NORTH)	CASEMENT	3652	28"	.30	RETROFIT. EGRESS, RH OUTSWING, EGRESS
D1	MAIN ENTRY (EAST)	ENTRY DOOR W/ LITES	3680	N/A	N/A	RH INSWING
D2	OFFICE (NORTH)	FULL LITE ENTRY DOOR	3680	N/A	N/A	LH INSWING
D3	BEDROOM 2	FULL LITE ENTRY DOOR	3680	N/A	N/A	LH INSWING, EGRESS
D4	GARAGE (EAST)	OVERHEAD GARAGE DOOR	9684	N/A	N/A	OVERHEAD DOOR WITH LITES IN UPPER PANEL
D5	GARAGE (INTERIOR)	20 MINUTE FIRE RATED DOOR	3680	N/A	N/A	RH INSWING
D6	GARAGE (INTERIOR)	20 MINUTE FIRE RATED DOOR	3680	N/A	N/A	LH INSWING

General Notes



Arnold Addition

720 Adams Street
Albany, CA 94706
2022

66-2793-7

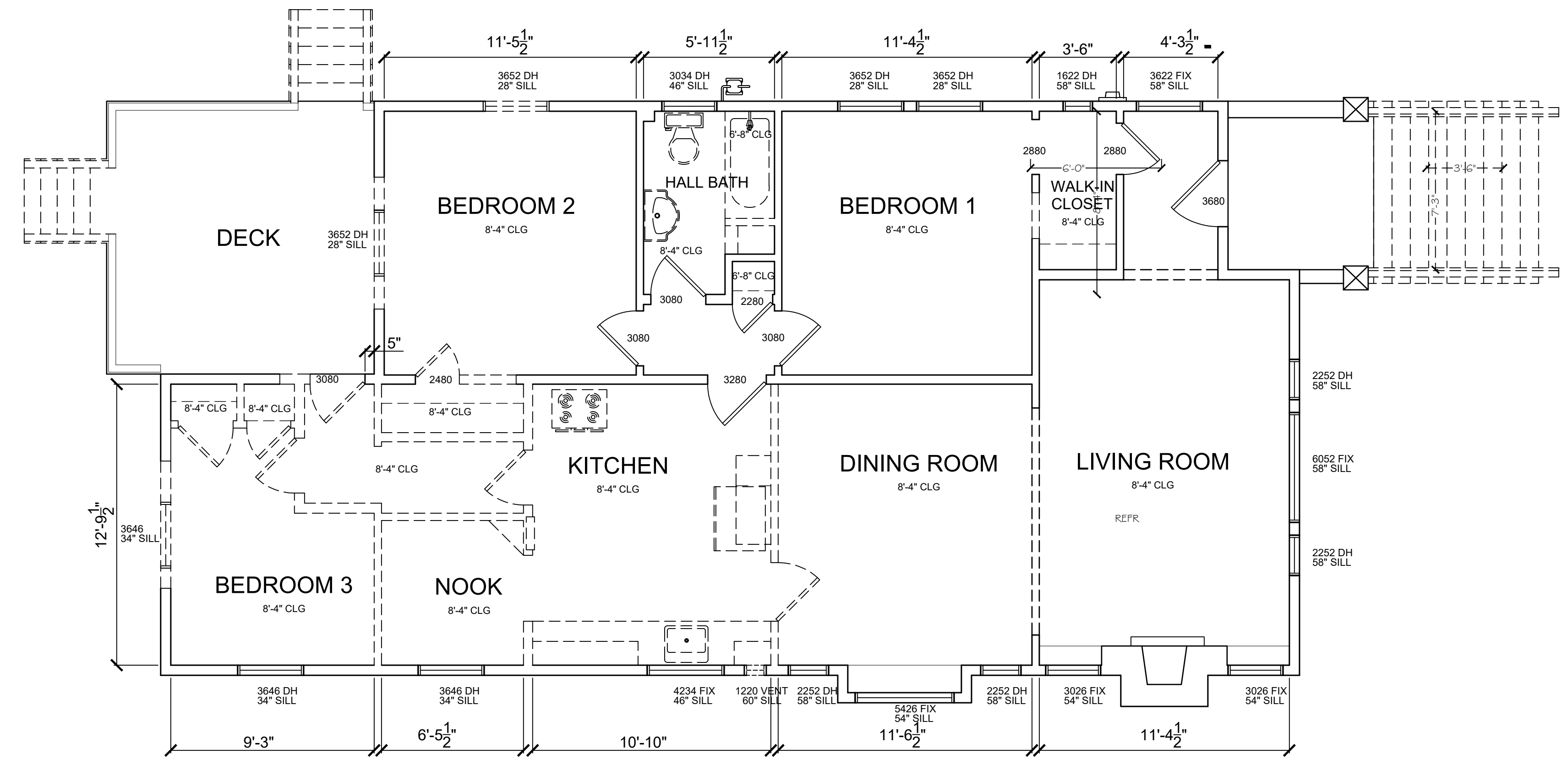
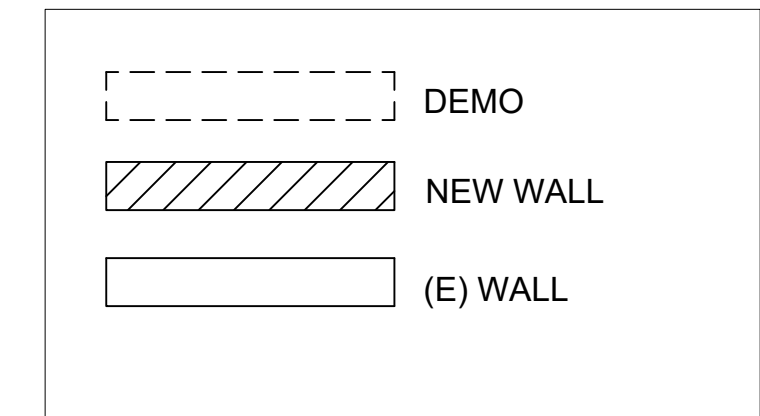
Lower Floor Plan

No.	Revision/Issue	Date

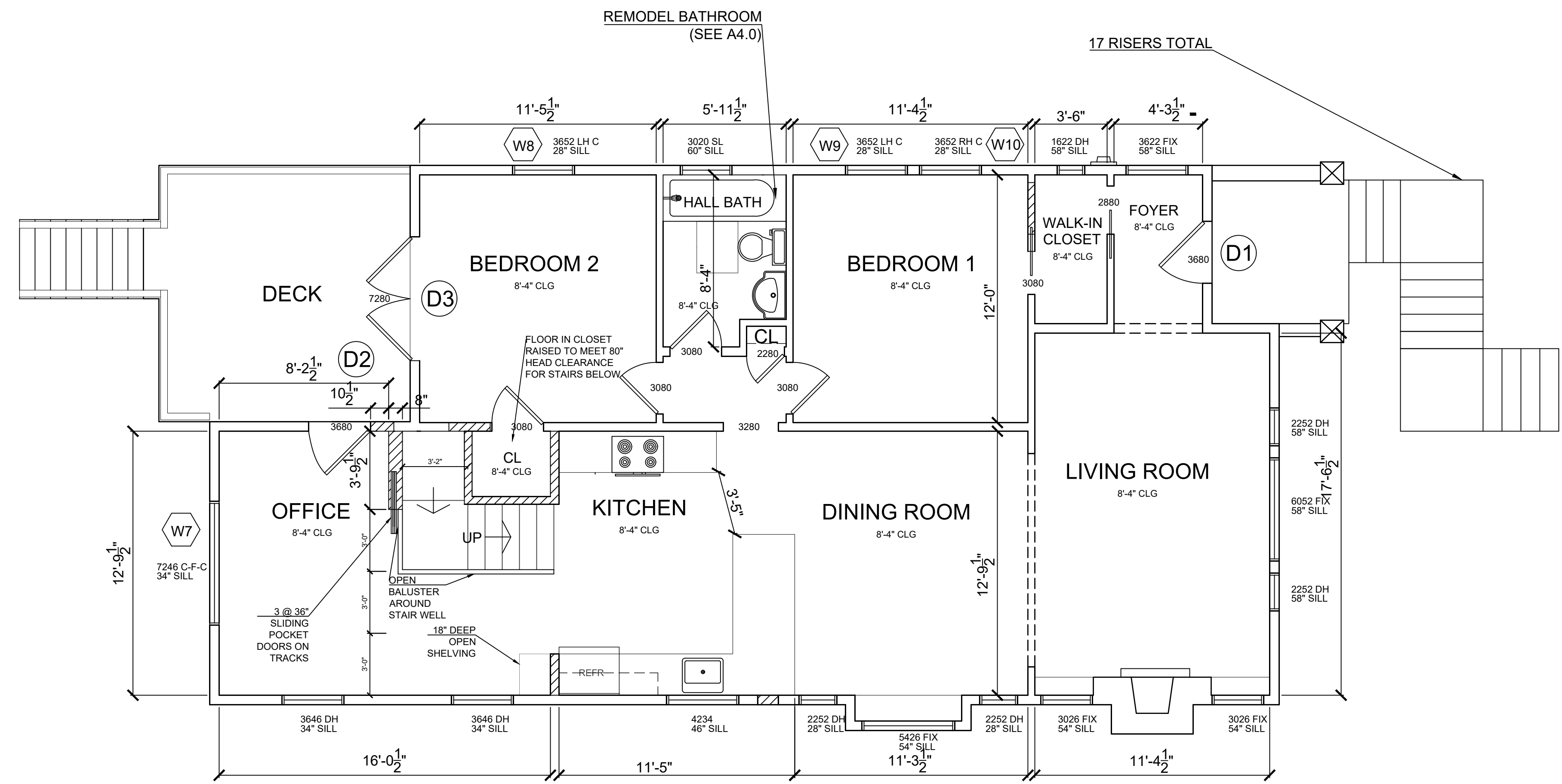
Firm Name and Address
Home Healing Renovations Inc.
Dylan Sang
2342 Shattuck Ave., #325
Berkeley CA 94704
Dylan Sang

Project Name and Address
Colin Arnold and Kelley Cox
720 Adams Street
Albany, CA 94706

Project	Sheet
Date 11/09/2022	A2.0
Scale 3/4" = 1'	



Upper Floor Plan
Existing



Upper Floor Plan
Proposed

General Notes



Arnold Addition

720 Adams Street
Albany, CA 94706
2022

66-2793-7

Upper Floor Plan

No.	Revision/Issue	Date

Firm Name and Address
Home Healing Renovations Inc.
Dylan Sang
2342 Shattuck Ave., #325
Berkeley CA 94704
Dylan Sang

Project Name and Address
Colin Arnold and
Kelley Cox
720 Adams Street
Albany, CA 94706

Project	Sheet
Date 11/09/2022	A2.1
Scale 3/4" = 1'	

