

GENERAL NOTES

BUILDING:

- MINIMUM CEILING HEIGHT IS 7'-6" CLEAR, FROM FINISH FLOOR TO THE FINISHED CEILING.
- INSULATION IS REQUIRED TO BE INSTALLED IN ALL WALLS, FLOORS AND CEILINGS OPEN FOR CONSTRUCTION BETWEEN HABITABLE SPACE AND NON-HABITABLE SPACE, SUCH AS EXTERIORS, GARAGES, CRAWL SPACES AND ATTICS. TYPE OR INSULATION REQUIRED:
WALLS: 2x4 R-13 OR 2x6 R-19
CEILING: R-30
FLOOR: R-19
- A MODIFIED 1-HR WALL IS REQUIRED BETWEEN THE GARAGE AND THE BATH. THE GARAGE-SIDE SHEETROCK SHALL BE MINIMUM 5/8" TYPE-X.
- DOOR OPENING TO GARAGES MUST BE A MINIMUM OF 1 3/4" SOLID CORE, SELF-CLOSING AND SELF-LATCHING. THE DOOR MUST SEAL ON ALL FOUR EDGES. DOORS SHALL NOT SWING OVER STEPS OR LANDINGS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR, THE NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET MINIMUM (GRADE FLOOR OPENINGS MAY HAVE A NET CLEAR OPENING OF 5.0 SQUARE FEET MINIMUM), THE NET CLEAR HEIGHT SHALL BE 24 INCHES MINIMUM, AND THE NET CLEAR WIDTH SHALL BE 20 INCHES MINIMUM.
- WINDOWS WITHIN THE TUB/SHOWER ENCLOSURE AND THE BOTTOM EXPOSED EDGE IS LESS THAN 60-INCHES ABOVE THE DRAIN INLET SHALL BE SAFETY GLAZING.
- MATERIAL APPROVED FOR USE WITHIN THE TUB OR SHOWER COMPARTMENT SHALL BE CEMENT BOARD, FIBER CEMENT OR GLASS MAT OVER A MOISTURE BARRIER AND WITH AN ANTI-CORROSION-RESISTANT FASTENERS. NO GYPSUM PRODUCTS. EXCEPTION: INSTALLATION OF MOLDED ONE PIECE ENCLOSURES MAY BE INSTALLED OVER MOISTURE RESISTANT GYPSUM BOARD.
- SMOKE DETECTORS WILL BE REQUIRED.
- CARBON MONOXIDE ALARM IS REQUIRED IN ALL AREAS LEADING INTO THE BEDROOM AND ON EVERY FLOOR.
- PROVIDE SEISMIC STRAPPING TO FRAMING FOR WATER HEATER AND FURNACES. HABITABLE SPACES SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR ON A DESIGN HEATING DAY.
- ALL EXPOSED WOOD MEMBERS SHALL BE PRESSURE TREATED WOOD OR REDWOOD.
- ALL HARDWARE AND FASTENER EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED.

ELECTRICAL:

- A DEDICATED BATHROOM CIRCUIT IS REQUIRED. MULTIPLE BATHS ON THE SAME CIRCUIT IS ALLOWED. ALL RECEPTACLES SHALL BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
- A MINIMUM OF TWO 20 AMP DEDICATED KITCHEN COUNTER CIRCUITS ARE REQUIRED. ALL KITCHEN COUNTER RECEPTACLE OUTLETS SHALL BE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTED. THE COUNTER TOP CIRCUITS CAN ONLY BE SHARED WITH THE DINING ROOM OR PANTRY, DISHWASHERS, GARAGE DISPOSALS, INSTA-HOTS, COMPACTORS, BUILT IN MICROWAVE OVENS, AND THE KITCHEN LIGHTING SHALL NOT BE ON THE SAME ELECTRICAL CIRCUITS.
- RECEPTACLES SHALL BE LOCATED SO NO APPLIANCE WILL BE FURTHER THAN 2' FROM ANY RECEPTACLE OUTLET. (4' MAX APART LOCATED ON ALL COUNTERTOPS. COUNTER TOPS WIDER THAN 12" REQUIRE RECEPTACLE OUTLETS).
- THE RECEPTACLES MAY NOT BE LOCATED MORE THAN 12" BELOW THE COUNTER SURFACE AND OR BELOW A COUNTER THAT EXTENDS MORE THAN 6" BEYOND A CABINET'S END.
- THE MAXIMUM LENGTH OF ELECTRICAL CORDS FOR A GARBAGE DISPOSAL IS 36" AND A DISHWASHERS REQUIRE HANDLE TIE-BARS ON THE BREAKER IN THE ELECTRICAL SERVICE PANEL.
- AT LEAST HALF THE RATED WATTAGE OF LIGHT FIXTURES (NOT THE NUMBER OF FIXTURES) IN KITCHENS SHALL BE HIGH EFFICACY LIGHT FIXTURES OTHER THAN HIGH EFFICACY SHALL BE SWITCHED SEPARATELY. HOOKS NOT CLASSIFIED AS PART OF KITCHEN WHEN SEPARATELY SWITCHED.
- THE MAIN LIGHTING SOURCE SHALL BE FROM A HIGH EFFICACY LIGHT FIXTURE OR CONTROLLED BY A MANUAL ON/OFF OCCUPANCY SENSOR SWITCH.
- ALL 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARSLOS, LIBRARIES, DEN, BEDROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF BRANCH CIRCUIT.
- IN ALL HABITABLE AREAS, HALLWAYS, KITCHEN, BATHROOMS, GARAGES, AND AREA OUTSIDE OF THE RESIDENCE, ALL 120 VOLT, 15- AND 20- AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- ALL WIRING SHALL BE COPPER (DCMC 15.20.060).
- ALL OUTLETS LOCATED LESS THAN 6" ABOVE THE FLOOR SHALL BE TAMPER RESISTANT RECEPTACLES (CEC 406.12).

PLUMBING:

- TOILETS SHALL HAVE A MINIMUM OF 30-INCHES CLEAR SPACE AND A MINIMUM OF 24-INCHES CLEAR SPACE IN FRONT. NEW TOILET MUST BE WATER CONSERVING 1.28 GALLON.
- SHOWER COMPARTMENTS SHALL HAVE A MINIMUM OF 1024 SQ INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30-INCHES CIRCLE TO A HEIGHT AT LEAST 72-INCHES ABOVE THE THRESHOLD. VALVES, SHOWERHEAD, SOAP DISH AND SHELVES MAY PROTRUDE INTO THIS SPACE.
- JOB-FORMED SHOWER PAN LINER MUST SLOPE 1/4-INCHES PER FOOT TO WEEP HOLES IN DRAIN, AND INSPECTED UNDER TEST PRIOR TO COVERING.
- SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE.
- SHOWER DOOR SHALL OPEN OUTWARD AND SHALL BE MINIMUM 22-INCHES WIDE.
- ALL NEW GAS PIPING SHALL BE SIZED TO SUFFICIENT GAS TO THE APPLIANCES. THE GAS PIPING SHALL BE TESTED WITH 10 LBS OF AIR PRESSURE FOR A MINIMUM OF 15 MINUTES.
- ALL OVEN AND STOVE GAS VALVES SHALL BE READILY ACCESSIBLE AND BE WITHIN 5' OF THE APPLIANCE. FLEXIBLE GAS CONNECTORS MAY NOT BE CONCEALED OR PASS THROUGH ANY FLOOR, WALL PARTITION, CEILING OR APPLIANCE HOUSING.
- AN AIR-GAP ABOVE THE SINK RIM SHALL BE INSTALLED BETWEEN THE DISHWASHER DRAINPIPE AND THE GARBAGE DISPOSAL INLET.
- A PRESSURE-ABSORBING DEVICE (WATER HAMMER ARRESTOR) SHALL BE INSTALLED BEFORE THE DISHWASHER ANGLE-STOP. THE DEVICE SHALL BE AN AIR-CHAMBER OR APPROVED MECHANICAL DEVICE.

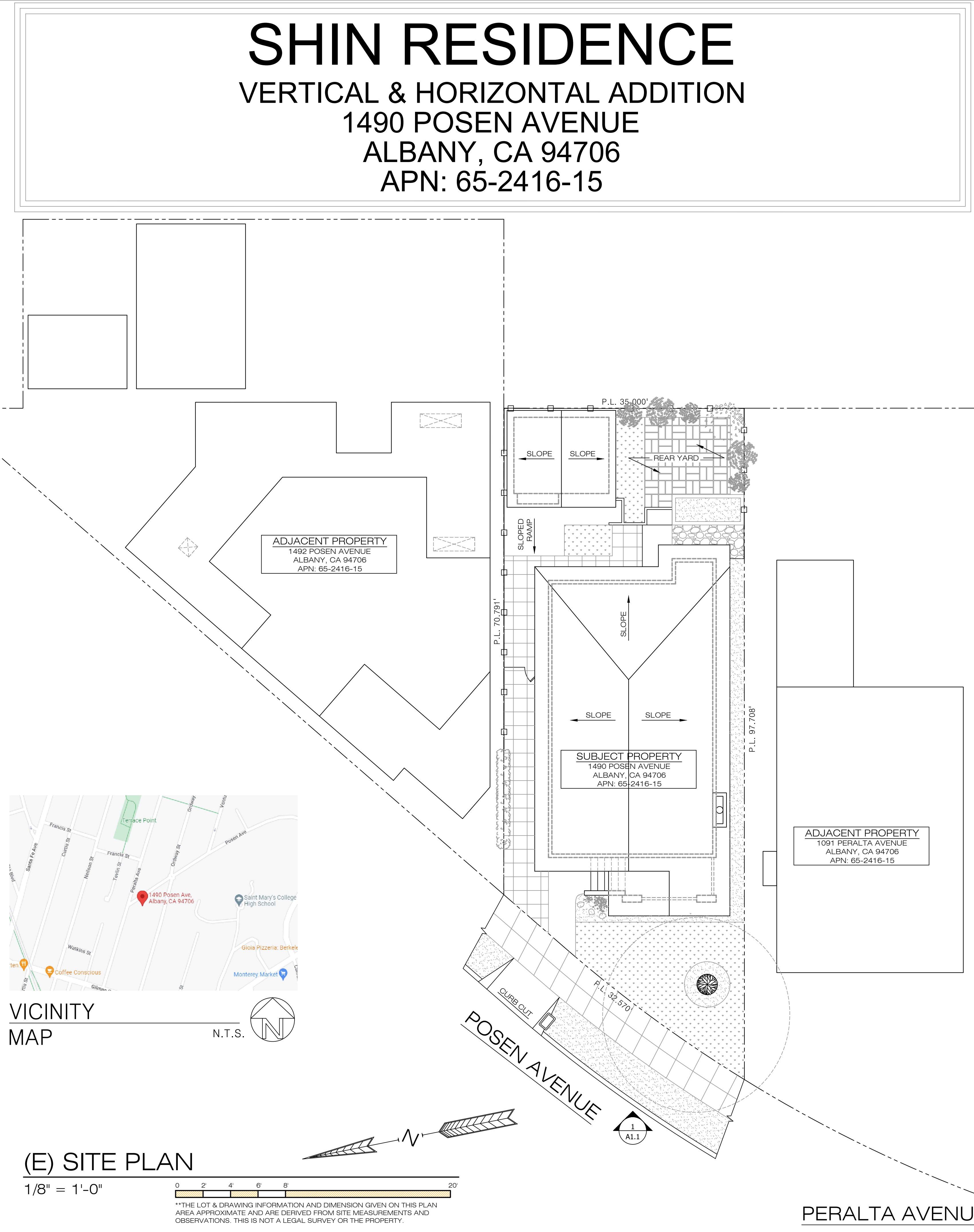
MECHANICAL:

- BACK DRAFT DAMPERS ARE REQUIRED ON VENTILATION SYSTEMS EXHAUSTING TO EXTERIOR.
- DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET INCLUDING TWO 90° ELBOWS. TERMINATION OF THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING.
- MECHANICAL VENTILATION WILL BE REQUIRED. FAN EXHAUST SHOULD BE 3- FEET FROM BUILDING OPENINGS AND PROXY LINES FOR NATURAL VENTILATION. AN OPERABLE WINDOW MINIMUM 3 SQ. FEET IN 15 SQ. FEET IN VENT AREA.
- A MINIMUM VERTICAL CLEARANCE OF 30" IS REQUIRED ABOVE A RANGE OR COOK TOP TO COMBUSTIBLE MATERIALS, AND A MINIMUM VERTICAL CLEARANCE OF 24" ABOVE A RANGE OR COOK TOP TO A BUILT-IN MICROWAVE OVEN IS REQUIRED.
- MECHANICAL VENTILATION IS REQUIRED IN THE KITCHEN IF OPERABLE WINDOWS OR OPERABLE SKYLIGHTS WITH A NET CLEAR OPENING OF AT LEAST 4% OF THE FLOOR AREA IS NOT PROVIDED, OR ADEQUATE VENTILATION CANNOT BE OBTAINED FROM AN ADJOINING ROOM.
- BATHROOM EXHAUST FAN TO BE "ENERGY STAR" COMPLIANT (CGBC 4.106.1).
- CLOTHES WASHERS SHALL HAVE A WATER FACTOR EQUAL TO OR LESS THAN 6.0 (DCMC 15.20.070).
- DISHWASHERS SHALL USE LESS THAN 6.5 GALLONS PER CYCLE, OR BE ENERGY STAR QUALIFIED (DCMC 15.20.070).


SPRINKLER

THE BUILDING IS NOT PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM. FIRE PROTECTION SYSTEM AND ANY ALTERATION TO THE FIRE PROTECTION SYSTEM WILL BE DEFERRED UNDER SEPARATE PERMITS IF REQUIRED.

PROPERTY INFORMATION			
ADDRESS:	1490 POSEN AVENUE ALBANY, CA 94706 65-2416-15		
APN:	65-2416-15		
CONSTRUCTION TYPE:	V-B		
ZONING:	R-1 SINGLE FAMILY		
OCCUPANCY:	R-3		
PARCEL AREA:	= 3,049 SQ. FT.		
EXISTING CONDITIONS:			
GROSS FLOOR AREA:	= 994 SQ.FT.		
LOT COVERAGE:	= 1,282 SQ.FT. (42.05%)		
FLOOR AREA RATIO:	=32.27%		
PROPOSED CONDITIONS:			
GROSS FLOOR AREA:	= 1,632 SQ.FT.		
LOT COVERAGE:	= 1,332 SQ.FT. (43.09%)		
FLOOR AREA RATIO:	=53.53%		
APPLICABLE CODE			
2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA GREEN BUILDING STANDARD CODE			
SCOPE OF WORK			
VERTICAL ADDITION AND REAR HORIZONTAL ADDITION OF 648 SQ. FT.			
LIST OF DRAWINGS			
A1.0	COVER SHEET, SITE PLAN, GENERAL NOTES, VICINITY MAP, LEGEND, PROJECT INFO, SCOPE OF WORK		
A1.1	SITE PLAN, PHOTOGRAPH, ADDITION DIAGRAM		
A1.2	BOUNDARY SURVEY		
A1.3	TOPOGRAPHIC SURVEY		
A2.0	FLOOR PLAN, DEMOLITION PLAN		
A2.1	FLOOR PLAN		
A2.2	LIGHTING PLAN		
A2.3	ROOF PLAN		
A2.4	LANDSCAPE PLAN		
A3.0	DETAILS		
A3.1	DETAILS		
A4.0	ELEVATION		
A4.1	ELEVATION		
A4.2	STREET ELEVATION		
A4.3	SECTIONAL CUT		
A6.0	WINDOW & DOOR SCHEDULE		
WATER CONSERVATION REQ.			
1. PROVIDED MAXIMUM 1.8 GALLONS PER MINUTE @ 80 PSI FOR SHOWER HEADS			
2. PROVIDED MAXIMUM 1.20 GALLONS PER MINUTE @ 80 PSI FOR LAVATORY FAUCETS			
3. PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR TANK-TYPE WATER CLOSET			
4. PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR FLUSHOMETER WATER CLOSET			
5. PROVIDED MAXIMUM 0.125 GALLONS PER MINUTE FOR URINALS			
6. PROVIDED MAXIMUM 1.80 GALLONS PER MINUTE @ 80 PSI FOR KITCHEN FAUCETS			
ABBREVIATIONS:			
ABV.	ABOVE	MIN.	MINIMUM
A.F.F.	ABOVE FINISH FLOOR	MISC.	MISCELLANEOUS
BLK.	BLOCK	NV OR (N)	NEW
BLKG.	BLOCKING	N.T.S.	NOT TO SCALE
BM.	BENCHMARK	O.C.	ON CENTER
BOT.	BOTTOM	OPNG.	OPENING
CLG.	CEILING	OPP.	OPPOSITE
CLD.	CLOSET	PLYWD.	PLYWOOD
CLR.	CLEAR	PT.	POINT
CONC.	CONCRETE	REF.	REFRIGERATOR
CONT.	CONTINUOUS	R.A.	ROOF DRAIN
CTR.	CENTER	RM.	ROOM
D.	DRYER	S.	SCHEDULE
DBL.	DOUBLE	SH.	SHEET
DET.	DETAIL	SM.	SIMILAR
DIA.	DIAMETER	S.D.	SMOKE
DIM.	DIMENSION	DETECTOR	DETECTOR
D.W.	DISH WASHER	SPEC.	SPECIFICATION
DR.	DRYER	SQ.	SQUARE
D.S.	DOWN SPOUT	S.S.	STAINLESS STEEL
E' OR (E)	EXISTING	STOR.	STORAGE </td
EQ.	EACH	TYPCAL	TYPCAL
E.O.	EQUAL	U.O.N.A.	UNLESS OTHERWISE NOTED
F.	FURNACE	VERT.	VERTICAL
FIN.	FINISH	V.I.F.	VERIFY IN FIELD
FLR.	FLOOR	W.	WASHER
FT.	FOOT OR FEET	W/	WITH
FTG.	FOOTING	W.H.	WATER HEATER
GRND.	GROUND	W/O	WITHOUT
GRID.	GRADE	WT.	WEIGHT
GYP.	GYPSUM	@	AT
HORIZ.	HORIZONTAL	Ø	DIAMETER
HGT.	HEIGHT	#	POUND OF NUMBER
INT.	INTERIOR		
KIT.	KITCHEN		
LAV.	LAVATORY		
LT.	LIGHT		
MAX.	MAXIMUM		
GREEN BUILDING STANDARDS CODE - RESIDENTIAL			
1. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING (CGBC 4.106.1.1)			
2. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALL SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO THE ENFORCING AGENCY (CGBC 4.106.1.2)			
3. PROVIDE AN OPERATIONAL MAINTENANCE MANUAL OF ALL NEW EQUIPMENT INSTALLED TO THE BUILDING OCCUPANT OR THE OWNER (CGBC 4.106.2)			
4. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN PROPER INSTALLATION OF HVAC SYSTEMS (CGBC 703.1)			
5. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE (CGBC 703.1)			
6. PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH CGBC 4.106.			



WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING NON-BEARING WALL TO BE REMOVED
	NEW PARTITION WALL
	WALL TO BE LEGALIZED
	NEW WALL BEARING WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	2 HR. RATED WALL
	WALL WITH R13 INSULATION
	KEY NOTES
OTHER LEGEND	
	ARC-FAULT INTERRUPTER DUPLEX OUTLET
	GROUND FAULT INTERRUPTED DUPLEX OUTLET
	GROUND FAULT INTERRUPTED DUPLEX OUTLET - WEATHER PROOF (TAMPER RESISTANT) w/ ALL WEATHER-USE COVER
	EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE
	EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE VAPOR PROOF LENSE & GFI AT SHOWERS
	EXHAUST FAN LIGHT COMBO - VENT TO OUTSIDE AIR
	WALL MOUNTED FLUORESCENT LIGHT FIXTURE
	SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE
	SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
	SUSPENDED INCANDESCENT LIGHT FIXTURE
	RECESSED INCANDESCENT LIGHT FIXTURE
	RECESSED FLUORESCENT LIGHT FIXTURE
	HIGH EFFICACY RECESSED LED LIGHT FIXTURE
	UNDER CABINET FLUORESCENT LIGHT FIXTURE
	1x4 SURFACE MOUNTED FLUORESCENT LIGHT
	PHOTO-MOTION CONTROLLED LIGHT FIXTURE
	SINGLE SWITCH
	3-WAY SWITCH
	DIMMER SWITCH WITH DIMMER CONTROL
	OCCUPANCY SENSOR SWITCH (MANUAL "ON" - AUTO "OFF")
	MOTION SENSOR SWITCH
	MOISTURESTATE SWITCH
	GAS SUPPLY VALVE
	BATTERY OPERATED SMOKE DETECTOR
	SMOKE DETECTOR, AC
	BATTERY OPERATED CARBON MONOXIDE ALARM
	CARBON MONOXIDE ALARM, AC
	HEAT REGISTER
	EXISTING DUCT
	PROPOSED NEW DUCT
	POINT-OF-CONNECTION
	UP TO NEXT LEVEL
	DOWN TO NEXT LEVEL
	WATER HEATER
	SKYLIGHT
	FLOOR RECEPTACLE DUPLEX
SYMBOLS	
	SECTION NO.
	SHEET NO.
	DETAIL SHEET NO.
	KEY NOTES NO.
PROJECT DIRECTORY	
OWNER: YEONG SHIN 1490 POSEN AVENUE ALBANY, CA 94706	
DESIGN, ENGINEERING & T-24 ENERGY COMPLIANCE TEAM: INNCON DESIGN 3626 GEARY BLVD, SUITE 203 SAN FRANCISCO, CA 94118 (415) 702-6889	
BUILDER: TBC	
DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
SCALE: AS SHOWN	CHECKED: C.C.
FILE: 2-D	REVIEWED: C.C.
SHEET	CONSULTANT:



INNCON DESIGN
Think Smart. Done in a Flash.

SUBSIDIARY OF INNOVATIVE CONSTRUCTION IMPLEMENT & DESIGN CO. INNCON DESIGN ELECTRIC.

Address: 3626 GEARY BLVD, SUITE 203, SAN FRANCISCO, CA 94118
Tel: 415-702-6889
Email: INNCONDESIGN@GMAIL.COM


APPLICANT:
YEONG SHIN

1490 POSEN AVENUE, ALBANY, CA 94706

SHEET TITLE:
GENERAL NOTE, SITE PLAN, COVER SHEET, LEGEND, VICINITY MAP

JOB ADDRESS:
1490 POSEN AVENUE, ALBANY, CA 94706

APN: 65-2416-15



NO.	REVISIONS/SUBMISSIONS
1	

OWNER: YEONG SHIN 1490 POSEN AVENUE ALBANY, CA 94706	PROJECT NO. 220215
DESIGN, ENGINEERING & T-24 ENERGY COMPLIANCE TEAM: INNCON DESIGN 3626 GEARY BLVD, SUITE 203 SAN FRANCISCO, CA 94118 (415) 702-6889	DATE: 02/20/2022
BUILDER: TBC	CHECKED: C.C.
DESIGNED: PETER CHOW	REVIEWED: C.C.
DRAWN: PETER CHOW	CONSULTANT:
SCALE: AS SHOWN	
FILE: 2-D	
SHEET	

