

825 SAN CARLOS AVE.
ALBANY CITY, CALIFORNIA
 2022.10.07



PHOTOS OF (E) BUILDING



LOCATION OF (N) DEVELOPMENT

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE TO WHICH HE MAY BE DUE BECAUSE OF FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH EXAMINATIONS. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING WITH THE WORK.
- WHEN REFERENCED IN NOTES, ARCHITECT SHALL BE SANDY CHAN
- CONTRACTOR SHALL PROVIDE ARCHITECT AND OWNER WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THE PROJECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL PROTECT NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC. AS REQUIRED TO PROTECT THE HOMEOWNER FROM DAMAGE TO HIS PROPERTY. DAMAGE TO NEW MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH ARCHITECT AND OR OWNER PRIOR TO COMMENCEMENT OF WORK.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, PLUMBING ELECTRICAL, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY AND COUNTY IN WHICH THE PROJECT OCCURS. ALL WORK SHALL BE DONE IN A THOROUGH WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- ALL DIMENSIONS ON CONSTRUCTION DRAWINGS ARE TO FACE OF FINISH (FOF) OR FACE OF CONCRETE (FOC) UNLESS OTHERWISE NOTED TO BE THE CENTER OF PARTITION, MULLION, OR COLUMN. DIMENSIONS ARE TO TOP PLATE OR TOP OF SUBFLOOR INSECTION OR ELEVATION UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO ANY START OF WORK.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED, AND BE OF A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
- THE USE OF THE WORD 'PROVIDE' IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH ITEM SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE AT ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE DRAWINGS.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CARE AND CLEAN UP TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHAL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND STATE OR LOCAL LAWS AND ORDINANCE. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES. ANY QUESTIONS REGARDING INSTALLATIONS SHALL BE BROUGHT TO THE ARCHITECT FOR CLARIFICATION.
- INSTALL APPROPRIATE INSULATION AS NOTED ON THE TITLE 24 REPORT AT ALL SPACES BETWEEN STUDS, JOISTS, AT ALL EXTERIOR WALLS, CEILING AND FLOORS WHERE EXPOSED.
- WINDOW SIZES AND DOOR HEAD HEIGHTS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.
- ALL CHANGES IN FLOOR MATERIAL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- SEALANT, CAULKING, AND FLASHING, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWLSPACES SHALL BE FULLY VENTILATED TO 1/150 OF AREA. CROSS VENTILATION SHALL BE PROVIDED AT ROOFS WITH PERFORATED EAVE BLOCKING WITH MESH SCREENS OR ROOF VENT UNITS.
- PROVIDE WOOD BLOCKING FOR ALL TROWEL BARS, ETC.
- ALL MATERIALS FOR USE ON A PROJECT SHALL BE STORED WITHIN THE PROJECT SITE.
- THE CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORK HOURS OR AS AGREED UPON BY THE HOMEOWNER.

- ALL QUESTIONS REGARDING SHALL BE DIRECTED TO THE ARCHITECT
- PROJECT CLOSEOUT:
 - CONTRACTOR SHALL REVIEW PROJECT WITH ARCHITECT AND OR OWNER TO ENSURE THAT ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FOLLOWED.
 - CONTRACTOR SHALL OBTAIN ALL CERTIFICATES AND NOTICES
 - ALL WORK PERFORMED SHALL BE CLEAN AND READY FOR USE
 - UPON COMPLETION, THE ARCHITECT SHALL, AT THE OWNER'S REQUEST, COMPLETE A PROJECT PUNCH LIST NOTING ANY CORRECTIONS, OR OMISSIONS. ARCHITECT'S ACCEPTANCE WILL BE CAUSE FOR FINAL PAYMENT, UNLESS SPECIFICALLY DETERMINED OTHERWISE BY OWNER.
- MECHANICAL NOTES:**

THE HVAC CONTRACTOR SHALL SUPERVISE ALL OF THE WORK DONE DURING INSTALLATION. ALL MECHANICAL SYSTEMS SHALL BE INSPECTED BY THE MECHANICAL ENGINEER PRIOR TO THAT ALL SYSTEMS OPERATE PROPERLY.

CONTRACTOR SHALL COORDINATE ALL TRADES ASSOCIATED WITH MECHANICAL AND CEILING WORK AS REQUIRED FOR PROPER ASSEMBLY.

PROVIDE BOTH RETURN AND SUPPLY AIR IN ACCORDANCE WITH LOCAL CODES.

THE HVAC ENGINEER SHALL DETERMINE WHAT NEW EQUIPMENT IS NECESSARY TO ADJUST THE EXISTING EQUIPMENT IN ORDER TO MEET CODE REQUIREMENTS.
- DOORS, WINDOWS, HARDWARE**

THE CONTRACTOR SHALL INSTALL REQUIRED DOOR AND FRAME ASSEMBLIES AS SHOWN ON THE DRAWINGS. IF NEW DOORS AND WINDOWS ARE INTENDED TO MATCH EXISTING DOORS AND WINDOWS, THE CONTRACTOR SHALL SOURCE AND PROVIDE DOORS AND WINDOWS TO MATCH EXISTING AND VERIFY WITH ARCHITECT AND CLIENT BEFORE ORDERING.

DOOR HARDWARE SHALL MATCH EXISTING IN FINISH AND COLOR, U.O.N.
- WALL AND CEILING FINISHES**

THE CONTRACTOR SHALL PATCH AND PREP ALL WALLS PRIOR TO COMMENCING WORK. ALL SURFACES FROM FLOOR TO CEILING AND ALL VERTICAL SURFACES SHALL BE CONSIDERED WALLS.

ALL WALLS AND CEILING SHALL BE PREPARED TO ACHIEVE A LEVEL 5 FINISH.

ALL WOOD ELEMENTS SUCH AS TRIM, SHELVING, WOOD DOORS SHALL BE PRIMED, SANDED AND FINISHED WITH 2 COATS OF SEMI-GLOSS ENAMEL, FREE OF BRUSH MARKS.

AT ALL AREAS WHERE EXISTING PARTITIONS MEET NEW PARTITIONS, THE AREAS SHALL BE SANDED AND PATCHED TO ENSURE A SMOOTH AND SEAMLESS TRANSITION FROM THE EXISTING TO NEW AREA.

PRIOR TO PAINTING, THE CONTRACTOR SHALL REMOVE ALL SWITCH PLATE COVERS, RECEPTACLE COVERS, HARDWARE AT DOORS AND OTHER SURFACES.

ALL PAINT SHALL BE ZERO VOC LATEX BASED PAINTS. ALL SURFACES SHALL RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF PAINT.
- FLOOR FINISHES**

THE FLOORING SUBCONTRACTOR SHALL ENSURE ALL SURFACES ARE PREPPED AND READY TO RECEIVE FLOOR FINISHES. FLOOR SURFACES SHALL BE SMOOTH AND LEVELLED AS REQUIRED PRIOR TO PROVIDING FLOOR FINISH. PROVIDE SELF-LEVELLING CEMENTITIOUS COMPOUND TO LEVEL FLOORS IF NECESSARY. ALL FLOORING TO BE PREPPED AS REQUIRED BY MANUFACTURER'S SPECIFICATIONS.

DURING FLOORING INSTALLATION AND FOR AN APPROPRIATE TIME AFTER FLOORING HAS BEEN INSTALLED, THE FLOOR SHALL BE PROTECTED AND CLOSED TO WALKING TRAFFIC.

ALL PARTITIONS SHALL HAVE RESILIENT BASE TO MATCH ADJACENT AND EXISTING AREAS.

AFTER WORK HAS BEEN COMPLETED, THE CONTRACTOR SHALL CLEAN ALL REMAINING ADHESIVE, SCRAPS, AND ASSOCIATED MATERIALS AND REMOVE FROM THE JOBSITE.

THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL EXISTING FLOORING FOR THE DURATION OF THE PROJECT, AND REMOVE ALL FLOORING PROTECTION UPON COMPLETION OF THE PROJECT.

IF THE FLOORING IS IN MODULAR UNITS SUCH AS WOOD, TILE OR CARPET SQUARES, DIMENSIONED DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.

PROVIDE FLUSH TRANSITIONS BETWEEN EACH FLOORING MATERIAL. IF FLUSH TRANSITIONS CAN NOT BE PROVIDED, TRANSITION METHODS SHOULD BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- PAINTS, COATINGS AND FINISHES**

T. CARPET MUST MEET ONE OF THE FOLLOWING: (CALGREEN 4.504.3)

 - CARPET AND RUG INSTITUTE GREEN LABEL PLUS PROGRAM
 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCs
 - NSF / ANSI 140 AT THE GOLD LEVEL
 - SCIENTIFIC CERTIFICATION SYSTEMS SUSTAINABLE CHOICE
 - CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS EQ 2.2 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE

CARPET CUSHION MUST MEET CARPET AND RUG INSTITUTE GREEN LABEL AND INDOOR CARPET ADHESIVE AND CARPET PAD ADHESIVE MUST NOT EXCEED 50 G VOC CONTENT

 - COMPOSITE WOOD PRODUCTS: HARDWOOD, PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR SHALL MEET CARB AIR TOXIC CONTROL. MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.5
 - INTERIOR PAINTS AND COATINGS: COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS. SEE CALGREEN TABLE 4.504.2
 - LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS: SEE CALGREEN TABLES 4.504.1 AND 4.504.2

REVISIONS	DATE

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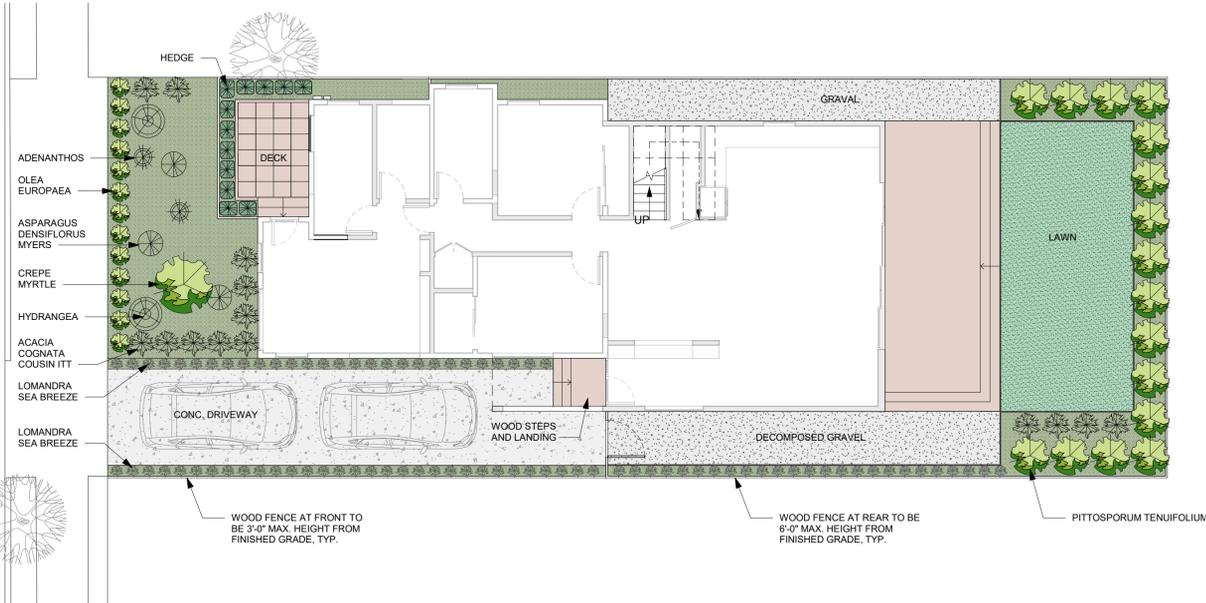
PLANNING SET

COVER PAGE

Date	10/17/2022
Scale	
Drawn	HJ
Sheet	A0.1

SAN CARLOS AVE.