General Notes



Arnold Addition

720 Adams Street
Albany, CA 94706
2022

66-2793-7

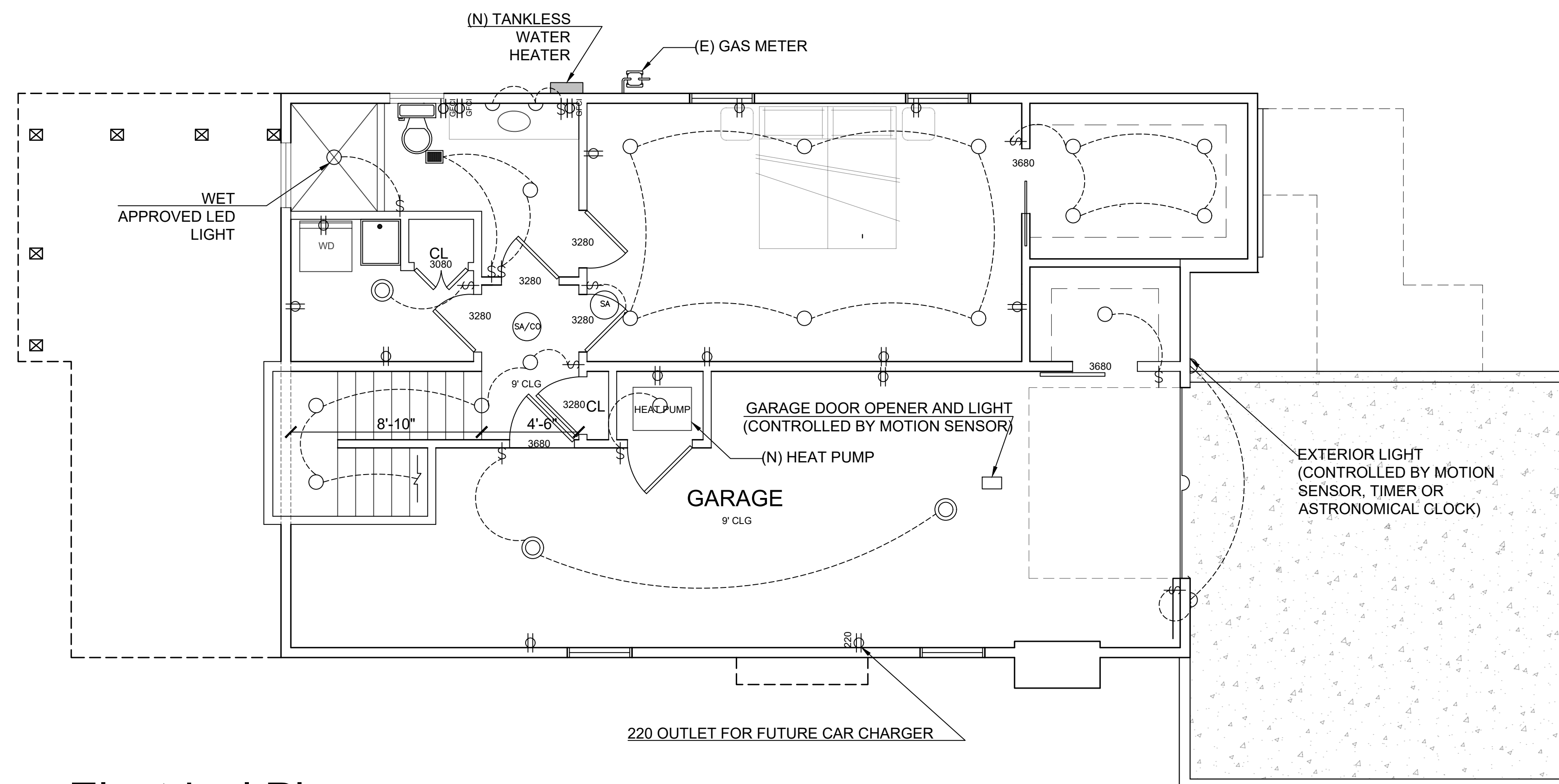
Electrical Plan

No.	Revision/Issue	Date

Firm Name and Address
 Home Healing Renovations Inc.
 Dylan Sang
 2342 Shattuck Ave., #325
 Berkeley CA 94704
Dylan Sang

Project Name and Address
 Colin Arnold and
 Kelley Cox
 720 Adams Street
 Albany, CA 94706

Project	Sheet
Date 11/09/2022	A2.2
Scale 3/4" = 1'	

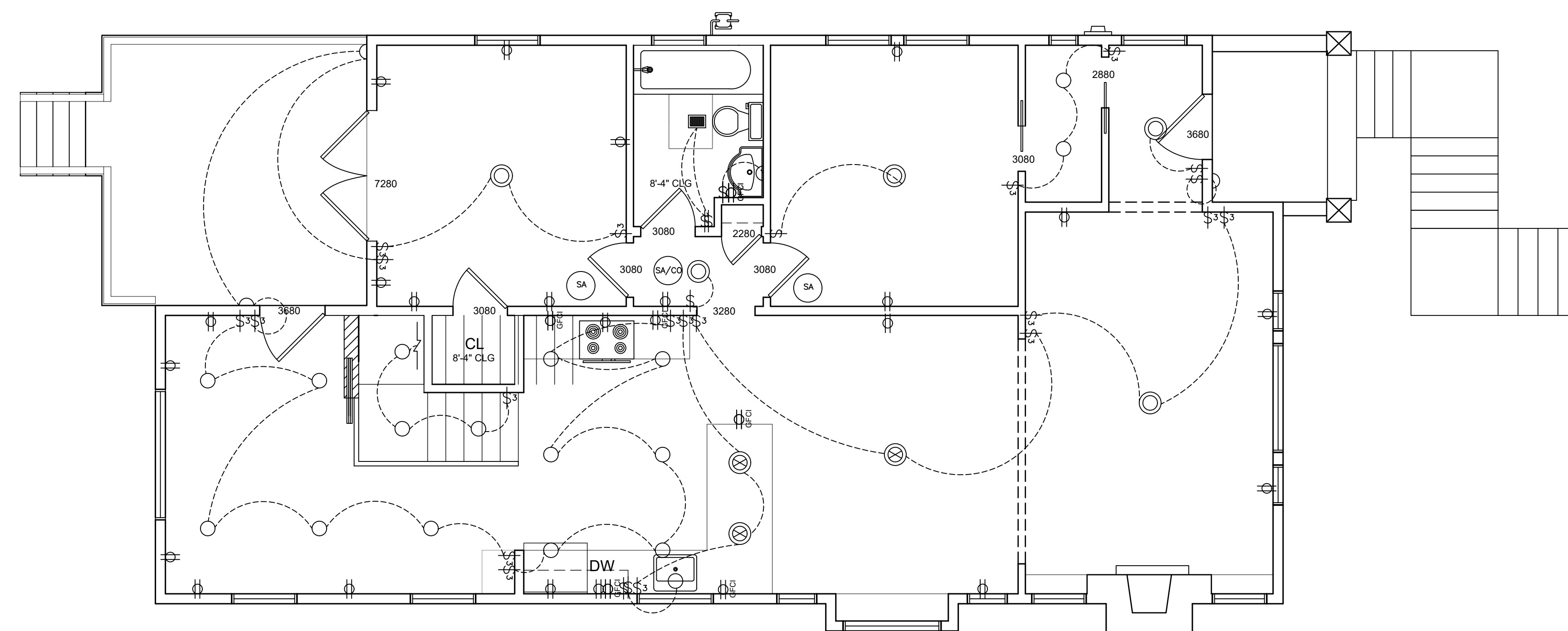


Electrical Plan

Lower Level



- ⌘ SWITCH
- ⌘ 3 WAY SWITCH w/ DIMMER
- ⌘ GFCI RECEPTACLE
- ⌘ DUAL RECEPTACLE
- CAN LIGHT
- SURFACE MOUNTED LIGHT
- ▽ WALL MOUNTED LIGHT
- ⊗ CHANDALIER
- ⊗ PENDENT LIGHT
- FAN
- ⊗ SMOKE ALARM/ CARBON MONOXIDE DETECTOR
- ⊗ SMOKE ALARM



Electrical Plan

Upper Level

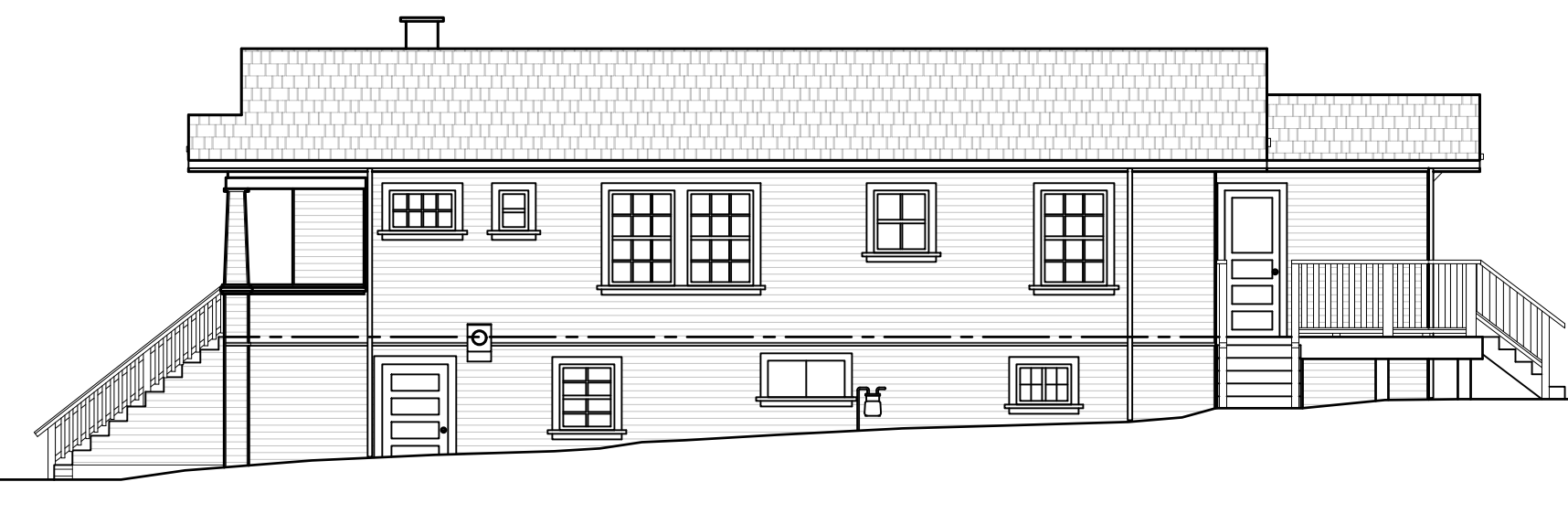




East Elevation
Existing



South Elevation
Existing



North Elevation
Existing



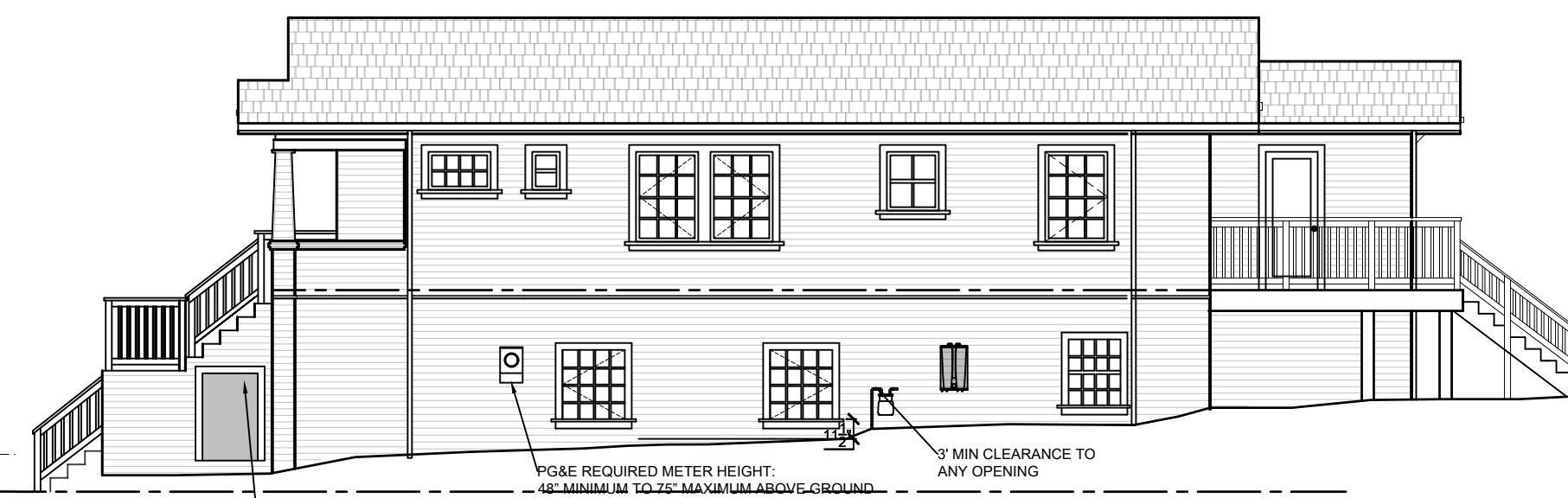
West Elevation
Existing



East Elevation
Proposed



South Elevation
Proposed



North Elevation
Proposed



West Elevation
Proposed

INTERIOR FINISH SCHEDULE:

FLOORING - HARD WOOD

BASEBOARDS - MATCH EXISTING

WINDOW & DOOR CASING - MATCH EXISTING

CROWN MOLDING - NONE

WALLS & CLG - 1/2" SHEETROCK

WALLS @ WET LOCATIONS - TILE @ ALL SHOWER/BATH WALLS, TO CLG. & CEMENT BACKER BOARD, TYP., BASEBOARD TILE, TYP.