A1.0

OF SHEETS

APPLICANT:
YEONG SHIN
 1490 POSEN AVENUE,
 ALBANY, CA 94706

SHEET TITLE:
SITE PLAN
PHOTOGRAPH
ADDITION
DIAGRAM

JOB ADDRESS:
 1490 POSEN AVENUE,
 ALBANY, CA 94706

APN: 65-2416-15



NO.	REVISIONS/SUBMISSIONS

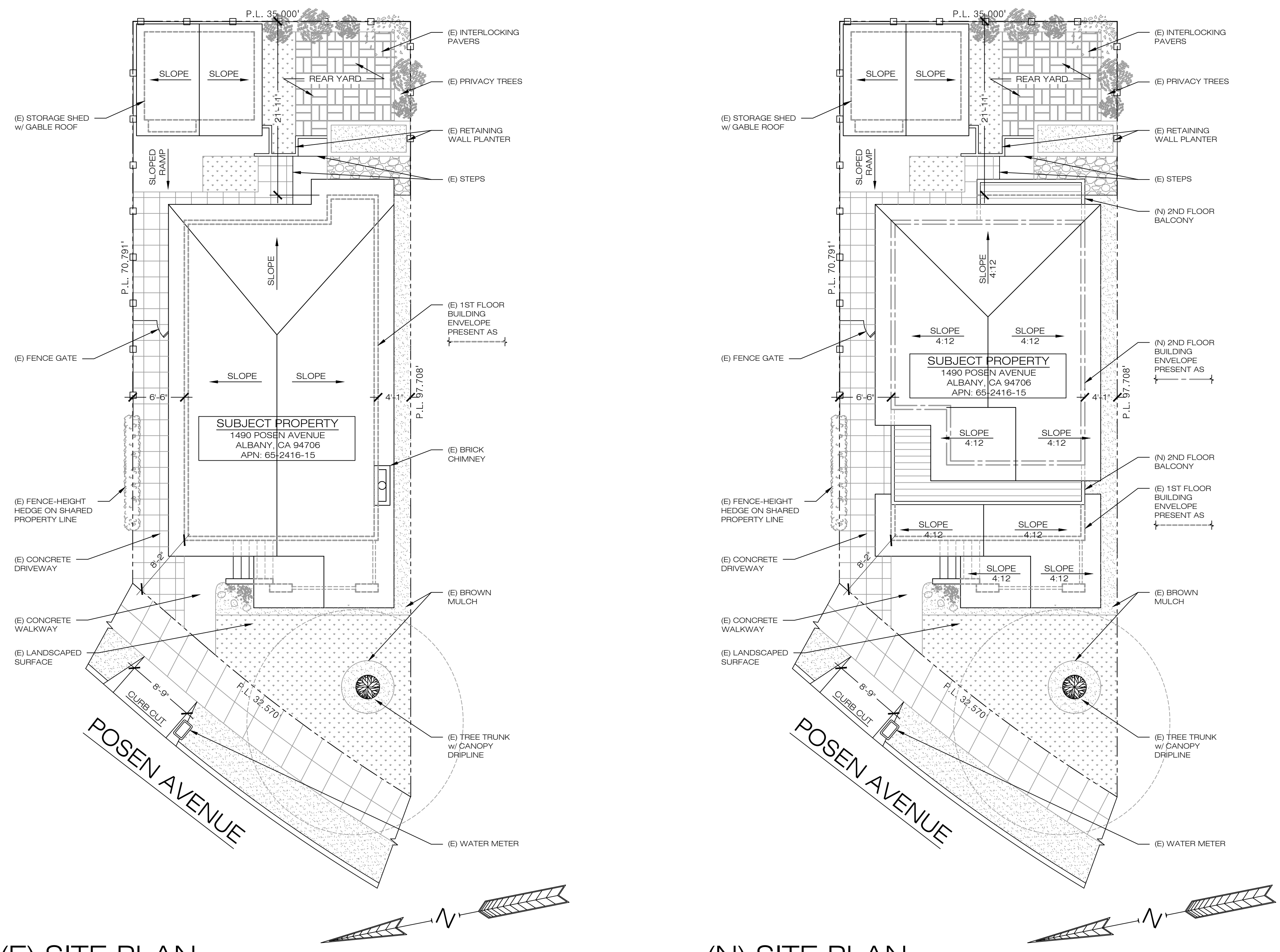
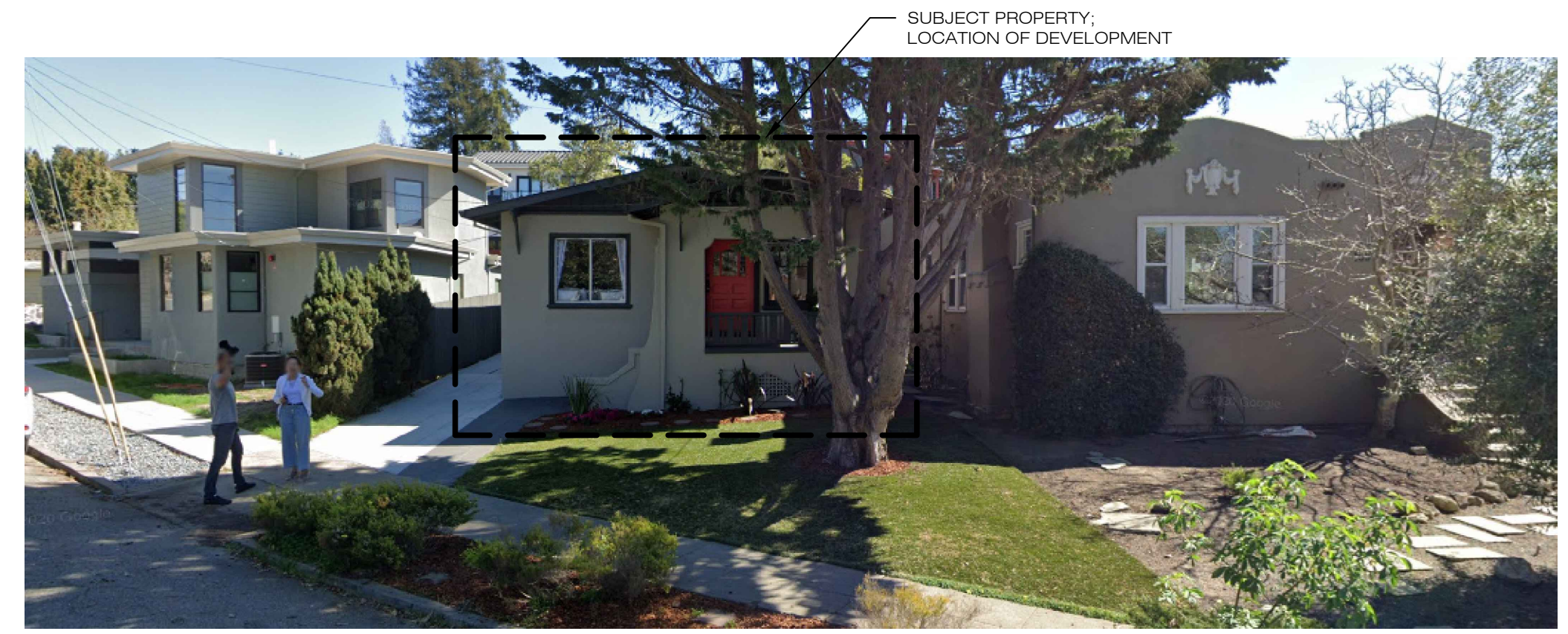
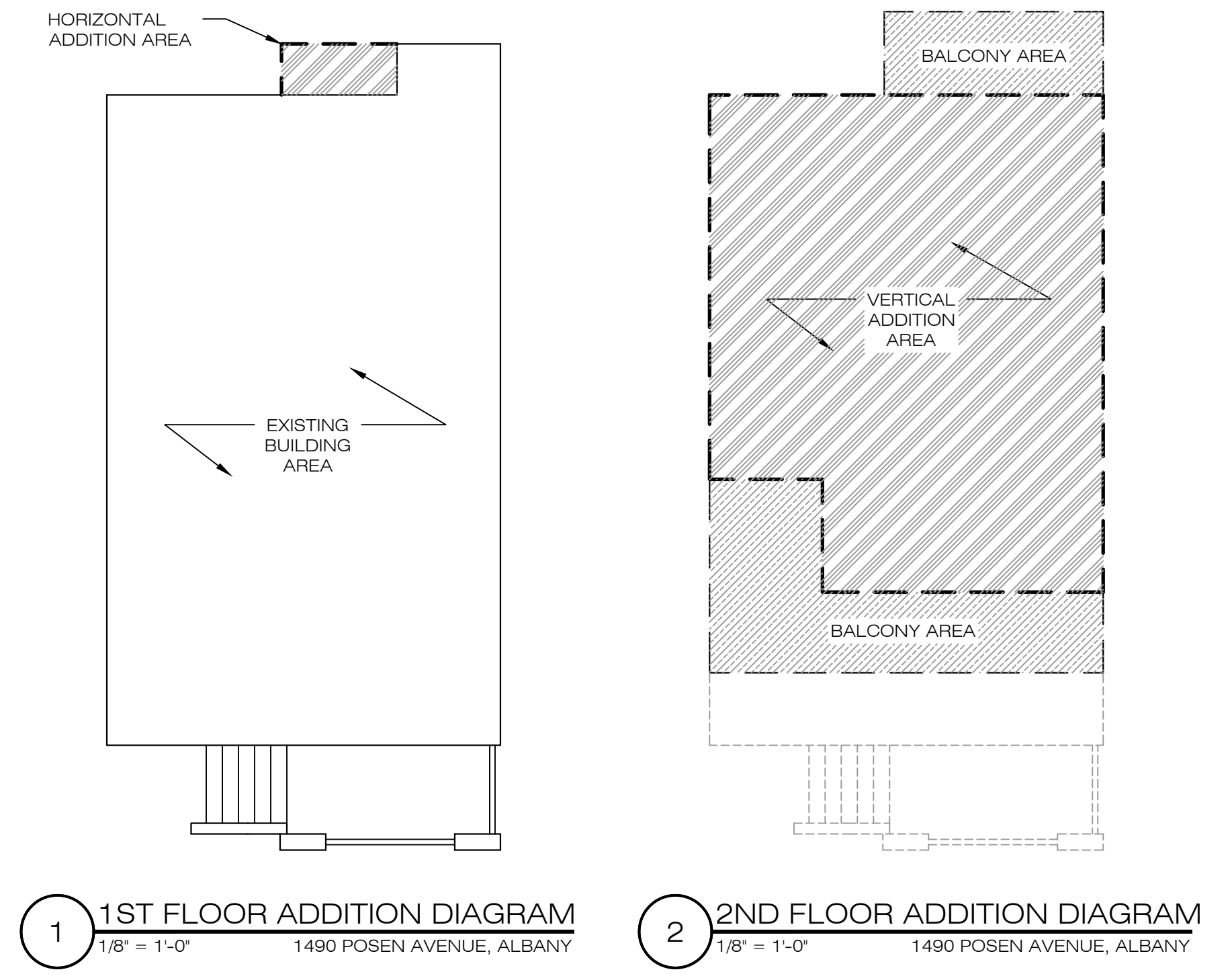
DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
SCALE: AS SHOWN	CHECKED: C.C.
FILE: 	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:

A1.1
 OF SHEETS

FLOOR AREA CALCULATION					
EXISTING FLOOR AREA	PROPOSED FLOOR AREA	FLOOR AREA INCREASE		FAR PERCENTAGE	MAXIMUM ALLOWED
±984 S.F.	±1,632 S.F.	1ST FLOOR: ±18 S.F.	2ND FLOOR: ±630 S.F.	53.53%	55.00%

LOT COVERAGE CALCULATION					
EXISTING PARCEL AREA	EXISTING LOT COVERAGE	PROPOSED LOT COVERAGE	LOT COVERAGE INCREASE	PROPOSED LOT COVERAGE IN PERCENTAGE	MAXIMUM ALLOWED
±3,049 S.F.	±1,282 S.F.	±1,332 S.F.	±50 S.F.	1,332 ÷ 3,049 = 43.69%	50.00%

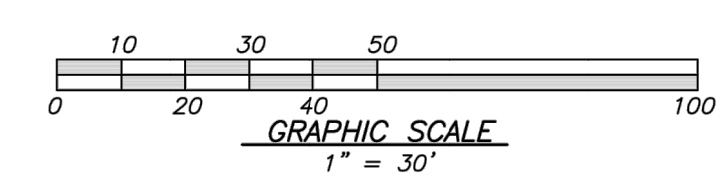
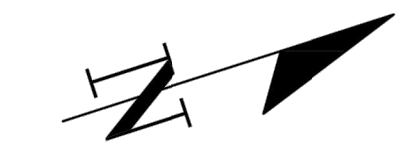
BUILDING OUTLINE LEGEND	
EXISTING AREA, OUTLINE	
PROPOSED ADDITION AREA, OUTLINE	
PROPOSED ADDITION AREA	
PROPOSED BALCONY AREA	



**THE LOT & DRAWING INFORMATION AND DIMENSION GIVEN ON THIS PLAN AREA APPROXIMATE AND ARE DERIVED FROM SITE MEASUREMENTS AND OBSERVATIONS. THIS IS NOT A LEGAL SURVEY OR THE PROPERTY.

LEGEND

- 200--- EXISTING CONTOUR LINE
- - -200- - - NATURAL GRADE CONTOUR LINE
- ⊙ FOUND CITY MONUMENT BOX, OR AS NOTED
- BOUNDARY OF PROPERTY SURVEYED
- () RECORD INFORMATION
- CENTERLINE
- △ CURB INLET
- CURB LINE
- DRIVEWAY APRON
- ELECTROLIER
- x-x-x-x-x- FENCE
- ◇ FIRE HYDRANT
- FLAT GRATE INLET
- O.H. PWR --- OVERHEAD POWER LINE
- O.H. TEL --- OVERHEAD TELEPHONE LINE
- SS --- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ▽ SIGN
- SD --- STORM DRAIN LINE
- ⊙ STORM DRAIN MANHOLE
- UTILITY BOX
- ◇ UTILITY POLE
- W --- WATER LINE
- WATER METER
- ⊗ WATER VALVE
- ⊞ ELECTRIC METER
- WATER HEATER
- ⊞ GAS



THE BEARING NORTH 73°42'00" WEST OF THE CENTER LINE OF GILMAN STREET AS SHOWN ON THAT RECORD OF SURVEY NO 1062 FILED FOR RECORD IN BOOK 16 OF MAPS PAGE 92, ALAMEDA COUNTY RECORDS, AND BY SPLITTING THE CURBS, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
 R1 MAP ENTITLED " MAP OF KEY ROUTE TEERREACE" 21-M-52
 R2 RECORD OF SURVEY NO. 1062 16-M-92

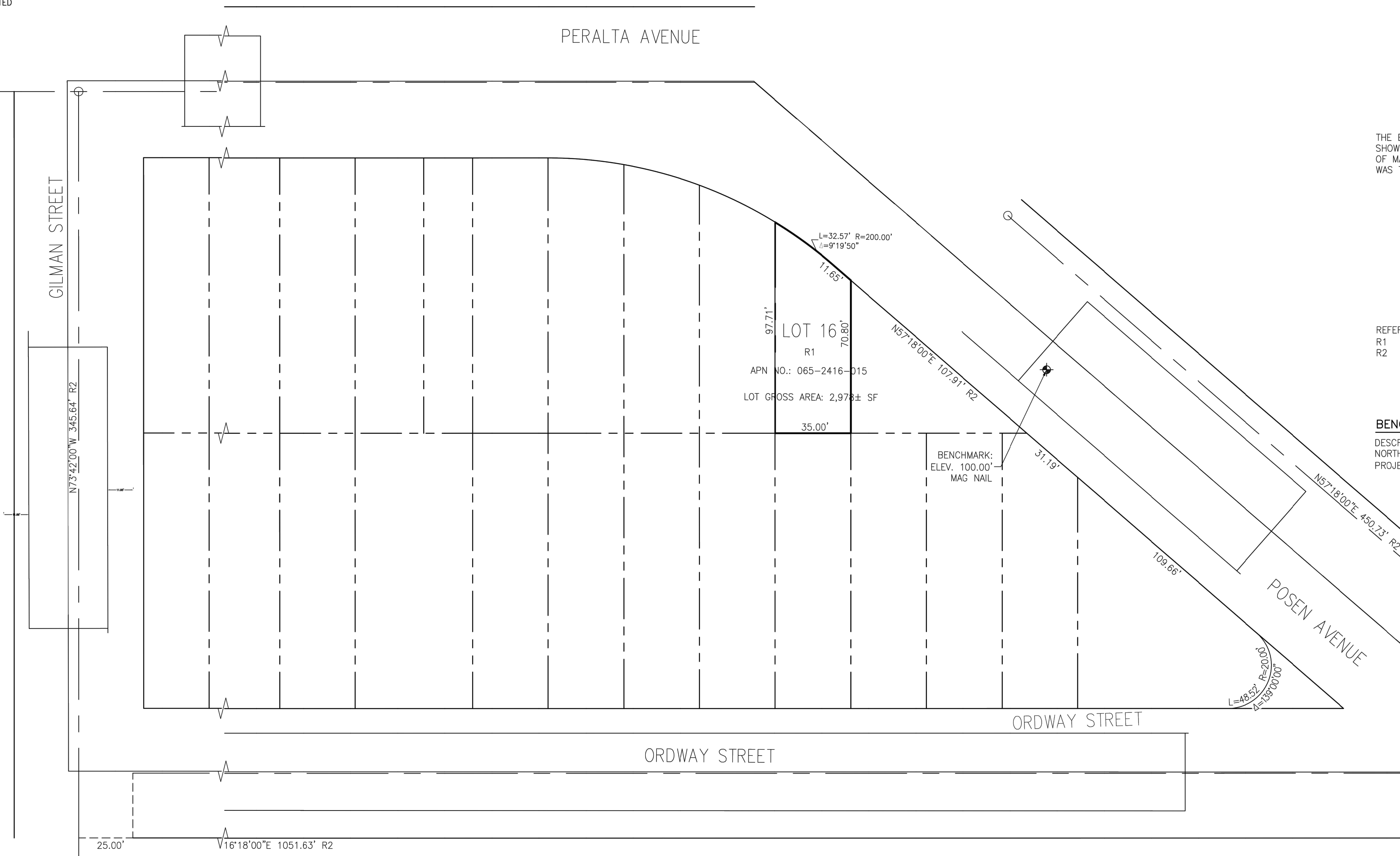
BENCH MARK
 DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTH EASTERLY CORNER OF LOT AS SHOWN:
 PROJECT BENCHMARK 100.00' (NAVD88 DATUM)

ABBREVIATIONS

- | | |
|----------|---------------------------|
| APN | ASSESSOR'S PARCEL NUMBER |
| BM | BENCH MARK |
| CATV | CABLE TELEVISION OVERHEAD |
| D | CURVE DELTA |
| DRWY | DRIVEWAY |
| DS | DOWNSPOUT |
| FF | FINISH FLOOR |
| FL | FLOW LINE ELEVATION |
| GF | GARAGE FINISH FLOOR |
| IP | IRON PIPE |
| L | CURVE LENGTH |
| R# | REFERENCE DOCUMENT |
| M-M | MONUMENT TO MONUMENT |
| O.H. PWR | OVERHEAD POWER LINE |
| O.H. TEL | OVERHEAD TELEPHONE LINE |
| PCL | PARCEL |
| P.M. | PARCEL MAP |
| PTN | PORTION |
| R | RADIUS |
| SD | STORM DRAIN |
| SS | SANITARY SEWER |
| TC | TOP OF CURB ELEVATION |
| TEMP. | TEMPORARY |
| PUE | PUBLIC UTILITY EASEMENT |
| WLE | WATER LINE EASEMENT |

NOTES:

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
4. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.



NO.	DATE	CITY	BY	REVISIONS

Porfirio Oscar Osuna
 PORFIRIO OSCAR OSUNA
 PLS 8921 EXP. 9-30-22

BOUNDARY SURVEY

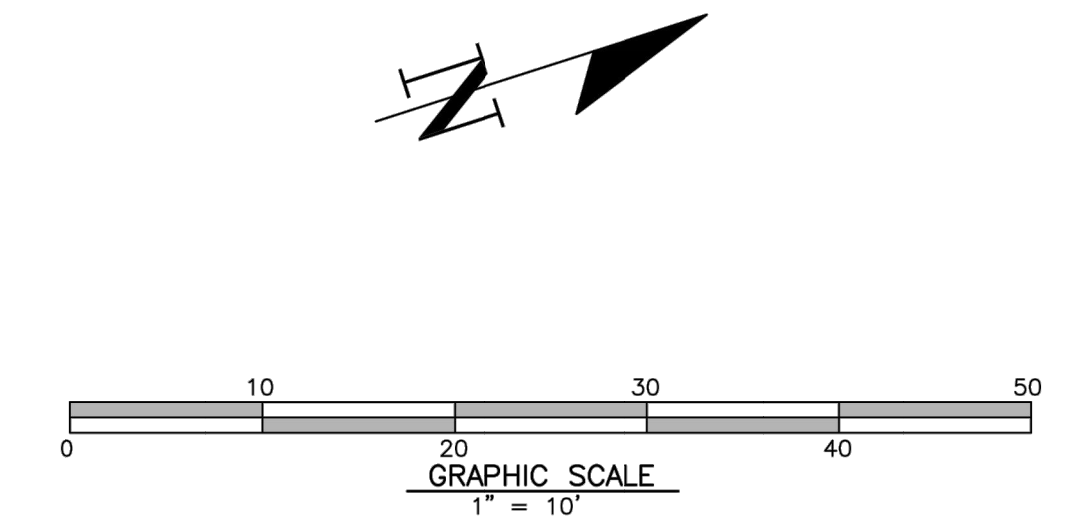
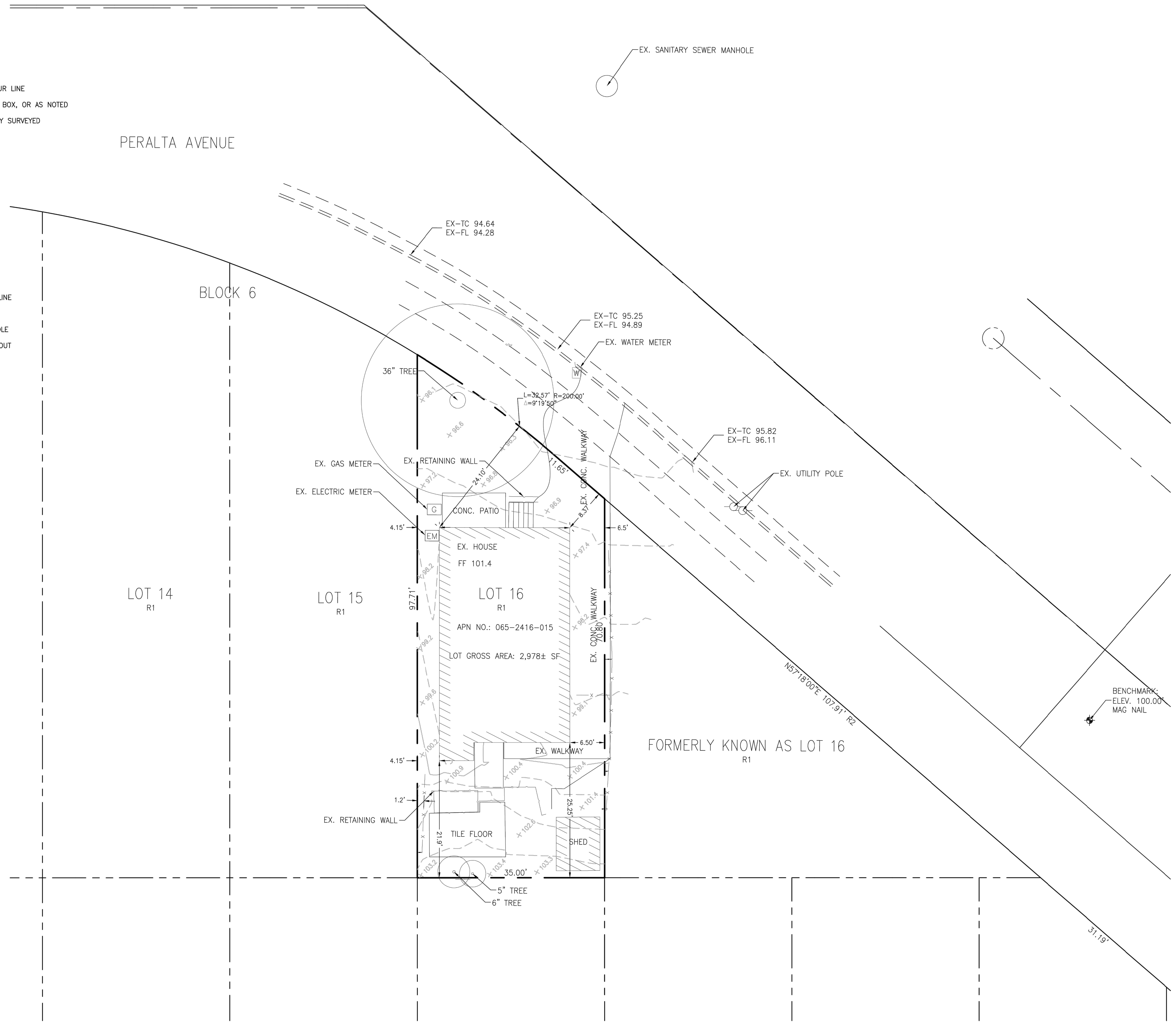
OSUNA ENGINEERING INC.
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 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
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PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY
 1490 POSEN AVE
 APN.: 65-2416-1-15
 CALIFORNIA
 Project No.: 2397
 ALBANY, OR
 Date: 10-16-2022
 Drawn By:

A1.2

LEGEND

---	EXISTING CONTOUR LINE
---	NATURAL GRADE CONTOUR LINE
⊙	FOUND CITY MONUMENT BOX, OR AS NOTED
---	BOUNDARY OF PROPERTY SURVEYED
()	RECORD INFORMATION
---	CENTERLINE
△	CURB INLET
---	CURB LINE
---	DRIVEWAY APRON
⊙	ELECTROLIER
-x-x-x-	FENCE
⊕	FIRE HYDRANT
■	FLAT GRATE INLET
---	OVERHEAD POWER LINE
---	OVERHEAD TELEPHONE LINE
---	SANITARY SEWER LINE
⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEANOUT
⊕	SIGN
---	STORM DRAIN LINE
⊙	STORM DRAIN MANHOLE
□	UTILITY BOX
⊕	UTILITY POLE
---	WATER LINE
⊕	WATER METER
⊕	WATER VALVE
⊕	ELECTRIC METER
⊕	WATER HEATER
⊕	GAS



THE BEARING NORTH 73°42'00" WEST OF THE CENTER LINE OF GILMAN STREET AS SHOWN ON THAT RECORD OF SURVEY NO 1062 FILED FOR RECORD IN BOOK 16 OF MAPS PAGE 92, ALAMEDA COUNTY RECORDS, AND BY SPLITTING THE CURBS, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

- REFERENCES:**
- R1 MAP ENTITLED "MAP OF KEY ROUTE TEERREACE" 21-M-52
 - R2 RECORD OF SURVEY NO. 1062 16-M-92

BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTH EASTERLY CORNER OF LOT AS SHOWN: PROJECT BENCHMARK 100.00' (NAVD88 DATUM)

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

- NOTES:**
1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
 3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
 4. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
 5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

NO.	DATE	BY	REVISIONS

PROFESSIONAL LAND SURVEYOR
 PORFIRIO OSCAR OSUNA
 No. 8921
 Exp. 9-30-22
 STATE OF CALIFORNIA

Porfirio Oscar Osuna
 PORFIRIO OSCAR OSUNA
 PLS 8921 EXP. 9-30-22

TOPOGRAPHIC SURVEY

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PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY

1490 POSEN AVE
 APN.: 65-2416-1-15

Project No.: 2897
 ALBANY, CA
 Date: 10/16/2022
 Drawn By: J. Chaves

WATER CONSERVATION REQ.

- PROVIDED MAXIMUM 2.0 GALLONS PER MINUTE @ 80 PSI FOR SHOWER HEADS
- PROVIDED MAXIMUM 1.20 GALLONS PER MINUTE @ 60 PSI FOR LAVATORY FAUCETS
- PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR TANK-TYPE WATER CLOSET
- PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR FLUSHMETER WATER CLOSET
- PROVIDED MAXIMUM 0.125 GALLONS PER MINUTE FOR URINALS
- PROVIDED MAXIMUM 1.80 GALLONS PER MINUTE @ 60 PSI FOR KITCHEN FAUCETS

SHEET NOTE

- NEW OR REPLACEMENT WINDOWS, WINDOW U-FACTOR OF 0.32 (CENCL TABLE 150.1-A)
- CEILINGS EXPOSED TO UNCONDITIONED SPACE SHALL HAVE AN INSULATION R-VALUE OF R-30
- MINIMUM 5/8" TYPE-X GYPSUM BOARD ON ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLIES
- SMOKE ALARMS SHALL BE IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS ACCORDING TO CBC 907.2.11.2. SMOKE ALARMS SHALL BE IN ACCORDANCE WITH UL 217.
- CARBON MONOXIDE ALARMS SHALL BE OUTSIDE EACH SEPARATE LIVING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF THE BUILDING INCLUDING THE BASEMENT ACCORDING TO CBC 420.4. ALL INSULATION SHALL BE REMOVED WHERE IN CONTACT WITH KNOB AND TUBE WIRING. ALTERNATIVELY, THE FOLLOWING METHOD MAY BE USED TO ALLOW THE INSTALLATION OF INSULATION WHERE KNOB AND TUBE WIRING IS PRESENT: IF THE ALTERNATE IS TO BE USED, (i) THE WIRING SHALL BE SURVEYED BY AN ELECTRICAL CONTRACTOR LICENSED BY THE STATE OF CALIFORNIA. CERTIFICATION SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR THAT THE EXISTING WIRING IS IN GOOD CONDITION WITH NO EVIDENCE OF DETRIORATION OR IMPROPER OVER-CURRENT PROTECTION, AND NO IMPROPER CONNECTION OR SPLICES, REPAIRS, ALTERNATION, OR EXTENSIONS TO THE ELECTRICAL SYSTEM WILL REQUIRE PERMITS AND INSPECTIONS. (ii) THE CERTIFICATION FORM SHALL BE FILLED WITH THE BUILDING DIVISION AND A COPY FURNISHED TO THE OWNER. (iii) ALL ACCESSIBLE AREA IN THE BUILDING WHERE INSULATION HAS BEEN INSTALLED KNOB AND TUBE WIRING SHALL BE POSTED BY THE INSULATION INSTALLER WITH A NOTICE, CLEARLY VISIBLE STATING THAT CAUTION IS REQUIRED WHEN ENTERING THESE AREAS. THE NOTICE SHALL BE PRINTED IN BOTH ENGLISH AND SPANISH. (iv) THE INSULATION SHALL BE NONCOMBUSTIBLE AS DEFINED IN THE CALIFORNIA BUILDING CODE.
- (v) THE INSULATION SHALL NOT HAVE ANY ELECTRICAL CONDUCTIVE MATERIAL AS PART OF OR SUPPORTING THE INSULATION MATERIAL.
- EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, INCLUDING DOORS BETWEEN THE HOUSE AND GARAGE, BETWEEN INTERIOR AND EXTERIOR UNCONDITIONED SPACE, BETWEEN ATTIC ACCESS AND CONDITIONED SPACE, BETWEEN WALL SOLE PLATES AND THE FLOOR, EXTERIOR PANELS AND ALL SIDING MATERIALS. (CENCL110.7).