SAN CARLOS AVE.



(2/ A0.1) SITE PLAN - LANDSCAPE PLAN SCALE: 1/8" = 1'-0"

PROJECT DESCRIPTION: REMODEL OF AN EXISTING 807 SF 1-STORY SINGLE FAMILY HOUSE TO BE A 2,062 SF 2-STORY SINGLE FAMILY BUILDING.

ZONING: R1

OCCUPANCY TYPE: R-3

CONSTRUCTION TYPE: V-8

BUILDING HEIGHT TO RIDGE: EXISTING 18'-0" PROPOSED 26'-0" CHANGE +7'-0"

APPLICABLE CODES: 2019 CALIFORNIA RESIDENTIAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN BUILDING CODE

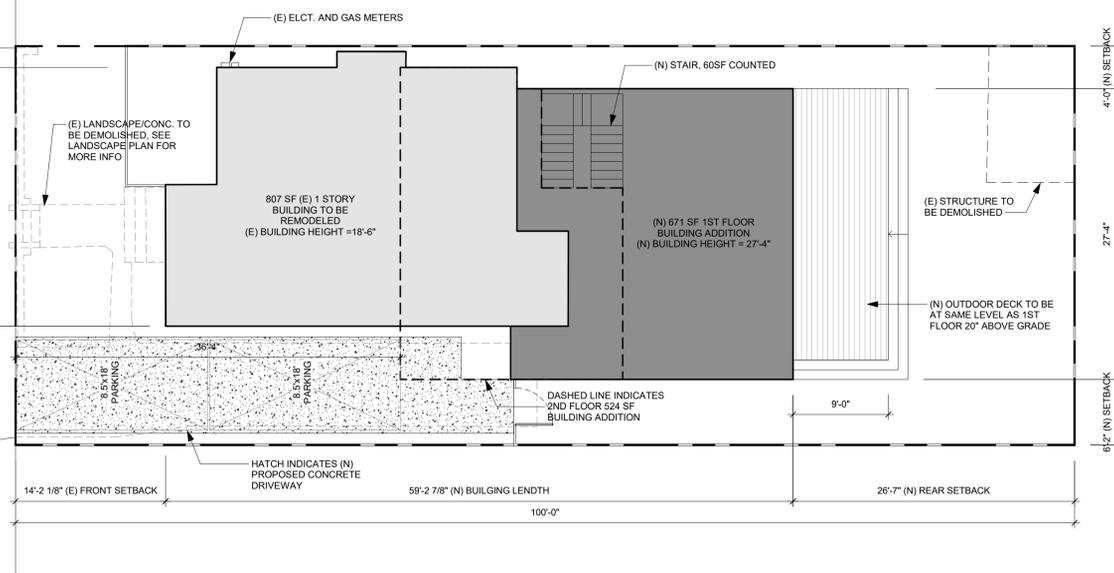
LOT COVERAGE: EXISTING 3,751 SF LOT COVER: 807 SF % COVERAGE: 21.5% PROPOSED 1,540 SF 41% CHANGE +733 SF +19.5% NO CHANGE

FLOOR AREAS: EXISTING 807 GSF 1ST FLOOR 0 2ND FLOOR 0 TOTAL: 807 FLOOR AREA RATIO: 54.9% PROPOSED 1,476 GSF 1ST FLOOR 584 GSF 2ND FLOOR 892 GSF TOTAL: 2,062 GSF CHANGE +671 GSF +584 GSF +1,255 GSF

PROGRAM: EXISTING 1 KITCHEN: 1 BEDROOMS: 2 BATHROOMS: 1 LIVING ROOM: 1 PROPOSED 4 2 3 1 CHANGE NO CHANGE +2 +2 NO CHANGE

NUMBER OF STORIES IN BUILDING: EXISTING 1 PROPOSED 2

PROJECT INFORMATION



(1/ A0.1) SITE PLAN SCALE: 1/8" = 1'-0"

ARCHITECTURE

A0.1 COVER PAGE & SITE PLAN & LANDSCAPE PLAN

LAND SURVEY

A2.0 EXISTING & DEMOLITION PLAN & STREET ELEVATION

A2.1 PROPOSED FLOOR PLANS

A2.2 EXISTING AND PROPOSED ROOF PLANS

A3.0 EXISTING BUILDING ELEVATIONS

A3.1 PROPOSED BUILDING ELEVATIONS

A3.2 PROPOSED BUILDING SECTIONS

A4.0 EXTERIOR WINDOW SCHEDULE AND INSTALLATION DETAILS

OWNER: STEVEN CHAN, 275 SEA VIEW AVE, PIEDMONT, CA 94610, JEGREENSOLUTIONS@GMAIL.COM, (510)717-0029

GENERAL CONTRACTOR: TBD

ARCHITECT: SANDY CHAN, 5429 TELEGRAPH AVE, OAKLAND, CA 94609, S.STUDIOPAZ@GMAIL.COM, (415)819-4811

DESIGNER/DRAFTER: HAKMAN JIA, 5905 BAYVIEW AVE, RICHMOND, CA 94804, HJADDESIGN@GMAIL.COM, (415) 528-9534

STRUCTURAL ENGINEER: TBD

T.24 / ENERGY ENGINEER: TBD

GEOTECHNICAL ENGINEERING: ADEL KASIM, HALLEBECK/KALLWEST, GEOTECHNICAL ENGINEERING CONSULTANTS, P.O. BOX 1473, EL CERRITO, CA 94530, ADELKASIM@GMAIL.COM, (650) 219-4290

PROJECT TEAM

- GENERAL NOTES**
- NEW STUD WALL TO BE 2X4 (INTERIOR) OR 2X6 (EXTERIOR), S.S.D.
 - EXTERIOR WINDOWS & DOORS, SEE EXTERIOR WINDOW&DOOR SCHEDULE
 - INTERIOR DOOR, SEE INTERIOR DOOR SCHEDULE
 - DASHED LINE INDICATES ITEM ABOVE OR BEYOND
 - DASHED LINE & TONE INDICATES SOFFIT (LOWEDED CEILING) ABOVE, VERIFY HEIGHT W/ OWNER
 - WALL MOUNTED LIGHT, SEE LIGHT FIXTURE SCHEDULE & FIELD VERIFY LOCATION W/ OWNER
 - CEILING MOUNTED LIGHT, SEE LIGHT FIXTURE SCHEDULE & FIELD VERIFY LOCATION W/ OWNER
 - RECESSED LIGHT FIXTURE, FIELD VERIFY ALL LOCATION W/ OWNER
 - DOWNSPOUT
 - SPRINKLER HEAD, SEE SPRINKLER DRAWINGS
 - FIRE ALARM BELL
 - WALL SWITCH FOR BATH EXHAUST, USE HUMIDITY SENSOR SWITCH IN BATHROOMS WITH SHOWERS OR BATHTUBS
 - WALL SWITCH, FIELD VERIFY LOCATIONS AND GROUPING W/ OWNER
 - 110 VAC DUPLEX OUTLET, FIELD VERIFY LOCATIONS, HEIGHT AND QUANTITIES W/ OWNER
 - 110 VAC DUPLEX GFCI OUTLET, FIELD VERIFY LOCATIONS, HEIGHT W/ OWNER
 - 110 VAC DUPLEX OUTLET AT OUTDOOR "WET" LOCATION TO BE A LISTED "EXTRA DUTY" RECEPTACLE, FIELD VERIFY LOCATIONS, HEIGHT W/ OWNER
 - DATA OUTLET W/ PHONE AND COAXIAL CABLE, VERIFY W/ OWNER. AT TV LOCATIONS, PROVIDE FOR WALL MTD. INSTALL
 - COMBO SMOKE / CO DETECTOR, INTERCONNECTED, HARDWIRED & W/ BATTERY BACK-UP
 - GAS BIB FOR LAUNDRY, RANGE, FURNACE, WATER HEATER & FIREPLACE
 - HOSE BIB WITH ANTI-SIPHON DEVICE, FIELD VERIFY LOCATION W/ OWNER
 - DOORBELL, VERIFY REQTS W/ OWNER
 - THERMOSTAT, FIELD VERIFY LOCATION W/ OWNER
 - CEILING/WALL REGISTER FOR HVAC
 - EXTERIOR EXHAUST VENT, VERIFY STYLE AND FINISH AND FIELD VERIFY LOCATION W/ OWNER
 - DASH LINE INDICATES DUCT LOCATION, FIELD VERIFY LOCATION W/ OWNER
 - ELECTRICAL PANEL OR AV HOMERUN PANEL

SYMBOL/WALL LEGEND & GENERAL NOTES

MAP NO. 8
OF REGENTS PARK
BLOCK 14 (23 M 1)

LEGEND

()	RECORD DATA
—	BUILDING EDGE
▨	CONCRETE
—	SUBJECT PROPERTY
—	RIGHT OF WAY/ADJACENT LOT LINE
—	HISTORIC PARCEL/LOT LINE

OWNERS:
ROBERT E. NICHOLS
713 KEY ROUTE BOULEVARD
ALBANY, CA 94706

BASIS OF BEARINGS:
WESTERLY LINE OF SAN CARLOS AVENUE
AS SHOWN ON MAP NO. 8 OF REGENTS PARK (23 M 1)
BEARING: N02°05'00"E

NOTE:
EXISTING BUILDINGS SHOWN HEREON DEPICT FIELD SURVEYED
LOCATION AT GROUND LEVEL. MEASUREMENTS TAKEN AT EXTERIOR
FINISHED SIDING/TRIM - UNLESS OTHERWISE NOTED.
DISTANCES SHOWN IN US SURVEY FEET AND DECIMALS THEREOF.

SURVEYOR'S STATEMENT:
THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR
UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
THE CALIFORNIA LAND SURVEYORS ACT AT THE REQUEST OF STEVEN
CHAN IN JULY, 2022.