RECESSED MEDICINE CABINET IN NEW AND EXISTING BATHROOM

SINK W/ DISPOSAL, AIR SWITCH, FAUCET & AIR GAP

EXTERIOR FINISH SCHEDULE:

6" SHIP LAP SIDING TO MATCH EXISTING

PAINT (WALLS): TBD

WINDOW TRIM: 1x2 PAINTED WOOD SILLS, 1x4 TRIM

FASCIA TRIM: 2x6 PAINTED DF WOOD
PAINT: TBD (MATCH EXISTING)

DOOR TRIM: 1x4 PAINTED DF WOOD
PAINT: TBD

WINDOWS: WOOD INTERIOR, CLAD EXTERIOR
COLOR: TBD

GRILLES: WHITE (MATCH EXISTING)

FRONT ENTRY DOOR- NEW WOOD DOOR

DOWNSPOUTS AND GUTTERS: GALVANIZED STEEL
PAINT: MATCH EXISTING

General Notes



Arnold Addition

720 Adams Street
Albany, CA 94706
2022

66-2793-7

Elevations

No.	Revision/Issue	Date

Firm Name and Address
Home Healing Renovations Inc.
Dylan Sang
2342 Shattuck Ave., #325
Berkeley CA 94704
Dylan Sang

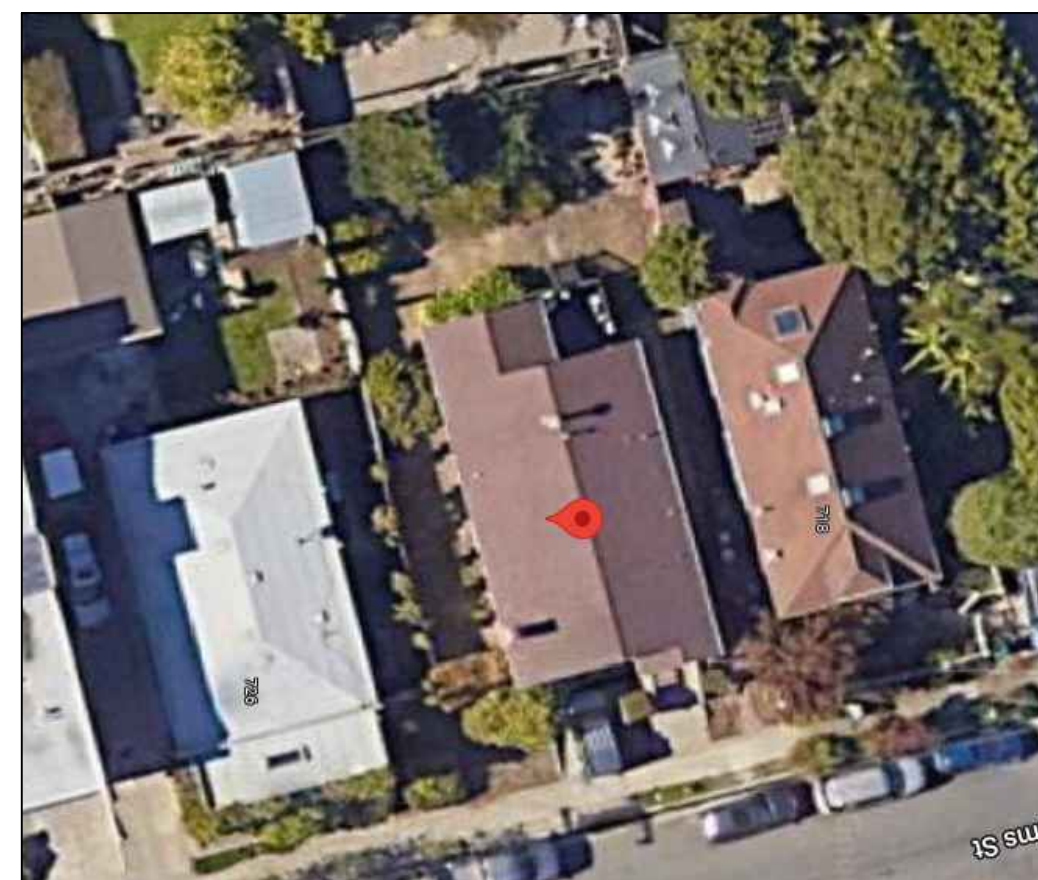
Project Name and Address
Colin Arnold and
Kelley Cox
720 Adams Street
Albany, CA 94706

Project	Sheet
Date 11/09/2022	A3.0
Scale 3/8" = 1'	