GALGREEN MEASURE

- CONSTRUCTION AND DEMOLITION DEBRIS: 100% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING OR SALVAGE FACILITY IN COMPLIANCE WITH THE CITY OF SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE. (2016 CGC 4.408)
- AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. (2016 CGC 4.410.1)
- INDOOR WATER EFFICIENCY: INSTALL WATER-EFFICIENT FIXTURES AND FITTINGS AS SUMMARIZED IN CALGREEN (SEE "INDOOR WATER EFFICIENCY" TABLE ON COVER SHEET) REPLACE ALL NONCOMPLIANT FIXTURES IN PROJECT AREA (CALGREEN 3.301.1.1, HOUSING CODE 124)
- PROTECTING MECHANICAL EQUIPMENT AND DUCT OPENINGS DURING CONSTRUCTION: DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUCT, AND DEBRIS ENTERING THE SYSTEM.
- INDOOR PAINTS AND COATINGS: COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS. SEE CALGREEN TABLE 4.504.3
- LOW-VOC AEROSOL PAINTS AND COATINGS: MEET BAAQMD VOC LIMITS (REGULATION 8, RULE 49) AND PRODUCT-WEIGHTED MIR LIMITS FOR ROOF. (CALGREEN 4.504.2.3)
- LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS: MEET SCAQMD RULE 1168. SEE CALGREEN TABLES 4.504.1 AND 4.504.2. (CALGREEN 4.504.1)
- ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE SEALANT-PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD (2016 CGC 4.406.1)
- HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PROJECTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. (2016 CGC 4.504.5)
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. (2016 CGC 4.505.3)
- EXHAUST FANS THAT ARE ENERGY STAR-COMPLIANT, DUCTED AND THAT TERMINATE OUTSIDE THE BUILDING WILL BE PROVIDED IN EVERY BATHROOM. (2013 CGC 4.506.1) ALTERNATIVELY, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT. (2016 CGC 4.506.1)
- THE HEATING AND AIR-CONDITIONING SYSTEM WILL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHOD:
 - HEAT LOSS/HEAT GAIN VALUES IN ACCORDANCE WITH ANSI/ACCA 2 MANUAL J-2004 OR EQUAL;
 - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1, MANUAL D-2009 OR EQUIVALENT;
 - SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSI/ACCA 3, MANUAL S-2004 OR EQUIVALENT. (2016 CGC 4.507)
- HVAC SYSTEM INSTALLERS WILL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEM AND EQUIPMENT BY A RECOGNIZED TRAINING/CERTIFICATION PROGRAM. (2016 CGC 702.1)
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2016 CODE REQUIREMENTS. (2016 CGC 703.1)

R-VALUE TABLE	
STUD SIZE	REQUIRED R-VALUE
2x4	R-21
2x6	R-21
2x8	R-22
2x10	R-30
CEILING JOIST SIZE	REQUIRED R-VALUE
2x6	R-21
2x8	R-21
2x10	R-25
2x12	R-30

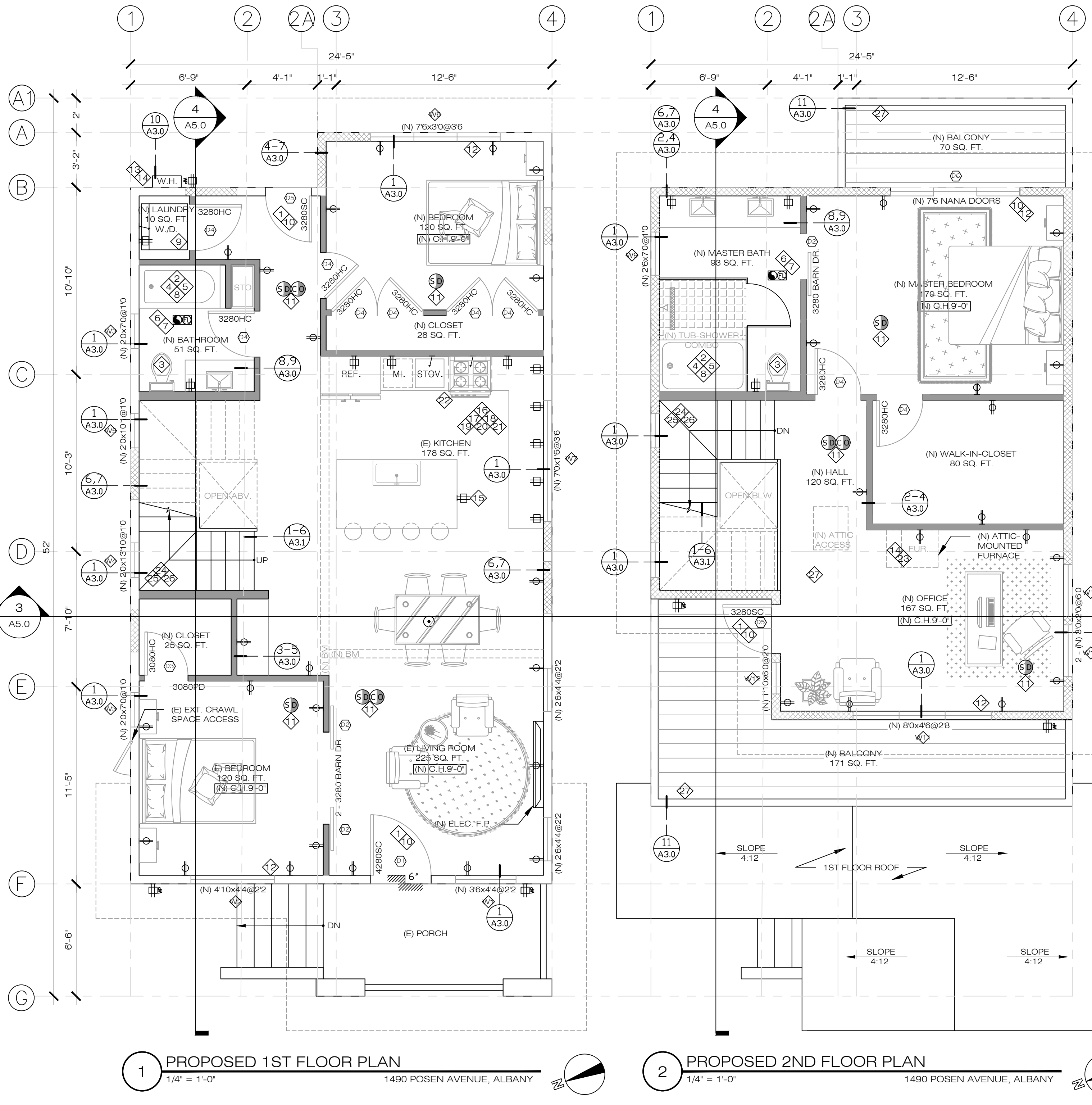
WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING NON-BEARING WALL TO BE REMOVED
- NEW PARTITION WALL
- NEW WALL BEARING WALL
- NEW 1 HR. RATED WALL
- WALL WITH R13 INSULATION
- KEY NOTES

OTHER LEGEND

- ARC-FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET
- GROUND FAULT INTERRUPTED DUPLEX OUTLET
- GROUND FAULT INTERRUPTED DUPLEX OUTLET - WEATHER PROOF (TAMPER RESISTANT) w/ ALL WEATHER-USE COVER
- EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE
- EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE VAPOR PROOF LENSE & GFI AT SHOWERS
- EXHAUST FAN + HIGH EFFICACY LIGHT COMBO - VENT TO OUTSIDE AIR
- WALL MOUNTED FLUORESCENT LIGHT FIXTURE
- SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE
- SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
- SUSPENDED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- HIGH EFFICACY RECESSED LED LIGHT FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- 1x4' SURFACE MOUNTED FLUORESCENT LIGHT
- PHOTO-MOTION CONTROLLED LIGHT FIXTURE
- SINGLE SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH WITH DIMMER CONTROL
- OCCUPANCY SENSOR SWITCH (MANUAL "ON" - AUTO "OFF")
- MOTION SENSOR SWITCH
- MOISTURESTATE SWITCH
- GAS SUPPLY VALVE
- BATTERY OPERATED SMOKE DETECTOR
- SMOKE DETECTOR, AC
- BATTERY OPERATED CARBON MONOXIDE ALARM
- CARBON MONOXIDE ALARM, AC
- HEAT REGISTER
- EXISTING DUCT
- PROPOSED NEW DUCT
- POINT-OF-CONNECTION
- UP TO NEXT LEVEL
- DOWN TO NEXT LEVEL
- WATER HEATER
- SKYLIGHT
- FLOOR RECEPTACLE DUPLEX

		WINDOW	SKYLIGHT	MASS WALL	FLOOR	BASEMENT WALL	SLAB	CRAWL SPACE WALL
RESIDENTIAL	MAX U-FACTOR	0.30	0.55	0.102				
	MAX SHGC	0.23	0.25					
	R-VALUE	-	-	15	19	15	0	15



WORK & KEY NOTES

- DOOR TO BE MINIMUM 1 3/4" SOLID OR HONEYCOMB CORE STEEL DOOR OR 20-MINUTE FIRE-RATED DOOR WITH SELF CLOSING AND SELF-LATCHING DEVICE. ONE HALF OF THE COMMON WALL BETWEEN THE FOYER AND THE GARAGE SHALL BE OPEN AND UNOBSTRUCTED (CRC R302.5).
- THE SHOWER AND BATHTUB WALLS TO BE SMOOTH, HARD, NON-ABSORBENT SURFACE (MINIMUM 7/8" PER CRC 307.2) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT BOARD, FIBER CEMENT OR GLASS MAT OVER A MOISTURE BARRIER AND WITH CORROSION-RESISTANT FASTENERS. NO GYPSUM PRODUCTS. EXCEPTION: INSTALLATION OF MOLDED ONE PIECE ENCLOSURES MAY BE INSTALLED OVER MOISTURE RESISTANT GYPSUM BOARD
- A 30" SIDE TO SIDE CLR. AND A MIN. 24" IN FRONT OF THE TOILET. NEW TOILET MUST BE WATER CONSERVING 1.28 GAL.
- CONTROL VALVES AND SHOWER STALL HEADS SHALL BE LOCATED ON SIDEWALL OF SHOWER COMPARTMENTS.
- NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM.
- BATHROOM VENTILATION FAN WITH MINIMUM 50 CFM AND MAXIMUM 1 Scone SOUND RATING. BATH FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM. THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING.
- LIGHTING IN BATHROOMS MUST HAVE MINIMUM OF ONE HIGH EFFICACY LIGHT FIXTURE AND MUST BE CONTROLLED BY A OCCUPANCY SENSOR SWITCH.
- PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE REQUIRED FOR SHOWER AND SHOWER TUB COMBINATIONS, MAXIMUM MIXING WATER TEMP OF 120F.
- CLOTHES DRYER MOISTURE EXHAUST DUCT (MIN. 4'0") TO THE OUTSIDE AND EQUIP WITH BACK-DRAFT DAMPER EXHAUST DUCT LENGTH IS LIMITED TO 14FT, WITH 2 ELBOWS OR PROVIDE BOOSTER FAN OR DRYER LISTED FOR REQUIRE EXHAUST DUCT LENGTH.
- MAXIMUM DROP OF 7.75 AT DOOR THRESHOLD
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS OLDER THAN 10 YEARS OLD MUST BE REPLACED WITH NEW ALARMS.
- PROVIDE MINIMUM WINDOW AREA OF 8% OF THE FLOOR AREA FOR NATURAL LIGHT AND MINIMUM WINDOW OPENING AREA OF 4% OF THE FLOOR AREA FOR VENTILATION.
- MINIMUM 1" INSULATION ON FIRST 5 FOOT LENGTH OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK
- COMBUSTION AIR OPENINGS FROM OUTSIDE FOR WATER HEATER & FURNACE. TERMINATE FLUES 4 FEET FROM PROPERTY LINE AND 2'-0" ABOVE ANY PORTION OF A BUILDING WITHIN 10'-0"
- (ISLAND COUNTERTOP SPACE) THIS SECTION MANDATES ONLY ONE RECEPTACLE OUTLET TO BE INSTALLED AT EACH ISLAND COUNTERTOP THAT HAS A LONG DIMENSION OF 24" INCHES OR GREATER, AND SHORT DIMENSION OF 12" INCHES OR GREATER. RECEPTACLE MAXIMUM OF 12" INCHES BELOW ISLAND OR PENINSULAR COUNTERTOPS.
- ALL ELECTRICAL COUNTER RECEPTACLES IN KITCHEN AREA SHALL BE GFCI PROTECTED. (CEC 210.52(A)(6)). RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- OUTLETS ARE REQUIRED WITHIN 24" OR ANY LOCATION ALONG THE COUNTERTOP. (CEC 210.52(C)(1)).
- (RECEPTACLE OUTLET LOCATION) RECEPTACLE OUTLETS SHALL BE LOCATED ON OR ABOVE THE COUNTERTOP, BUT NOT MORE THAN 20 INCHES FROM THE COUNTERTOP SURFACE; UNLESS THE RECEPTACLE OUTLET ASSEMBLY IS LISTED FOR THE APPLICATION SHALL BE PERMITTED TO BE INSTALLED IN THE COUNTERTOP. RECEPTACLES SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS AND SHALL NOT BE LOCATED ON THE SIDES OF CABINETS. [406.5(E)]
- (WALL COUNTER SPACE) A RECEPTACLE OUTLET MUST BE INSTALLED FOR EVERY KITCHEN AREA COUNTER WALL SPACE 12" INCHES OR WIDER. RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE COUNTER WALL SPACE IS MORE THAN 24" INCHES (2 FEET), MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET.
- KITCHEN COUNTERTOP RECEPTACLES, TWO CIRCUITS REQUIRED. 125V, 20 AMPERE RECEPTACLES USED FOR COUNTERTOP SURFACE APPLIANCE IN A DWELLING UNIT KITCHEN MUST BE SUPPLIED BY AT LEAST TWO 20 AMPERE CIRCUITS [210-11(C)(1) AND 220-16(a)].
- (SEPARATE SPACES) WHEN BREAKS OCCUR IN COUNTERTOP SPACES (RANGES, REFRIGERATORS, SINK, ETC.), EACH COUNTERTOP SURFACE IS CONSIDERED A SEPARATE COUNTER FOR DETERMINING RECEPTACLE PLACEMENT. (210.52(C)(1) IF A RANGE, COUNTER-MOUNTED COOLING UNIT, OR SINK IS INSTALLED IN AN ISLAND OR A PENINSULAR COUNTERTOP AND THE DEPTH OF THE COUNTERTOP BEHIND THE RANGE, COUNTER-MOUNTED COOKING UNIT, OR SINK IS LESS THAN 12 INCHES, THE RANGE, COUNTER-MOUNTED COOKING UNIT, OR SINK SHALL BE CONSIDERED TO DIVIDE THE COUNTERTOP SPACE INTO TWO SEPARATE COUNTERTOP SPACES. EACH SEPARATE COUNTERTOP SPACE SHALL COMPLY WITH THE APPLICABLE REQUIREMENT IN 210.52(C).
- THE KITCHEN FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM AND BE DUCTED TO THE EXTERIOR
- DUCT AND PLENUM SHALL BE SEALED WITH "MASTIC GLUE AND MASTIC PLUS MESH TAPE". DUCT SHALL BE WRAPPED WITH R-6 INSULATION.
- MINIMUM 5/8" TYPE-X GYPSUM BOARD UNDER THE INTERIOR STAIRWAY.
- INTERIOR STAIRWAYS SHALL HAVE A MINIMUM 80" HEADWAY MEASURED FROM THE TREAD NOSING. A MAXIMUM RISE OF 7-3/4" AND MINIMUM 11" OF TREAD WIDTH. THE CLEAR SPACE AT OPEN RISERS SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE AND TRIANGULAR OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 6" SPHERE. PROVIDE A MINIMUM 36"x36" LANDING AT TOP AND BOTTOM OF STAIRWAY.
- GRIPPABLE HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF ALL STAIRS WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, SHALL BE NOT LESS THAN 34" AND NOT MORE THEN 38".
- MINIMUM 42" HIGH GUARDRAIL AT OPEN-BELOW WALKING SURFACES GREATER THEN 30" ABOVE THE FLOOR OR GRADE BELOW TO ANY POINT WITHIN 36" HORIZONTALLY. GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOW THE PASSAGE OF A SPHERE 4" IN DIAMETER.

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APPLICANT:
YEONG SHIN
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SHEET TITLE:
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 ALBANY, CA 94706

APN: 65-2416-15



NO.	REVISIONS/SUBMISSIONS

DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	

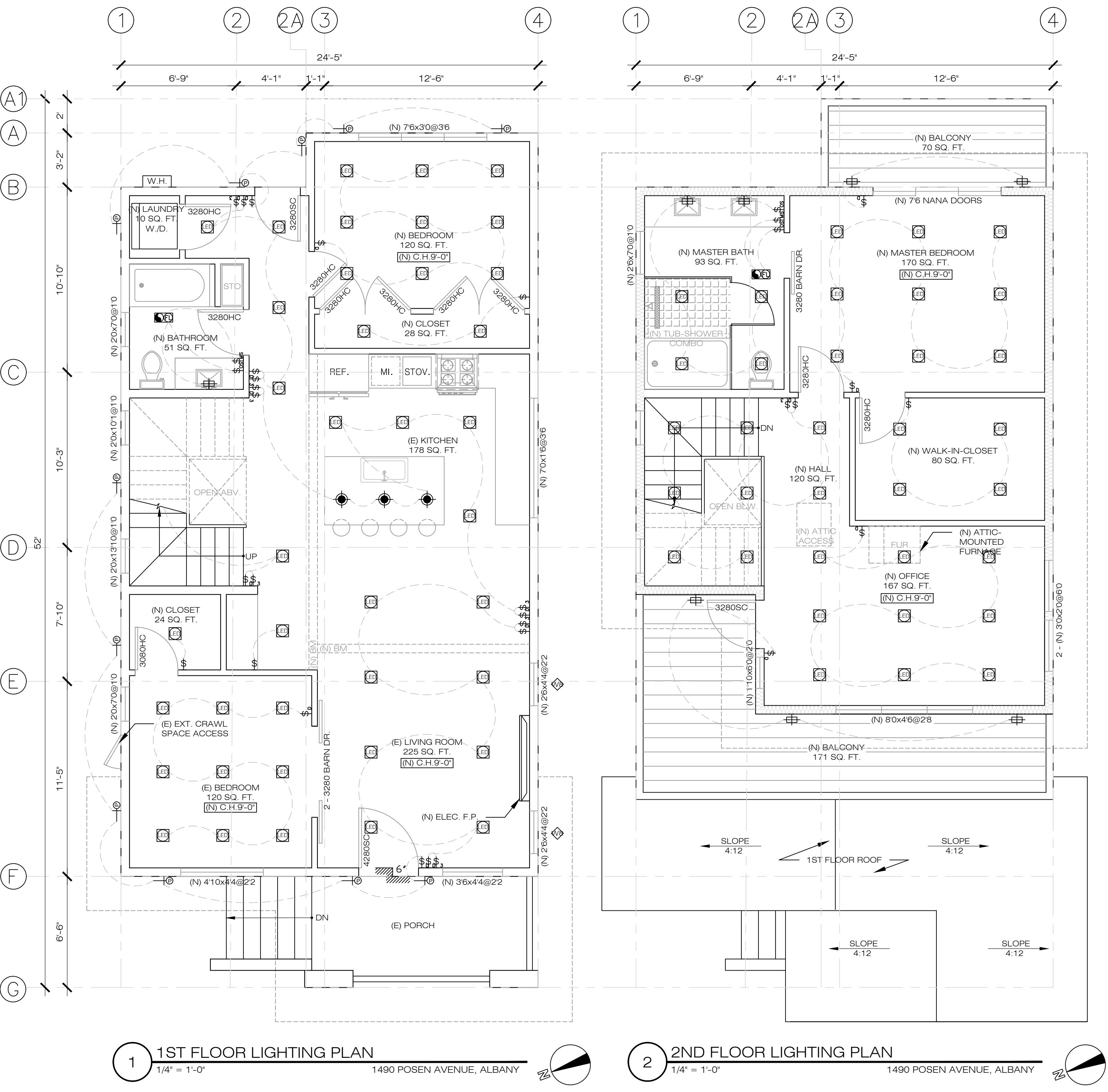
A2.1
 OF SHEETS



NO.	REVISIONS/SUBMISSIONS

DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING NON-BEARING WALL TO BE REMOVED
	NEW PARTITION WALL
	NEW WALL BEARING WALL
	NEW 1 HR. RATED WALL
	WALL WITH R13 INSULATION
KEY NOTES	
OTHER LEGEND	
	ARC-FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET
	GROUND FAULT INTERRUPTED DUPLEX OUTLET
	GROUND FAULT INTERRUPTED DUPLEX OUTLET - WEATHER PROOF (TAMPER RESISTANT) w/ ALL WEATHER-USE COVER
	EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE
	EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE VAPOR PROOF LENSE & GFI AT SHOWERS
	EXHAUST FAN + HIGH EFFICACY LIGHT COMBO - VENT TO OUTSIDE AIR
	WALL MOUNTED FLUORESCENT LIGHT FIXTURE
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	SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
	SUSPENDED INCANDESCENT LIGHT FIXTURE
	RECESSED INCANDESCENT LIGHT FIXTURE
	RECESSED FLUORESCENT LIGHT FIXTURE
	HIGH EFFICACY RECESSED LED LIGHT FIXTURE
	UNDER CABINET FLUORESCENT LIGHT FIXTURE
	1'x4' SURFACE MOUNTED FLUORESCENT LIGHT
	PHOTO-MOTION CONTROLLED LIGHT FIXTURE
	SINGLE SWITCH
	3-WAY SWITCH
	DIMMER SWITCH WITH DIMMER CONTROL
	OCCUPANCY SENSOR SWITCH (MANUAL 'ON' - AUTO 'OFF')
	MOTION SENSOR SWITCH
	MOISTURESTATE SWITCH
	GAS SUPPLY VALVE
	BATTERY OPERATED SMOKE DETECTOR
	SMOKE DETECTOR, AC
	BATTERY OPERATED CARBON MONOXIDE ALARM
	CARBON MONOXIDE ALARM, AC
	HEAT REGISTER
	EXISTING DUCT
	PROPOSED NEW DUCT
	POINT-OF-CONNECTION
	UP TO NEXT LEVEL
	DOWN TO NEXT LEVEL
	WATER HEATER
	SKYLIGHT
	FLOOR RECEPTACLE DUPLEX



1 1ST FLOOR LIGHTING PLAN
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY

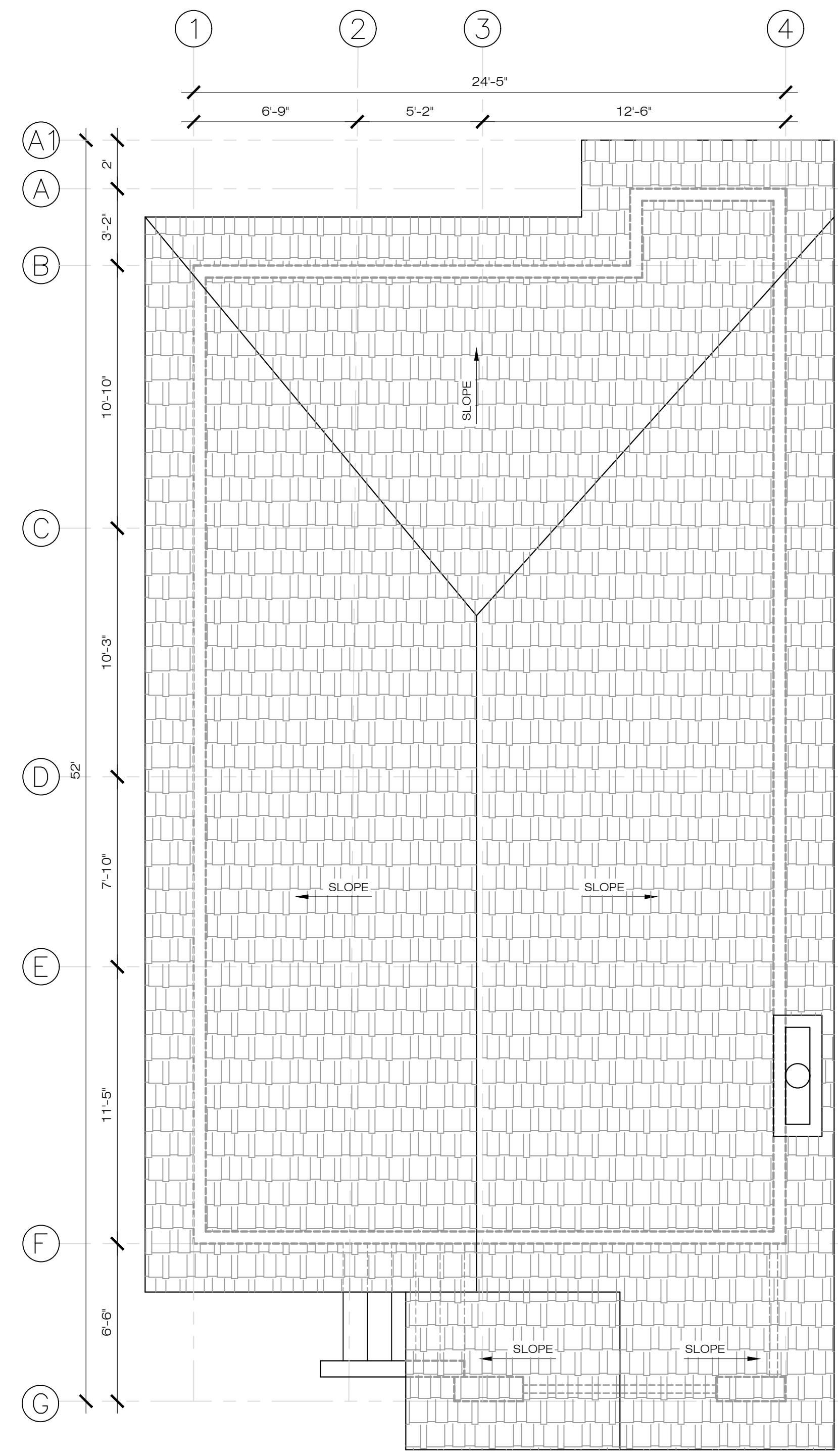
2 2ND FLOOR LIGHTING PLAN
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY



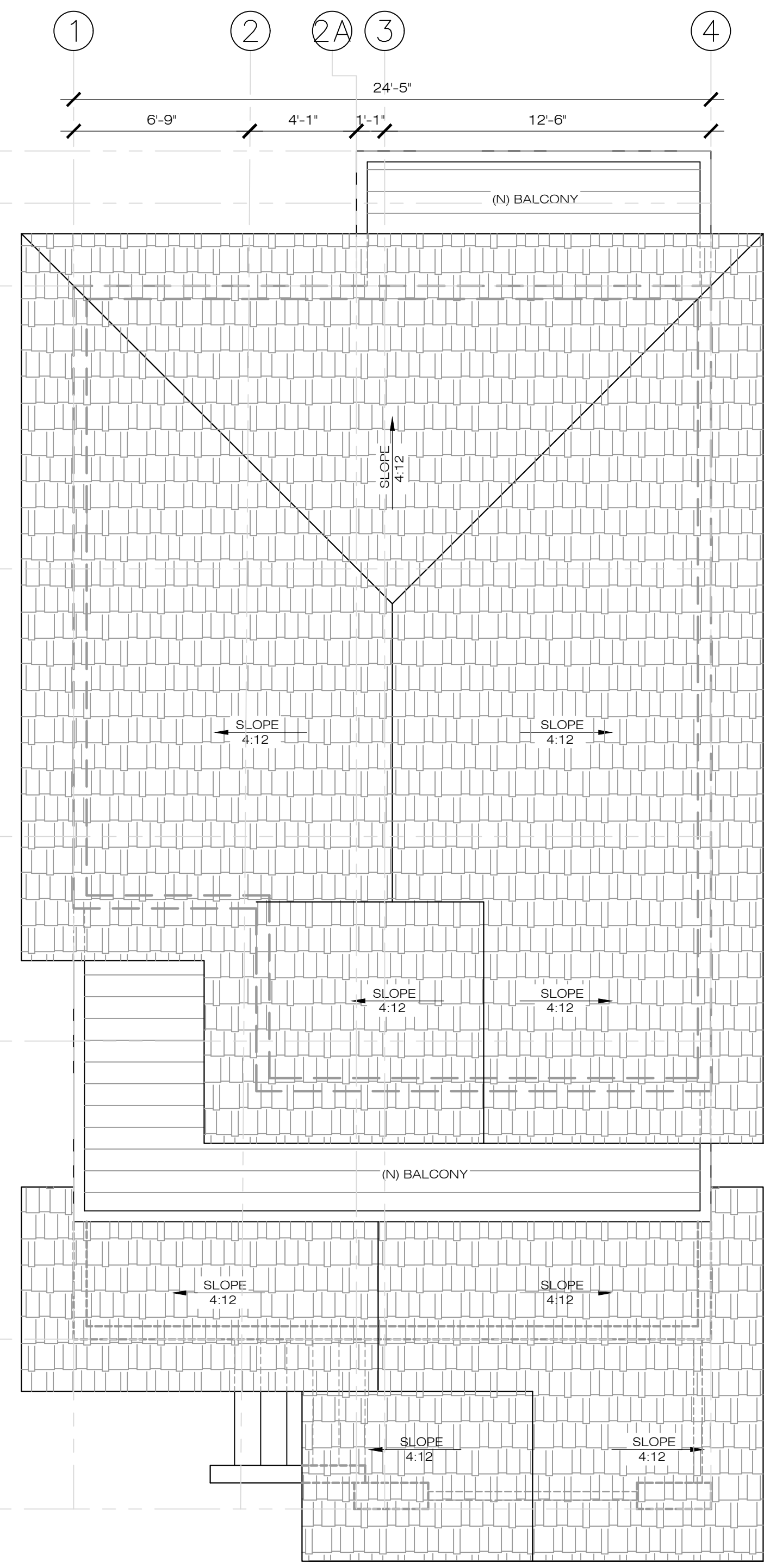
NO.	REVISIONS/SUBMISSIONS

DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	

SHEET NOTE	
	1ST FLOOR BUILDING ENVELOPE
	(N) 2ND FLOOR BUILDING ENVELOPE
	ROOF OUTLINE



1 EXISTING ROOF PLAN
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY



2 PROPOSED ROOF PLAN
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY

APPLICANT:
YEONG SHIN
 1490 POSEN AVENUE,
 ALBANY, CA 94706

SHEET TITLE:
LANDSCAPE PLAN

JOB ADDRESS:
 1490 POSEN AVENUE,
 ALBANY, CA 94706

APN: 65-2416-15

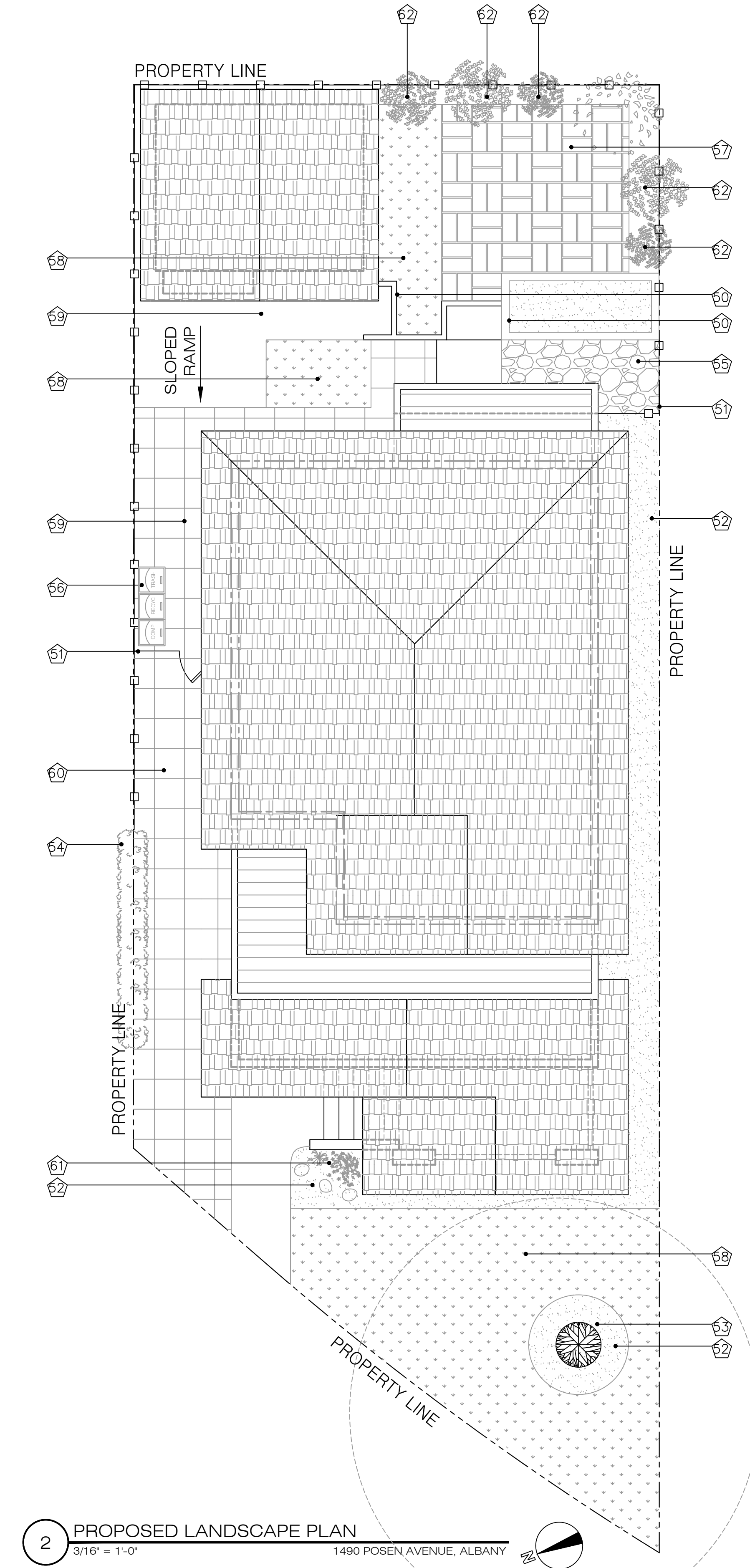
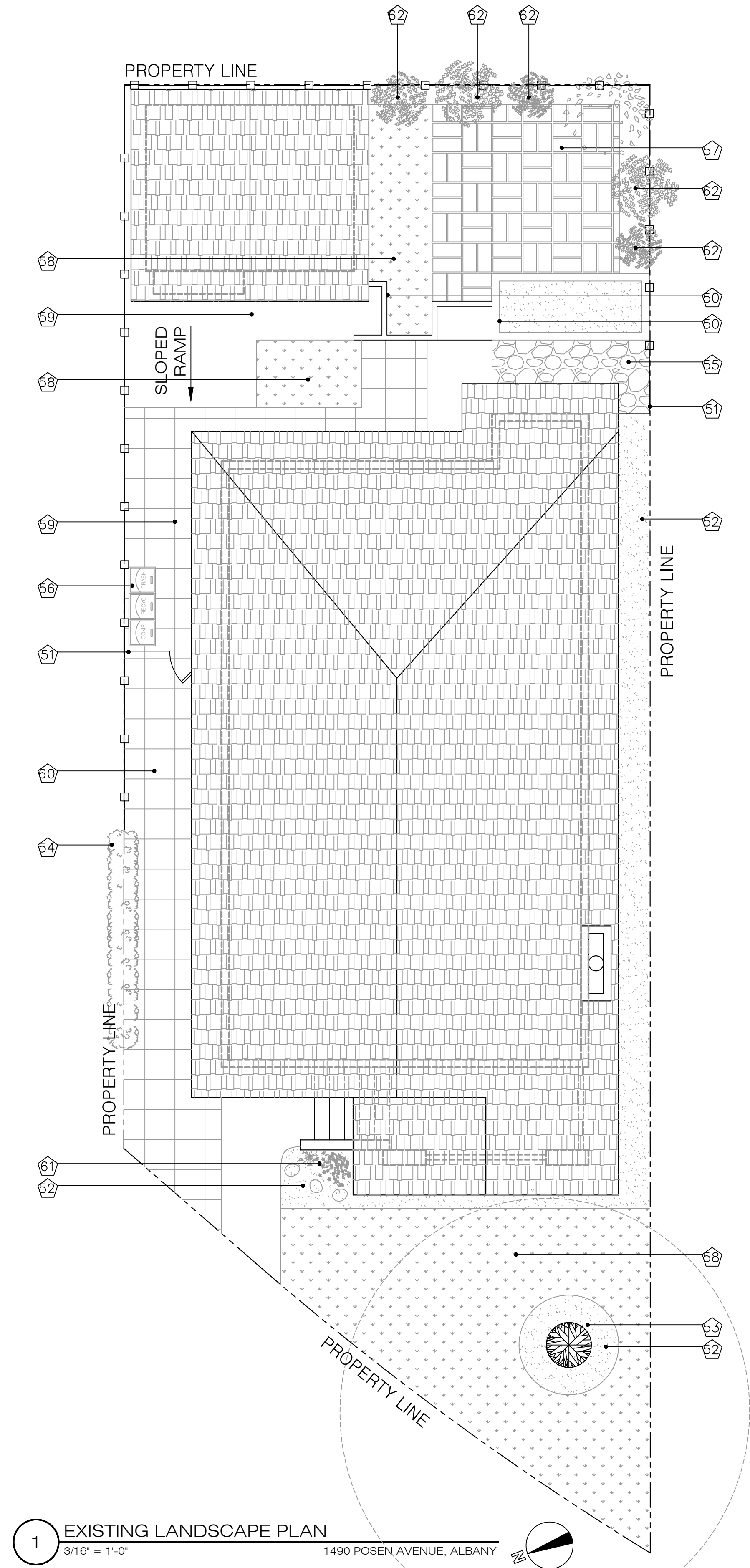


NO.	REVISIONS/SUBMISSIONS

DESIGNED: PETER CHOW	PROJECT NO. 220215
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FILE:	REVIEWED: C.C.
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SHEET	

A2.4
 OF SHEETS

- LANDSCAPE KEYED NOTES**
- Ⓢ RETAINING WALL PLANTER BOX.
 - Ⓢ WOODEN FENCE.
 - Ⓢ DARK BROWN GARDEN MULCH.
 - Ⓢ TREE TRUNK w/ CANOPY DRIPLINE.
 - Ⓢ FENCE-HEIGHT HEDGE.
 - Ⓢ CONCRETE STEPPING STONES IN GRAVEL.
 - Ⓢ TRASH TOTES.
 - Ⓢ INTERLOCKING PAVERS.
 - Ⓢ LAWN GRASS LANDSCAPE.
 - Ⓢ CONCRETE WALKWAY.
 - Ⓢ CONCRETE DRIVEWAY.
 - Ⓢ FOLIAGE.
 - Ⓢ PRIVACY SCREENING TREES.



APPLICANT:
YEONG SHIN

1490 POSEN AVENUE,
 ALBANY, CA 94706

SHEET TITLE:
DETAILS

JOB ADDRESS:
 1490 POSEN AVENUE,
 ALBANY, CA 94706

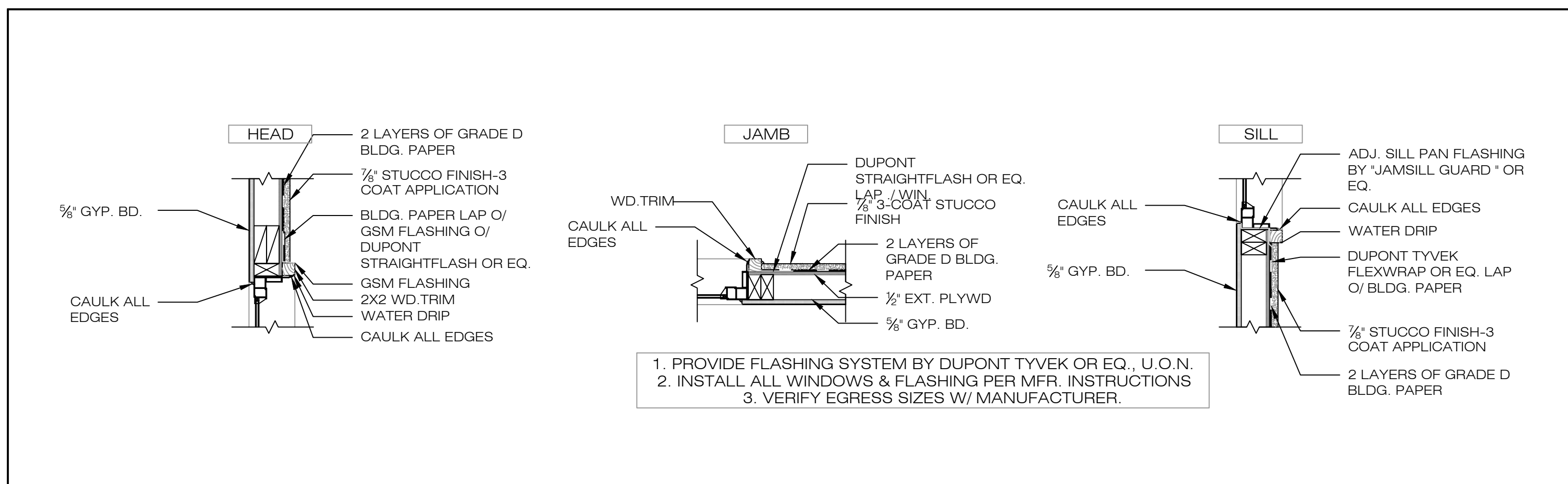
APN: 65-2416-15



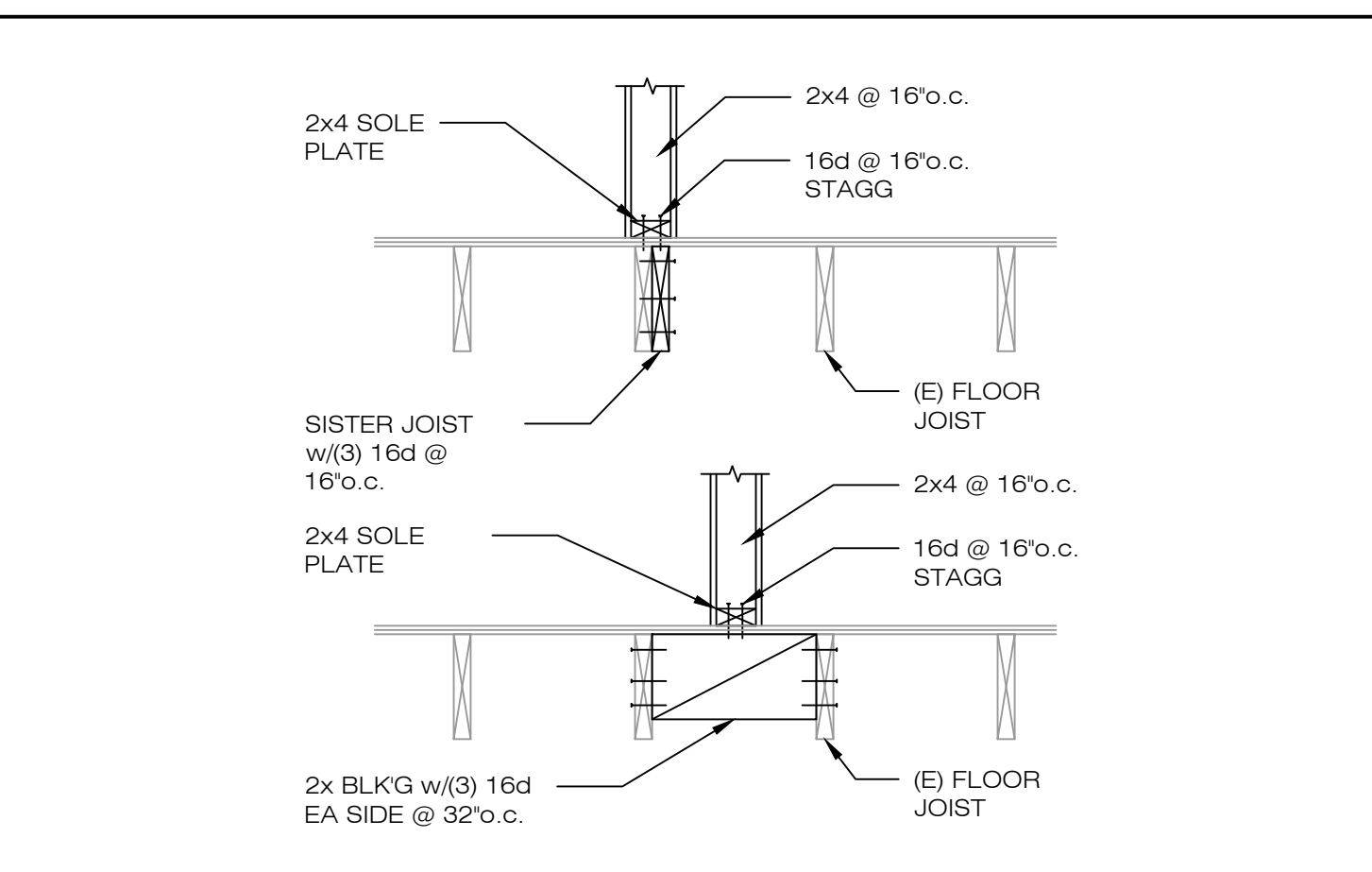
NO. REVISIONS/SUBMISSIONS

DESIGNED:	PROJECT NO.
PETER CHOW	220215
DRAWN:	DATE:
PETER CHOW	02/20/2022
SCALE:	CHECKED:
AS SHOWN	C.C.
FILE:	REVIEWED:
	C.C.
VIEW:	CONSULTANT:
2-D	
SHEET	

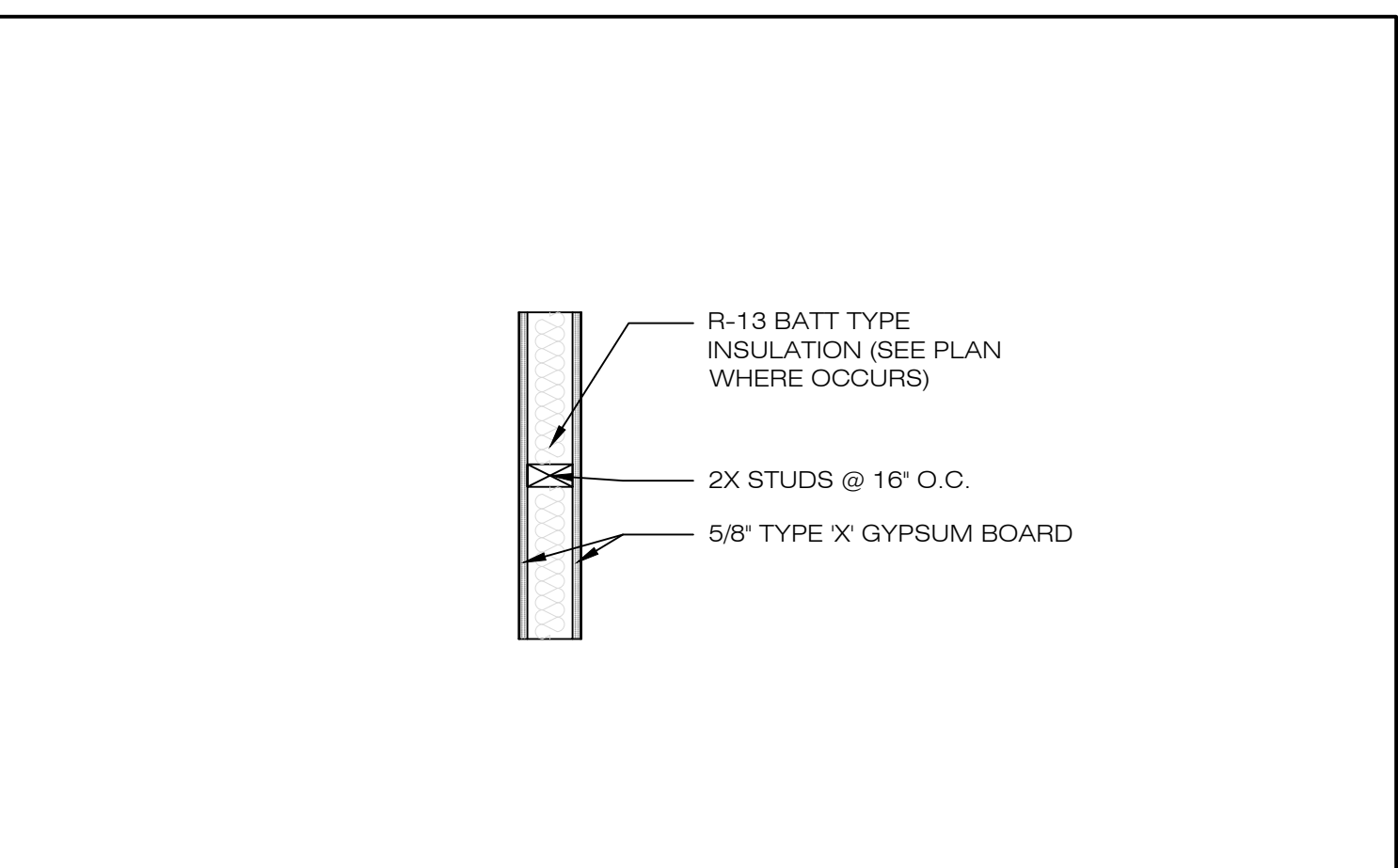
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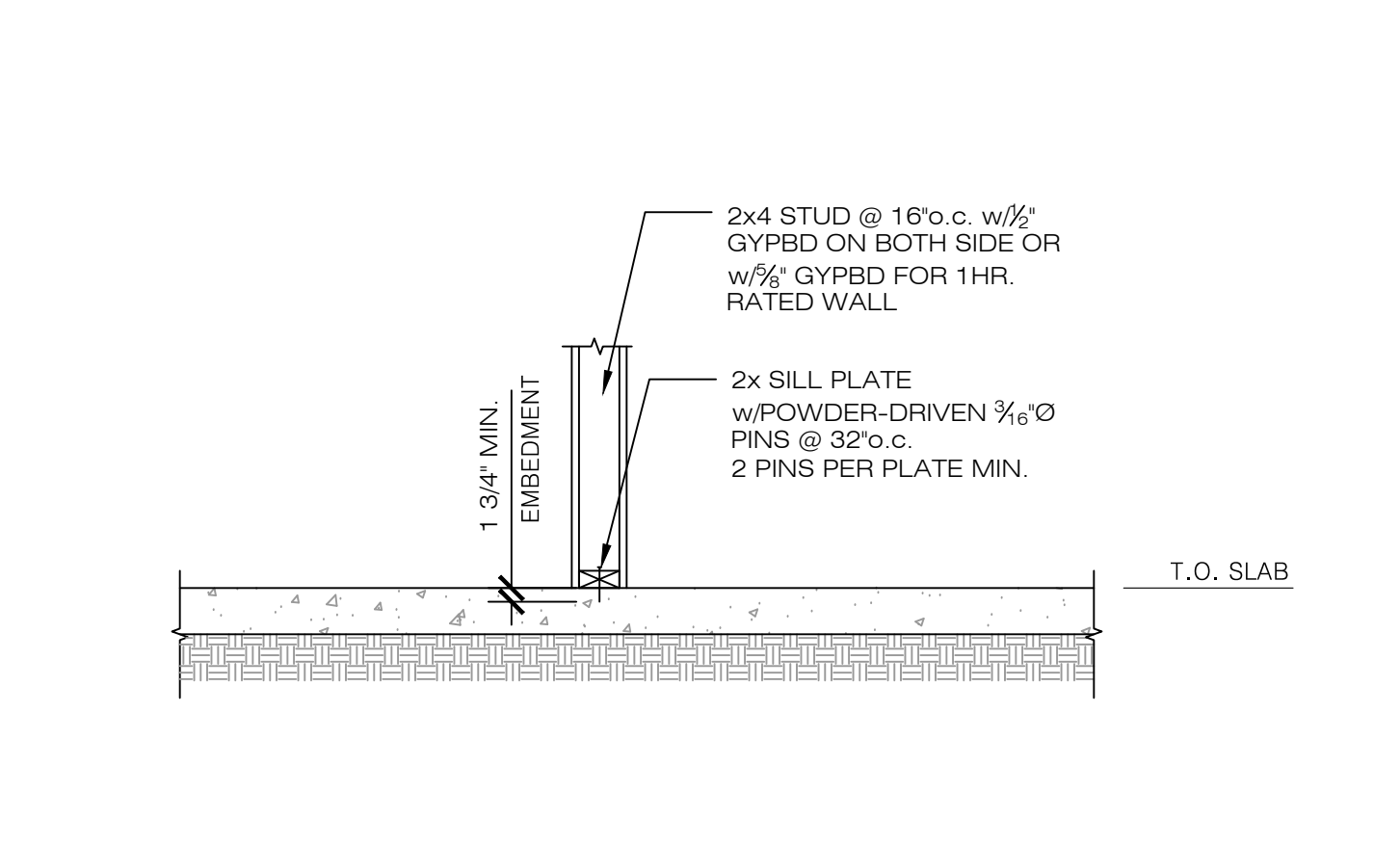
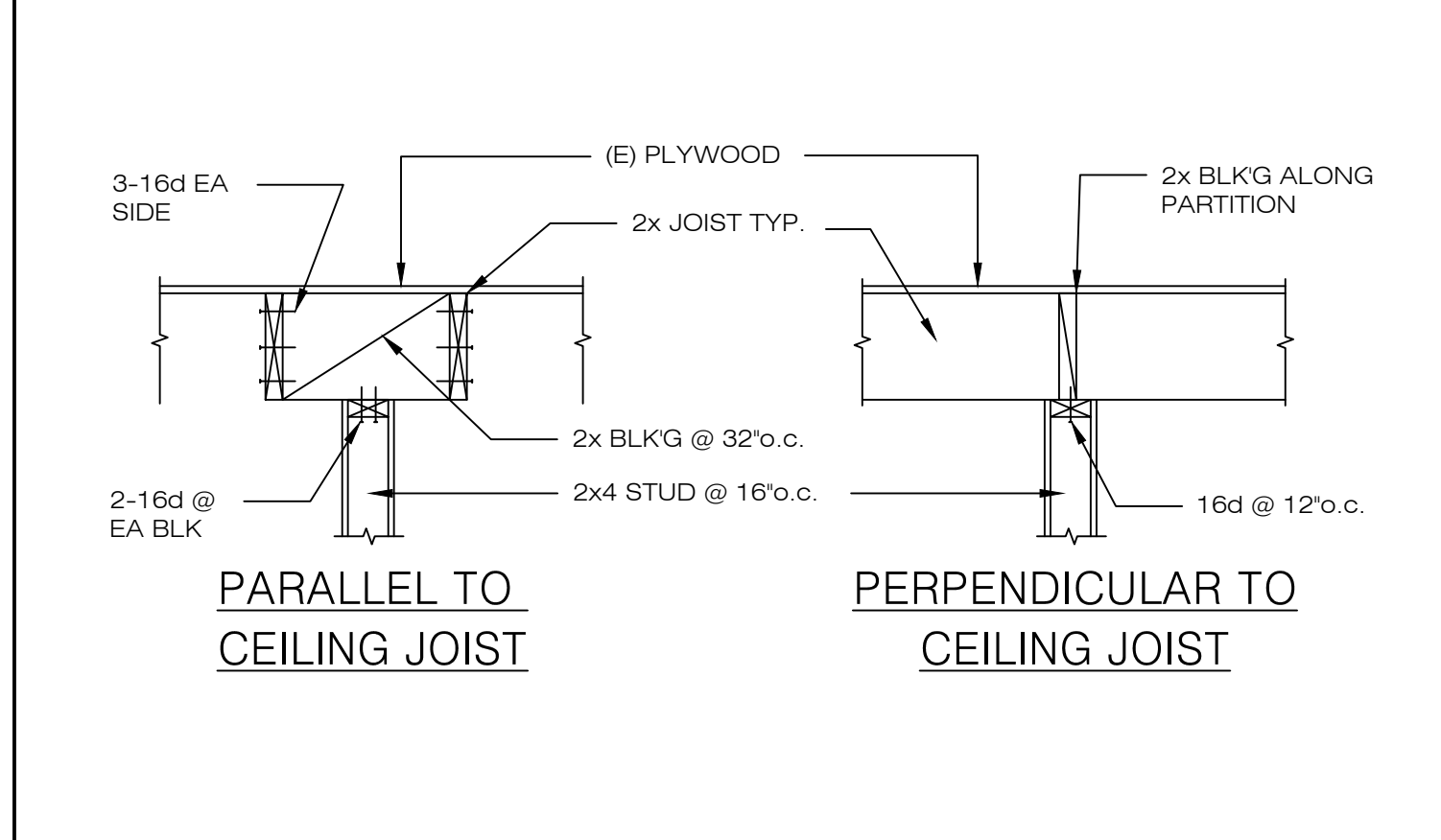
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PARTITION TO FLOOR JOIST NO SCALE **2**