Ryan C. Engel
RYAN C. ENGEL, PLS 9022
DATE: 09/12/2022

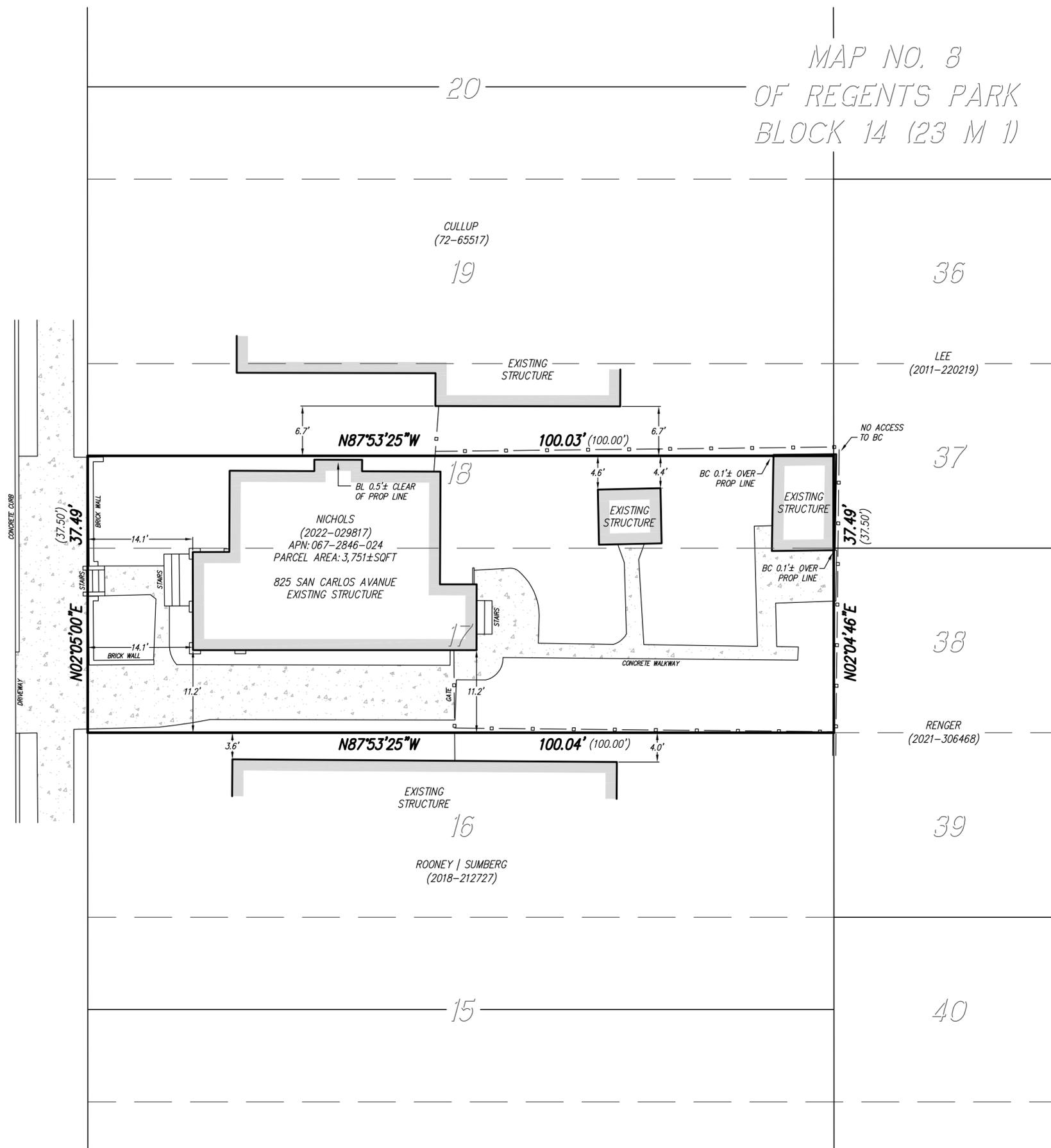
**BOUNDARY & FEATURE
LOCATION SURVEY**

LOT 17 AND THE SOUTHERN-HALF OF LOT 18
BLOCK 14, MAP NO. 8 OF REGENTS PARK (23 M 1)
CITY OF ALBANY, ALAMEDA COUNTY, CALIFORNIA
SEPTEMBER, 2022 SCALE: 1" = 10'

**BA
LS** BAY AREA LAND
SURVEYING INC

3065 RICHMOND PARKWAY, SUITE 101
RICHMOND, CA 94806
(510) 223-5167

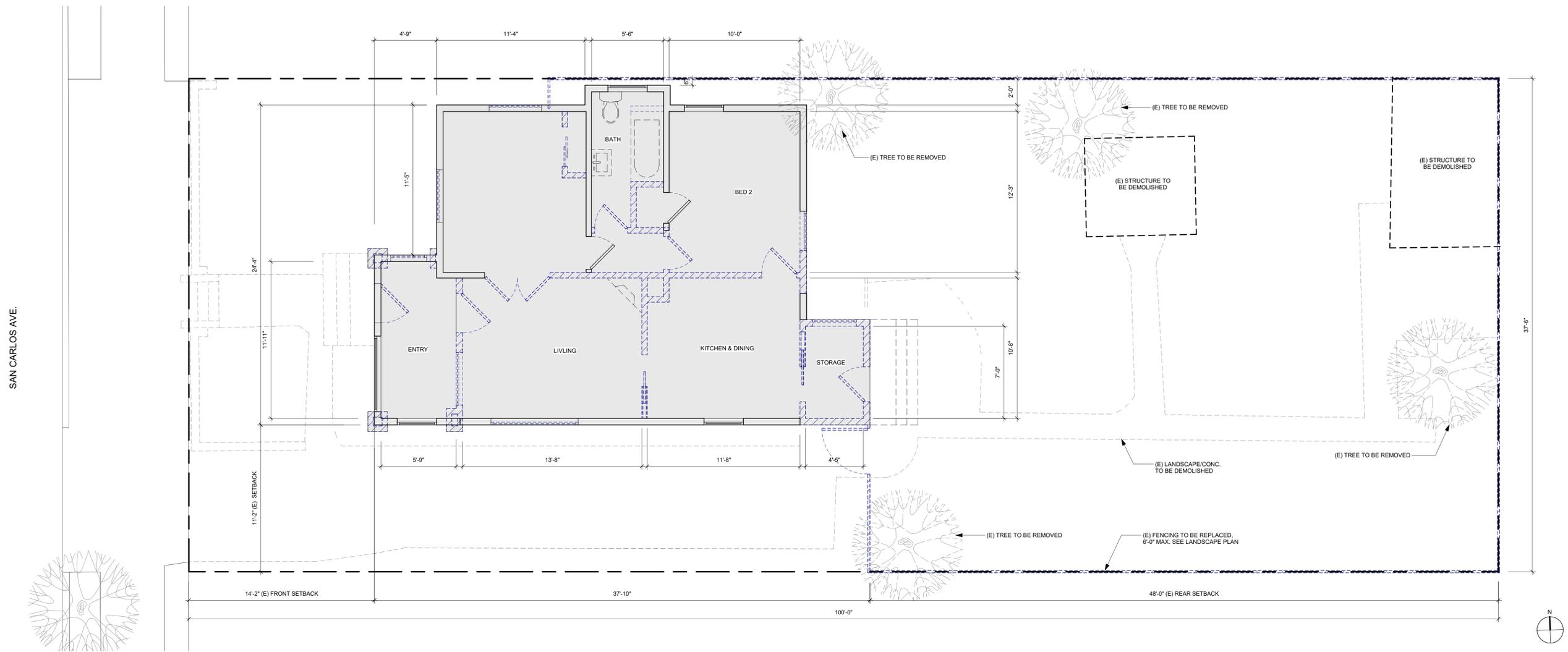
SAN CARLOS AVENUE 49.98' WIDE



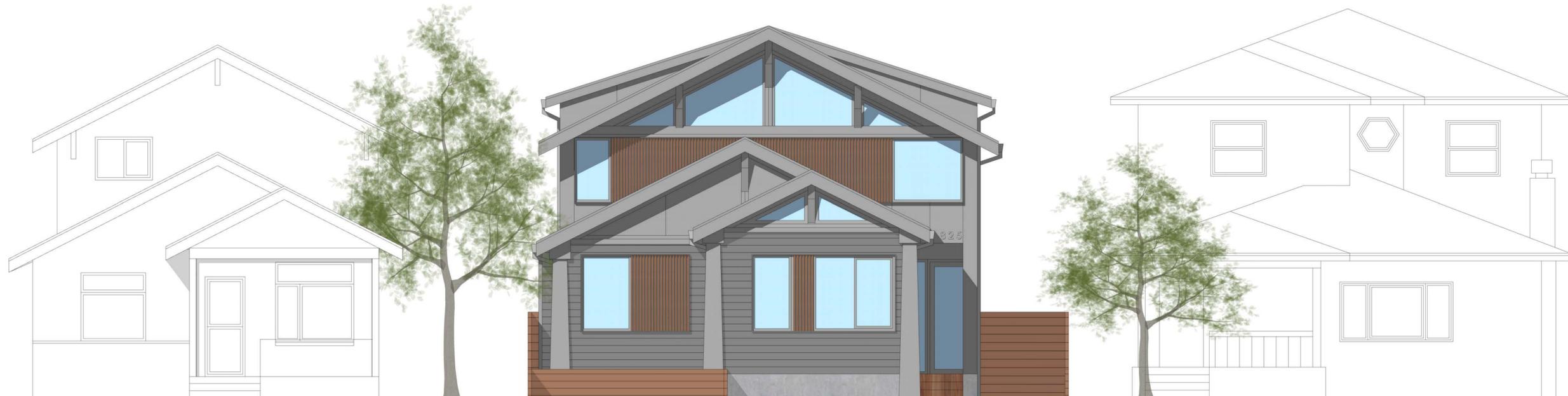
GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

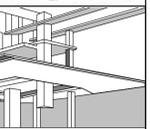


(2/ A2.0) EXISTING & DEMOLITION PLAN SCALE: 1/4" = 1'-0"