Street Elevation

Proposed



726 Adams-720 Adams-718 Adams



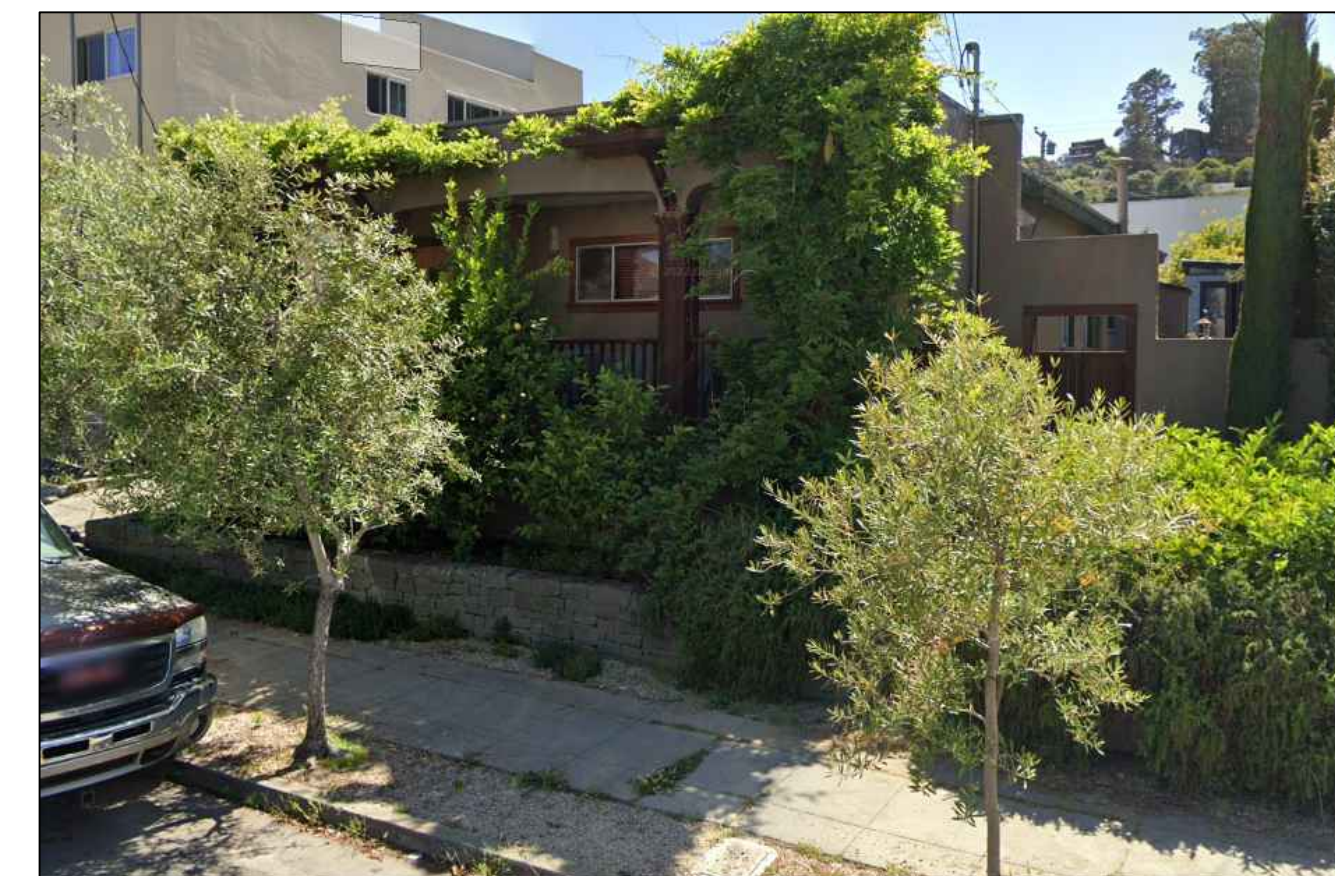
726 Adams-720 Adams-718 Adams



718 Adams



720 Adams



726 Adams

General Notes



Arnold
Addition

720 Adams Street
Albany, CA 94706
2022

66-2793-7

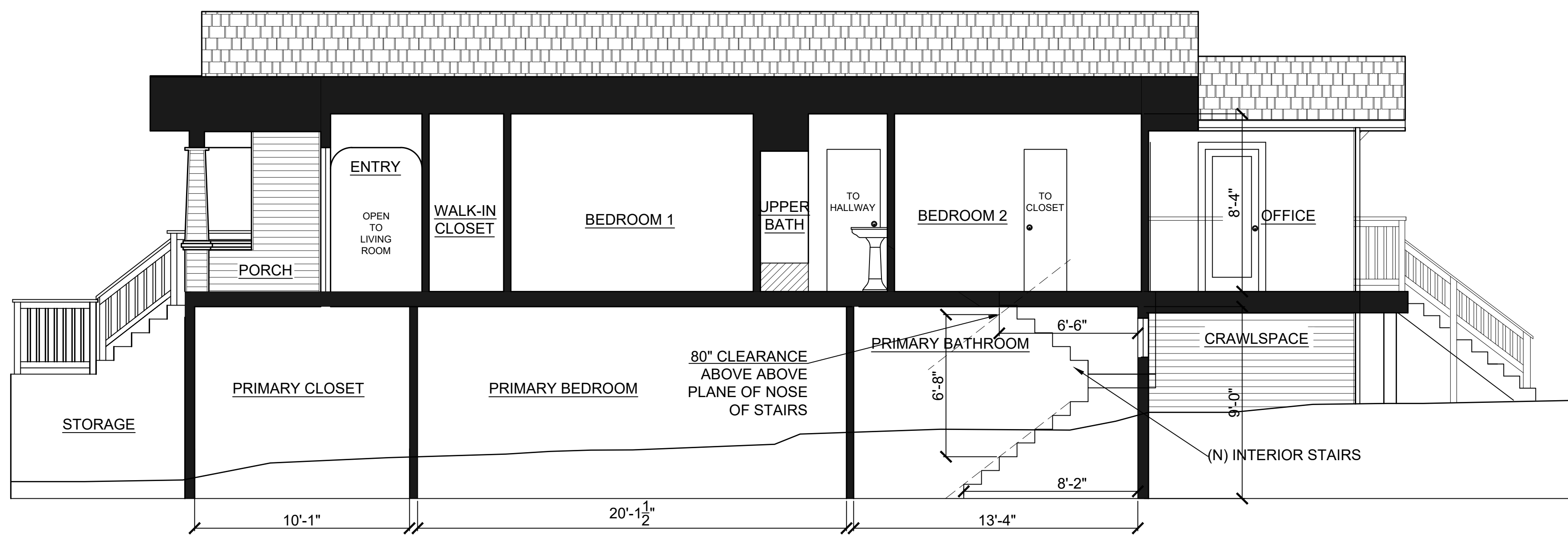
Street Elevation

No.	Revision/Issue	Date

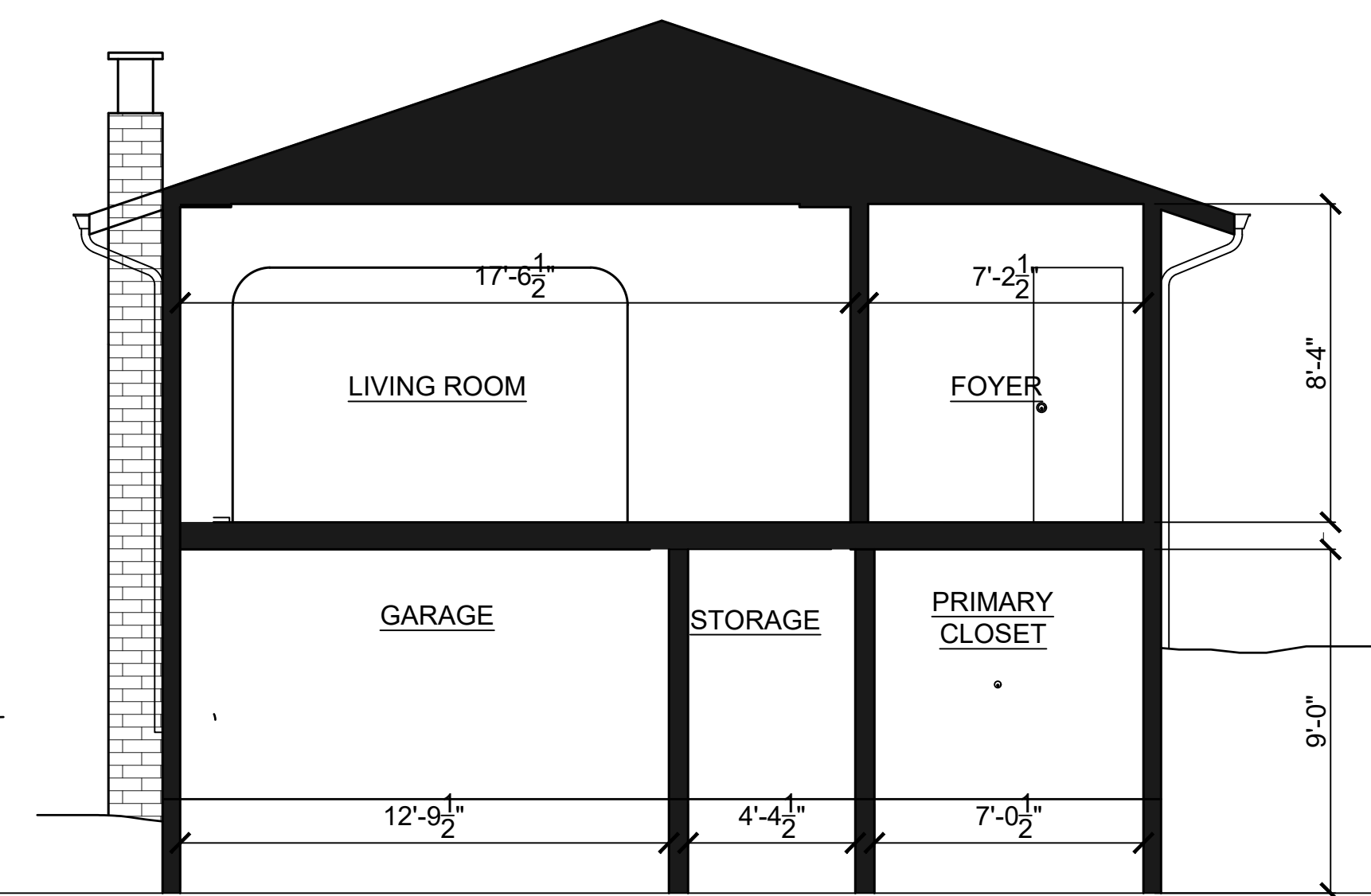
Firm Name and Address
Home Healing Renovations Inc.
Dylan Sang
2342 Shattuck Ave., #325
Berkeley CA 94704
Dylan Sang

Project Name and Address
Colin Arnold and
Kelley Cox
720 Adams Street
Albany, CA 94706

Project	Sheet
Date 11/09/2022	A3.1
Scale 3/8" = 1'	



North Cross Section
Proposed



West Cross Section
Proposed

CONSTRUCTION INFO

EXISTING RAFTERS 2x4 @ 32" OC
 LOWER LEVEL FLOOR JOISTS: 2x8 TRUE SIZE @ 16" OC
 OUTSIDE OF WALL TO CENTER BEARING 12'-2"

EXISTING STAIRS 7.75" X 11" 6 STEPS
 8 RISERS, 7 STEPS

PROPOSED JOISTS 2x10

General Notes



Arnold
Addition

720 Adams Street
Albany, CA 94706
2022

66-2793-7

Details 1

No.	Revision/Issue	Date

Firm Name and Address
 Home Healing Renovations Inc.
 Dylan Sang
 2342 Shattuck Ave., #325
 Berkeley CA 94704

Project Name and Address
 Colin Arnold and
 Kelley Cox
 720 Adams Street
 Albany, CA 94706