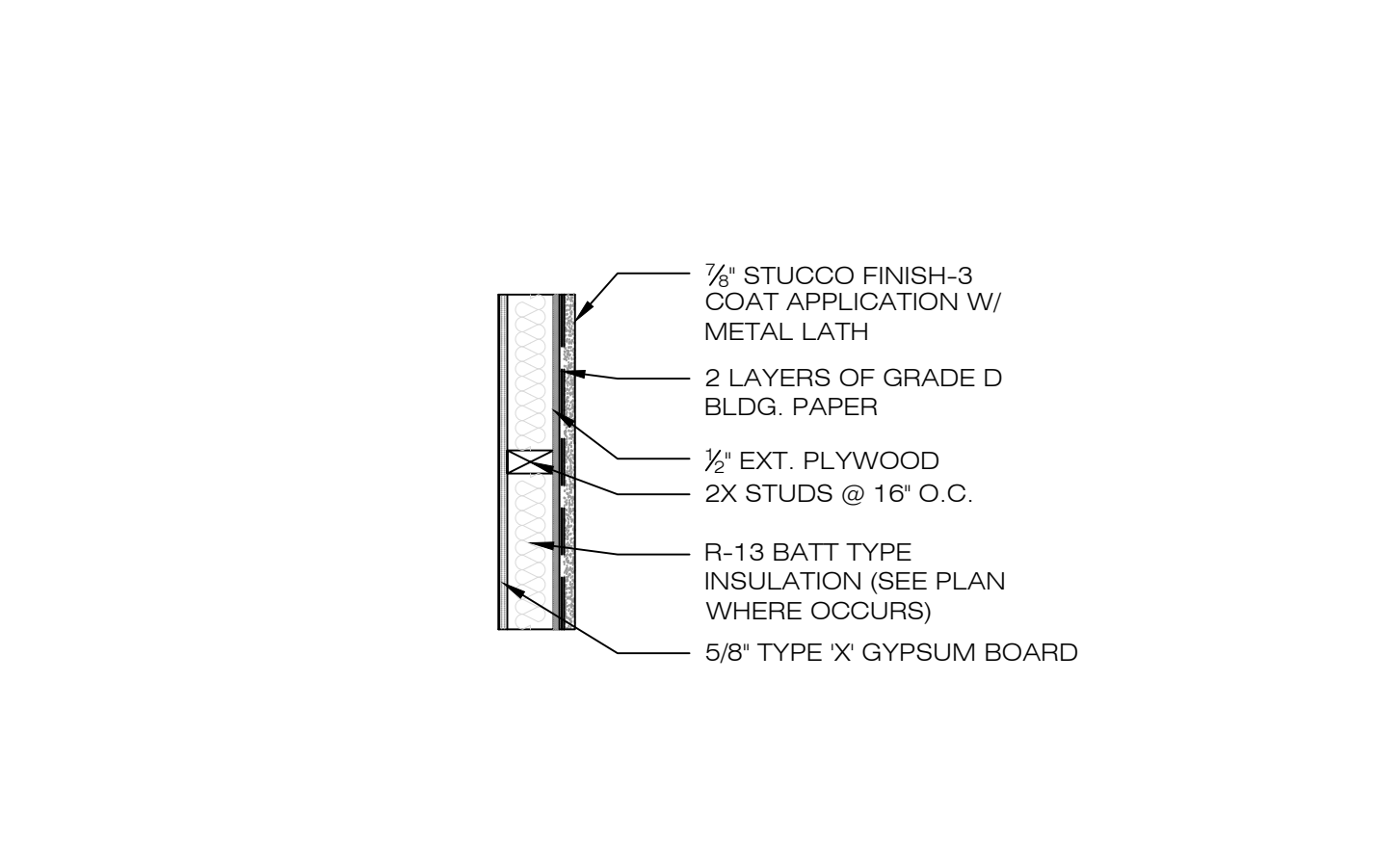
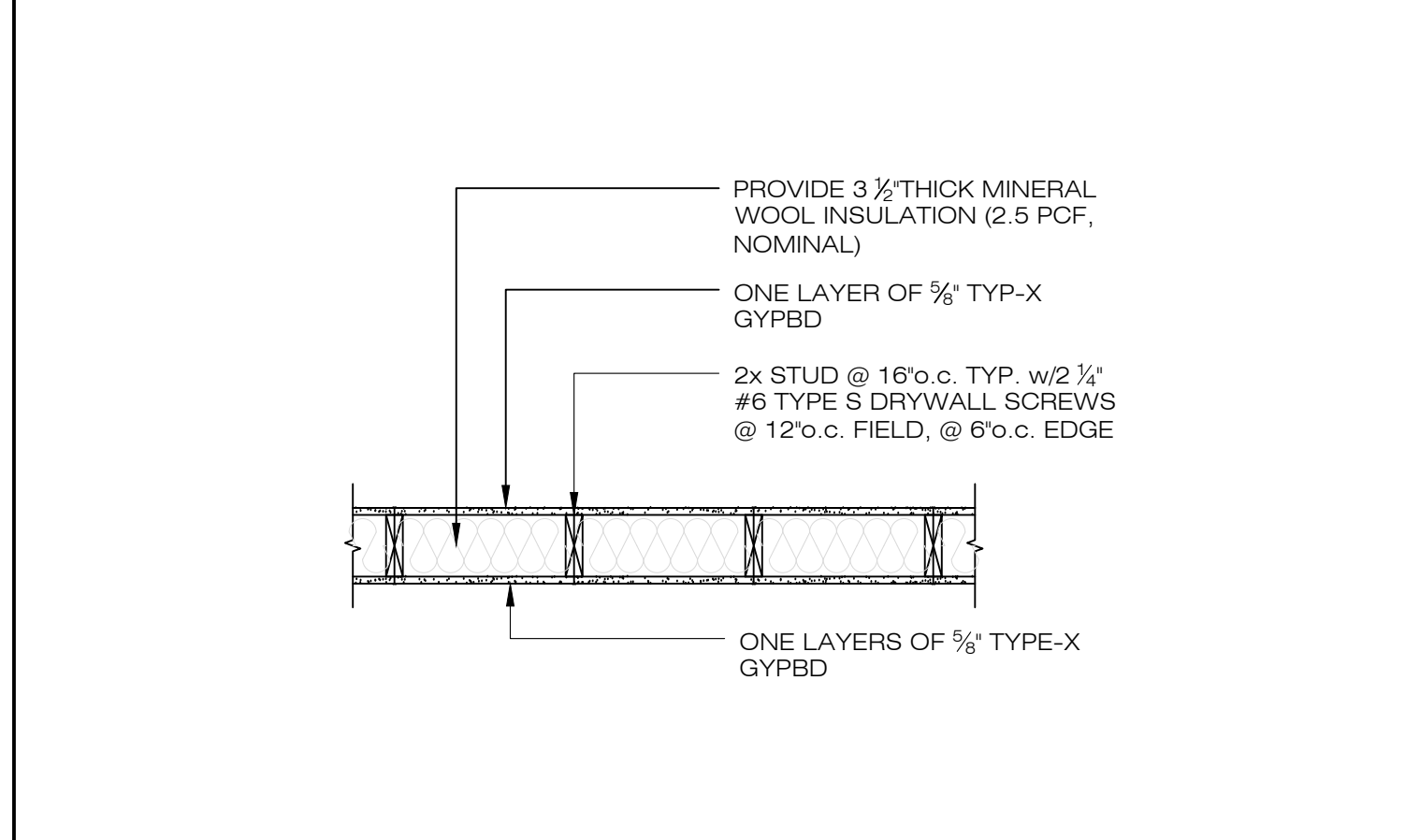