(1/A2.0) STREET ELEVATION

REVISIONS DATE



S T U D I O P A Z

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EXISTING & DEMOLITION PLAN

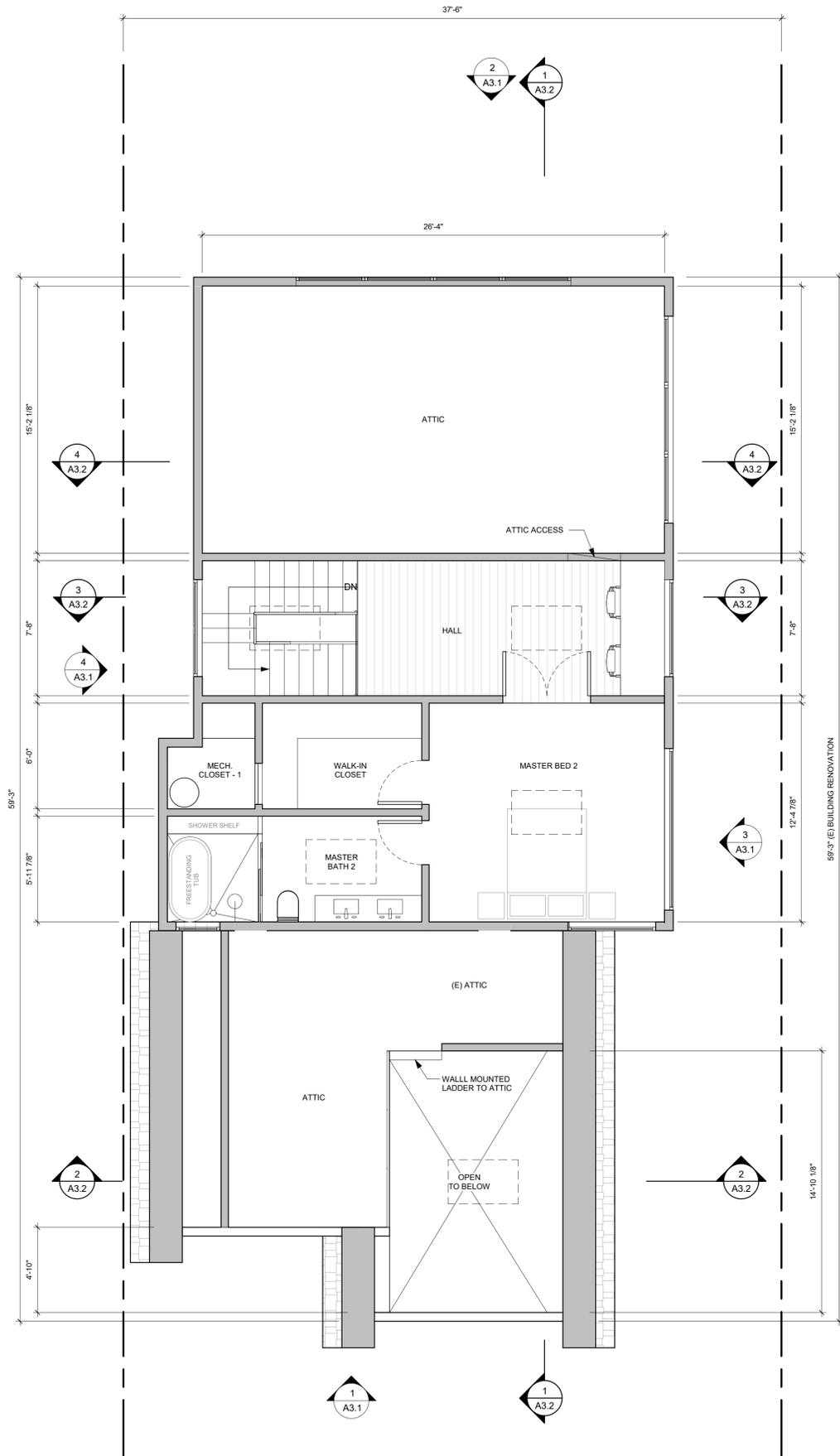
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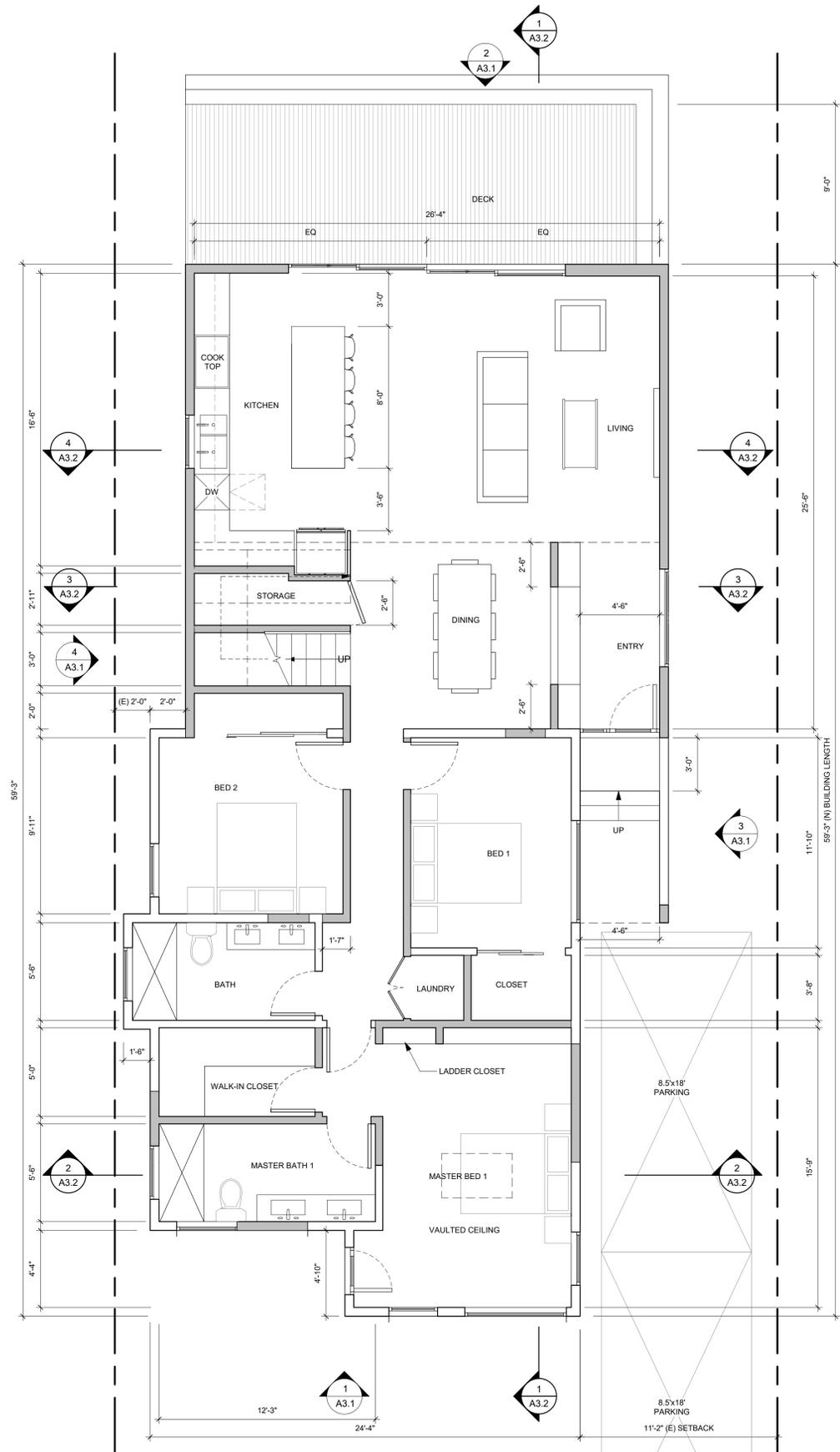
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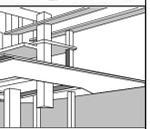
(2/ A2.1) 2ND FLOOR PLAN SCALE: 1/4" = 1'-0"



(1/ A2.1) 1ST FLOOR PLAN SCALE: 1/4" = 1'-0"