Project	Sheet
Date 11/09/2022	A4.0
Scale as shown	

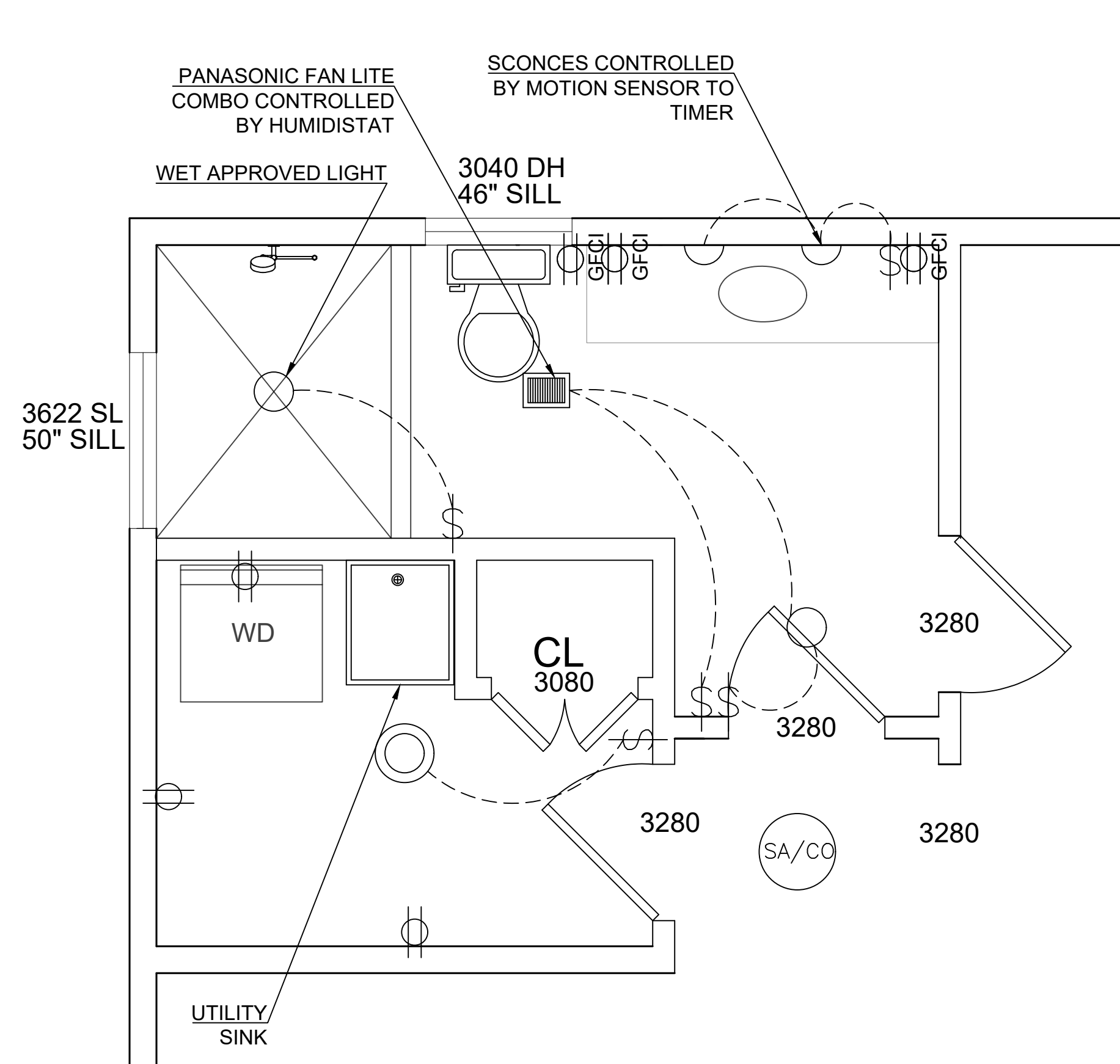


Arnold Addition

720 Adams Street
Albany, CA 94706
2022

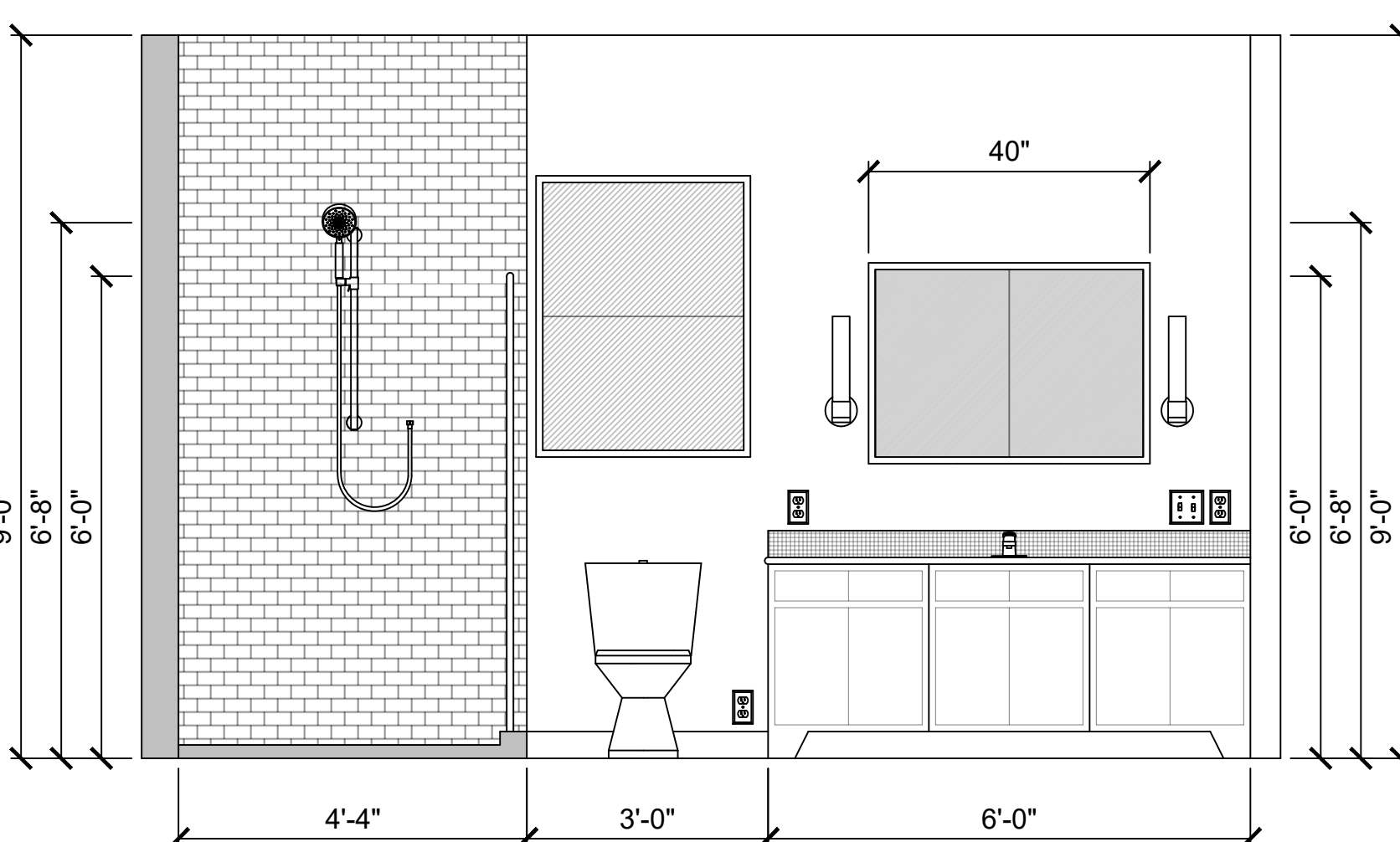
66-2793-7

Details 2



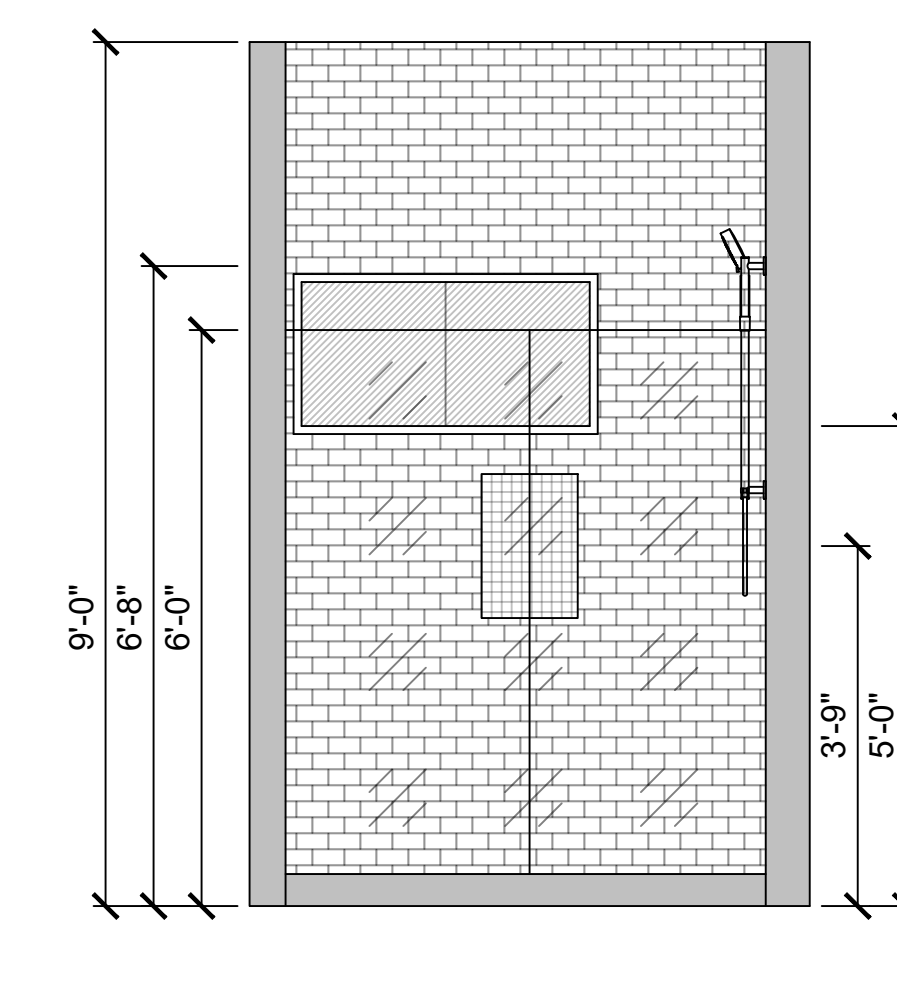
Primary Bathroom and Laundry

1/2" = 1'