INTERIOR WALL DETAIL NO SCALE **3**



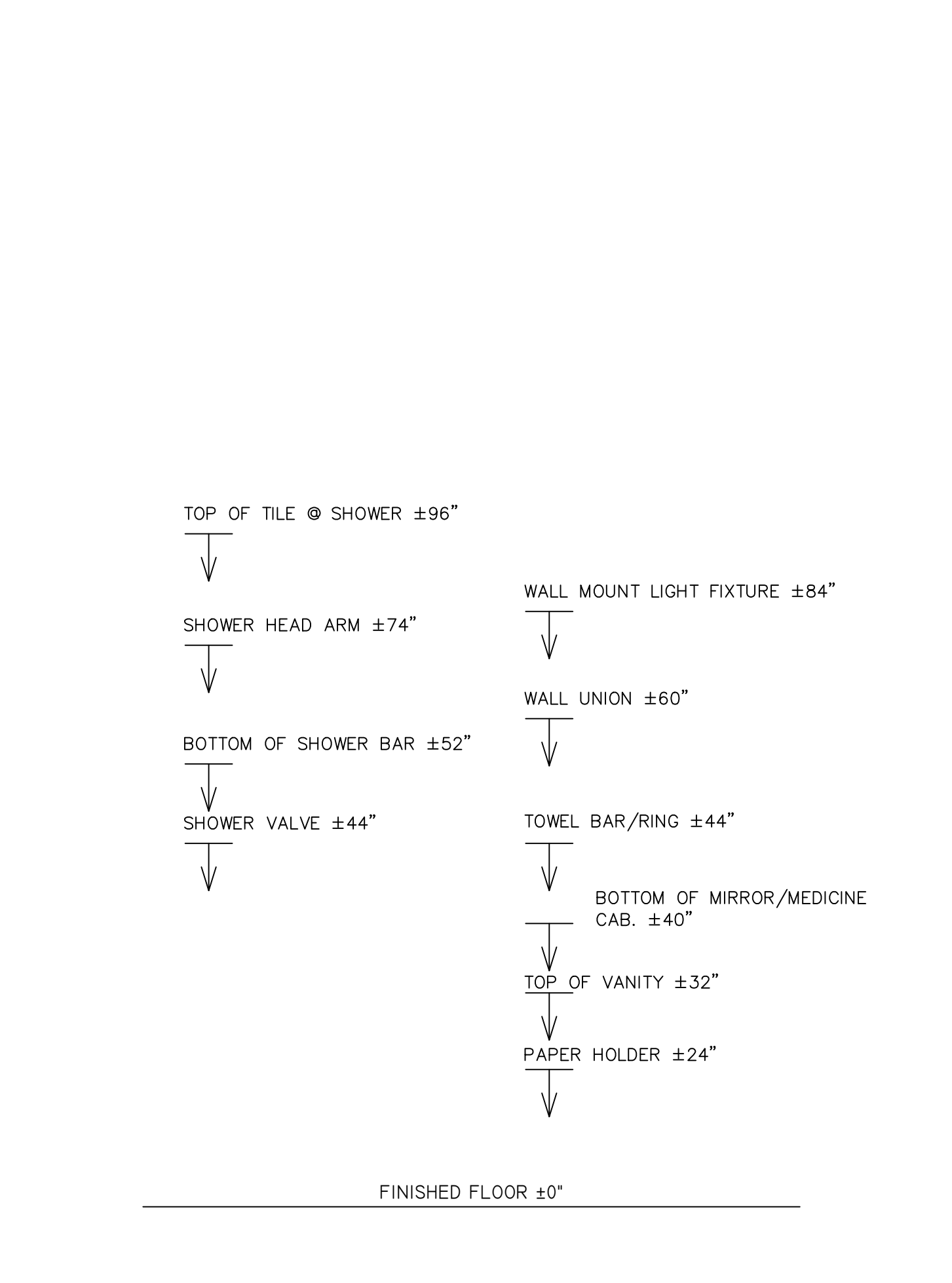
PARTITION TO CEILING NO SCALE **4**

PARTITION TO SLAB NO SCALE **5**

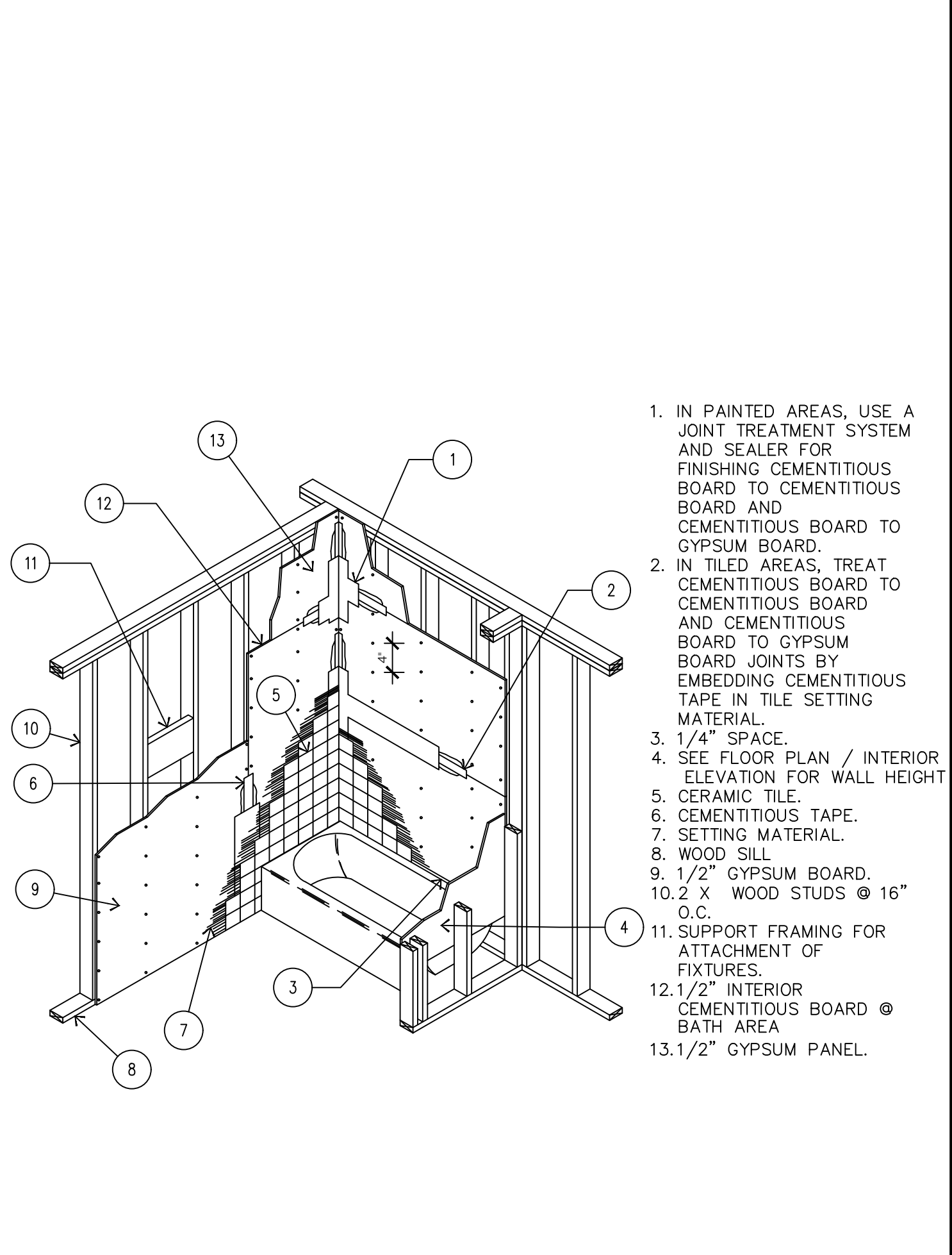


1-HR WALL DETAILS NO SCALE **6**

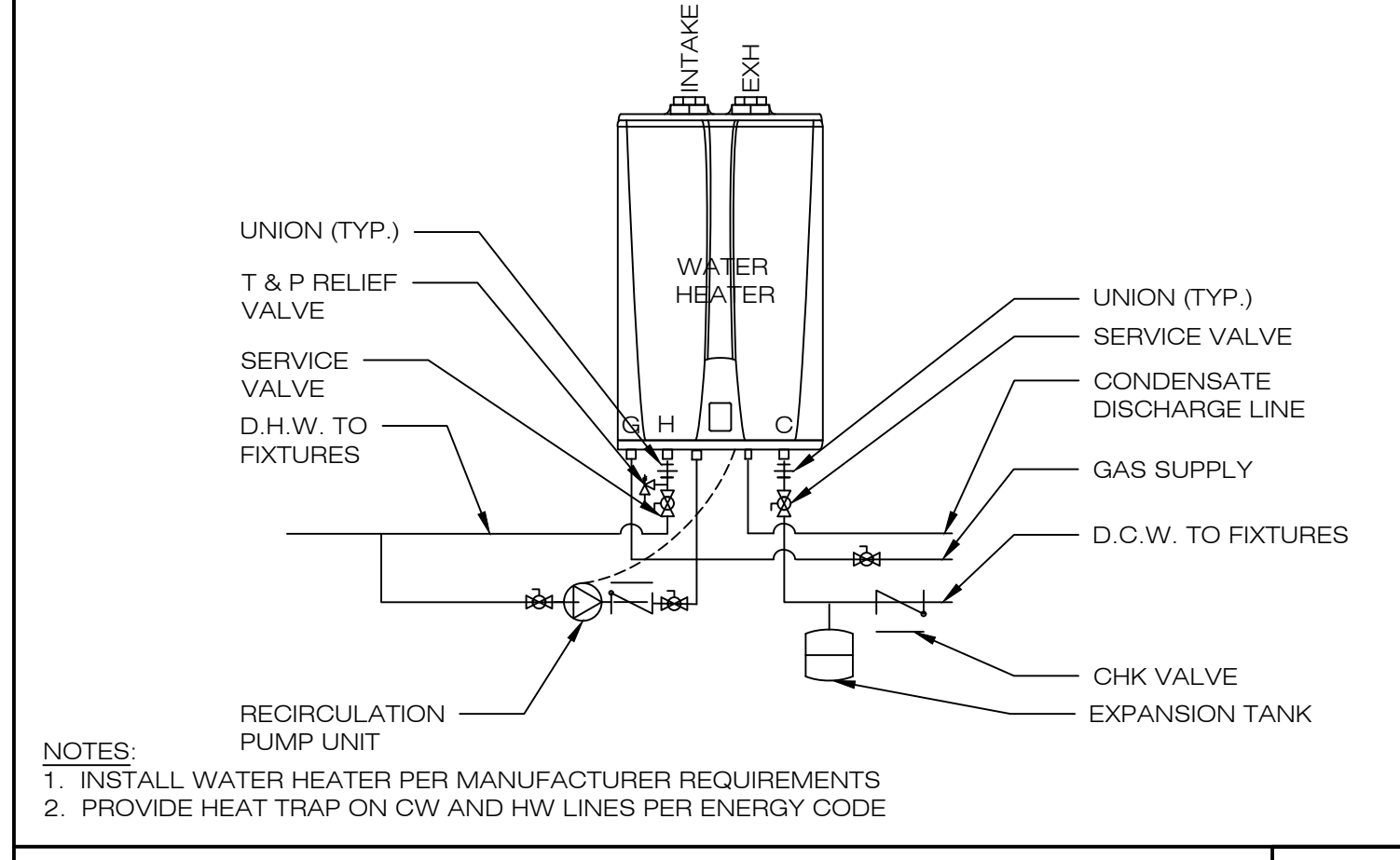
EXTERIOR STUCCO WALL DETAIL NO SCALE **7**



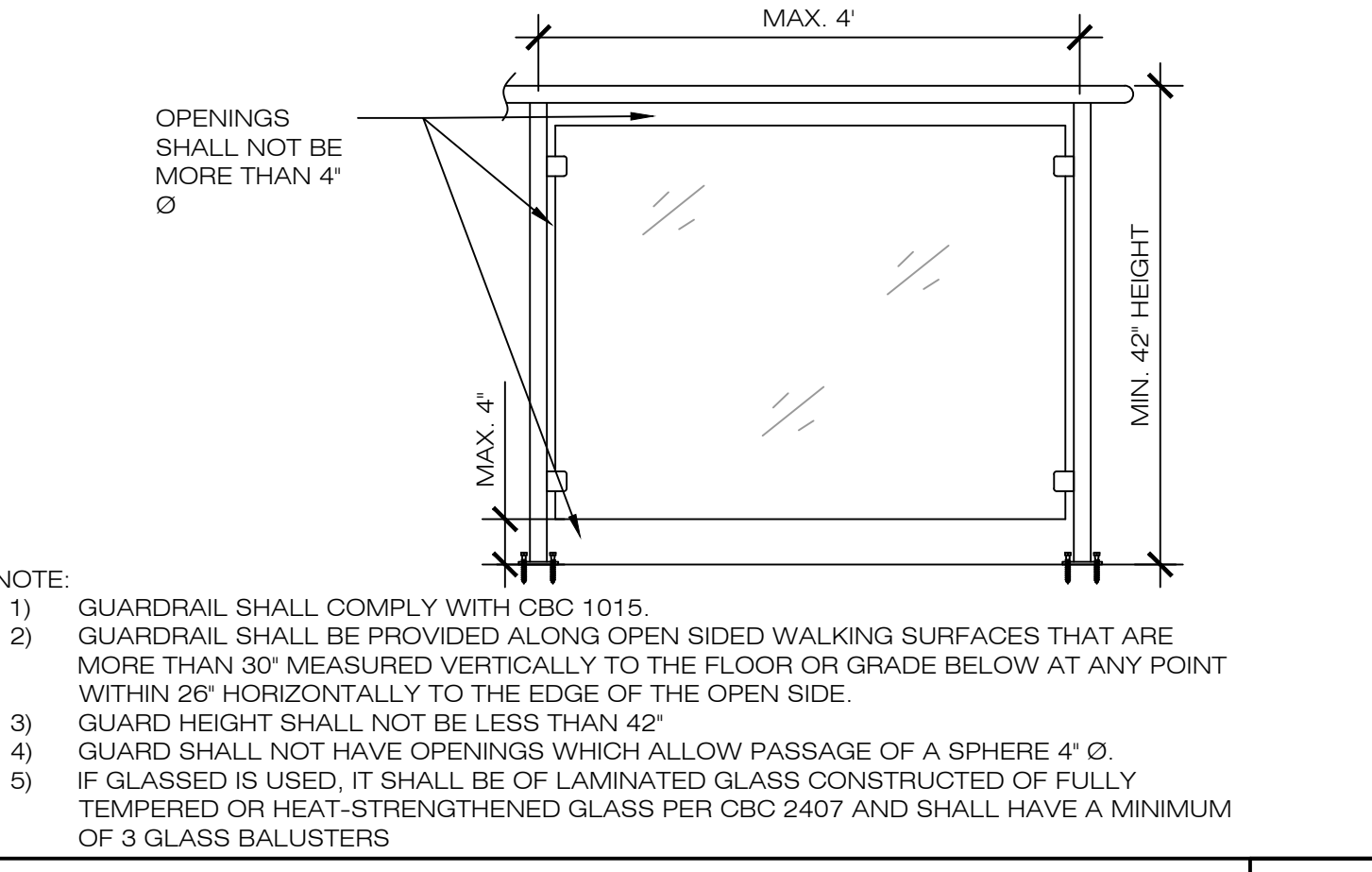
TYP. BATHROOM FIXTURE HT. NO SCALE **8**



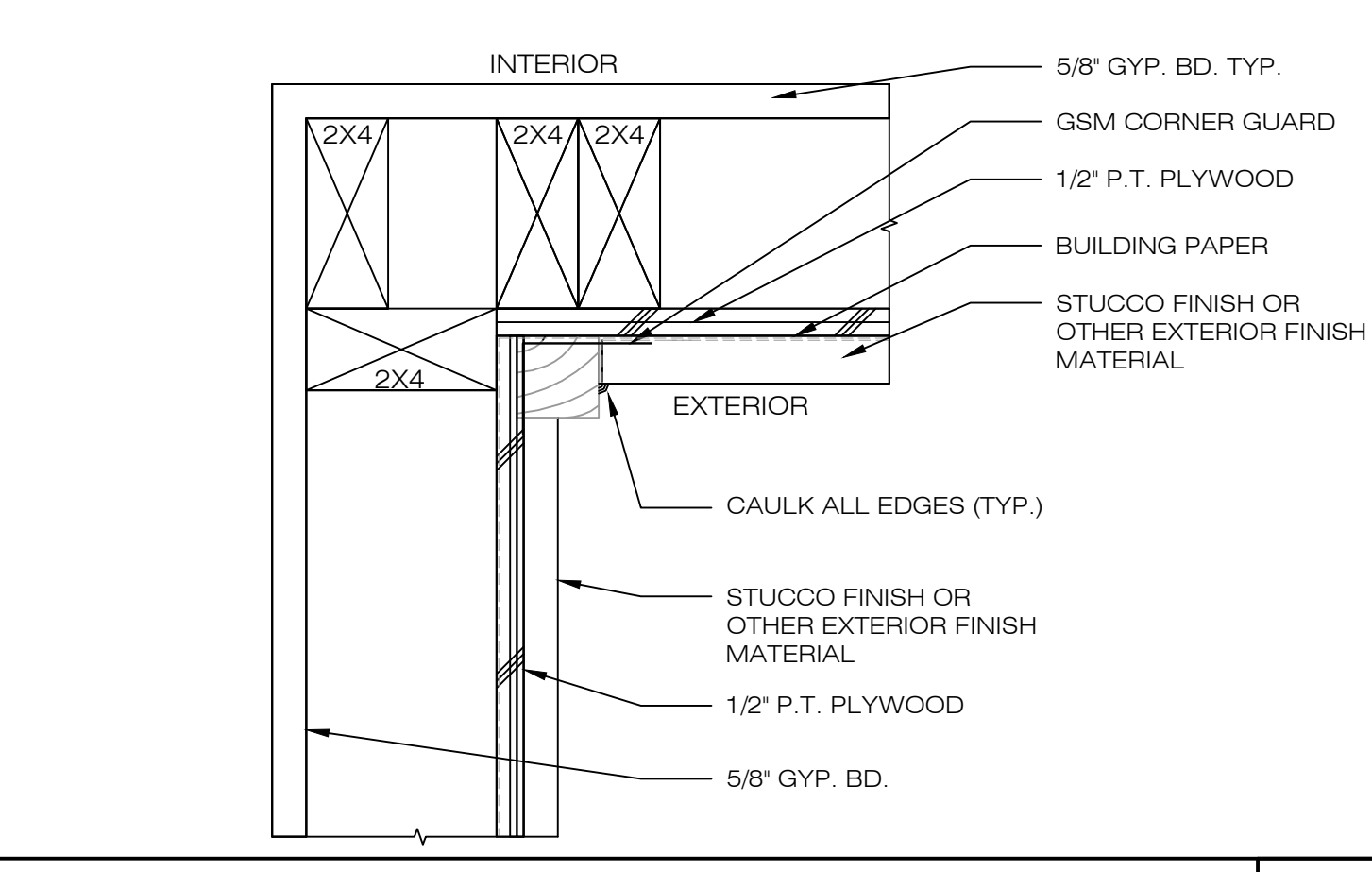
BATHROOM WALL DETAIL NO SCALE **9**



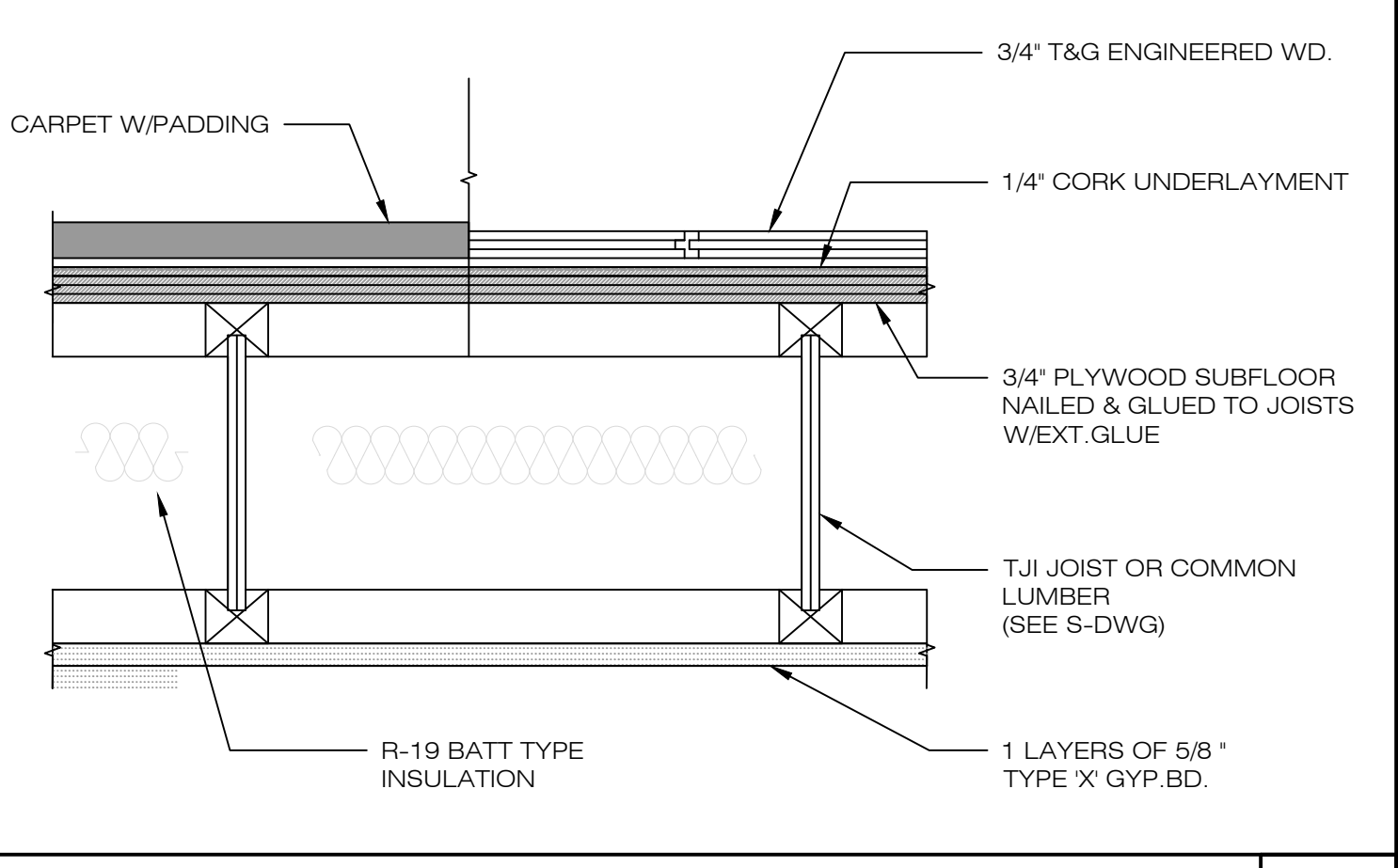
WATER HEATER DETAIL (TANKLESS) NO SCALE **10**



GUARD RAIL DETAIL NO SCALE **11**



WALL CORNER DETAIL NO SCALE **12**

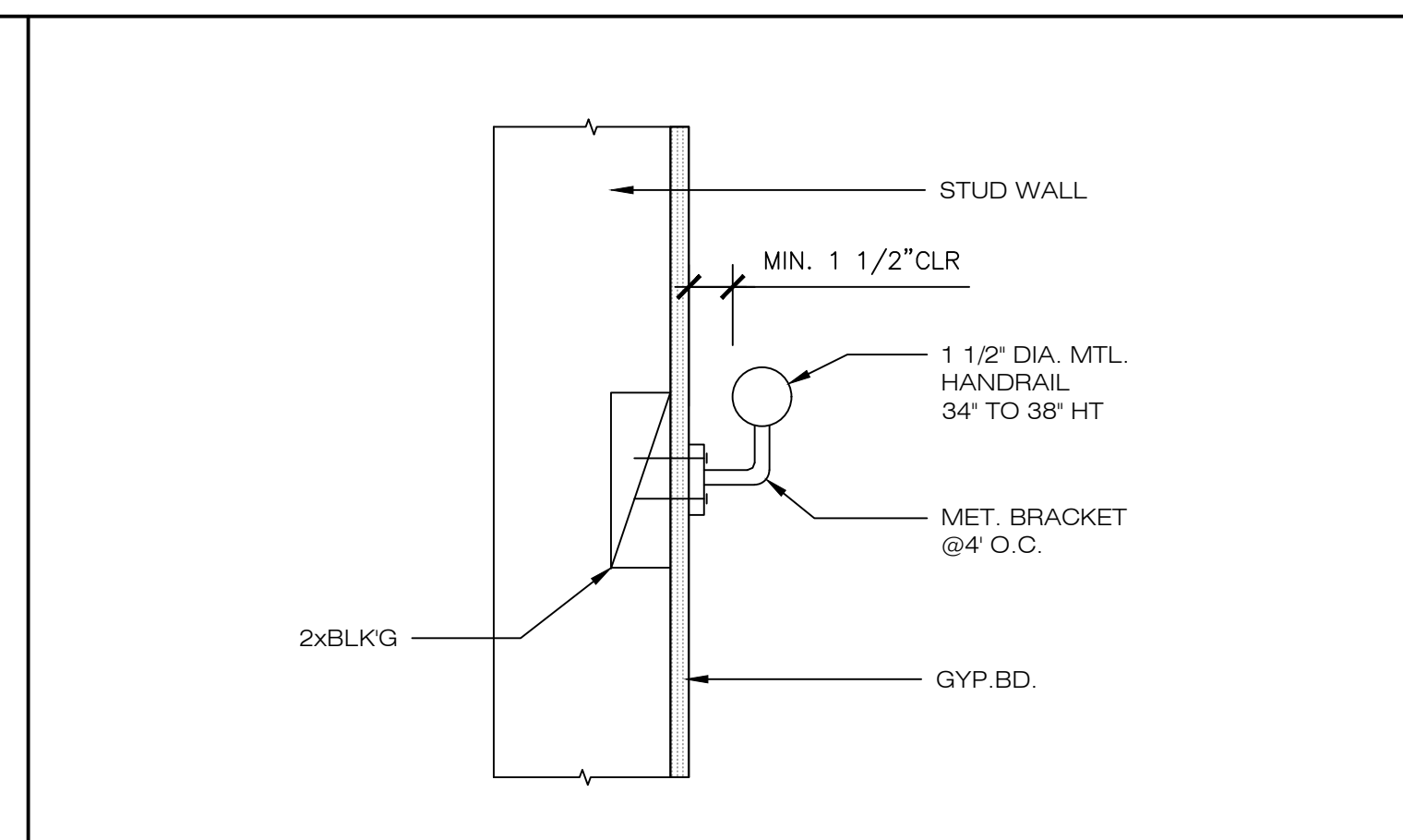
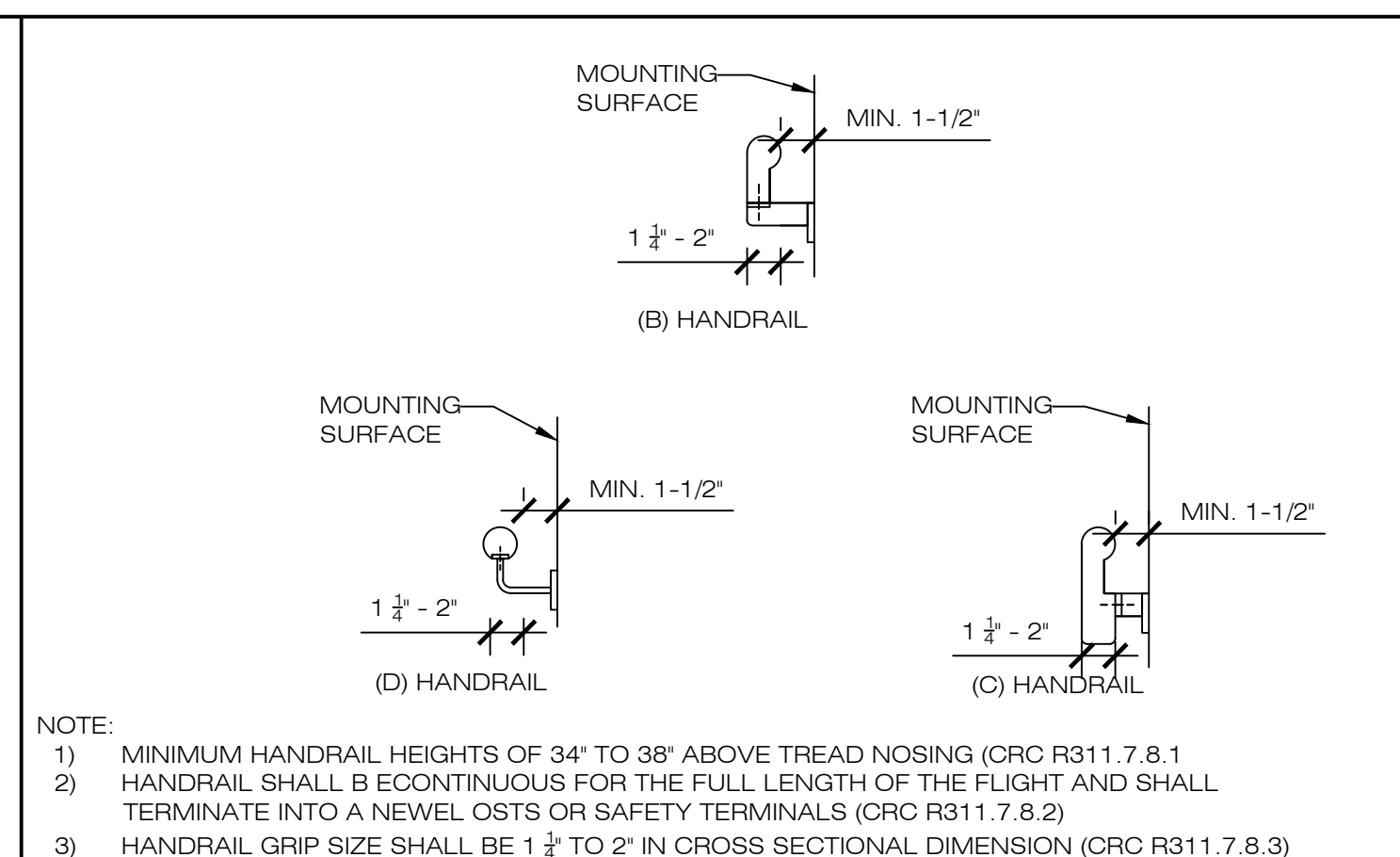
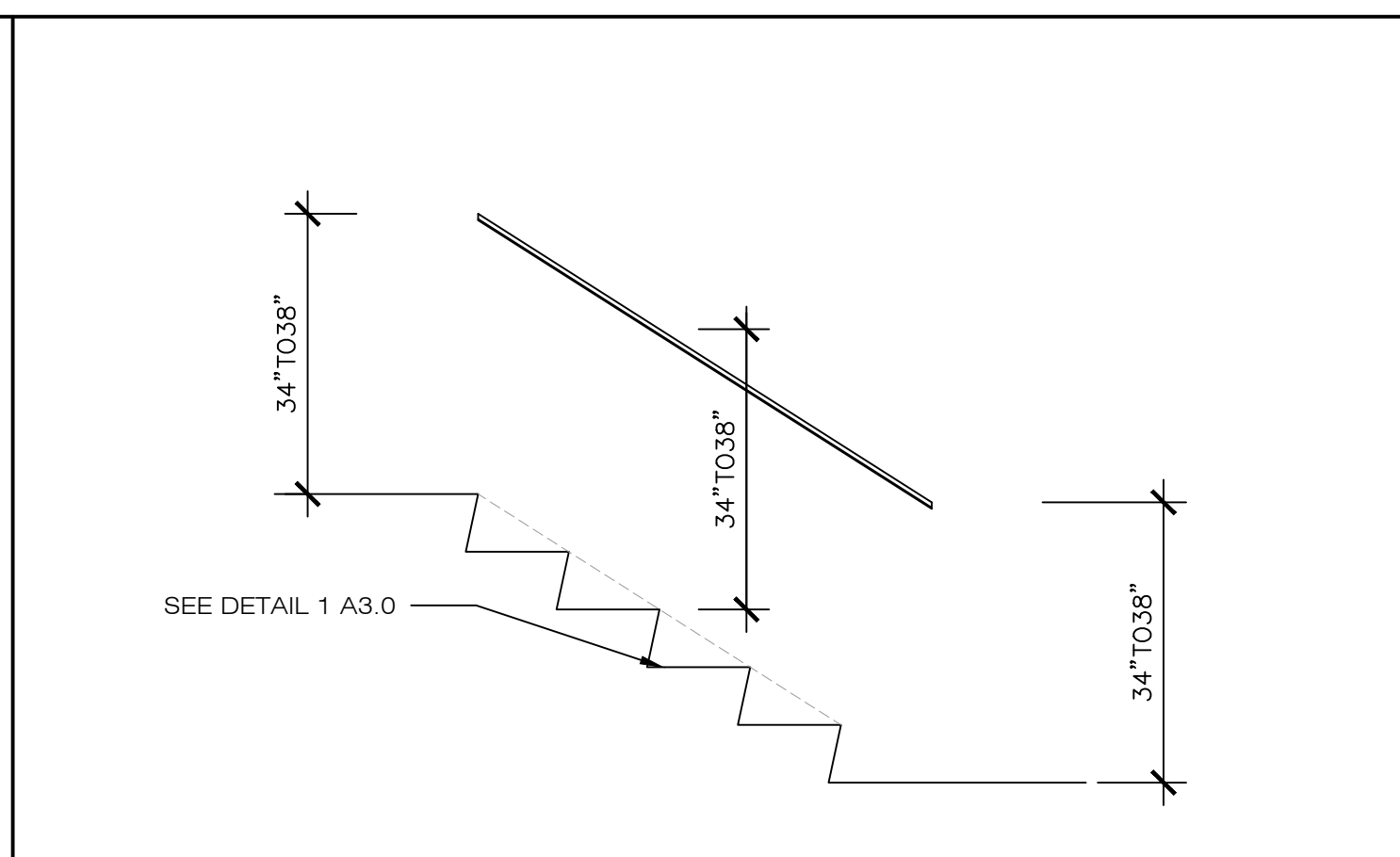
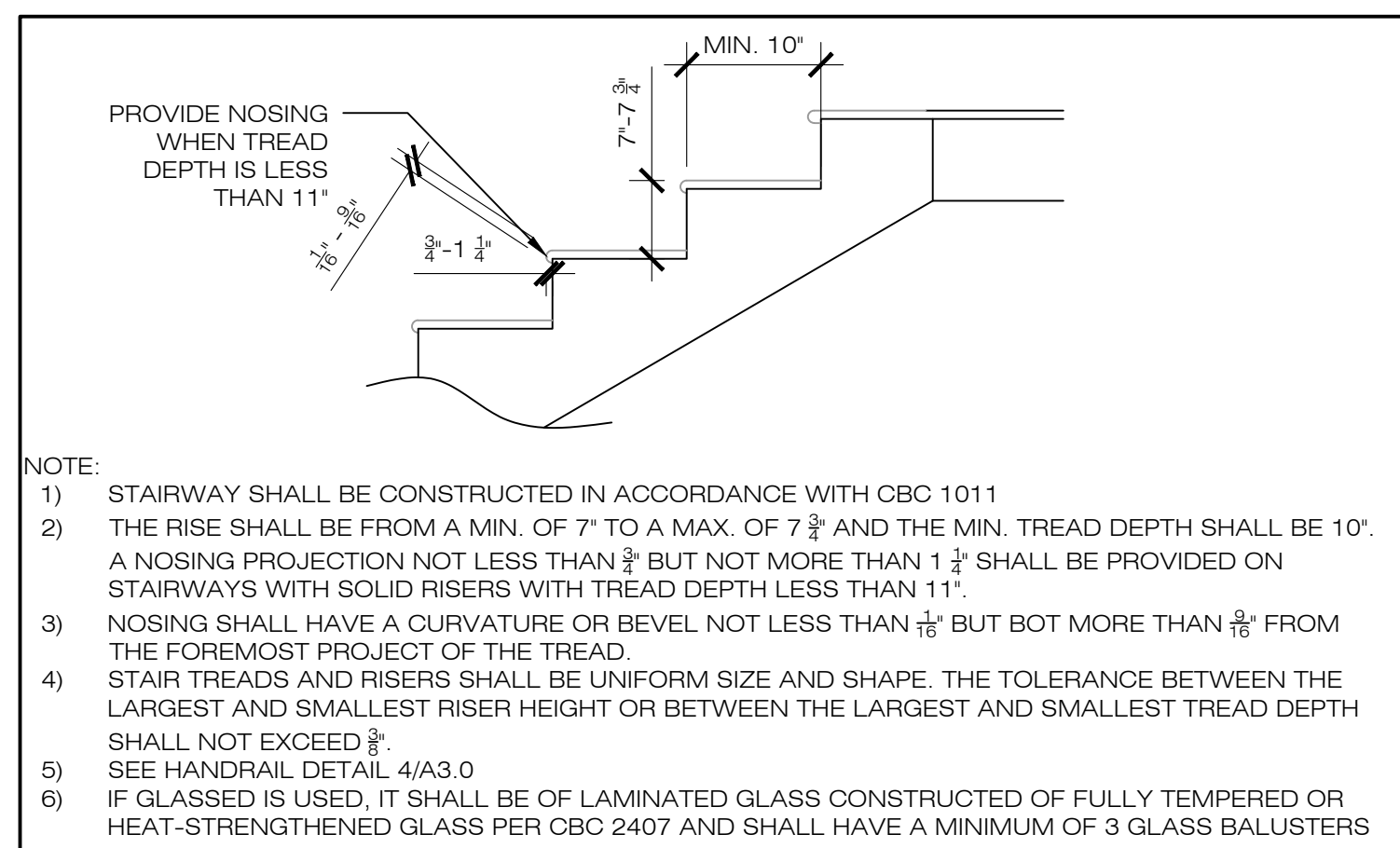


FLOOR DETAIL NO SCALE **13**



NO.	REVISIONS/SUBMISSIONS

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DRAWN: PETER CHOW	DATE: 02/20/2022
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:

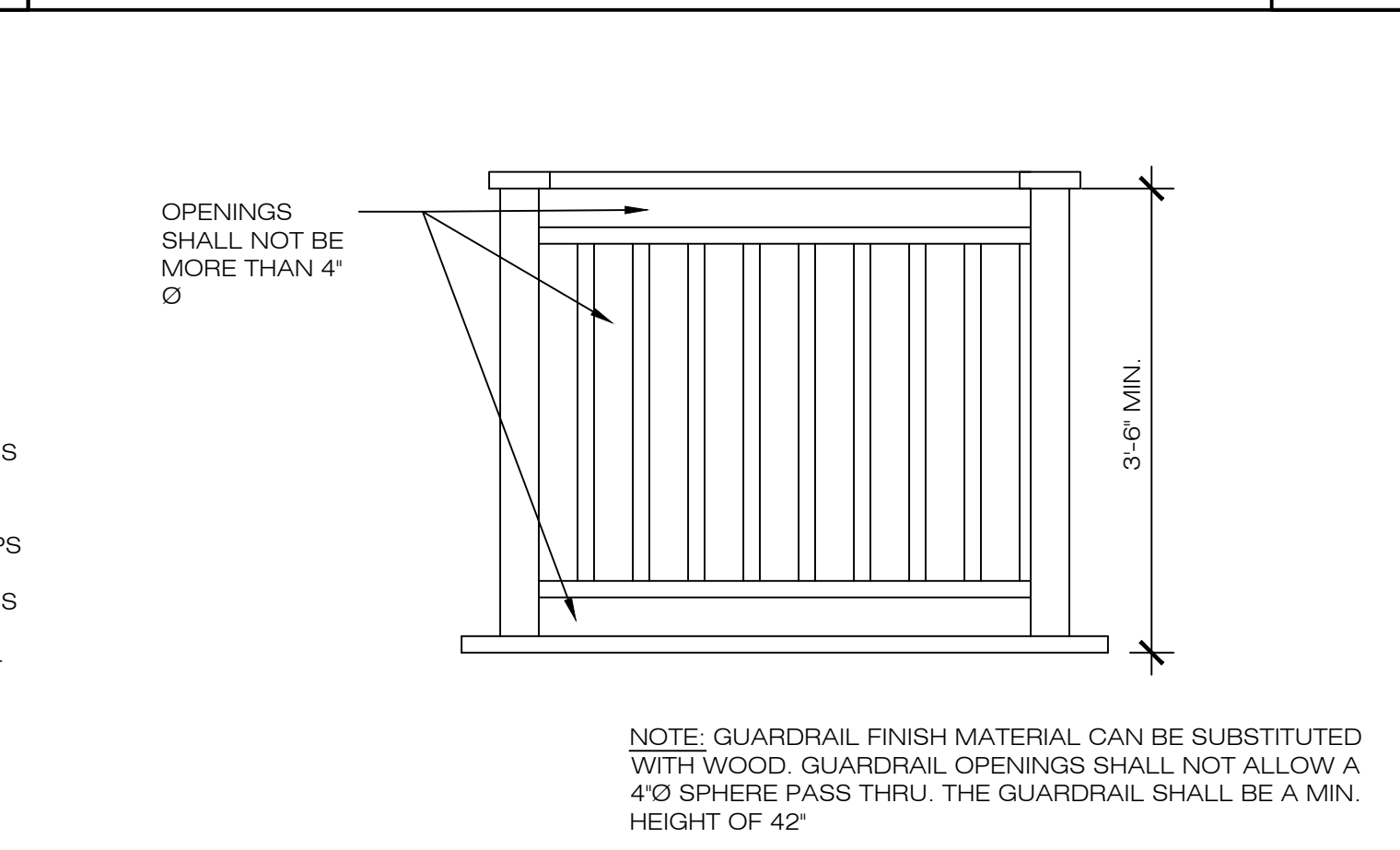
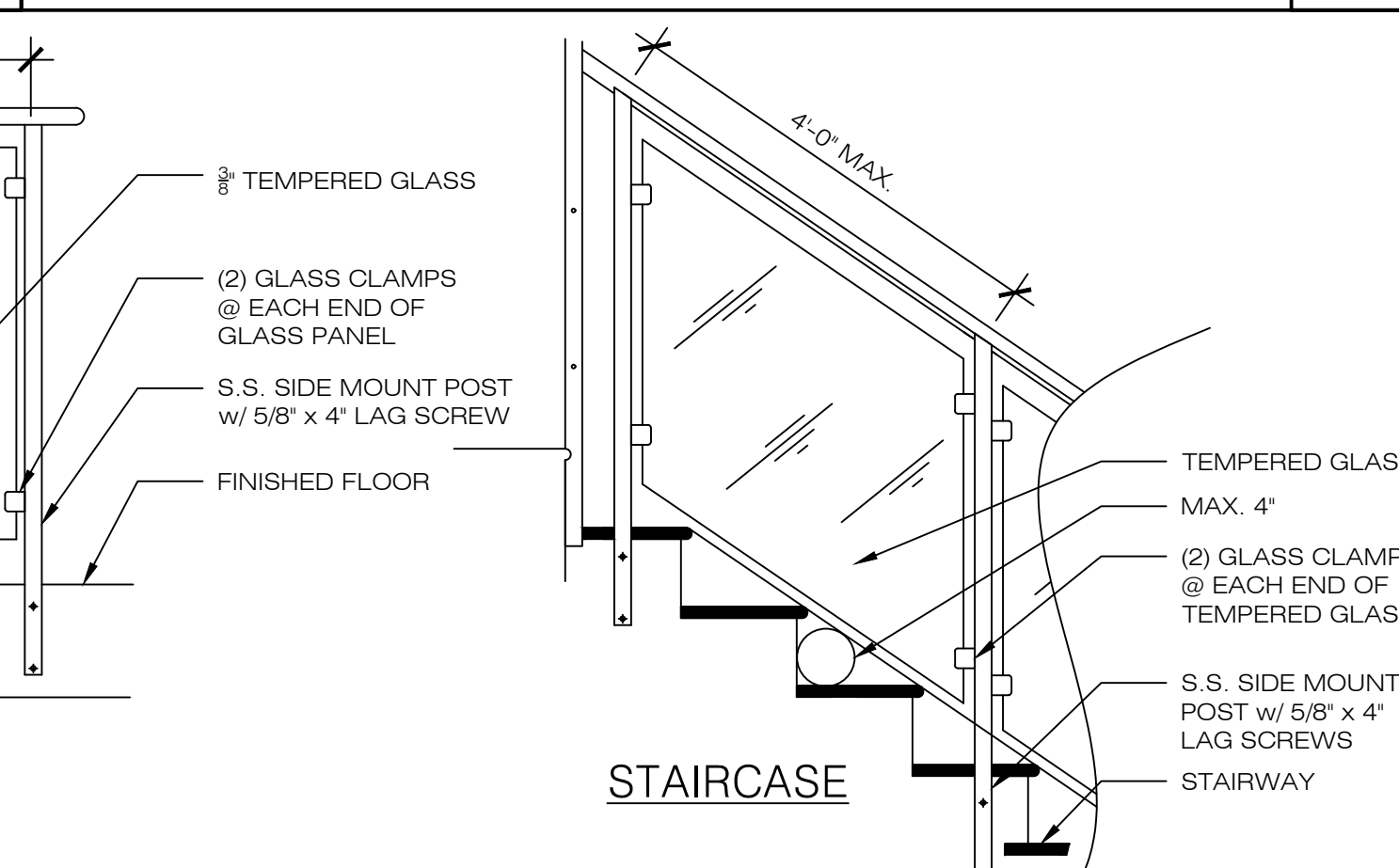
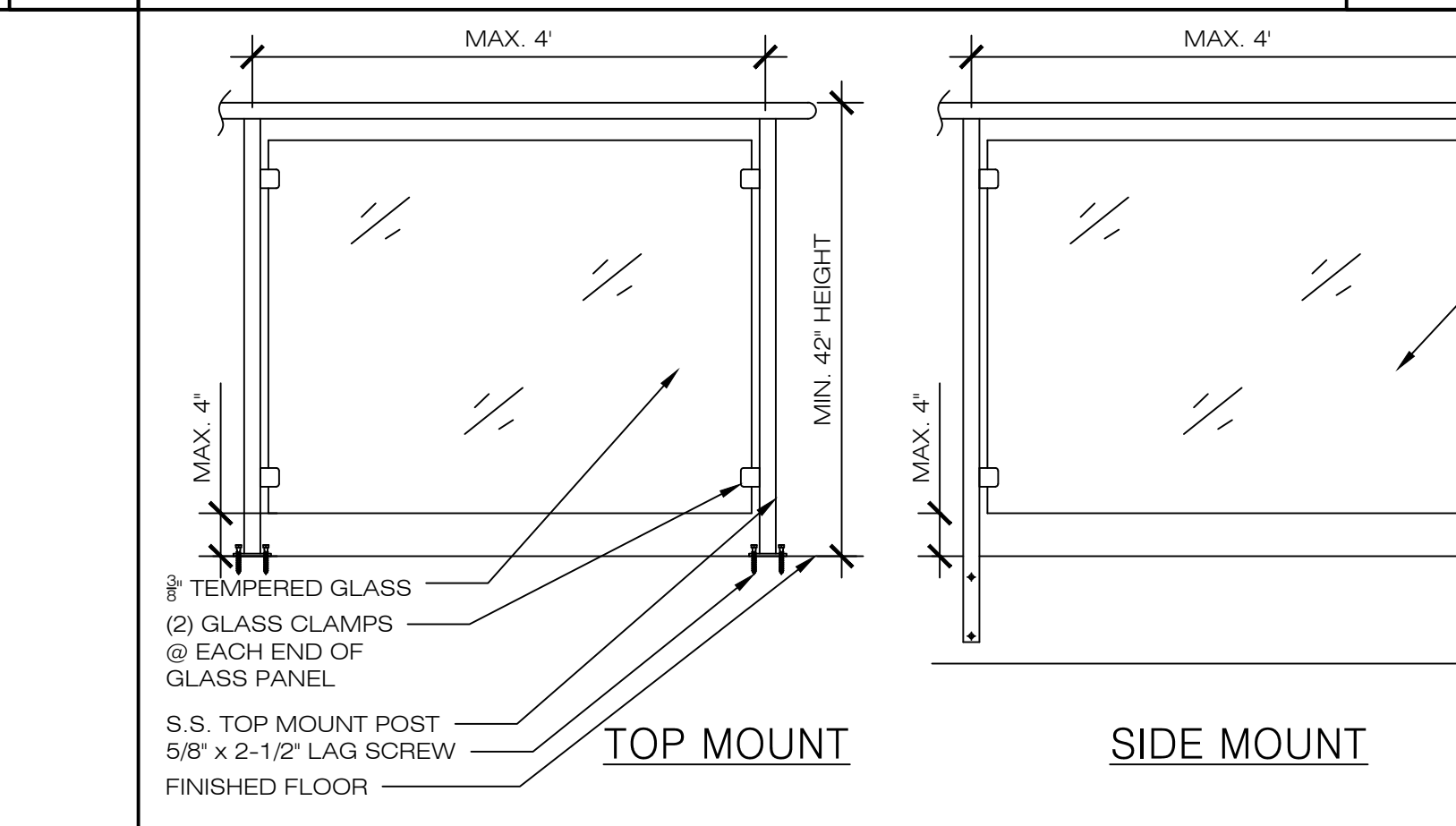
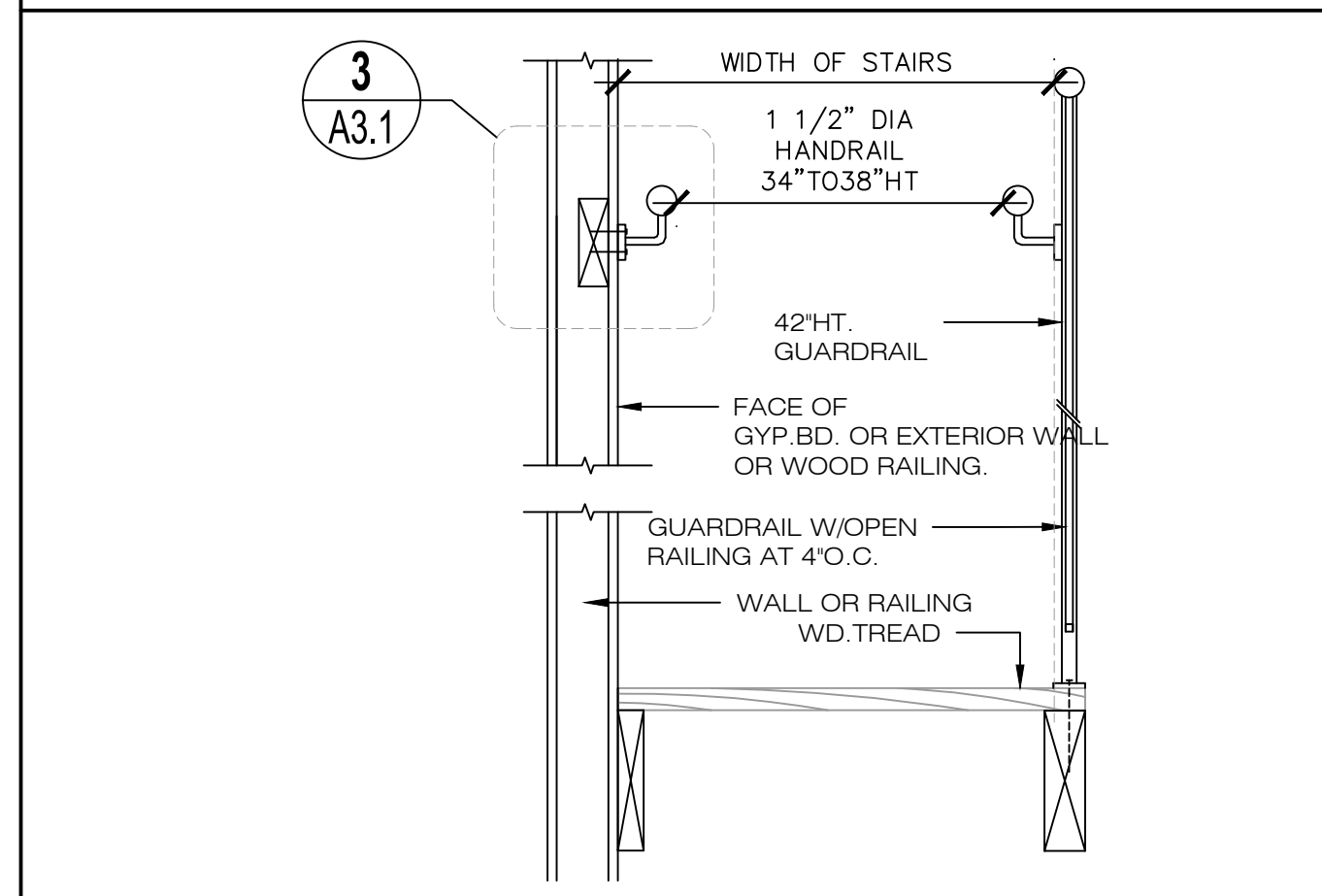