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PROPOSED FLOOR PLANS

Date 10/17/2022

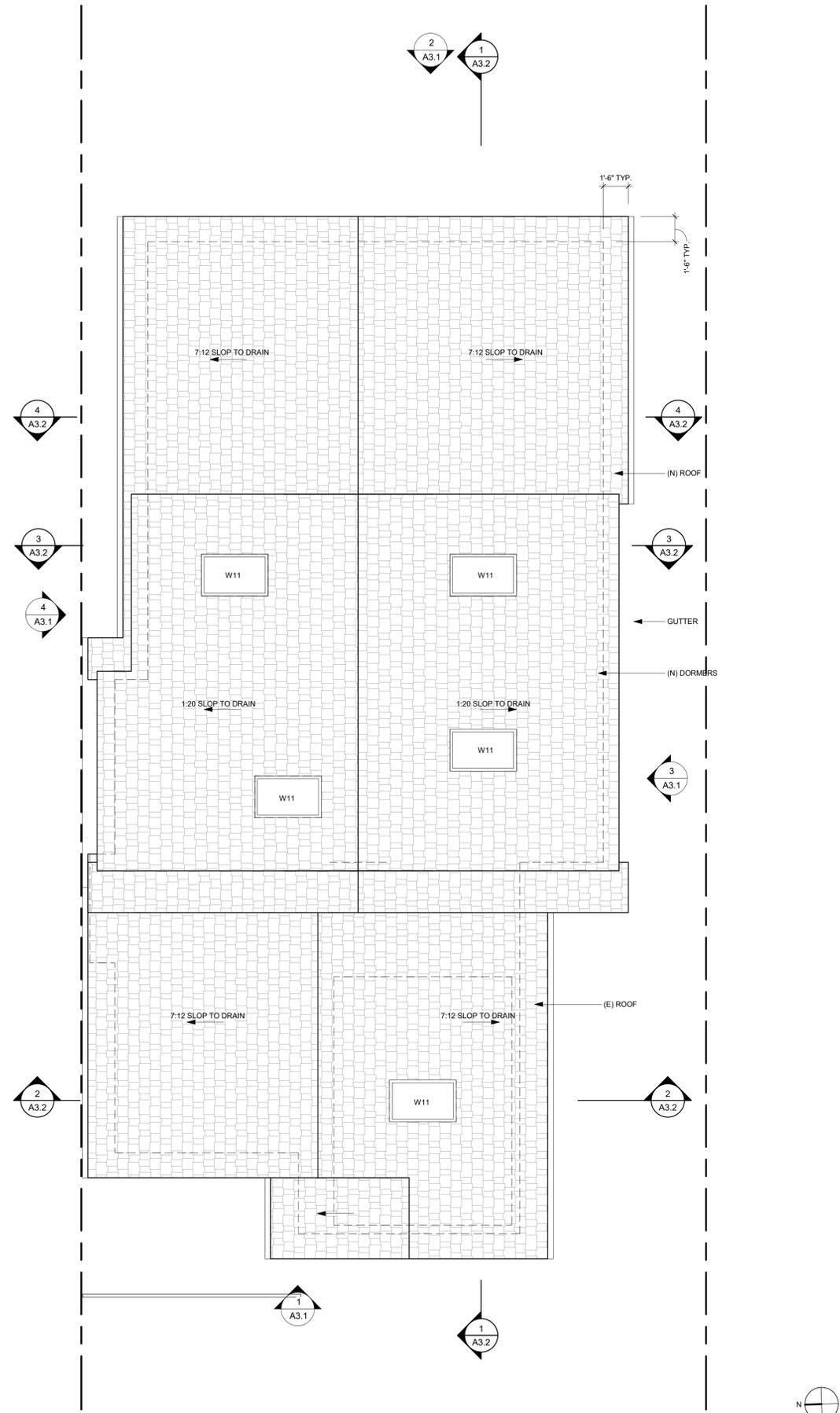
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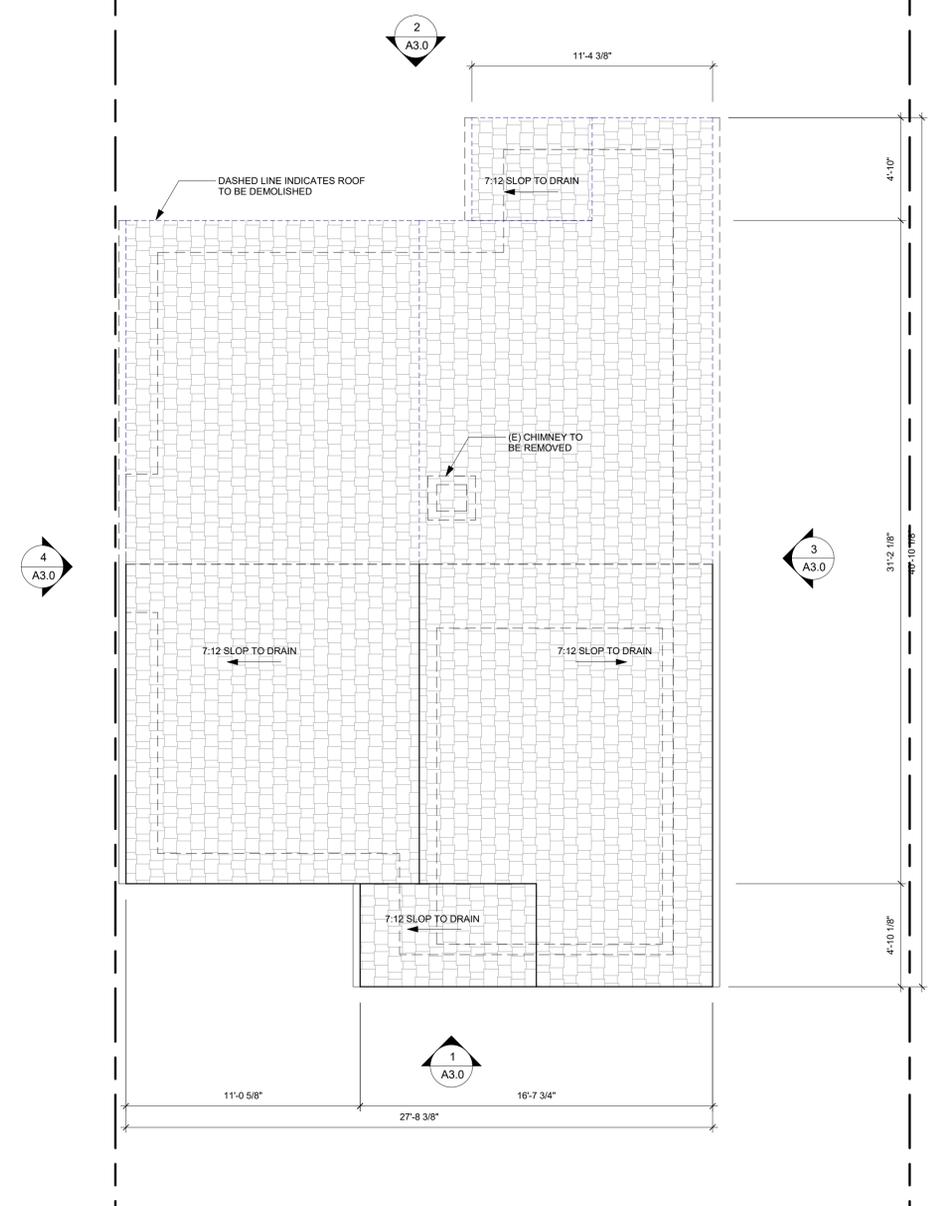
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S T U D I O P A Z



(2/ A2.2) PROPOSED ROOF PLAN SCALE: 1/4" = 1'-0"



(1/ A2.2) EXISTING ROOF PLAN SCALE: 1/4" = 1'-0"

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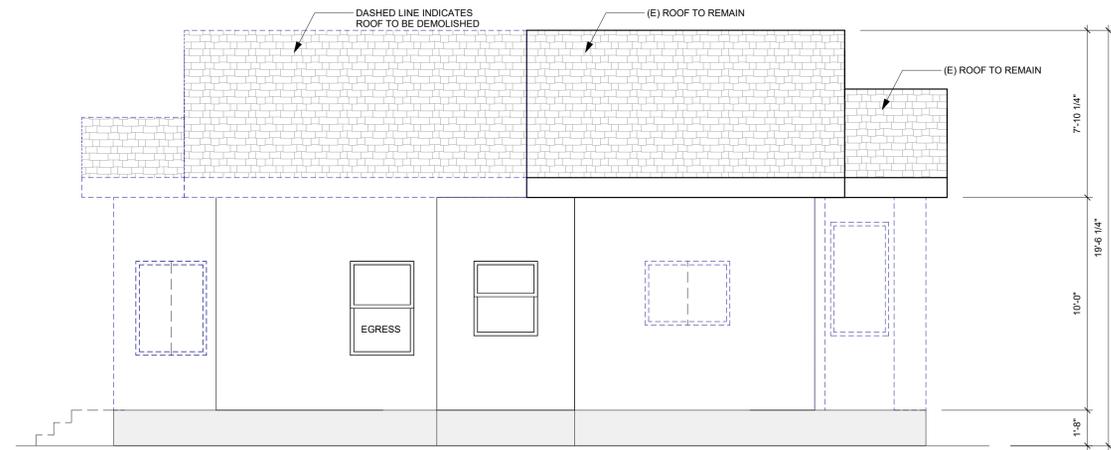
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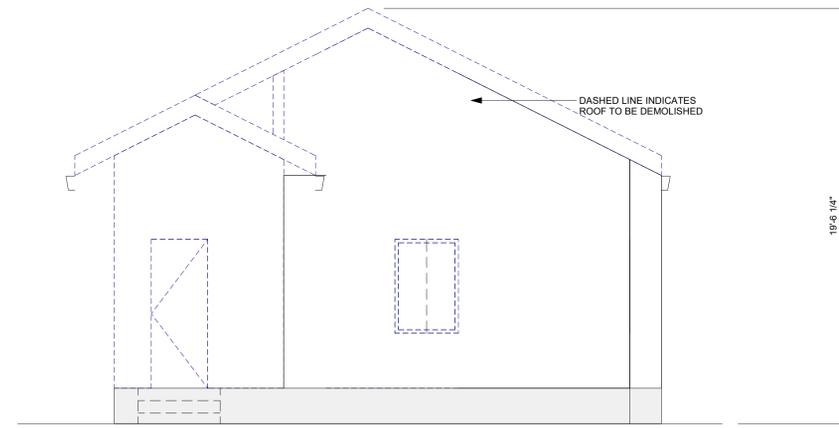
EXISTING AND PROPOSED ROOF PLANS

Date 10/17/2022
 Scale
 Drawn HJ
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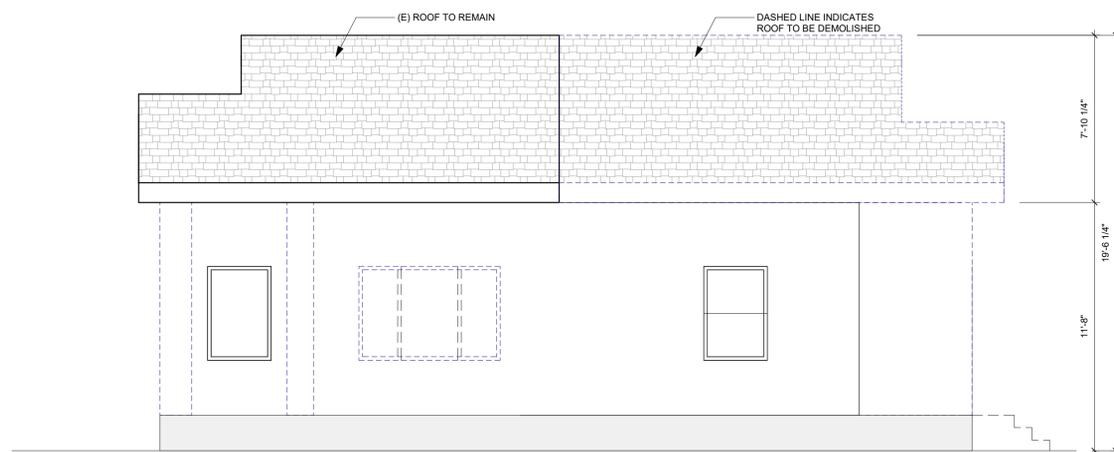
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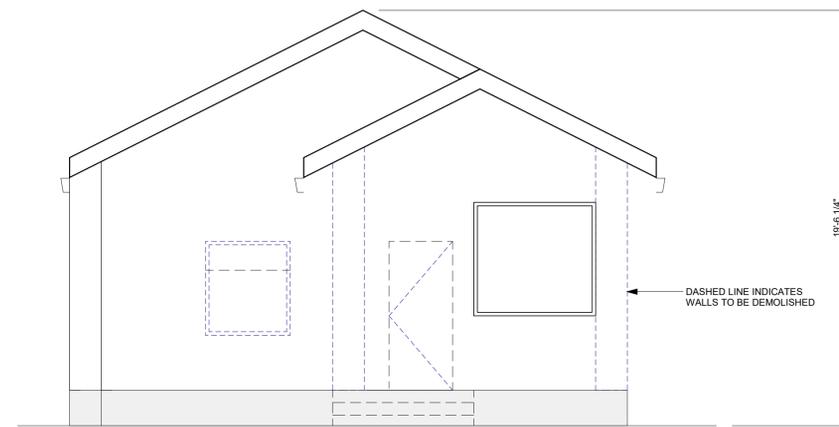
(4/ A3.0) EXISTING NORTH ELEVATION SCALE: 1/4" = 1'-0"



(2/ A3.0) EXISTING EAST ELEVATION SCALE: 1/4" = 1'-0"

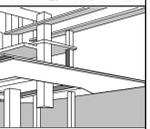


(3/ A3.0) EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0"



(1/ A3.0) EXISTING WEST ELEVATION SCALE: 1/4" = 1'-0"

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PLANNING SET

EXISTING BUILDING ELEVATIONS

Date 10/17/2022

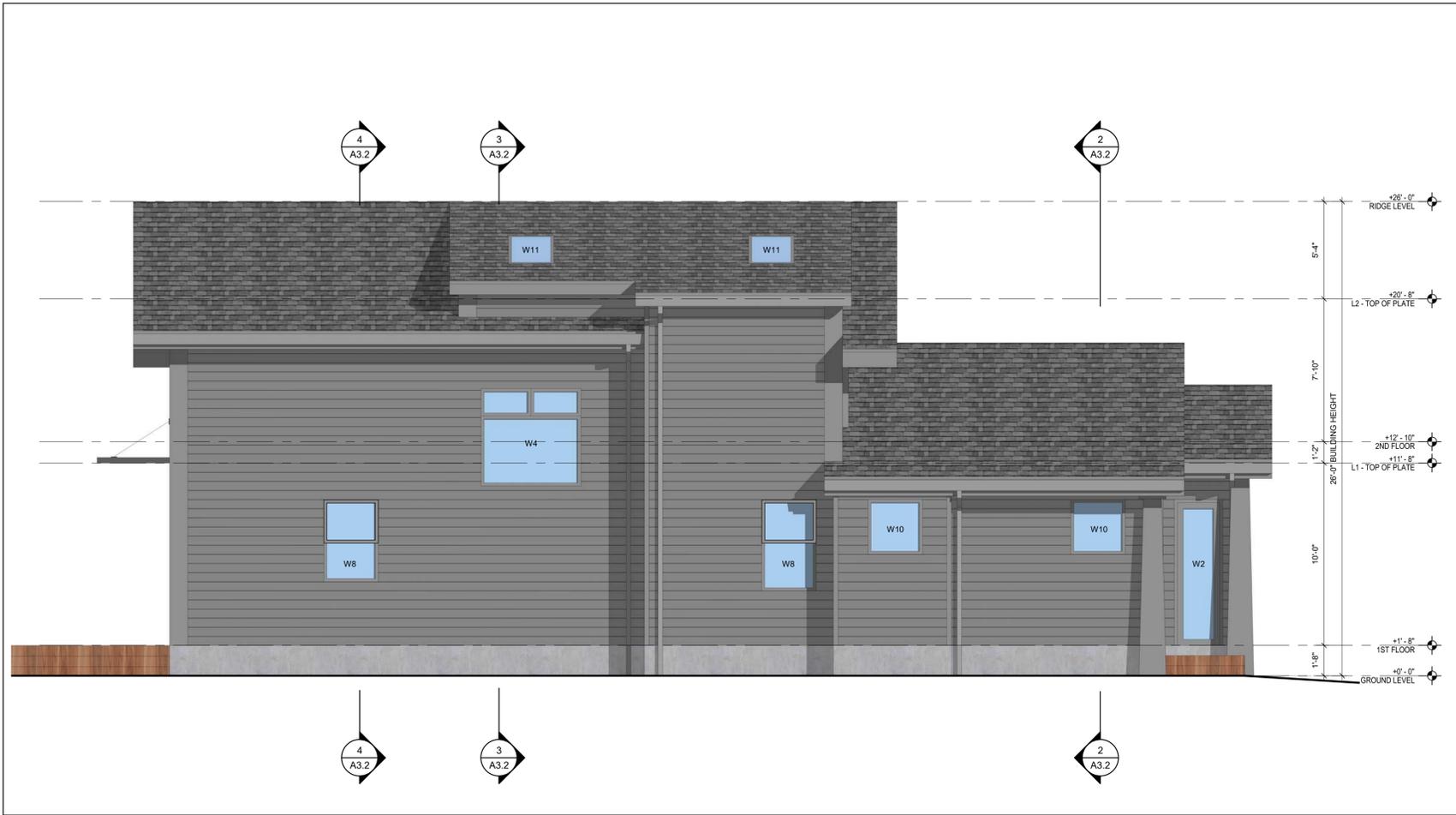
Scale

Drawn HJ

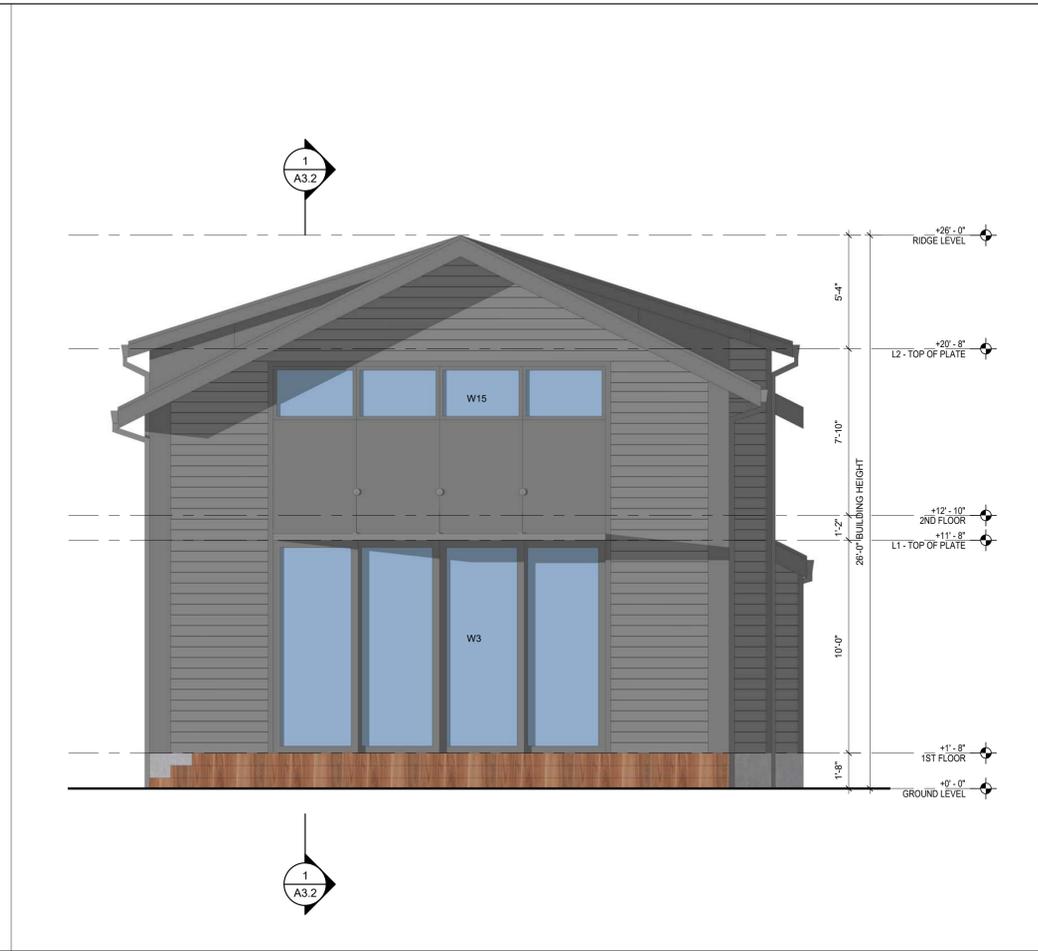
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A3.0

S T U D I O P A Z



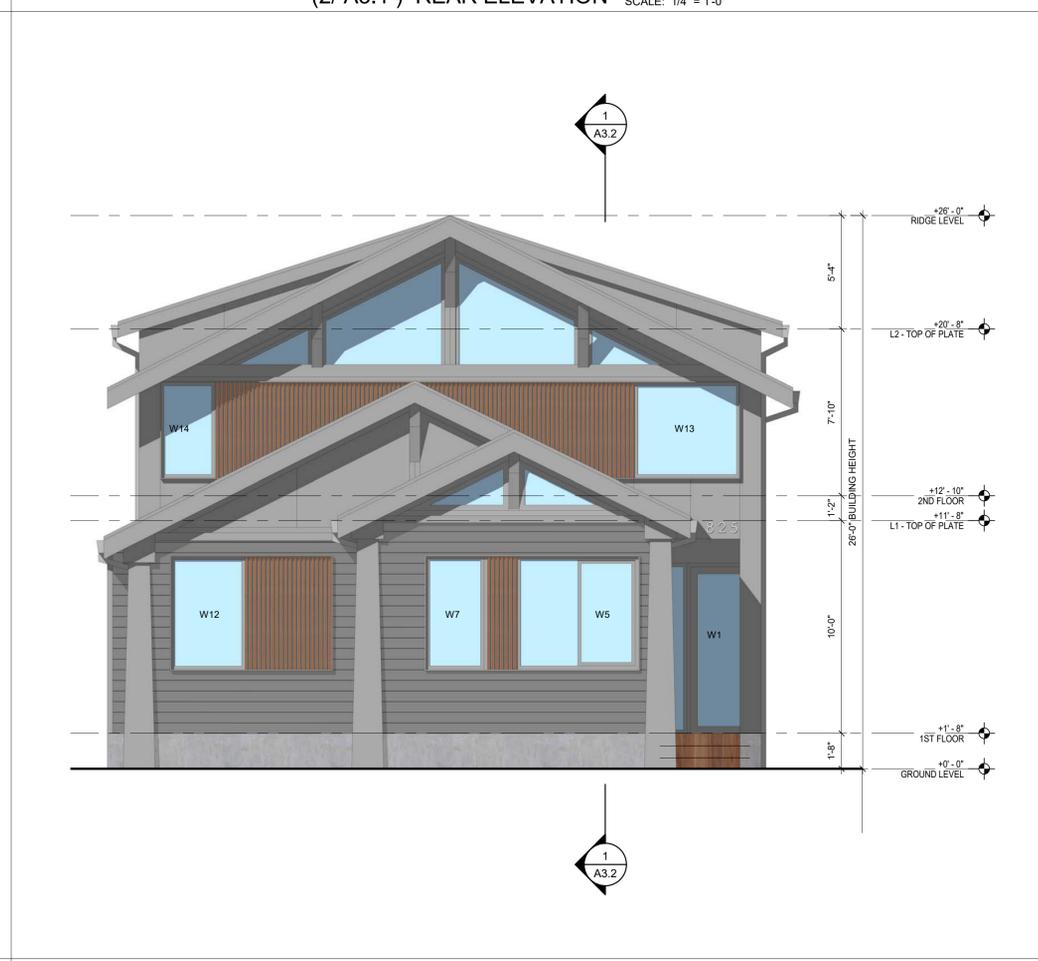
(4/ A3.1) NORTH ELEVATION SCALE: 1/4" = 1'-0"



(2/ A3.1) REAR ELEVATION SCALE: 1/4" = 1'-0"

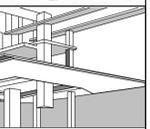


(3/ A3.1) SOUTH ELEVATION SCALE: 1/4" = 1'-0"



(1/ A3.1) FRONT ELEVATION SCALE: 1/4" = 1'-0"

REVISIONS DATE



ARCHITECT: SANDY CHAN
 160 MOSS WAY
 OAKLAND, CA 94611
 415 819 4811 • S.STUDIOPAZ@GMAIL.COM

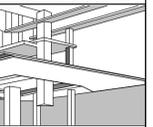
825 SAN CALOS AVE. RESIDENCE
 825 SAN CALOS AVE.
 ALBANY, CA 94706

PROPOSED BUILDING ELEVATIONS

Date 10/17/2022
 Scale
 Drawn HJ
 Sheet

A3.1

S T U D I O P A Z



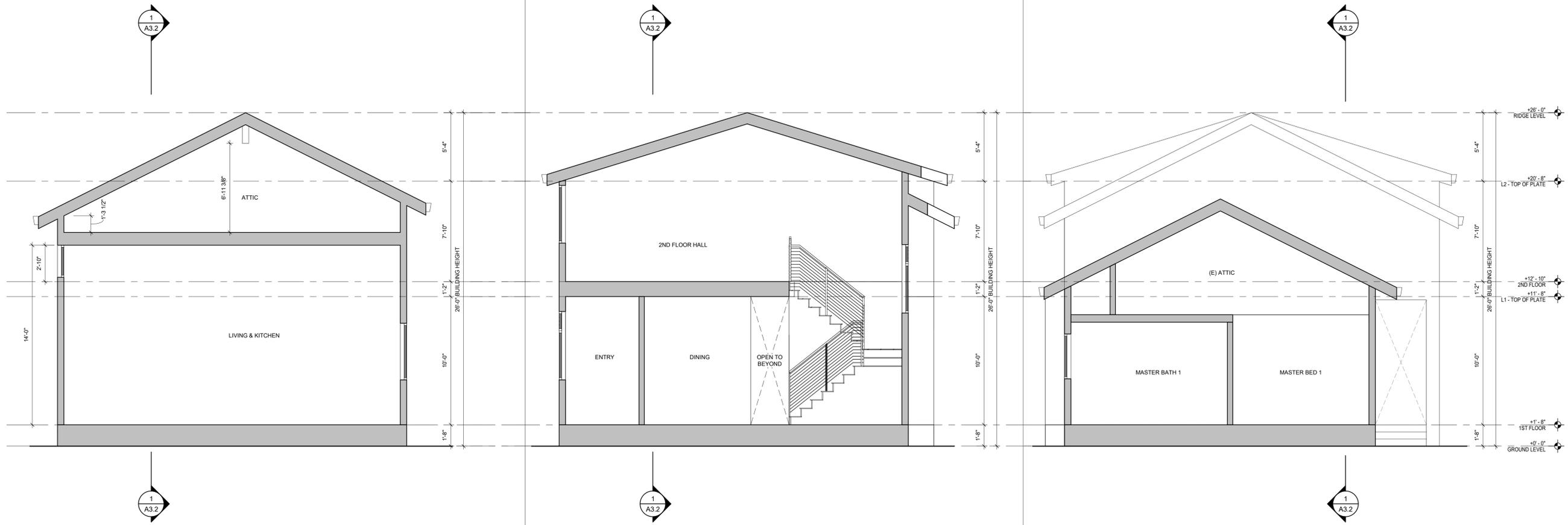
S T U D I O P A Z
 ARCHITECT: SANDY CHAN
 160 MOSS WAY
 OAKLAND, CA 9461
 415.819.4811 • S.STUDIOPAZ@GMAIL.COM

825 SAN CALOS AVE. RESIDENCE
 825 SAN CALOS AVE.
 ALBANY, CA 94706
PLANNING SET

BUILDING SECTIONS

Date 10/17/2022
 Scale
 Drawn HJ
 Sheet

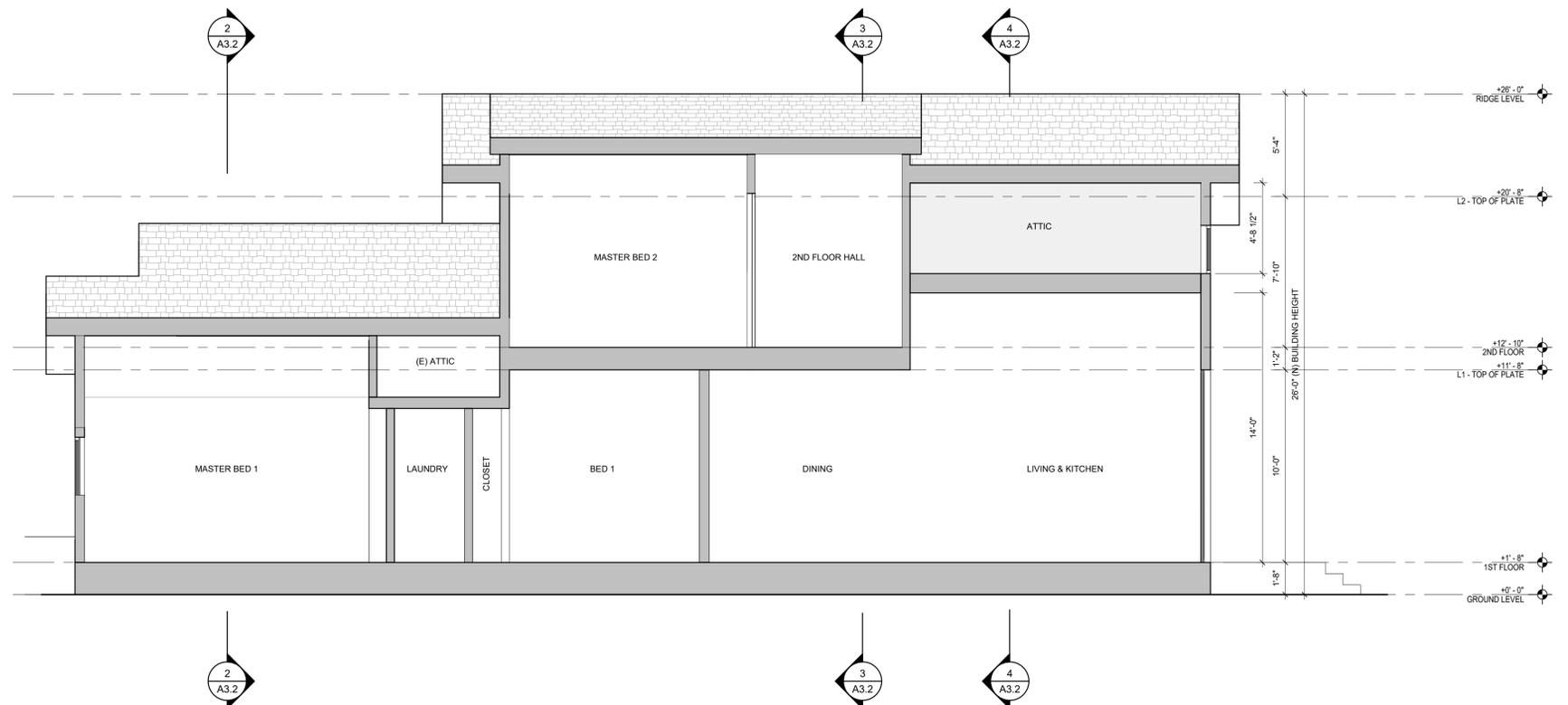
A3.2



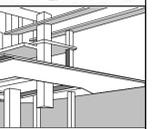
(4/ A3.2) SECTION 4 SCALE: 1/4" = 1'-0"

(3/ A3.2) SECTION 3 SCALE: 1/4" = 1'-0"

(2/ A3.2) SECTION 2 SCALE: 1/4" = 1'-0"



(1/ A3.2) SECTION 1 SCALE: 1/4" = 1'-0"

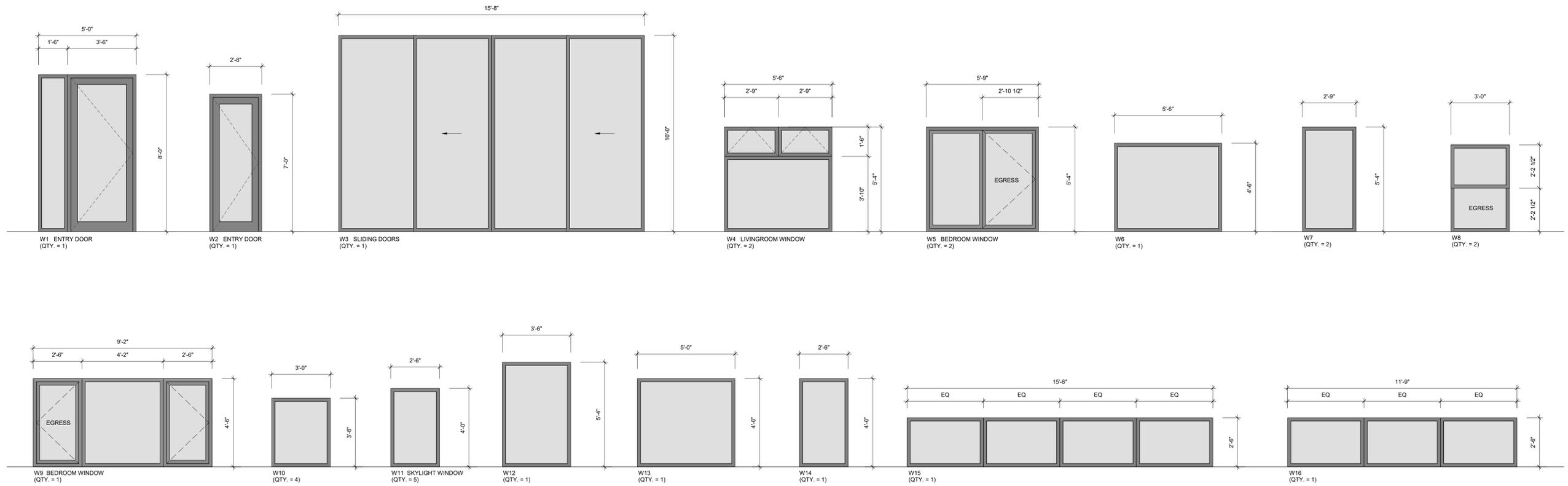


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 S T U D I O P A Z

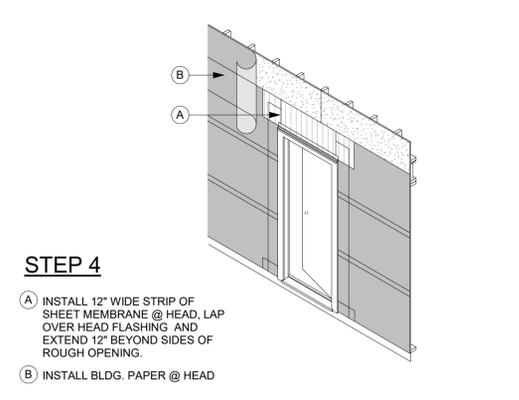
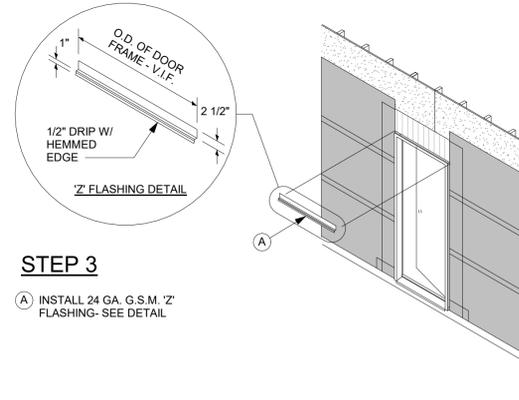
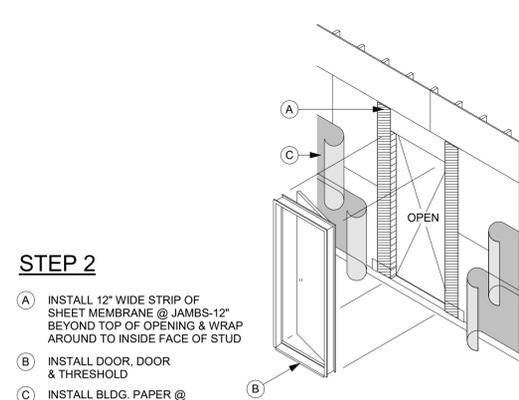
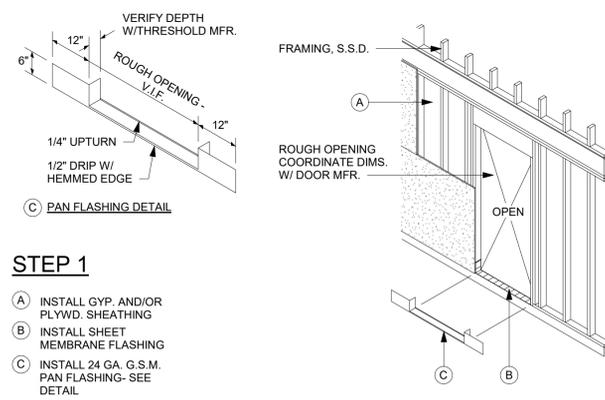
825 SAN CALOS AVE. RESIDENCE
 825 SAN CALOS AVE.
 ALBANY, CA 94706
 PLANNING SET

EXTERIOR WINDOW SCHEDULE AND INSTALLATION DETAILS

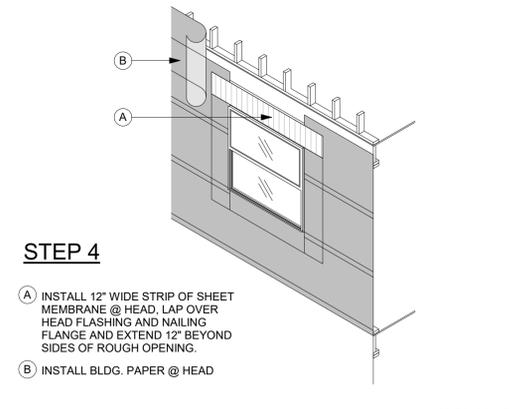
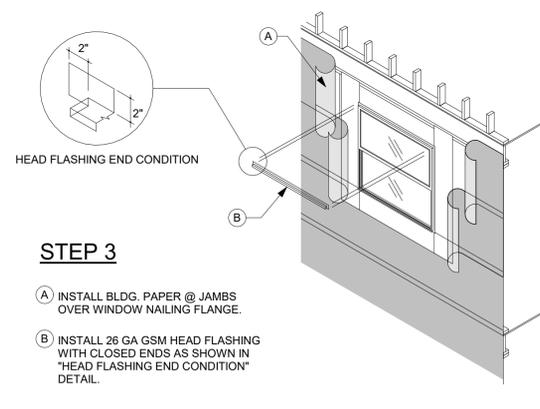
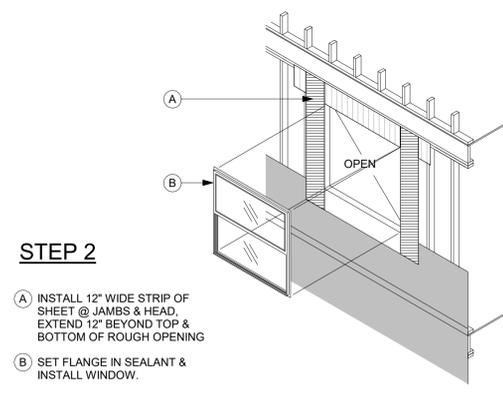
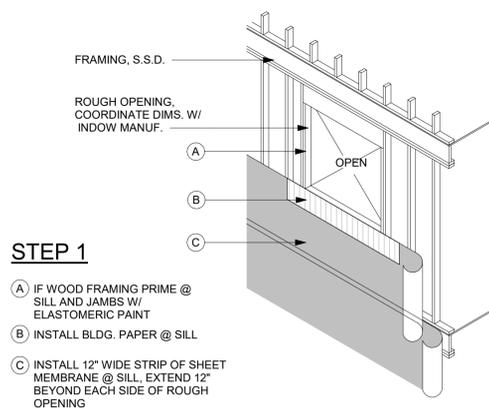
Scale
 Drawn HJ
 Sheet



EXTERIOR WINDOW AND DOOR SCHEDULE



TYP. EXTERIOR DOOR INSTALLATION

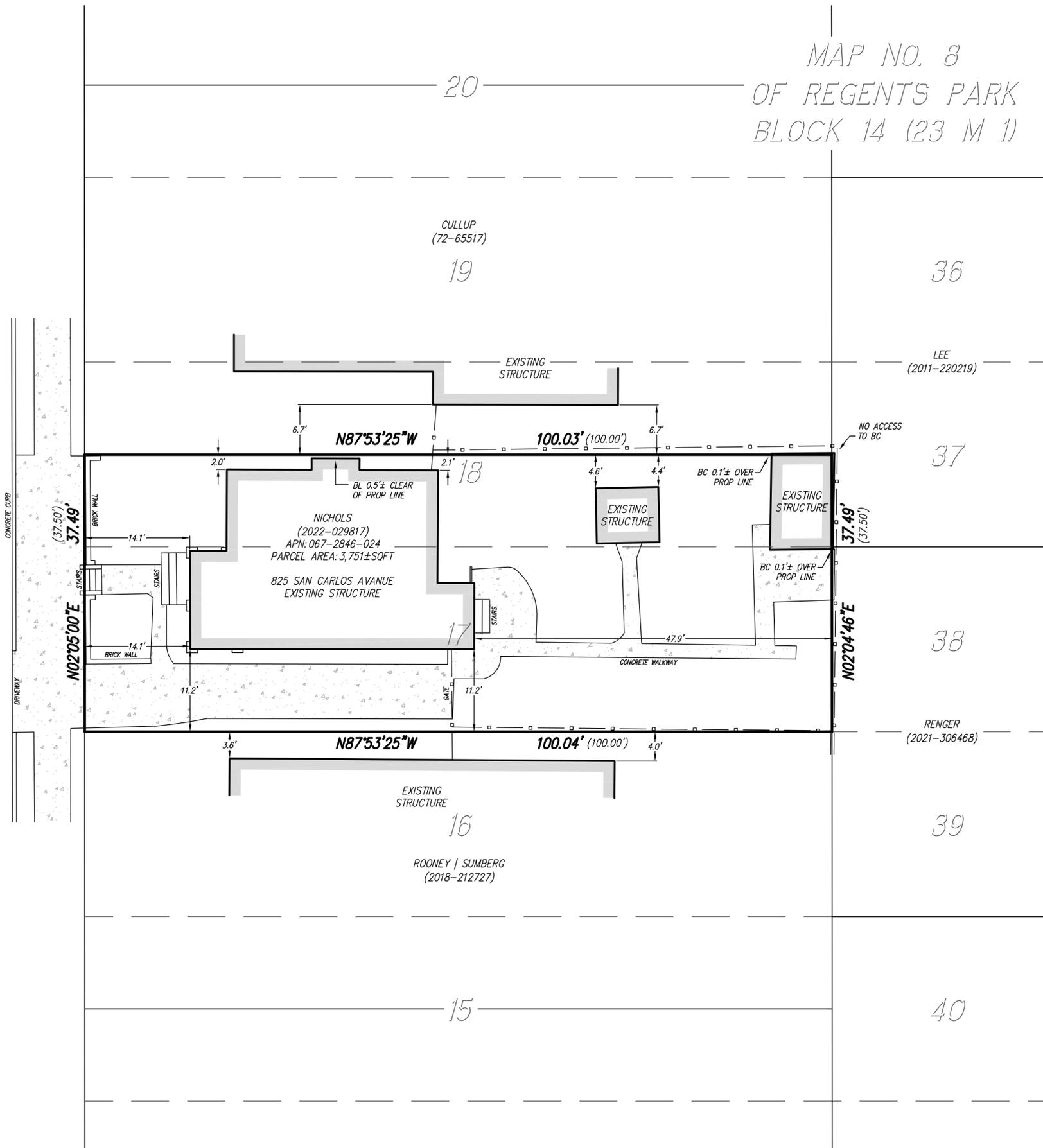


TYP. WINDOW INSTALLATION



SAN CARLOS AVENUE 49.98' WIDE

MAP NO. 8
OF REGENTS PARK
BLOCK 14 (23 M 1)



LEGEND

()	RECORD DATA
—	BUILDING EDGE
▨	CONCRETE
—	SUBJECT PROPERTY
—	RIGHT OF WAY/ADJACENT LOT LINE
—	HISTORIC PARCEL/LOT LINE

OWNERS:
ROBERT E. NICHOLS
713 KEY ROUTE BOULEVARD
ALBANY, CA 94706

BASIS OF BEARINGS:
WESTERLY LINE OF SAN CARLOS AVENUE
AS SHOWN ON MAP NO. 8 OF REGENTS PARK (23 M 1)
BEARING: N02°05'00\"E

NOTE:
EXISTING BUILDINGS SHOWN HEREON DEPICT FIELD SURVEYED
LOCATION AT GROUND LEVEL. MEASUREMENTS TAKEN AT EXTERIOR
FINISHED SIDING/TRIM - UNLESS OTHERWISE NOTED.
DISTANCES SHOWN IN US SURVEY FEET AND DECIMALS THEREOF.

SURVEYOR'S STATEMENT:
THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR
UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
THE CALIFORNIA LAND SURVEYORS ACT AT THE REQUEST OF STEVEN
CHAN IN JULY, 2022.



RC
RYAN C. ENGEL, PLS 9022
DATE: 09/12/2022

BOUNDARY & FEATURE LOCATION SURVEY

LOT 17 AND THE SOUTHERN-HALF OF LOT 18
BLOCK 14, MAP NO. 8 OF REGENTS PARK (23 M 1)
CITY OF ALBANY, ALAMEDA COUNTY, CALIFORNIA
SEPTEMBER, 2022 SCALE: 1" = 10'

BA BAY AREA LAND
LS SURVEYING INC

3065 RICHMOND PARKWAY, SUITE 101
RICHMOND, CA 94806
(510) 223-5167