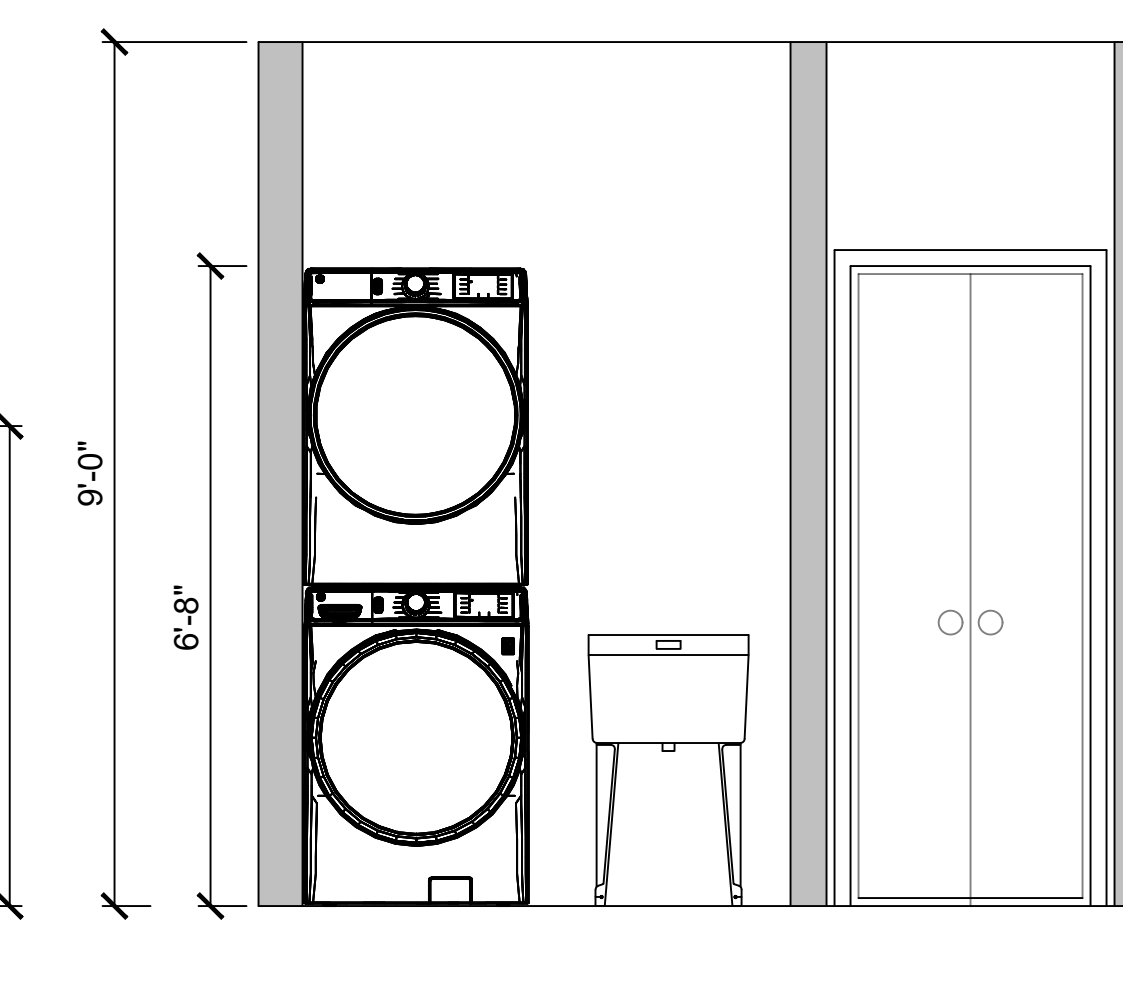
Primary Bathroom

North Elevation



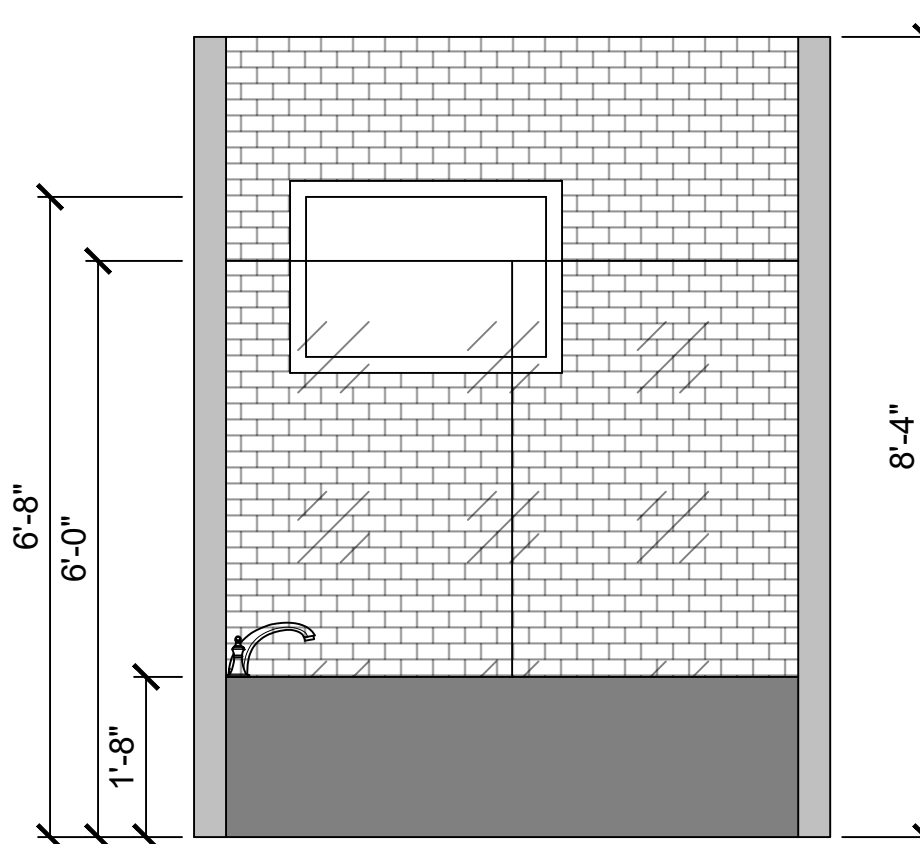
Primary Bathroom

West Elevation



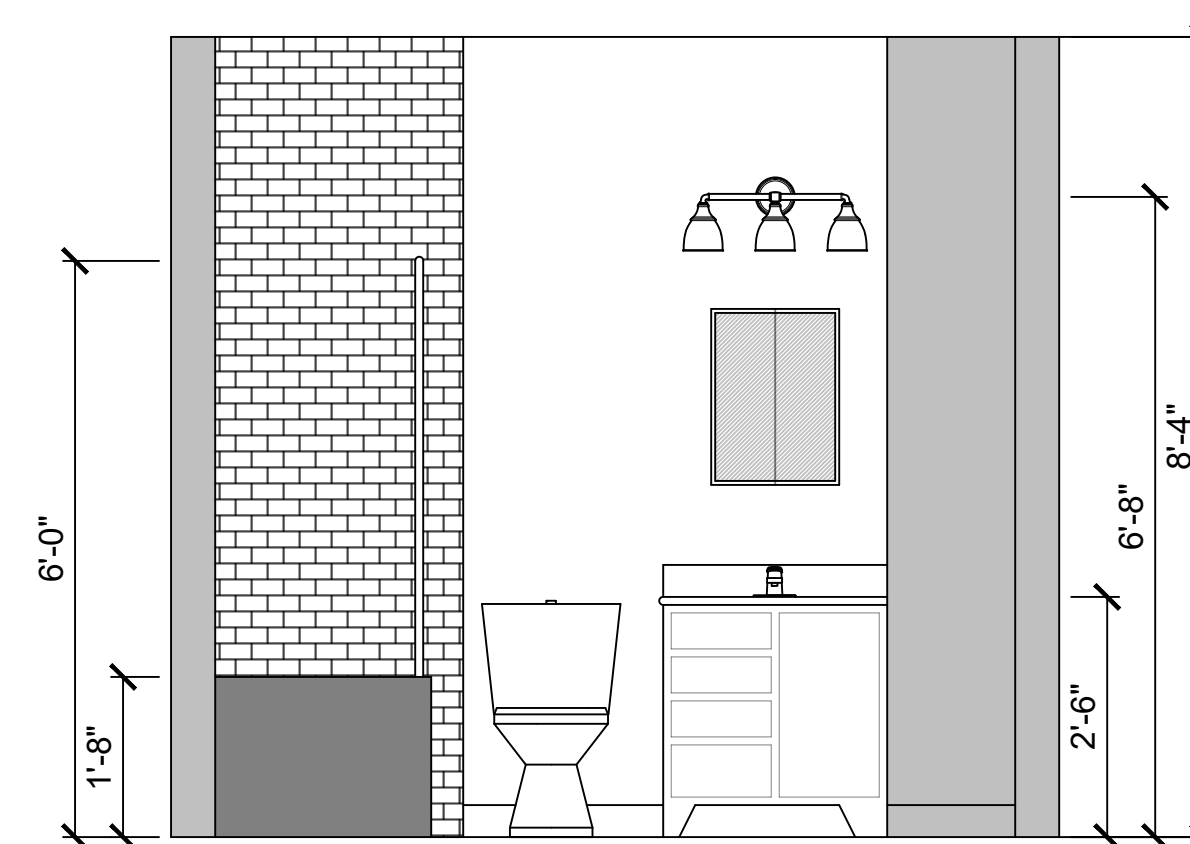
Utility Room

North Elevation



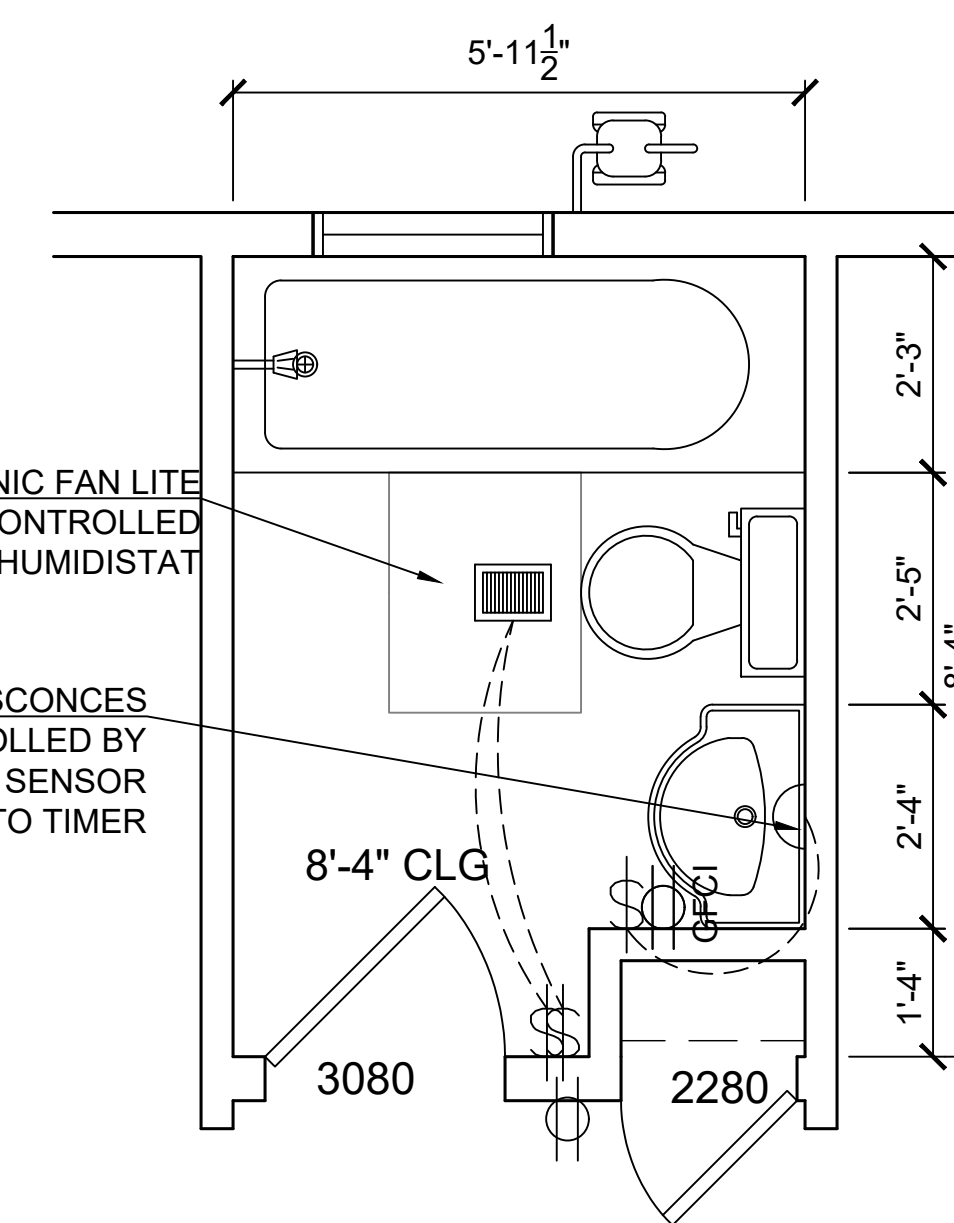
Hall Bathroom

North Elevation



Hall Bathroom

East Elevation



Hall Bathroom

1/2" = 1'



- SWITCH
- 3 WAY SWITCH w/ DIMMER
- GFCI RECEPTACLE
- DUAL RECEPTACLE
- CAN LIGHT
- SURFACE MOUNTED LIGHT
- WALL MOUNTED LIGHT
- CHANDALIER
- PENDENT LIGHT
- FAN
- SMOKE ALARM/ CARBON MONOXIDE DETECTOR
- SMOKE ALARM

BATHROOM & LAUNDRY REQUIREMENTS

- 1) WATER CLOSET SETTING: WATER CLOSET SHALL BE SET NO CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO ANY OTHER PLUMBING FIXTURE. [CPC §402.5]
- 2) WATER CLOSET CLEARANCE: THE MINIMUM CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE NOT LESS THAN 24 INCHES. [CPC §402.5]
- 3) SHOWER SIZE: SHOWER COMPARTMENT SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THRESHOLD. THE AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70 INCHES ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWERHEAD, SOAP DISHES, SHELVES AND SAFETY GRAB BARS OR RAILS. [CPC §408.6]
- 4) SHOWER DOORS: SHOWER DOORS SHALL OPEN OUTWARD SO AS TO MAINTAIN A 22 INCH UNOBSTRUCTED OPENING WIDTH. [CPC §408.5]
- 5) BACKING BOARD MATERIALS: SHOWER AND TUB/SHOWER WALLS SHALL BE PROVIDED WITH A MOISTURE RESISTANT UNDERLAYMENT (E.G., FIBER-CEMENT BACKER BOARD, FIBER-REINFORCED GYPSUM PANEL, GLASS MAT GYPSUM BACKING PANEL, OR FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS) TO A MINIMUM HEIGHT OF 72 INCHES ABOVE THE FLOOR. [CRC SEC R307.2, R702.4]
- 6) WATER CONSERVING PLUMBING FIXTURES:
 - MAXIMUM FLOW RATE FOR WATER CLOSETS IS 1.28 GALLONS PER FLUSH. [CGBSC 4.303.1.1]
 - MAXIMUM FLOW RATE FOR SHOWERHEADS IS 1.8 GALLONS PER MINUTE. FOR MULTIPLE SHOWERHEADS SERVING ONE SHOWER, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 POUNDS PER SQUARE INCH. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HANDHELD SHOWER IS CONSIDERED A SHOWERHEAD. [CGBSC 4.303.1.3]
 - FLOW RATE FOR LAVATORY FAUCETS IS 1.2 GALLONS PER MINUTE MAXIMUM AND 0.8 GALLONS PER MINUTE MINIMUM. [CGBSC 4.303.1.4.1]
 - PRIOR TO FINAL INSPECTION ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE UPGRADED WITH WATER-CONSERVING FIXTURES AS REQUIRED BY CIVIL CODE §1101.1.
- 7) ELECTRICAL REQUIREMENTS:
 - AT LEAST ONE 120-VOLT, 20-AMP CIRCUIT SHALL BE PROVIDED FOR BATHROOM RECEPTACLE OUTLETS OR PROVIDE A DEDICATED 20-AMP CIRCUIT FOR EACH INDIVIDUAL BATHROOM BEING ALTERED. BATHROOM LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. [CEC §210.11(C)3]
 - AT LEAST ONE 20-AMP CIRCUIT SHALL BE PROVIDED FOR LAUNDRY APPLIANCES. LAUNDRY LIGHTING SHALL NOT BE ON AN OUTLET CIRCUIT. [CEC §210.11(C)2]
 - AT LEAST ONE RECEPTACLE OUTLET SHALL BE PROVIDED WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN, OR ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTER TOP. [CEC §210.52(D)]
 - ALL RECEPTACLE OUTLETS IN THE REMODELED BATHROOM(S) AND IN LAUNDRY AREA SHALL BE GFCI PROTECTED. GROUND FAULT CIRCUIT INTERRUPTERS SHALL BE LOCATED IN A READILY ACCESSIBLE LOCATION. [CEC §210.8(A)]
 - RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF A SINK, BATHTUB OR SHOWER STALL SHALL BE GFCI PROTECTED. [CEC §210.8(A)]
 - ALL ADDED/REPLACED RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT [CEC §406.12]

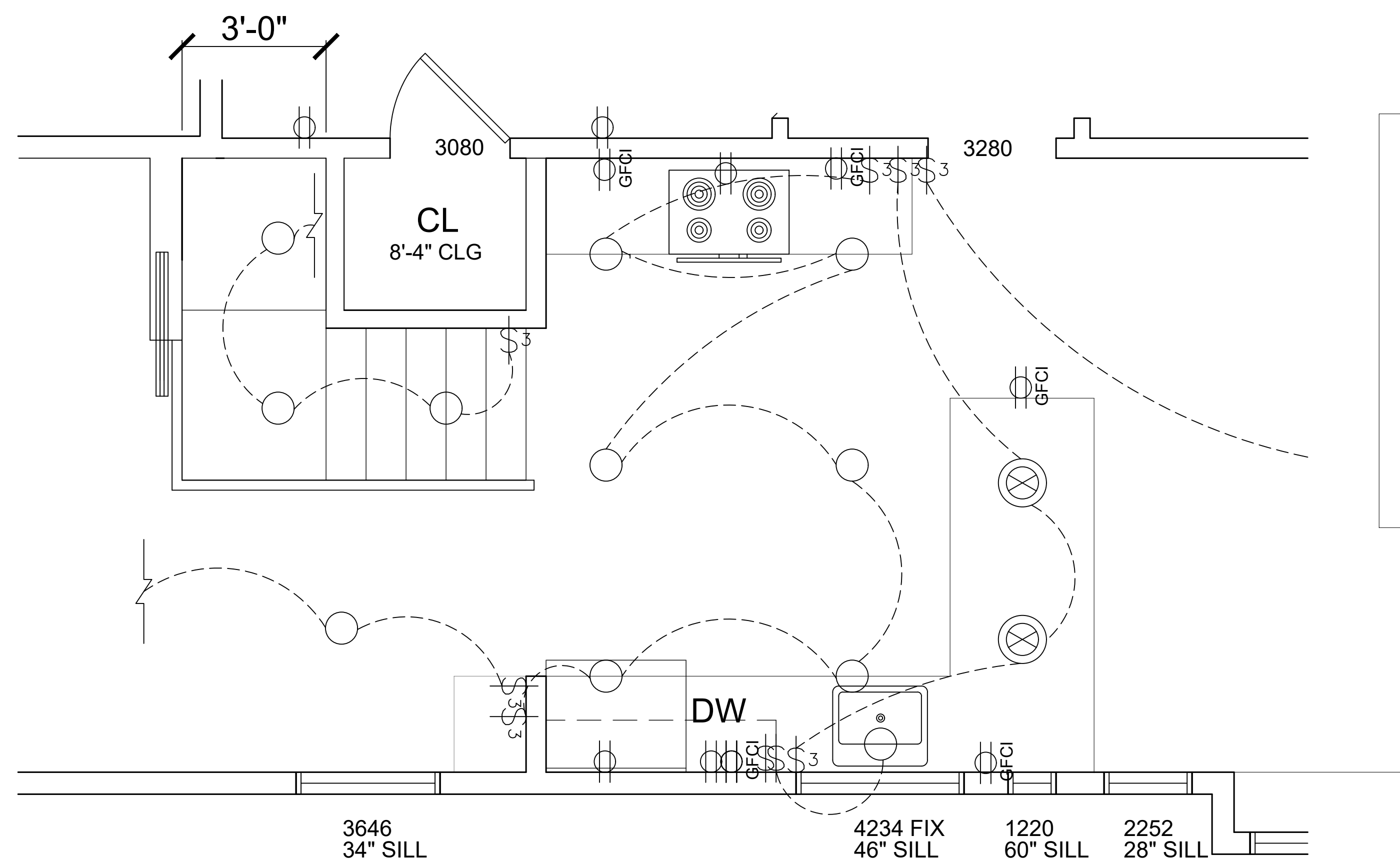
- 8) LIGHTING REQUIREMENTS:
 - ALL INSTALLED LUMINARIES SHALL BE HIGH EFFICACY. [CENC §150.0(K)1A AND TABLE 150.0-A]
 - IN BATHROOMS AND LAUNDRY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR. [CENC §150.0 (K)2]
 - LUMINARIES RECESSED INTO INSULATED CEILINGS: (A) SHALL BE LISTED FOR ZERO CLEARANCE INSULATION COVER (IC RATED); (B) SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS; (C) SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING; (D) IF RECESSED LIGHTS ARE EQUIPPED WITH BALLASTS, SHALL ALLOW BALLAST MAINTENANCE AND REPLACEMENT WITHOUT REQUIRING CUTTING OF HOLES IN THE CEILING; AND (E) SHALL NOT CONTAIN SCREW BASE SOCKETS. [CEES SEC 150(K)12]
 - ALL LUMINARIES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS". [CEC §410.10 (D)]
- 9) VENTILATION REQUIREMENTS: EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: [CRC §R303.3, CMC §402.5 AND CGBSC §4.506.1]
 - FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - BATHROOM EXHAUST FAN(S) MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT IN).
 - EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. [CENC §150.0(K)2B]
 - TOILET ROOMS, WHICH ARE NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQUARE FEET, SHALL BE PROVIDED WITH MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CUBIC FEET PER MINUTE. [CRC §R303.3]
 - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (E.G., BATH FAN, DRYER VENT, ETC.) SHALL BE AT LEAST 3 FEET FROM A PROPERTY LINE AND FROM OPENINGS INTO THE BUILDING, AND 10 FEET FROM A FORCED AIR INLET. [CMC §502.2.1]
 - DRYER MOISTURE EXHAUST: MOISTURE EXHAUST DUCT SHALL TERMINATE TO THE OUTSIDE AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO A COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET WITH 2 ELBOWS.
 - TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. [CMC §504.4.2.1 AND §504.1.1]
- 10) LAUNDRY MAKEUP AIR: A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE LAUNDRY CLOSET DOOR OR BY OTHER APPROVED MEANS. [CMC §504.4.1]
- 11) BUILDING ENVELOPE MODIFICATIONS: EXTERIOR WALL, FLOOR AND ROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE INSULATED. R-13 (2X4 WALL), R-19 (2X6 WALL), R-19 (FLOOR), R-30 (ATTIC ROOF), AND R-19 (CATHEDRAL CEILING) INSULATION. [CENC §150.0 (A)(C)(D)]
- 12) GLAZING AND WET SURFACES: SAFETY GLAZING SHALL BE PROVIDED IN WALLS OR ENCLOSURES CONTAINING BATHTUBS OR SHOWERS, OR FACING TUBS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA OR WHIRLPOOL. [CRC §R308.4.5]
- 13) WINDOW MODIFICATIONS: REPLACEMENT AND NEW WINDOWS SHALL HAVE A U-FACTOR EQUAL TO 0.32 OR LOWER. EXCEPTIONS: REPLACEMENT SKYLIGHTS, OR NEW SKYLIGHTS UP TO 16 SQUARE FEET, MAY HAVE A U-FACTOR OF 0.55. WHEN 75 SQUARE FEET OR LESS OF FENESTRATION IS REPLACED WINDOWS MAY HAVE A U-FACTOR OF 0.40. [CENC §150.2(B)]

No.	Revision/Issue	Date

Firm Name and Address
 Home Healing Renovations Inc.
 Dylan Sang
 2342 Shattuck Ave., #325
 Berkeley CA 94704

Project Name and Address
 Colin Arnold and
 Kelley Cox
 720 Adams Street
 Albany, CA 94706

Project	Sheet
Date 11/09/2022	A4.1
Scale 1/2" = 1'	



- SWITCH
- 3 WAY SWITCH w/ DIMMER
- GFCI RECEPTACLE
- DUAL RECEPTACLE
- CAN LIGHT
- SURFACE MOUNTED LIGHT
- WALL MOUNTED LIGHT
- CHANDALIER
- PENDENT LIGHT
- FAN
- SMOKE ALARM/ CARBON MONOXIDE DETECTOR
- SMOKE ALARM

KITCHEN REQUIREMENTS

1) WATER CONSERVING PLUMBING FIXTURES REQUIREMENTS:
 • KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE. FLOW MAY TEMPORARILY INCREASE TO 2.2 GALLONS PER MINUTE, BUT MUST DEFAULT TO A MAXIMUM OF 1.8 GALLONS PER MINUTE. [CGBCS 4.303.1.4.4]
 • PRIOR TO FINAL INSPECTION ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE UPGRADED WITH WATER-CONSERVING FIXTURES AS REQUIRED BY CIVIL CODE §1101.1.

2) ELECTRICAL REQUIREMENTS:
 • RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL COUNTERTOP IS MORE THAN 24 INCHES FROM A RECEPTACLE IN THAT SPACE. [CEC §210.52(C)(1)]
 • RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH KITCHEN COUNTER SPACE WIDER THAN 12 INCHES. [CEC 210.52(C)(1)]
 • AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. [CEC §210.52(C)(2) AND §210.52(C)(3)]
 • ALL ELECTRICAL OUTLETS SERVING KITCHEN COUNTERTOPS AND DISHWASHERS SHALL BE GFCI PROTECTED. GROUND FAULT CIRCUIT INTERRUPTERS SHALL BE LOCATED IN A READILY ACCESSIBLE LOCATION. [CEC §210.8(A)(D)]
 • AT LEAST TWO SEPARATE 20-AMPERE BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES. THESE CIRCUITS ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY AND CANNOT SERVE DISHWASHER, MICROWAVE, RANGE HOOD, GARBAGE DISPOSAL, ETC. [CEC §210.11(C)(1) AND §210.52(B)(3)]
 • ALL ADDED/REPLACED RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES AND SHALL BE ARC FAULT PROTECTED. [CEC §406.12]

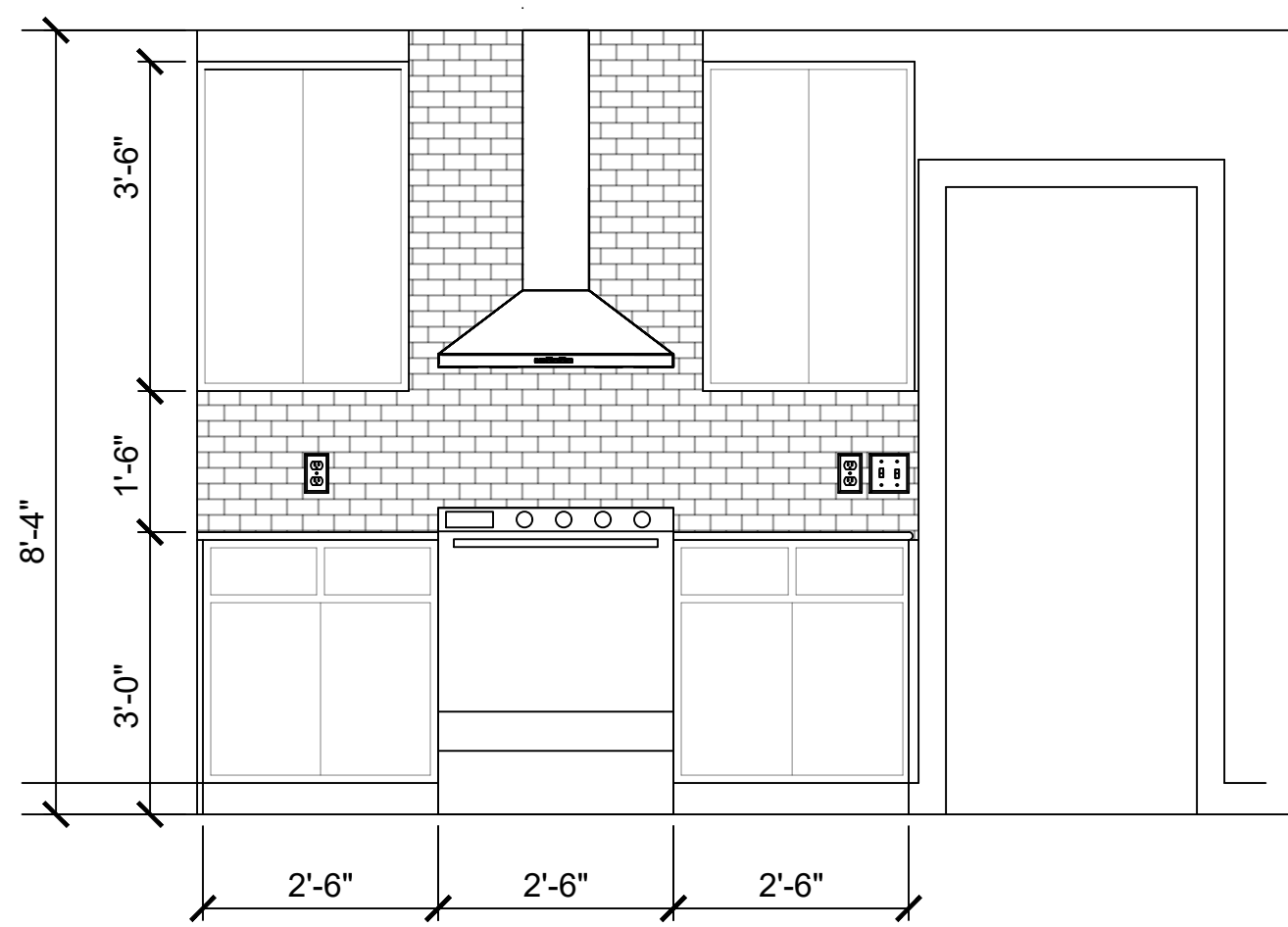
3) LIGHTING REQUIREMENTS:
 • ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY. [CENC §150.0(K)(2)] • UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. [CENC §150.0(K)(2)L]
 • LUMINAIRES RECESSED INTO INSULATED CEILINGS: (A) SHALL BE LISTED FOR ZERO CLEARANCE INSULATION COVER (IC RATED); (B) SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS; (C) SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINARY HOUSING AND CEILING; (D) IF RECESSED LIGHTS ARE EQUIPPED WITH BALLASTS, SHALL ALLOW BALLAST MAINTENANCE AND REPLACEMENT WITHOUT REQUIRING CUTTING OF HOLES IN THE CEILING; AND (E) SHALL NOT CONTAIN SCREW BASE SOCKETS. [CECS SEC 150(K)12]
 BUILDING ENVELOPE MODIFICATIONS: EXTERIOR WALL, FLOOR AND ROOF FRAMING SPACES OPENED UP DURING THE COURSE OF REMODEL SHALL BE INSULATED. R-13 (2X4 WALL), R-19 (2X6 WALL), R-19 (FLOOR), AND R-19 (ATTIC/ROOF) INSULATION. [CENC §150.0(A)(C)(D)]
 WINDOW MODIFICATIONS: REPLACEMENT AND NEW WINDOWS SHALL HAVE A U-FACTOR EQUAL TO 0.32 OR LOWER. EXCEPTIONS: REPLACEMENT SKYLIGHTS, OR NEW SKYLIGHTS UP TO 16 SQUARE FEET, MAY HAVE A U-FACTOR OF 0.55. WHEN 75 SQUARE FEET OR LESS OF FENESTRATION IS REPLACED WINDOWS MAY HAVE A U-FACTOR OF 0.40. [CENC §150.2(B)]

4) VENTILATION REQUIREMENTS:
 • TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE AT LEAST 3 FEET FROM PROPERTY LINE AND FROM OPENINGS INTO THE BUILDING, AND 10 FEET FROM A FORCED AIR INLET. [CMC §502.2.1]
 • WHOLE-BUILDING VENTILATION: KITCHENS REQUIRE VENTILATION AIR FLOW AT 100 CUBIC FEET PER MINUTE OR MORE FOR INTERMEDIATE SYSTEMS OR 5 AIR CHANGES PER HOUR FOR CONTINUOUS SYSTEMS. [ASHREA 62.2]

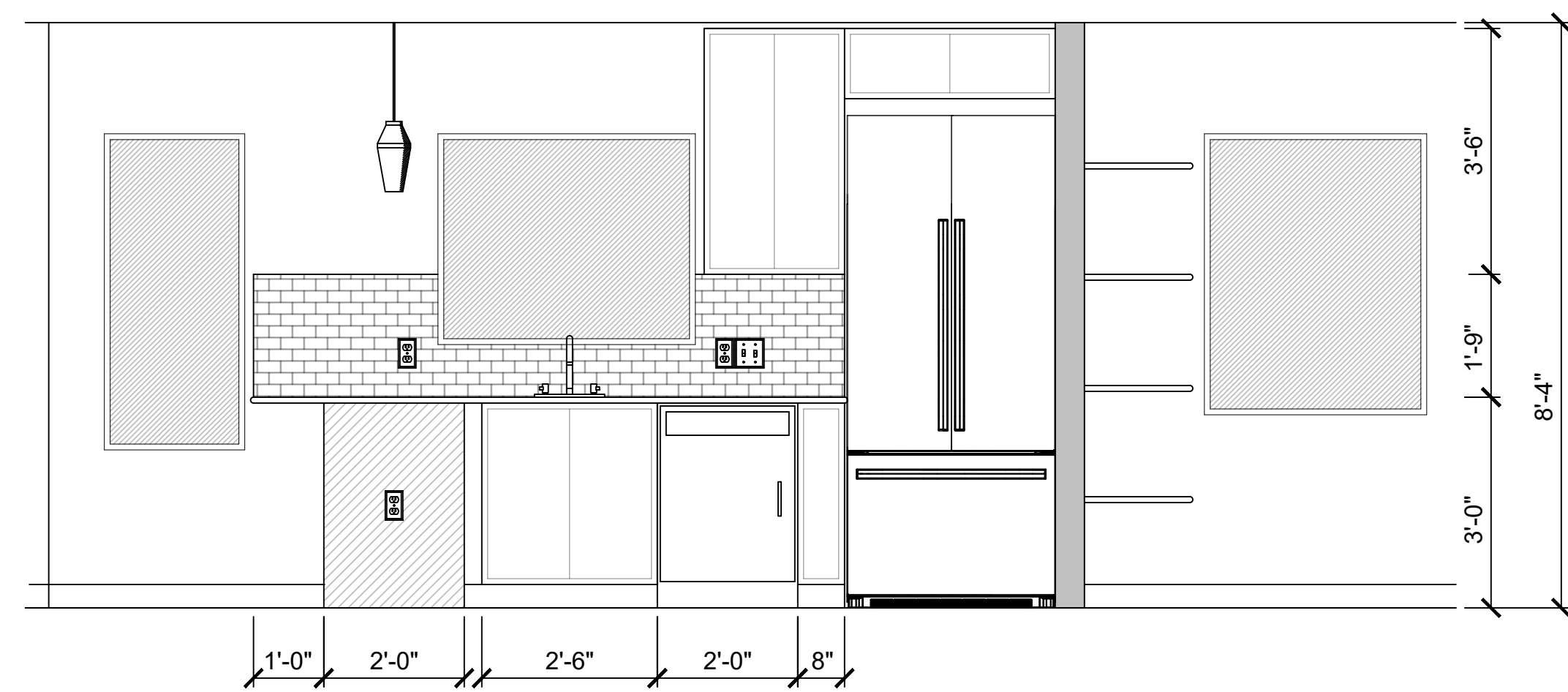
HOOD VENT REQUIREMENTS
 -MIN 100 CFM

-HERS RATER MUST VERIFY THAT NEW RANGE HOOD IS LISTED IN THE HVI CERTIFIED HOME VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HVI -CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SOUND REQUIREMENT. COORDINATE INFORMATION WITH CERTIFICATE OF COMPLIANCE FORM CF-1R. SEE CITY OF SAN LEANDRO RESIDENTIAL KITCHEN REMODEL REQUIREMENTS FOR PERMIT SUBMITTAL.

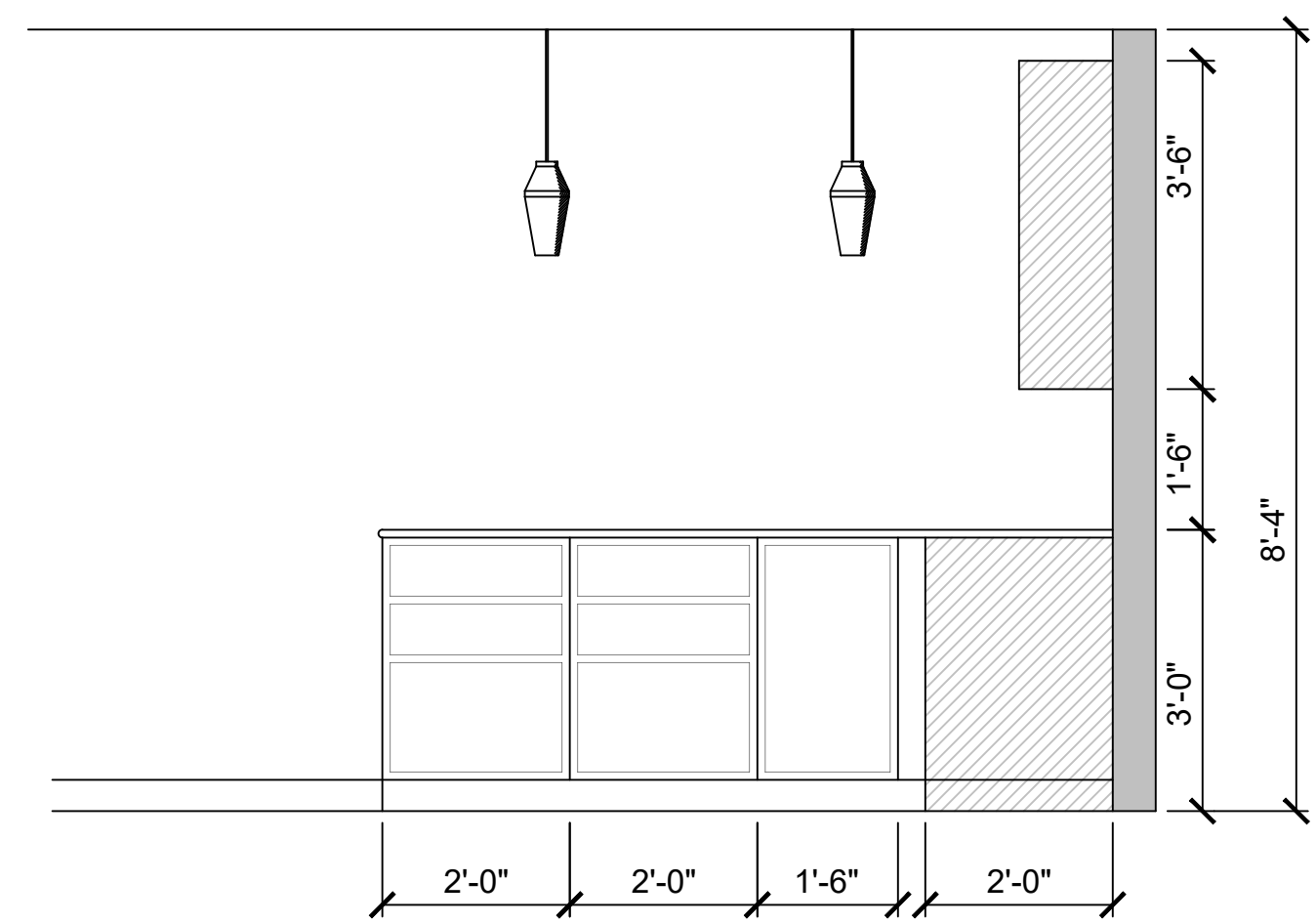
Kitchen
 1/2" = 1'



Kitchen
 North Elevation



Kitchen
 South Elevation



Kitchen
 East Elevation



General Notes

Arnold Addition

720 Adams Street
 Albany, CA 94706
 2022

66-2793-7

Details 3

No.	Revision/Issue	Date

Firm Name and Address
 Home Healing Renovations Inc.
 Dylan Sang
 2342 Shattuck Ave., #325
 Berkeley CA 94704

Dylan Sang

Project Name and Address
 Colin Arnold and
 Kelley Cox
 720 Adams Street
 Albany, CA 94706

Project	Sheet
Date 11/09/2022	A4.2
Scale 3/8" = 1'	