STAIRWAY DETAIL

1 STAIR & HANDRAIL

2 HANDRAIL DETAIL
 NO SCALE

3 HANDRAIL



STAIR & RAIL
 NO SCALE

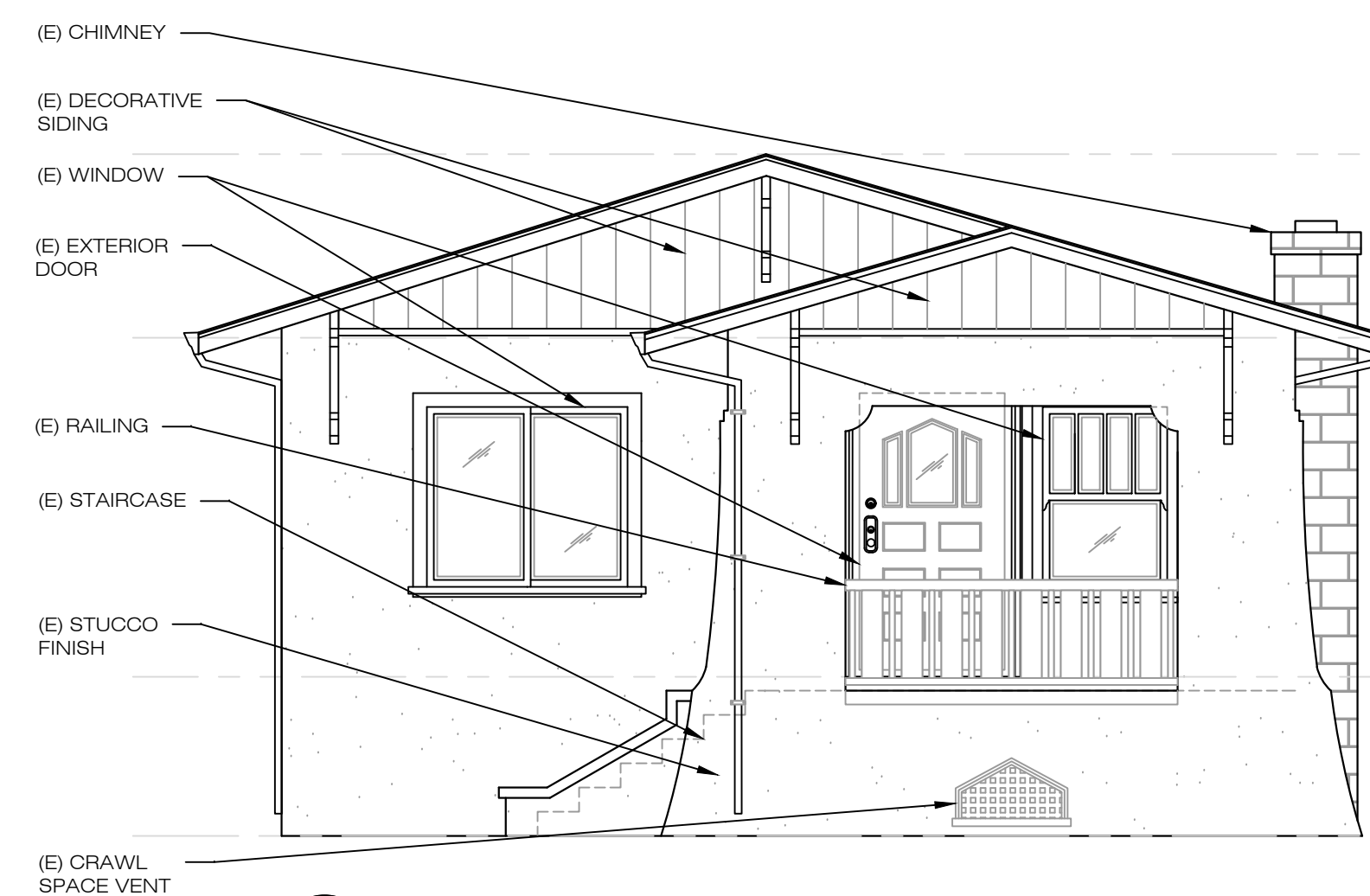
5 RAILING DETAIL
 NO SCALE

6

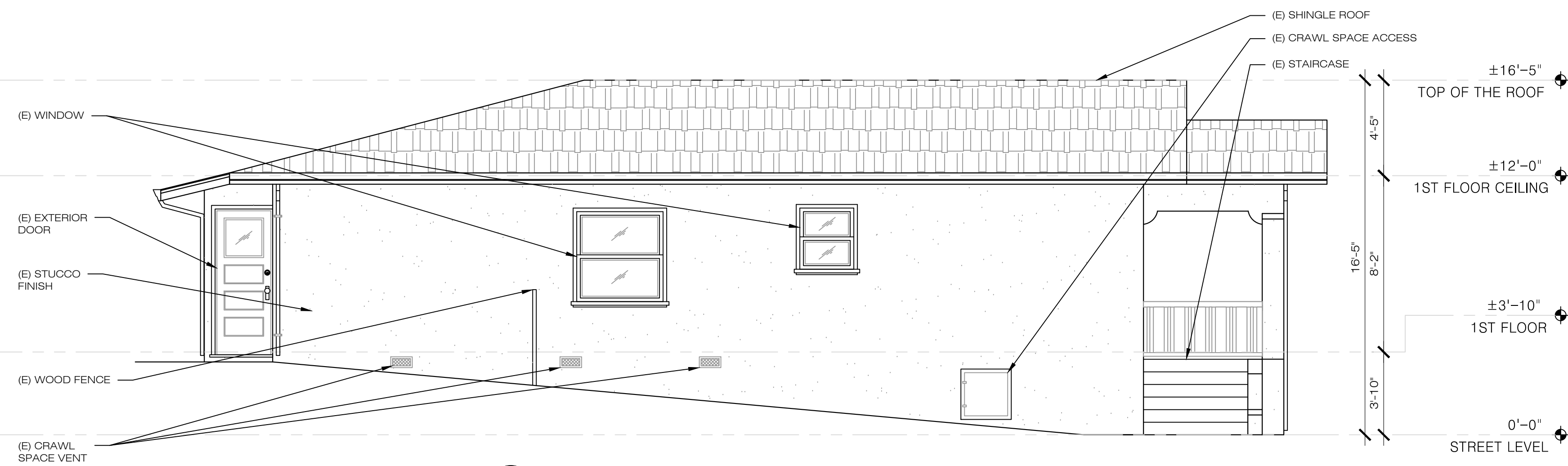


NO.	REVISIONS/SUBMISSIONS

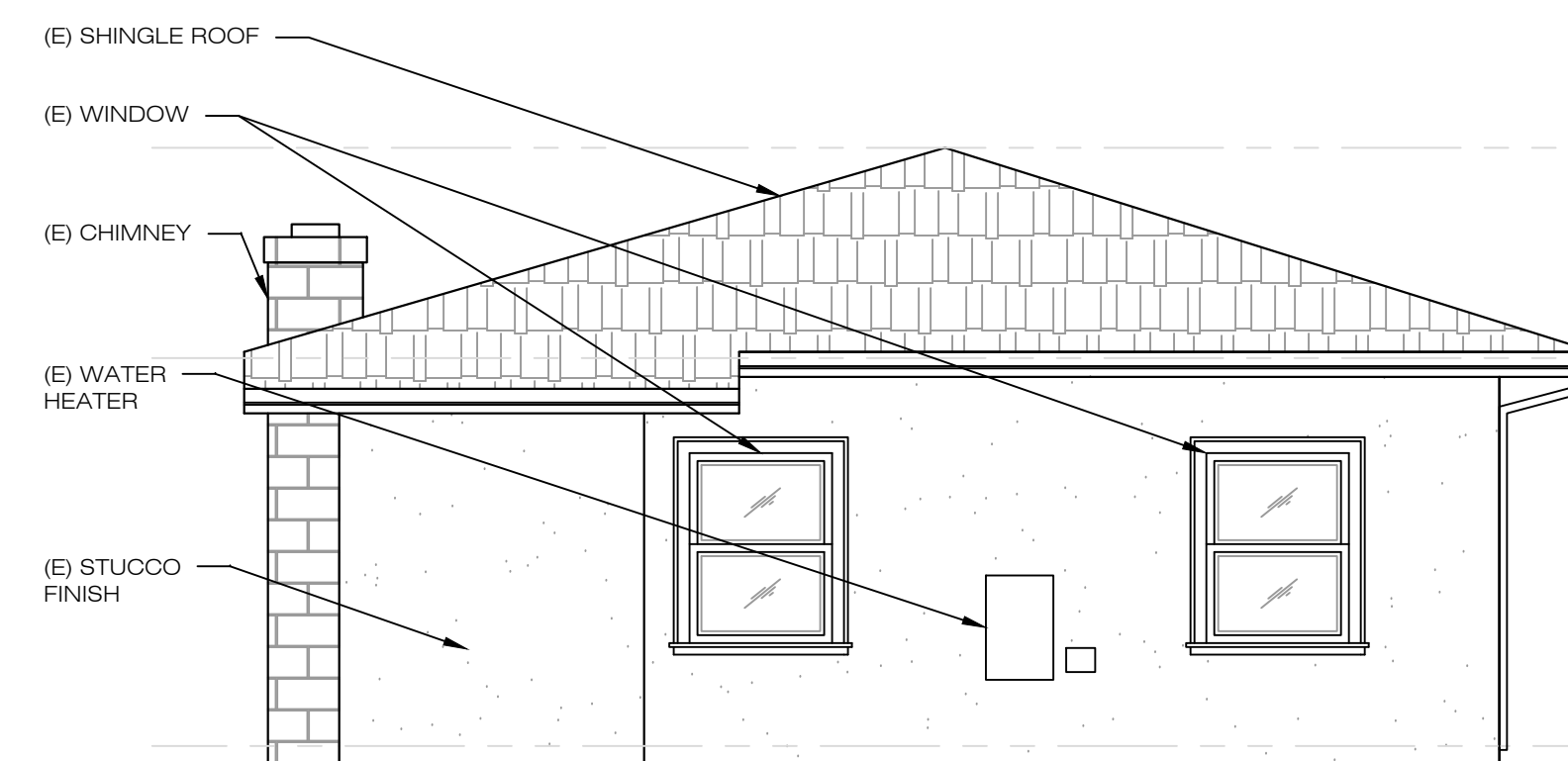
DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
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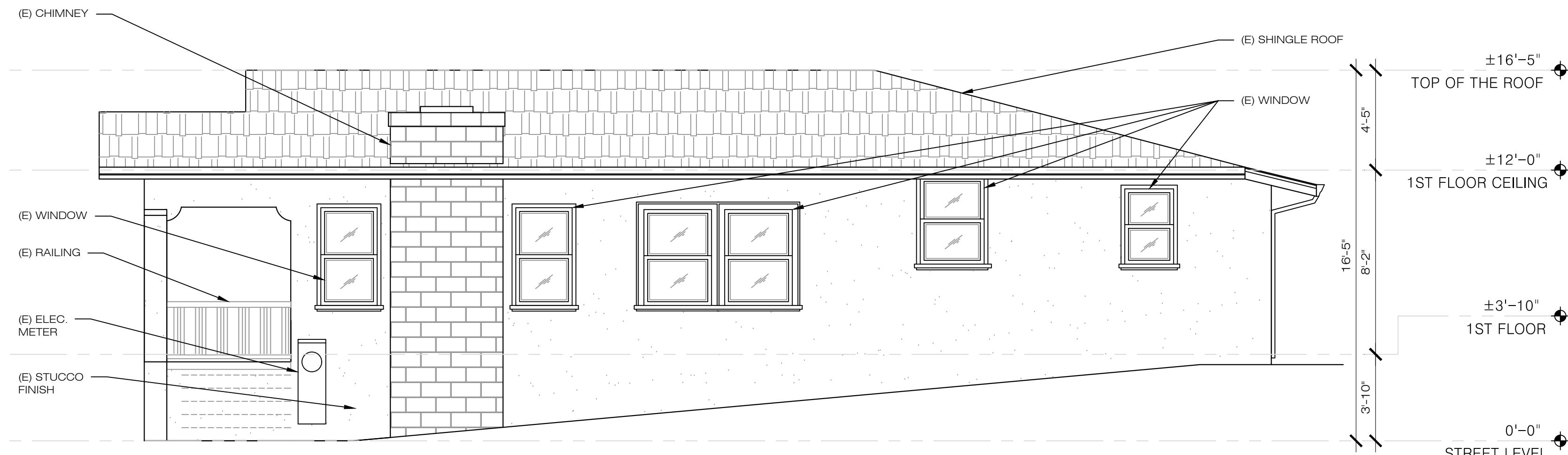
1 EXISTING FRONT ELEVATION (WEST)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY



2 EXISTING SIDE ELEVATION (NORTH)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY



3 EXISTING REAR ELEVATION (EAST)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY

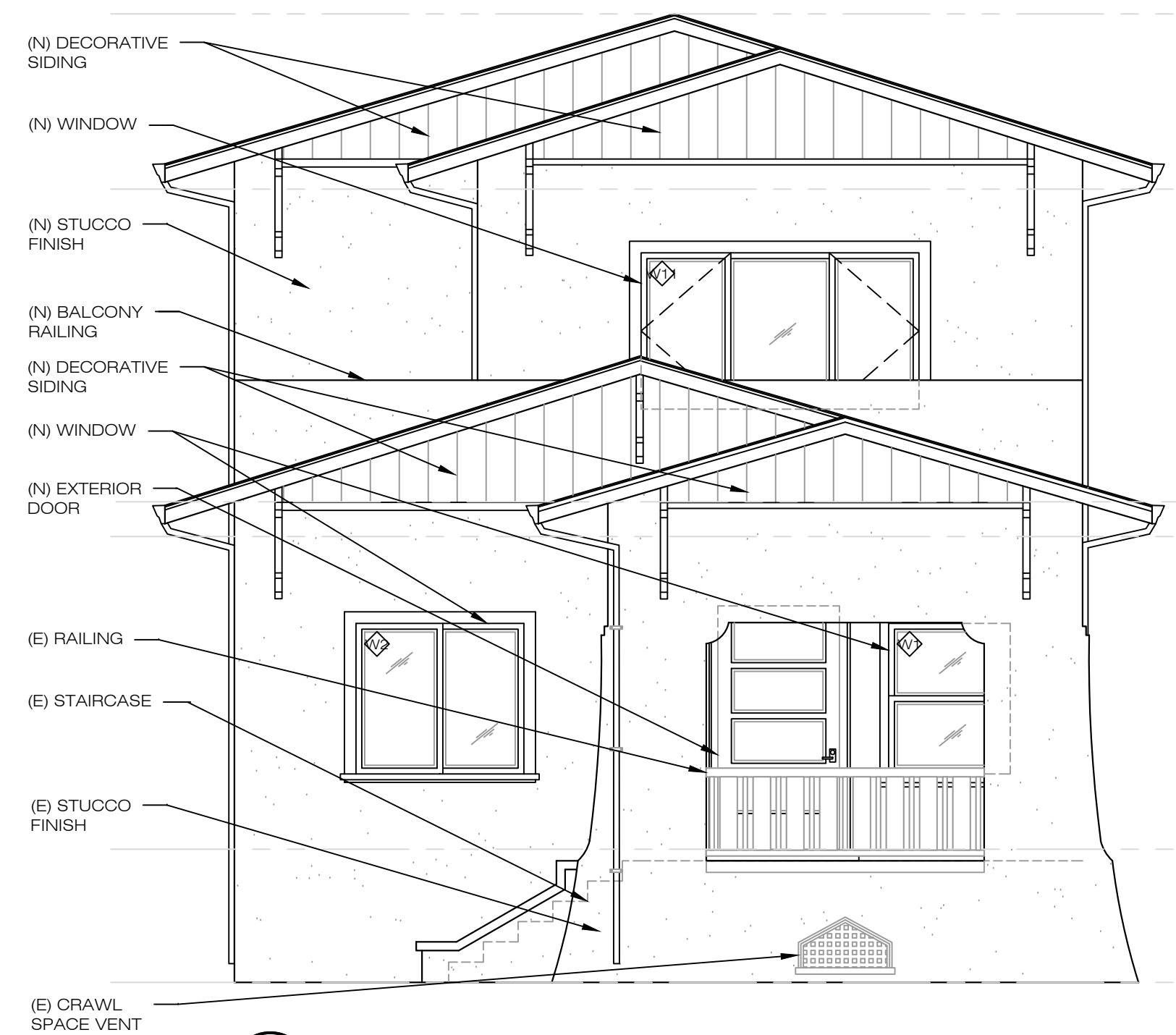


4 EXISTING SIDE ELEVATION (SOUTH)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY

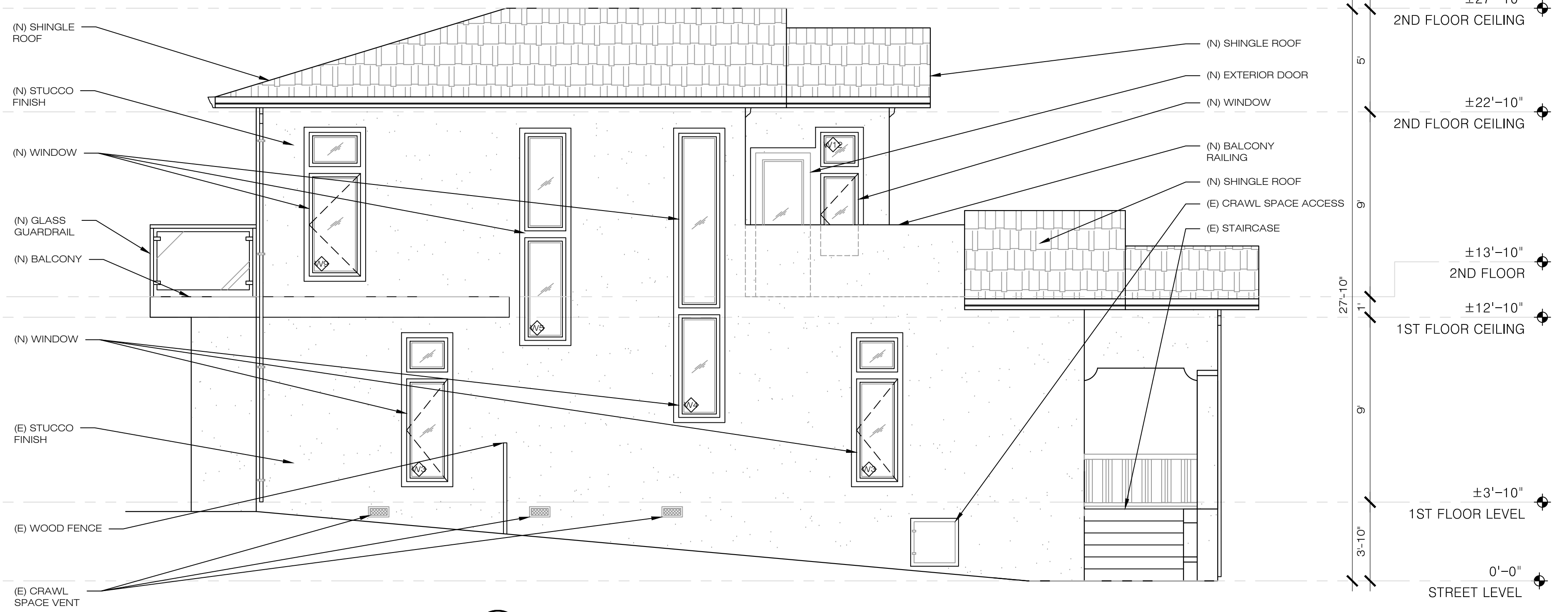


NO.	REVISIONS/SUBMISSIONS

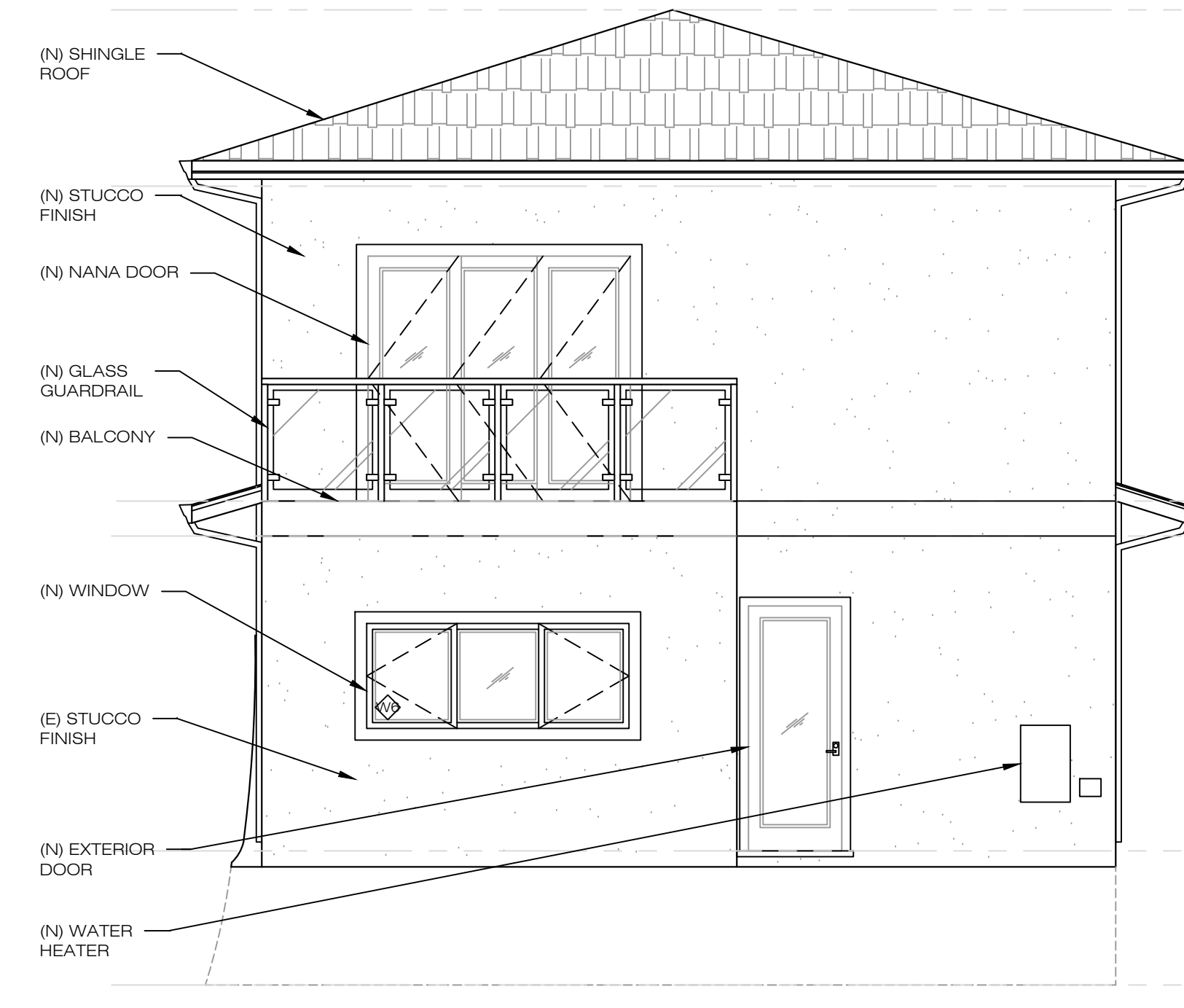
DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:



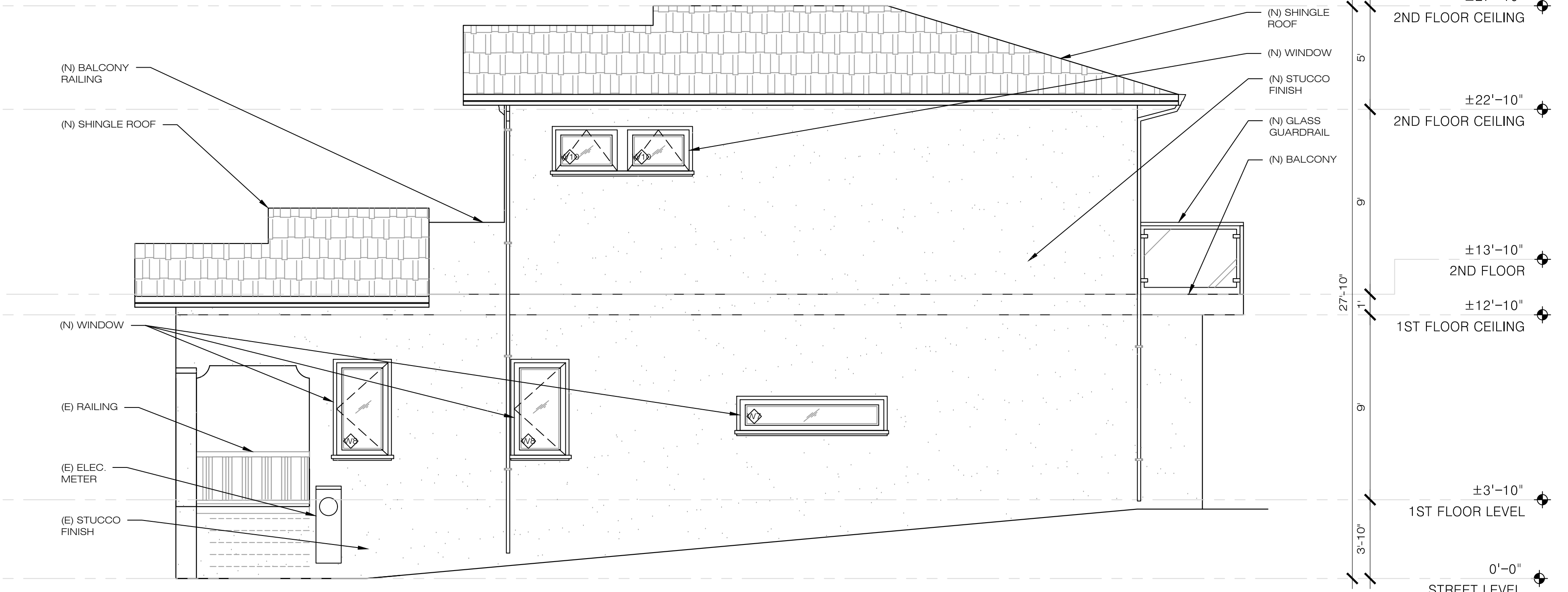
1 PROPOSED FRONT ELEVATION (WEST)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY



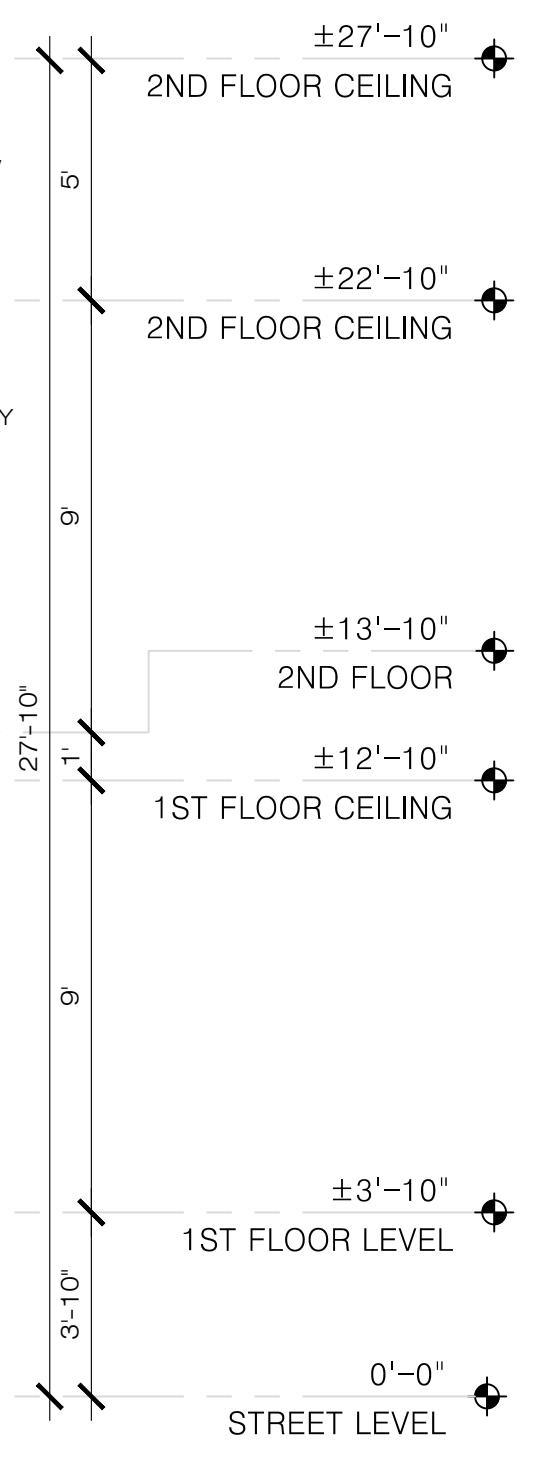
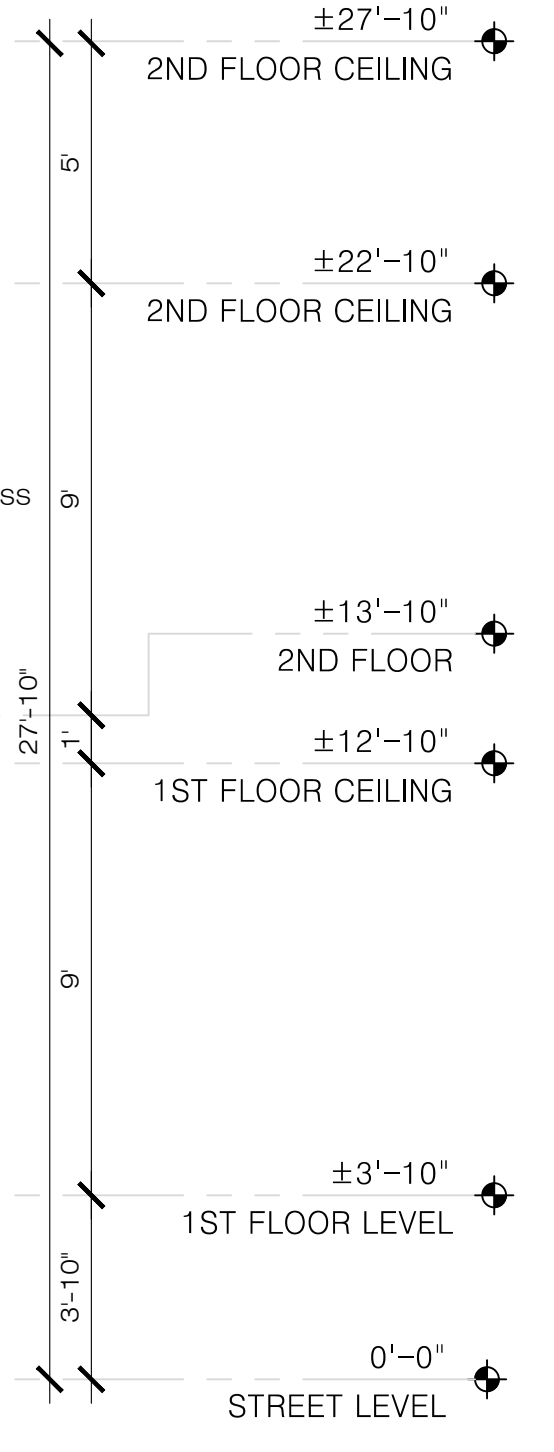
2 PROPOSED SIDE ELEVATION (NORTH)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY



3 PROPOSED REAR ELEVATION (EAST)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY



4 PROPOSED SIDE ELEVATION (SOUTH)
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY





NO.	REVISIONS/SUBMISSIONS

DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
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FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	



1 EXISTING STREET ELEVATION
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY



1 PROPOSED STREET ELEVATION
 1/4" = 1'-0" 1490 POSEN AVENUE, ALBANY

APPLICANT:
 YEONG SHIN

1490 POSEN AVENUE,
 ALBANY, CA 94706

SHEET TITLE:
SECTIONAL CUT

JOB ADDRESS:
 1490 POSEN AVENUE,
 ALBANY, CA 94706

APN: 65-2416-15

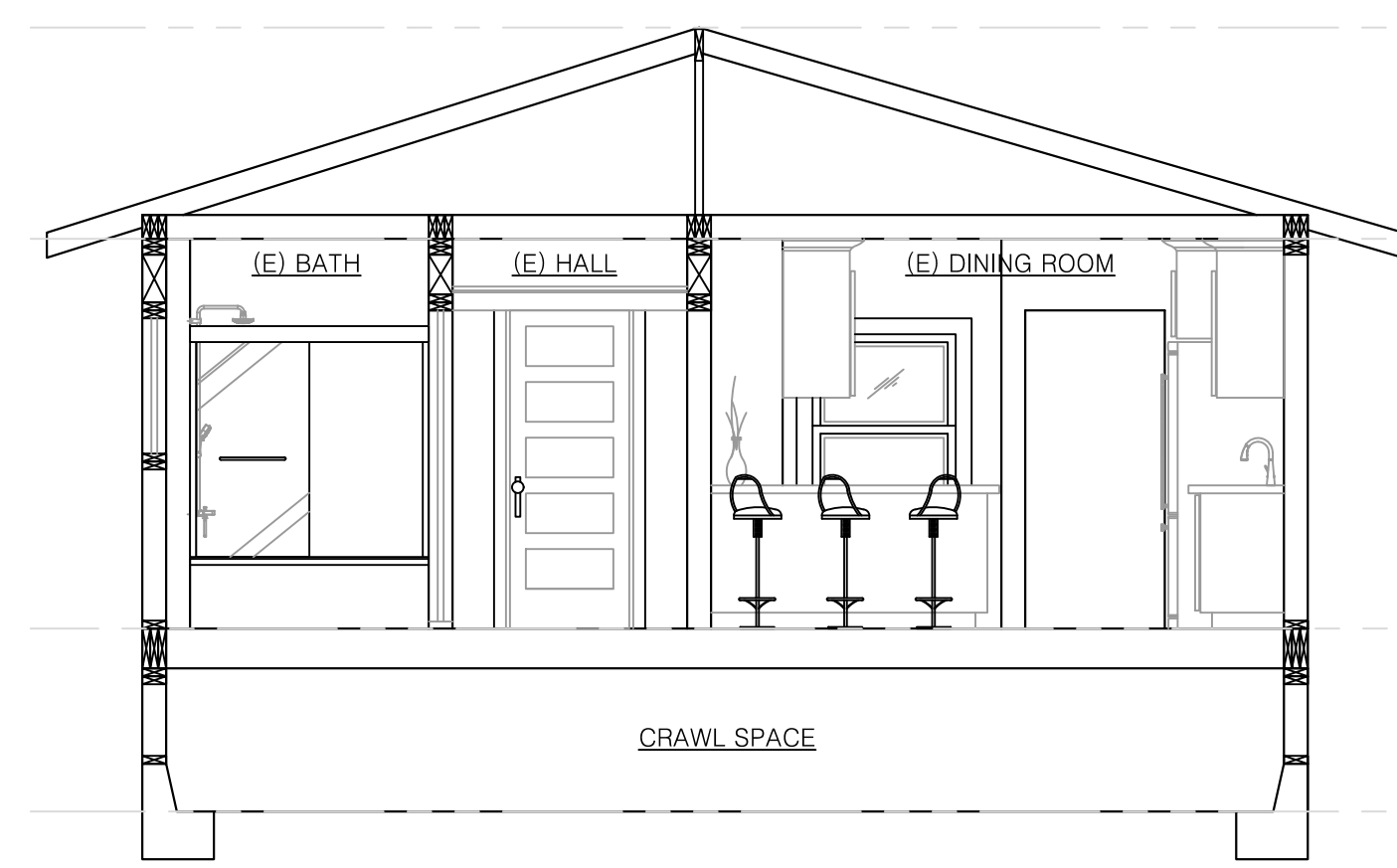


NO. REVISIONS/SUBMISSIONS

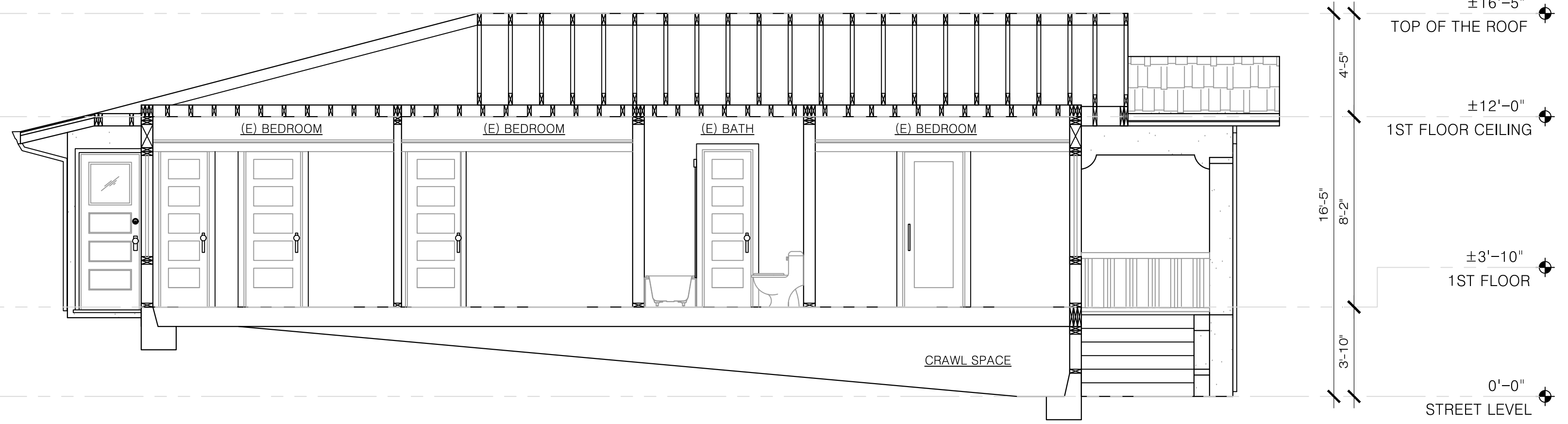
1	
2	
3	
4	

DESIGNED: PETER CHOW	PROJECT NO. 220215
DRAWN: PETER CHOW	DATE: 02/20/2022
AS SHOWN: C.C.	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	

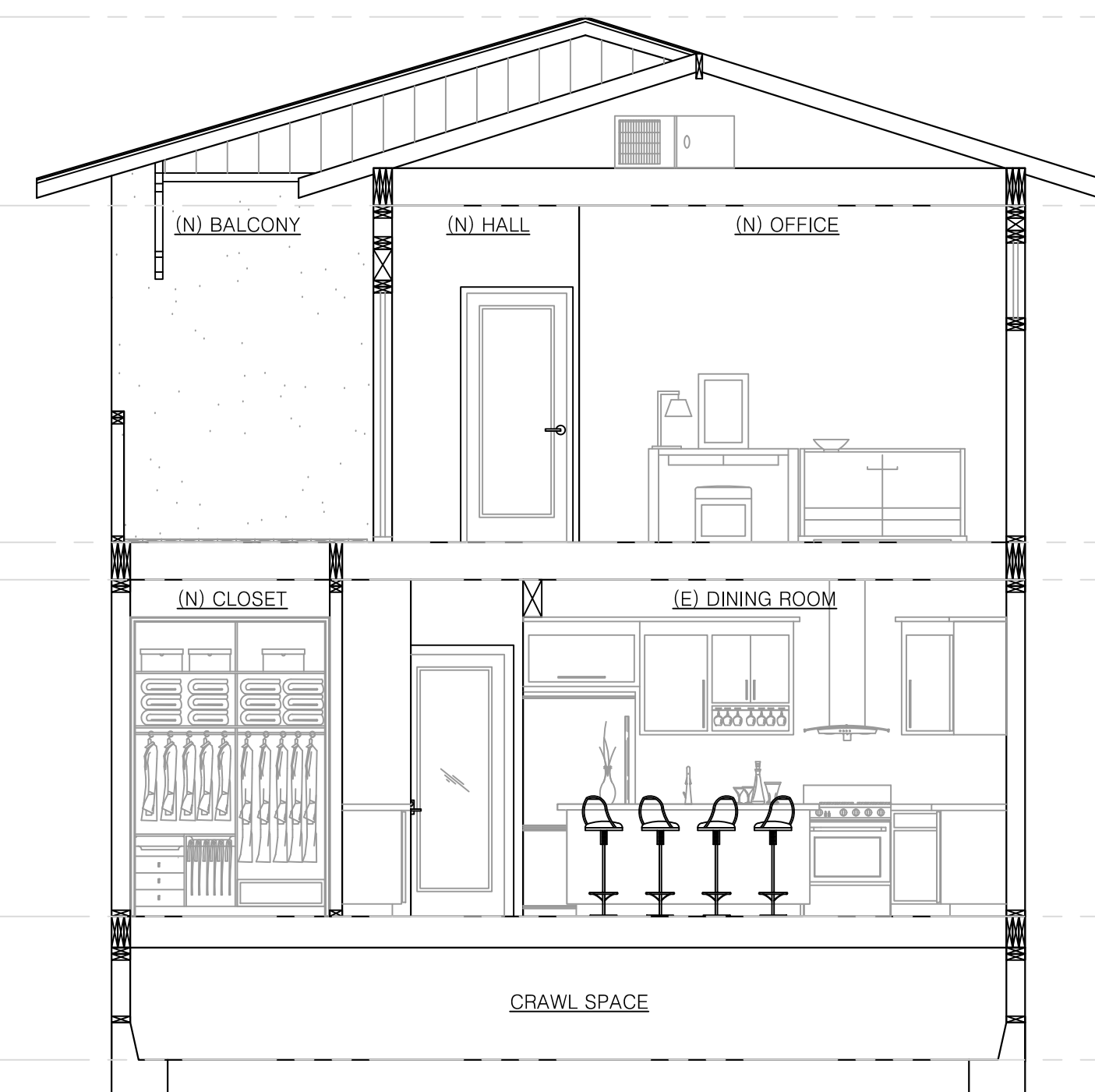
A5.0
 OF SHEETS



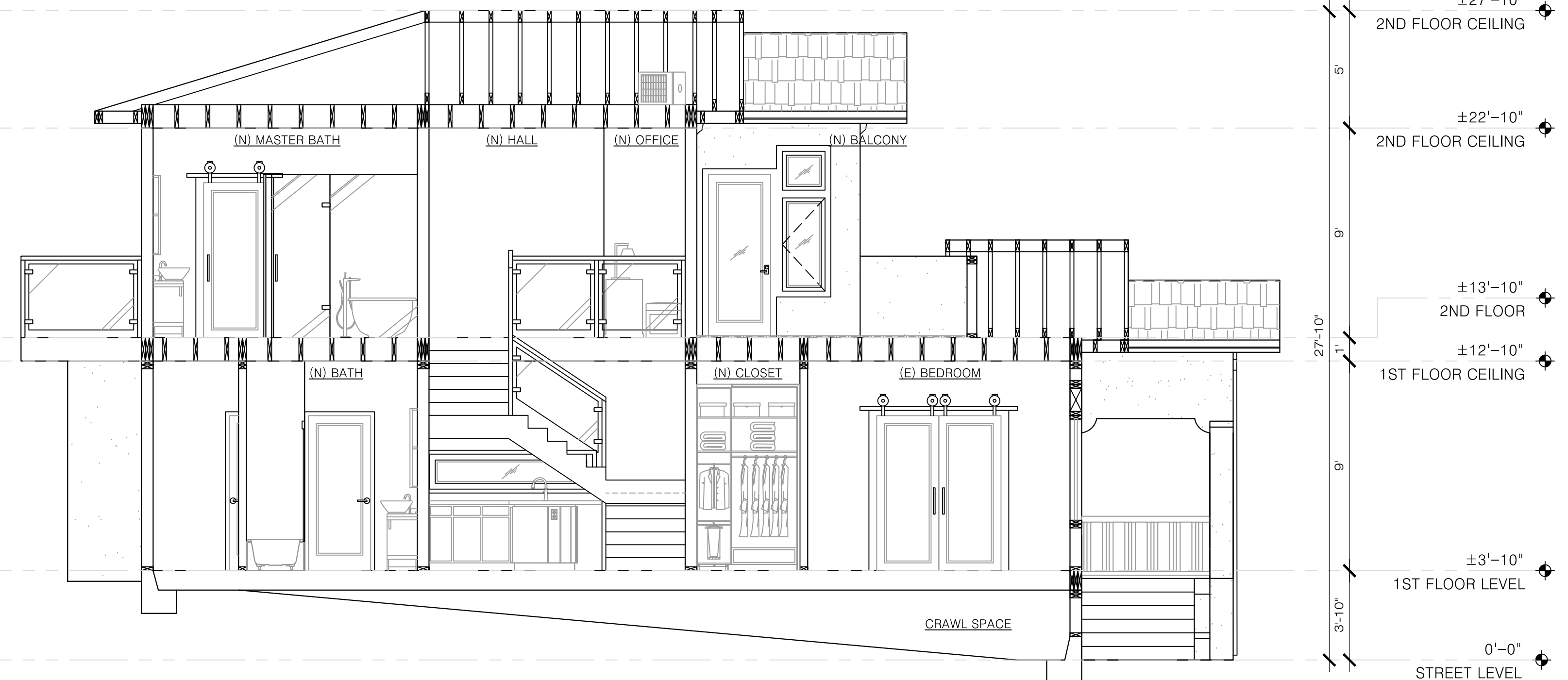
1 EXISTING LATERAL SECTION
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY



2 EXISTING LONGITUDINAL SECTION
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY



3 PROPOSED LATERAL SECTION
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY



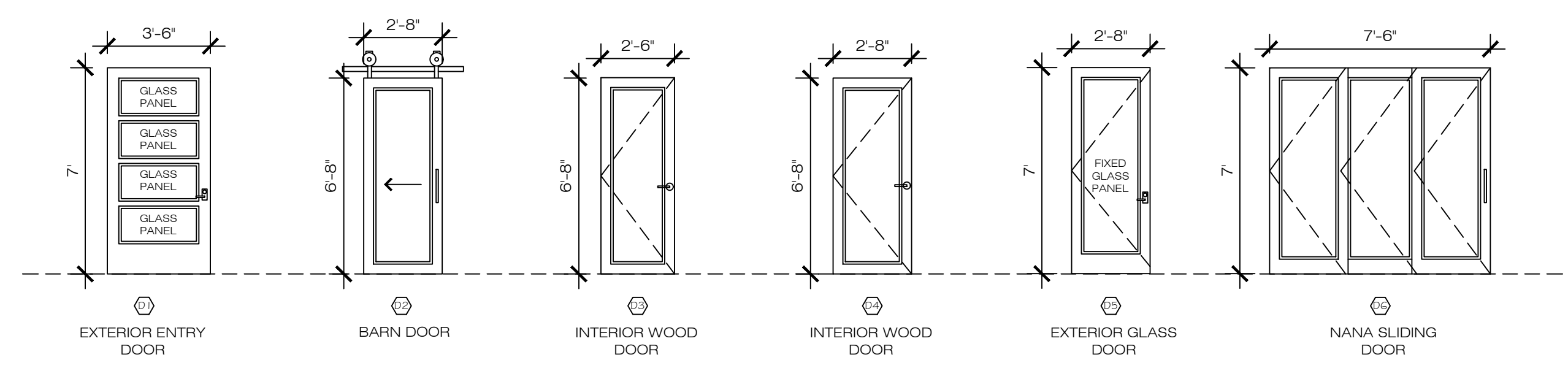
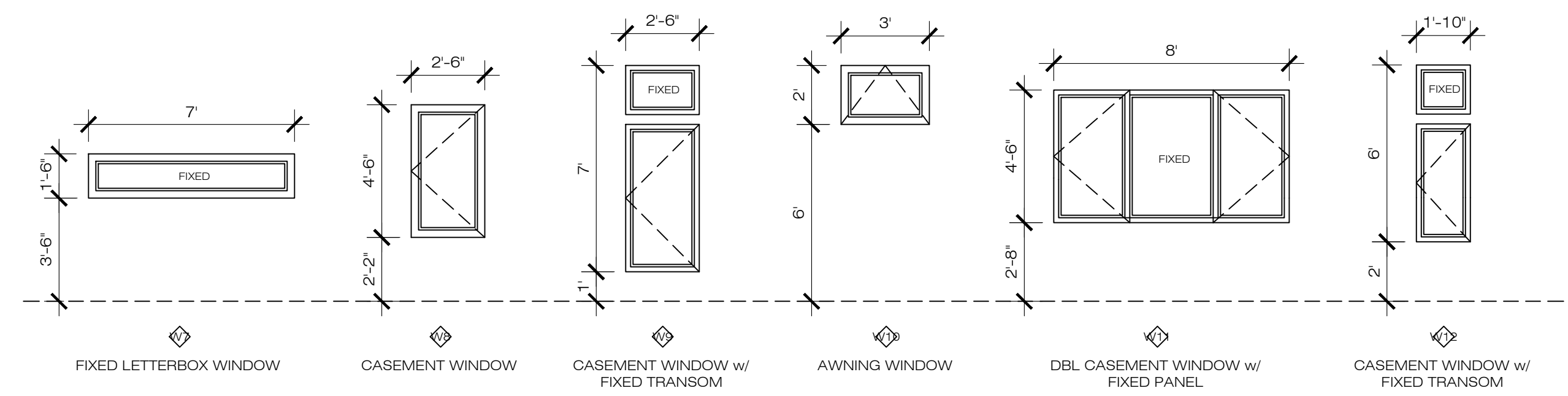
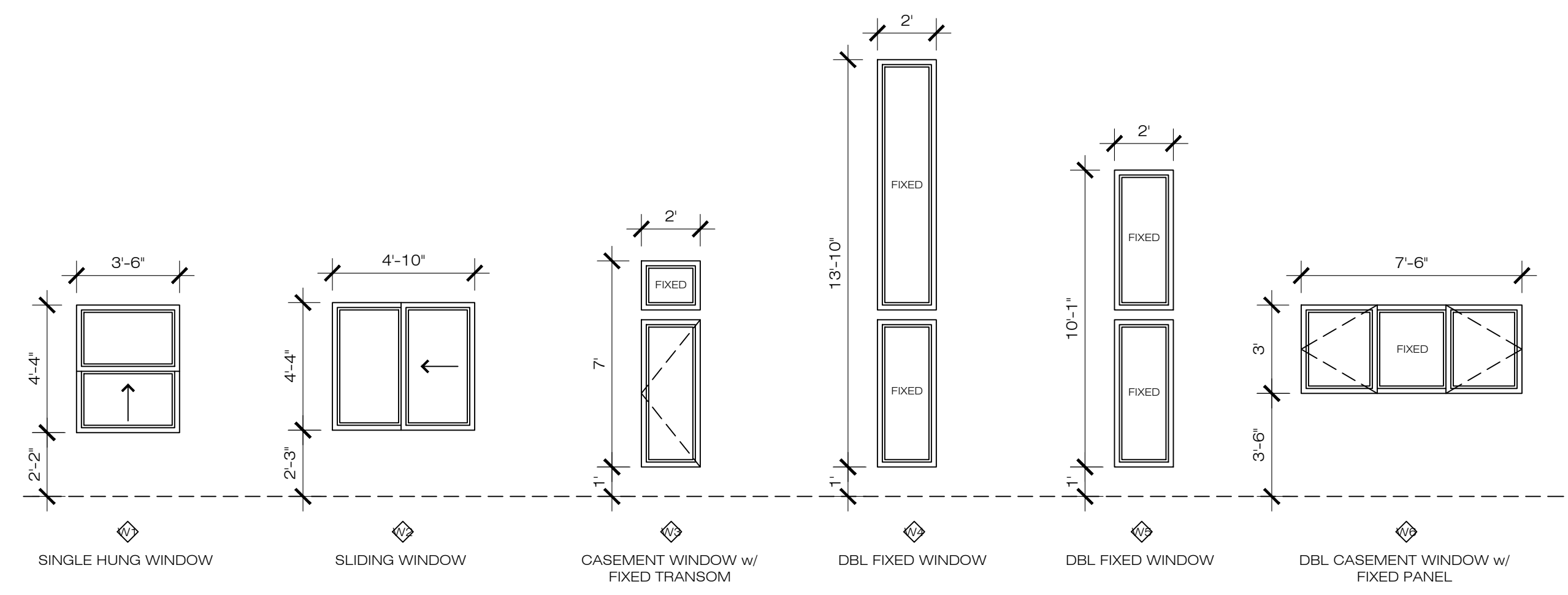
4 PROPOSED LONGITUDINAL SECTION
 1/4" = 1'-0"
 1490 POSEN AVENUE, ALBANY

APPLICANT:
 YEONG SHIN
 1490 POSEN AVENUE,
 ALBANY, CA 94706

SHEET TITLE:
WINDOW & DOOR SCHEDULE

JOB ADDRESS:
 1490 POSEN AVENUE,
 ALBANY, CA 94706

APN: 65-2416-15



WINDOW SCHEDULE						
MARK	STYLE	SIZE			MATERIAL	QTY.
		WIDTH	HEIGHT	SILL HEIGHT		
W1	SINGLE HUNG WINDOW	3'6"	4'4"	@2'2"	ALUM CLAD WOOD OR EQ.	1
W2	SLIDING WINDOW	4'10"	4'4"	@2'2"	ALUM CLAD WOOD OR EQ.	1
W3	CASEMENT WINDOW w/ TRANSOM	2'0"	7'0"	@1'0"	ALUM CLAD WOOD OR EQ.	2
W4	DBL FIXED WINDOW	2'0"	13'10"	@1'0"	ALUM CLAD WOOD OR EQ.	1
W5	DBL FIXED WINDOW	2'0"	10'1"	@1'0"	ALUM CLAD WOOD OR EQ.	1
W6	DBL CASEMENT WINDOW w/ FIXED PANEL	7'6"	3'0"	@3'6"	ALUM CLAD WOOD OR EQ.	1
W7	FIXED LETTERBOX WINDOW	7'0"	1'6"	@3'6"	ALUM CLAD WOOD OR EQ.	1
W8	CASEMENT WINDOW	2'6"	4'6"	@2'2"	ALUM CLAD WOOD OR EQ.	2
W9	CASEMENT WINDOW w/ TRANSOM	2'6"	7'0"	@1'0"	ALUM CLAD WOOD OR EQ.	1
W10	AWNING WINDOW	3'0"	2'0"	@6'0"	ALUM CLAD WOOD OR EQ.	4
W11	DBL CASEMENT WINDOW w/ FIXED PANEL	8'0"	4'6"	@2'8"	ALUM CLAD WOOD OR EQ.	1
W12	CASEMENT WINDOW w/ TRANSOM	1'10"	6'0"	@2'0"	ALUM CLAD WOOD OR EQ.	1

- NOTE:
 1. SILL HEIGHT SHALL NOT EXCEED 44" INCHES ABOVE THE FLOOR.
 2. MINIMUM NET CLEAR OPENING SHALL BE 5.7 S.F.; EXCEPTION - GRADE LEVEL WINDOW MAY HAVE A MINIMUM CLEAR OPENING 5 S.F.
 3. MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" INCHES.
 4. MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" INCHES.
 5. WINDOWS 2MIN. BETWEEN GLAZING AN WINDOW SILL.

SHEET NOTE	
1.	WINDOW REPLACEMENT: STREET-FACING WINDOW MATERIAL TO BE WOOD OR ALUMINUM FRAME WOOD CLAD
2.	WINDOW TO BE HAVE MIN OF 0.30 U-FACTOR W/ 0.23 SHGC

DOOR SCHEDULE					
MARK	FUNCTION	SIZE		MATERIAL	QTY.
		WIDTH	HEIGHT		
D1	EXTERIOR ENTRY DOOR	3'6"	7'0"	WOOD FRAME, SOLID CORE w/ GLASS	1
D2	BARN DOOR	2'8"	6'8"	WOOD FRAME AND HOLLOW CORE	3
D3	INTERIOR WOOD DOOR	2'6"	6'8"	WOOD FRAME AND HOLLOW CORE	1
D4	INTERIOR WOOD DOOR	2'8"	6'8"	WOOD FRAME AND HOLLOW CORE	9
D5	EXTERIOR GLASS DOOR	2'8"	6'8"	WOOD FRAME, SOLID CORE w/ GLASS	2
D6	NANA SLIDING DOOR	7'6"	7'0"	ALUMINUM w/ GLASS	1

- NOTE:
 1. THRESHOLD AT DOORWAYS SHALL NOT EXCEED 0.75 INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5 INCH FOR OTHER DOORS.
 2. THRESHOLD HEIGHT SHALL BE LIMITED TO 7.75 INCHES (RESIDENTIAL) WHEN THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS; THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING OR STEP.
 3. ALL EXTERIOR DOOR TO BE INSTALLED WITH WOOD TRIM, U.O.N.

NO.	REVISIONS/SUBMISSIONS

DESIGNED: PETER CHOW
 DRAWN: PETER CHOW
 SCALE: AS SHOWN
 FILE: C.C.
 VIEW: 2-D SHEET

PROJECT NO: 220215
 DATE: 02/20/2022
 CHECKED: C.C.
 REVIEWED: C.C.
 CONSULTANT: