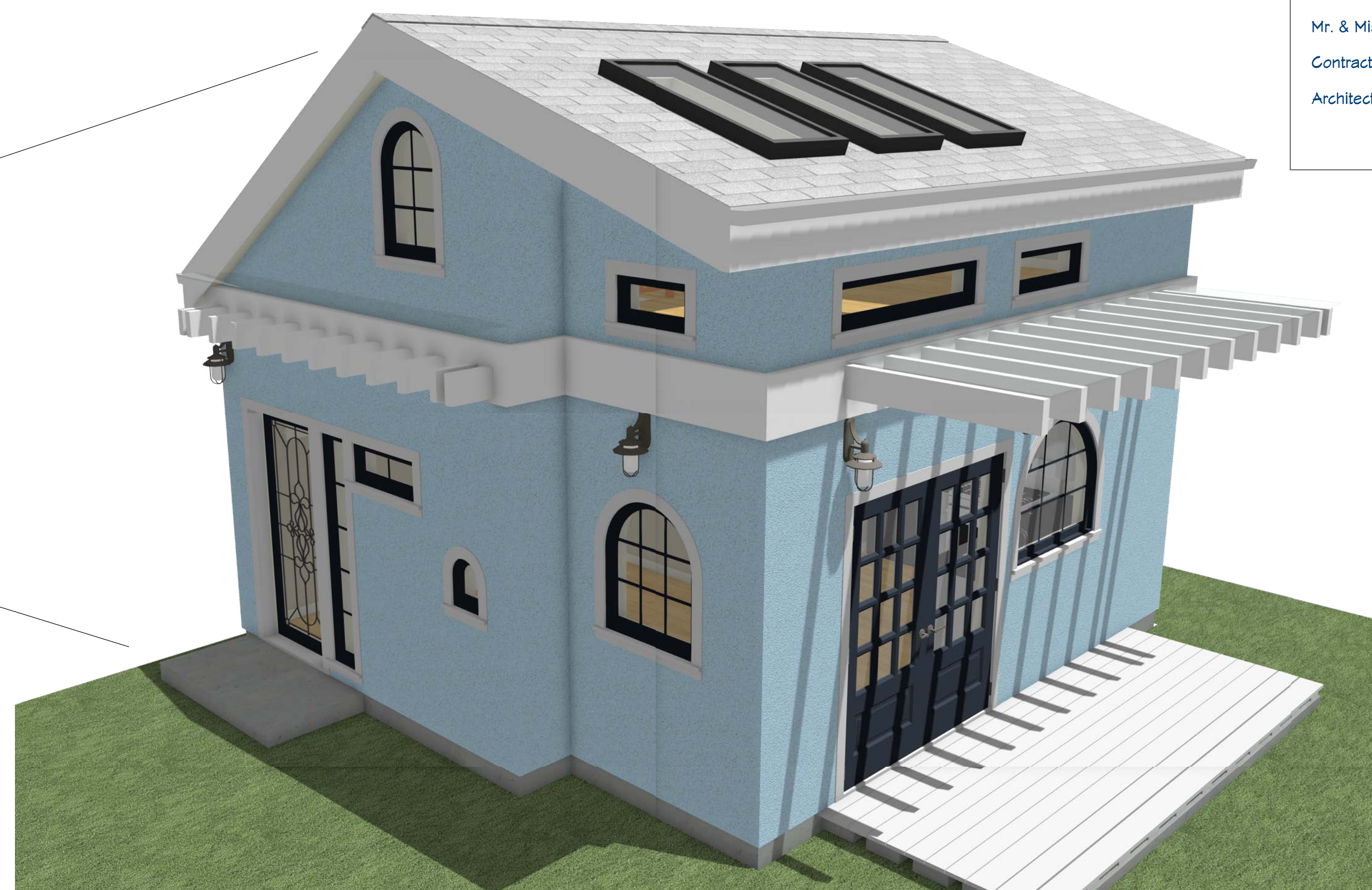
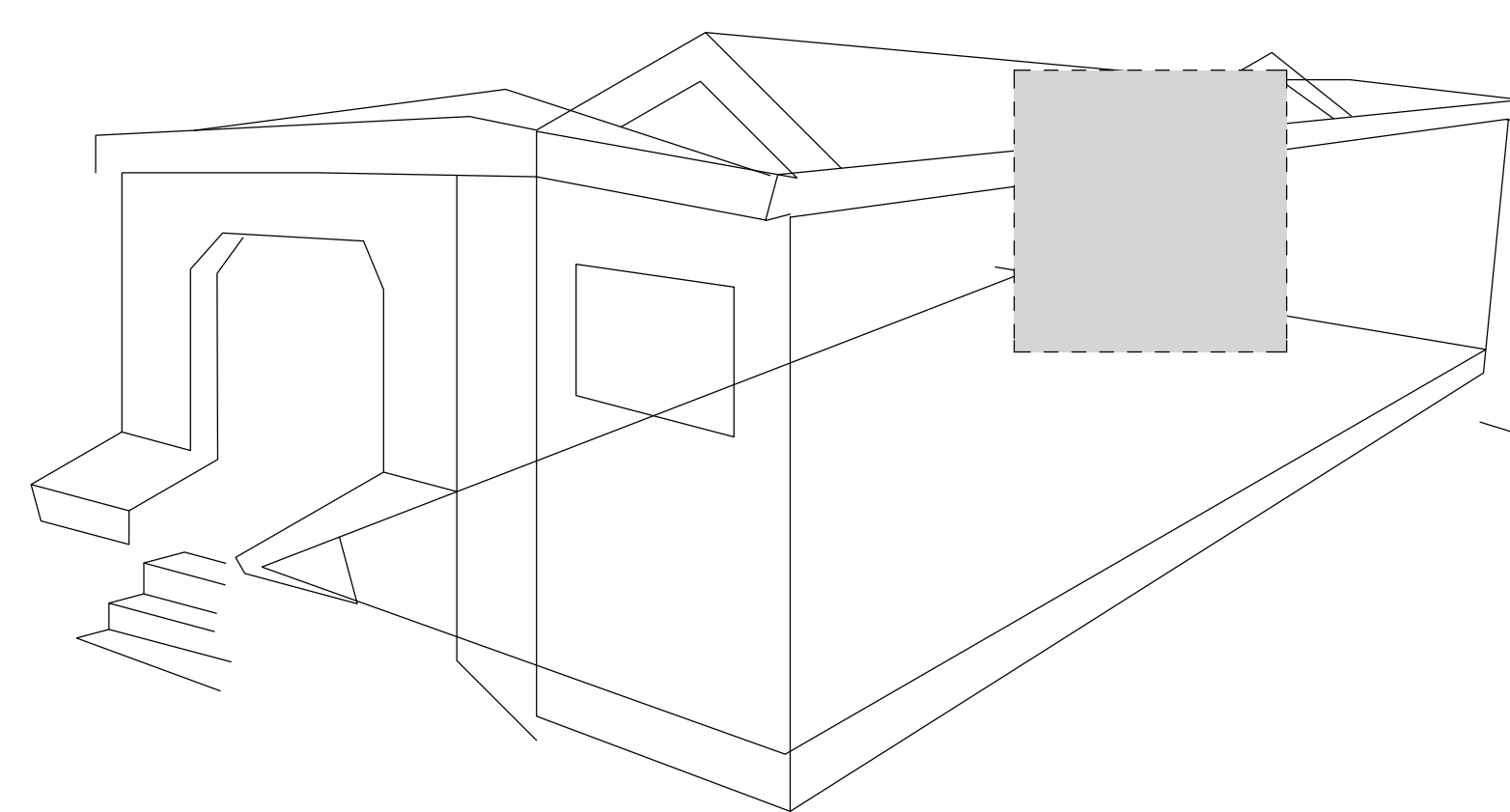


811 Carmel Ave, Albany Ca. 94706

Scope of Work

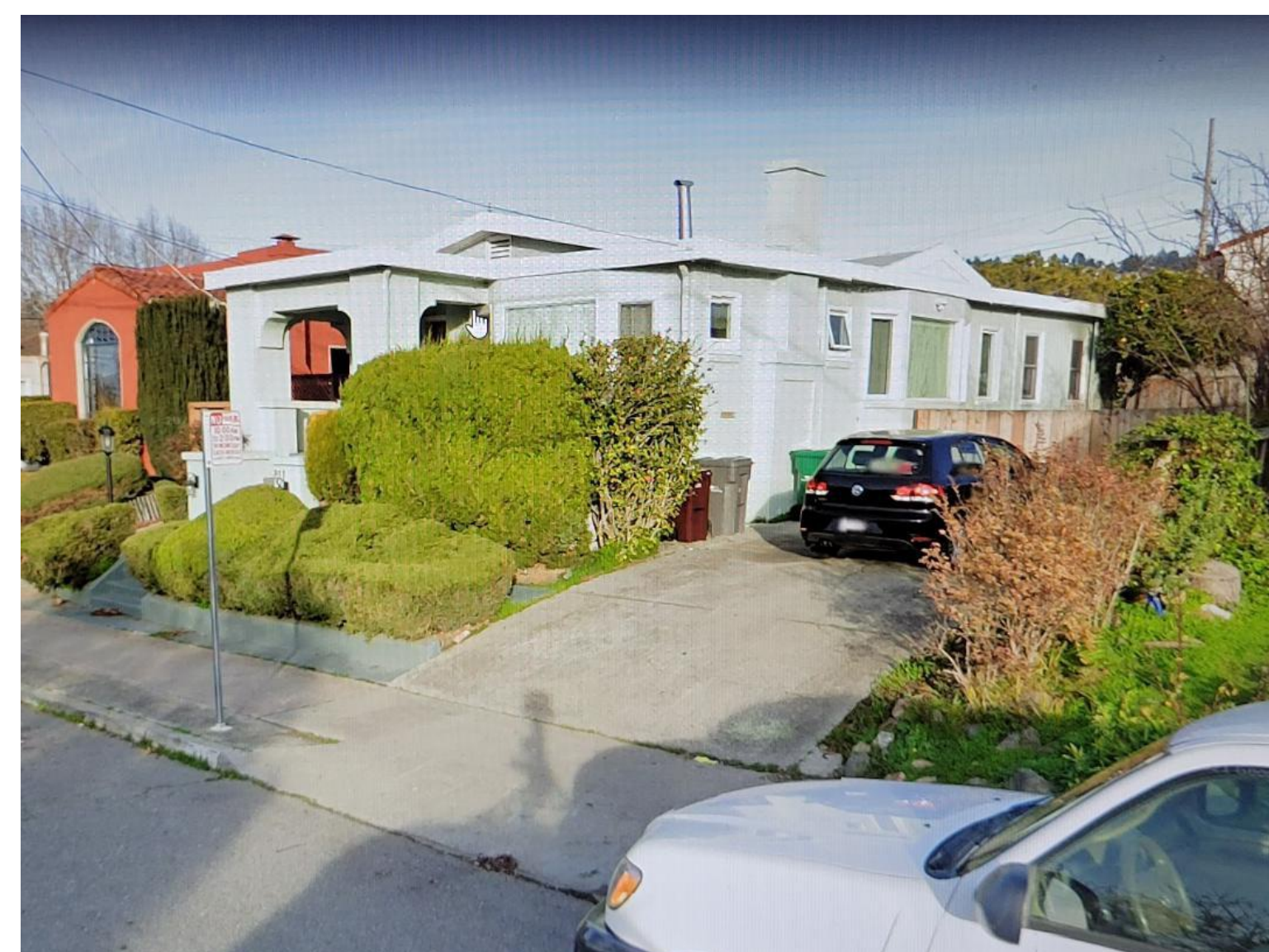
Proposal: the Northeastern corner of the property, convert existing 11'x17' Garage into a 301 Sq. Ft. Living Space.



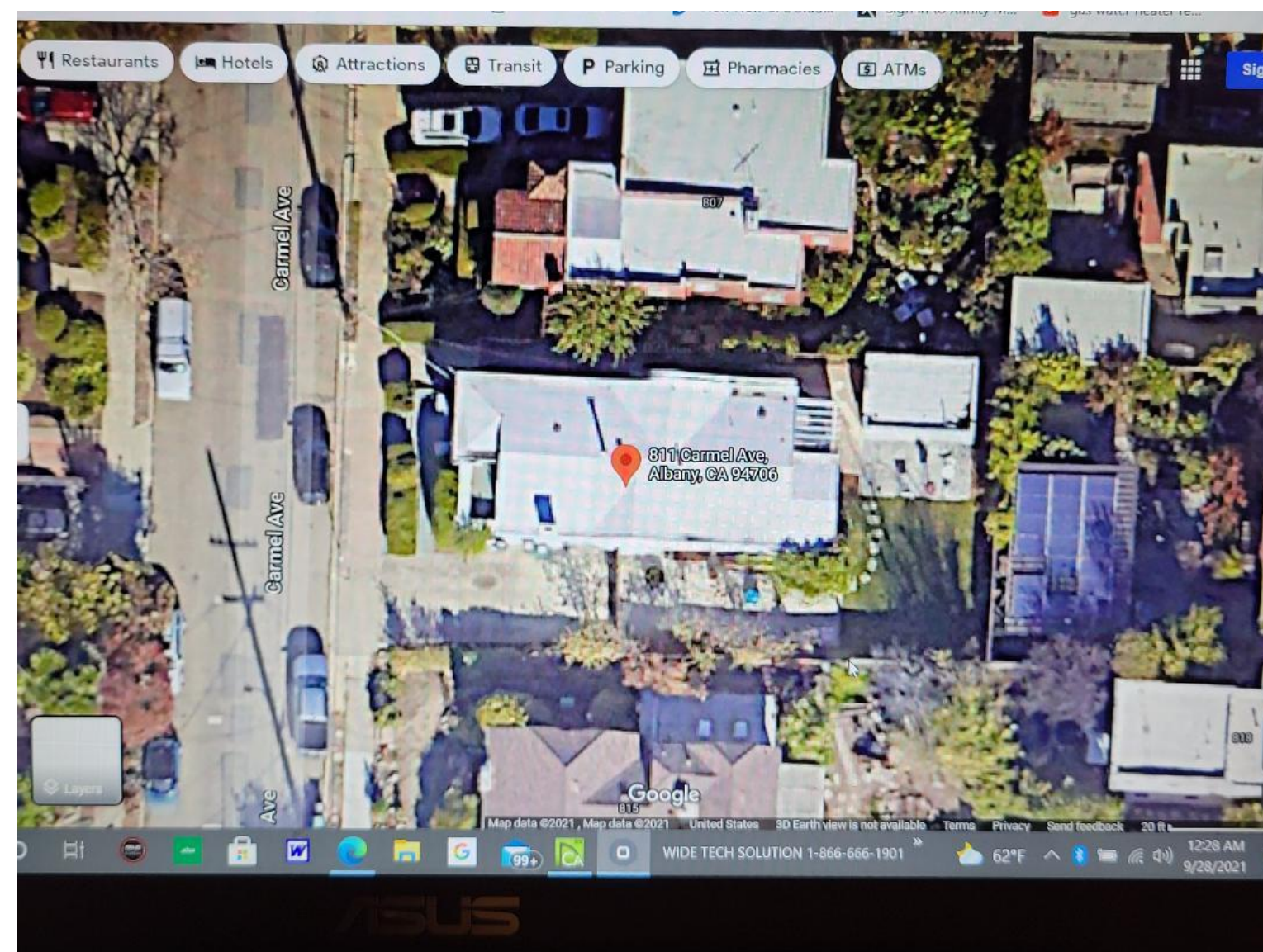
Mr. & Miss Guan-Cheng _____
Contractor: Mac Rankins _____
Architect: James Freeman _____
Licence: 00207829

Perspective View

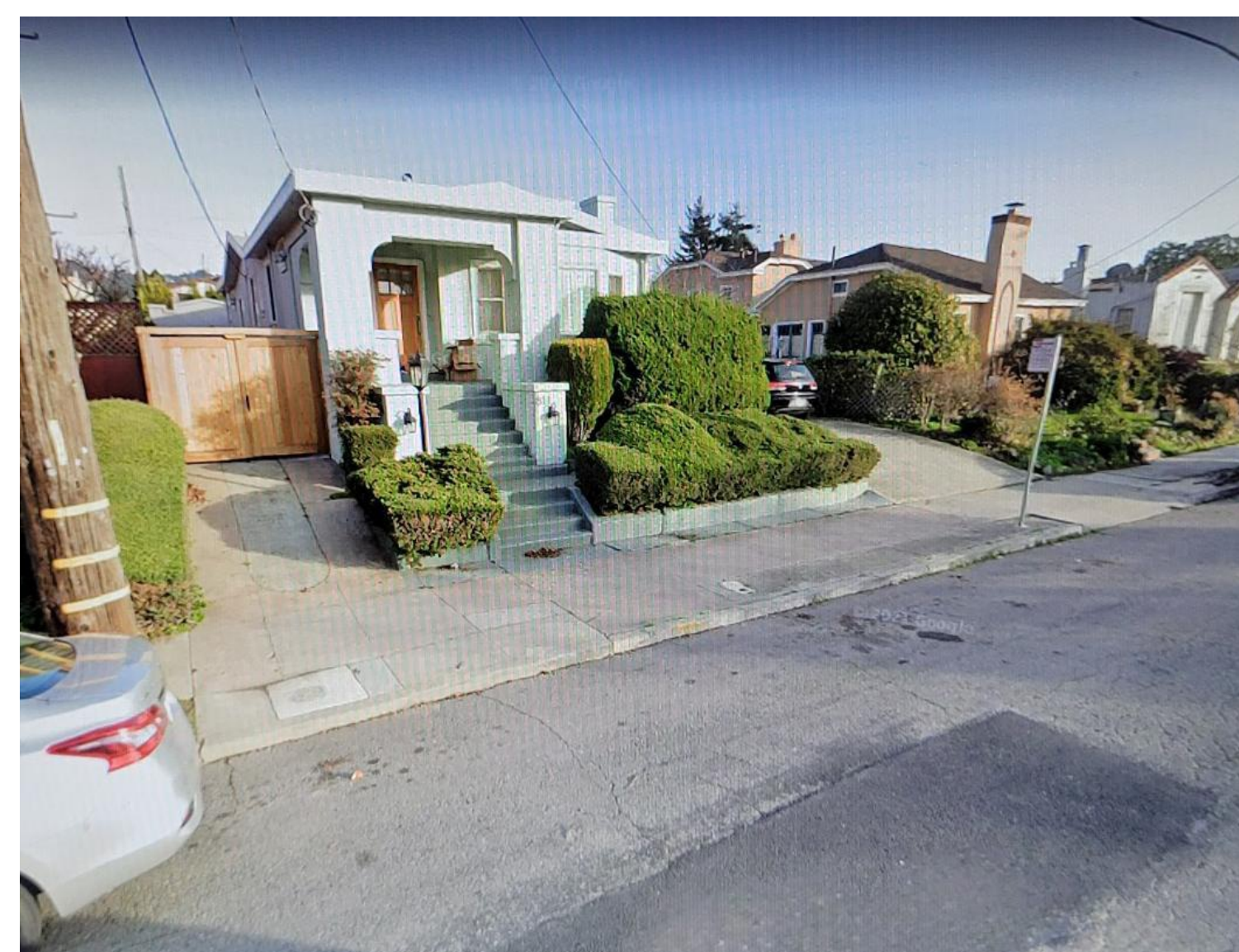
Street View



Satellite View

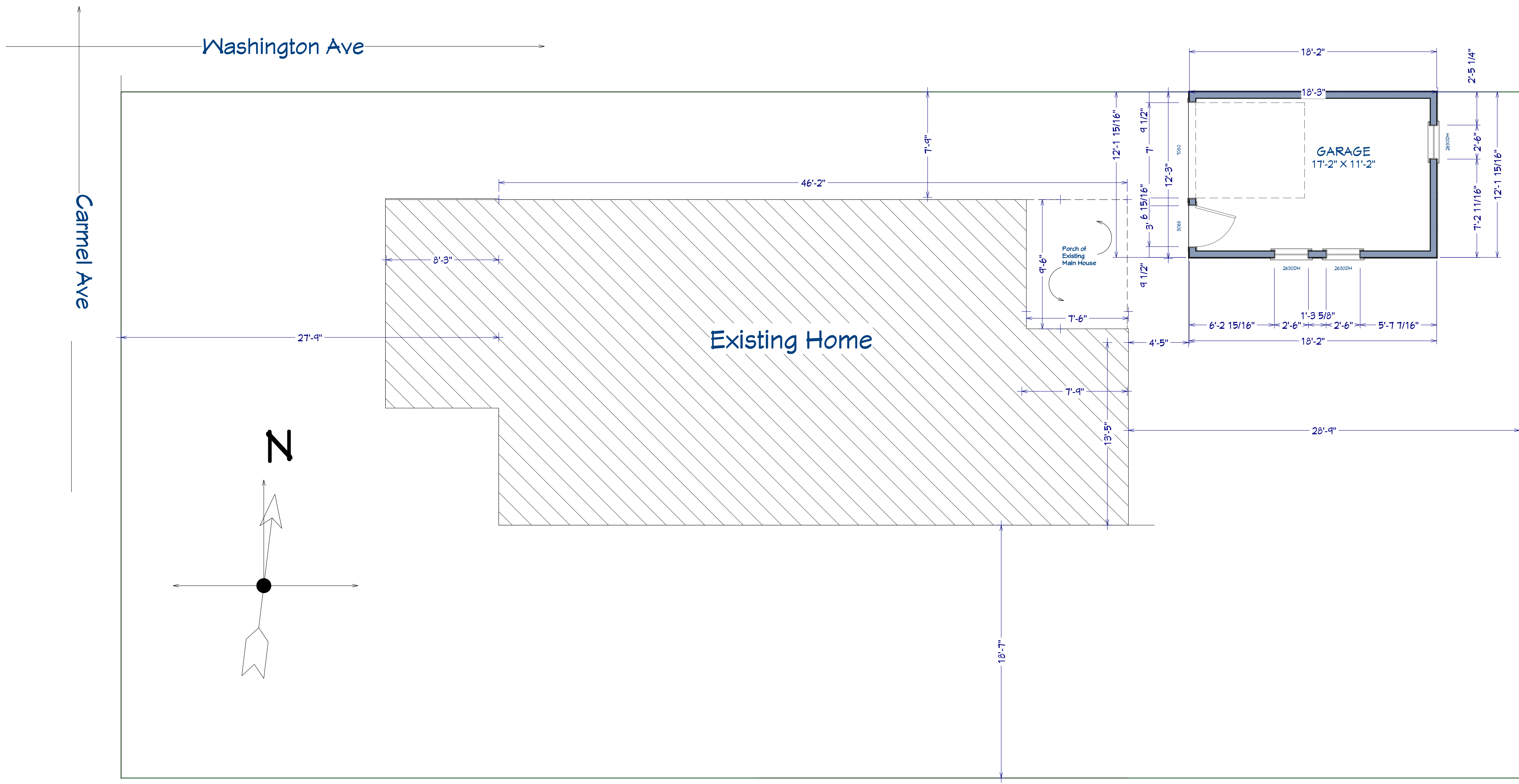


Street View



PAGE LIST

- 1- A-1 Title Page
- 2- A-2 Existing Site Layout
- 3- A-3 Proposal Site Layout
- 4- S-1 Foundation / Slab Details
- 5- A-4 Floor Plan
- 6- A-5 Upper Loft & Electrical Layout
- 7- S-2 Elevations
- 8- S-3 Electrical & Brace Wall Details
- 9- S-4 Foundation & Wall Details
- 10- A-6 Perspective Views
- 11- S-5 Framing Details
- 12- S-6 Outside Wall Details
- 13- A-7 Windows and Doors Schedule



Existing Site Plan

Scale : 1/4" = 1.0'

BUILDING NOTES:

1. ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY, ALL WORK SHALL COMPLY WITH APPLICABLE CODES & TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING THE:
 - CITY OF OAKLAND LOCAL ORDINANCE,
 - 2016 CALIFORNIA FIRE CODE
 - 2016 CALIFORNIA BUILDING CODE
 - 2016 CALIFORNIA EXISTING BUILDING CODE
 - 2016 CALIFORNIA ELECTRICAL CODE
 - 2016 CALIFORNIA MECHANICAL CODE
 - 2016 CALIFORNIA PLUMBING CODE
 - 2016 CALIFORNIA GREEN BUILDING CODE
 - 2016 CALIFORNIA RESIDENTIAL CODE
 - 2016 CALGREEN BUILDING

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

DEMOLITION NOTES:

1. Demolition shall be done in a safe, orderly manner without damaging to other parts of the premises or adjacent properties.
2. All demolished items, verify with the owner on items to be saved and stored. All removed items to be saved for reuse shall be handled with care.
3. All public improvements shall be made in accordance with the latest adopted city standards if any applicable.

GREEN REMODELING NOTES:

1. IMPLEMENT CONSTRUCTION SITE STORM WATER PRACTICES.
2. MINIMIZE DISRUPTION OF EXISTING PLANTS & TREES.
3. PROTECT THE NATIVE SOIL.
4. RECYCLE JOB SITE CONSTRUCTION AND DEMOLITION WASTE.
5. SALVAGE REUSABLE BUILDING MATERIALS.
6. PROVIDE FOR ON SITE WATER CATCHMENTS / RETENTION.
7. RE-USE MATERIALS OR USE RECYCLED-CONTENT MATERIAL FOR LANDSCAPE AREAS.

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

STRUCTURAL ENGINEER: _____

DESIGNER: James Freeman / Freeman's Art Lines

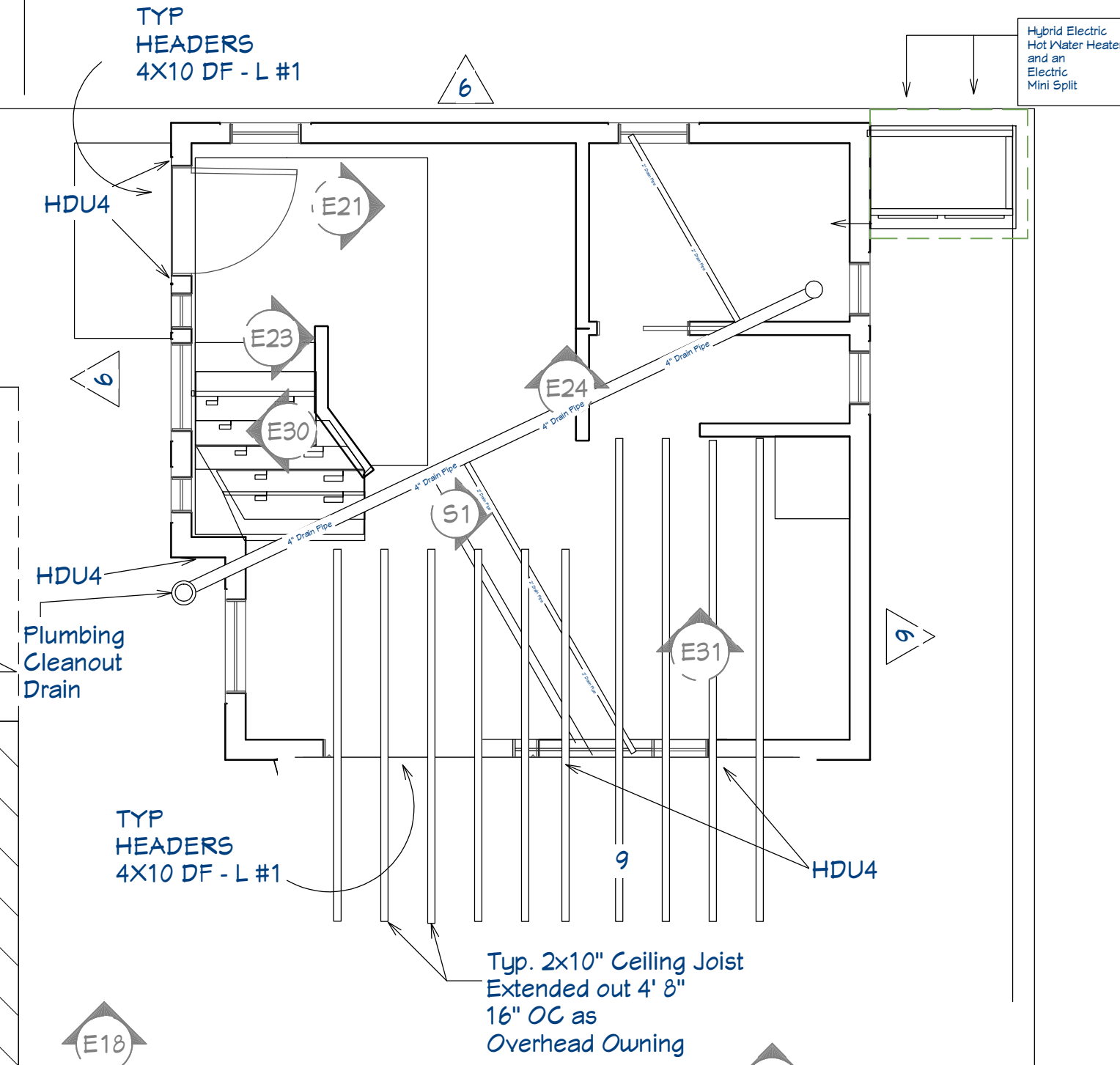
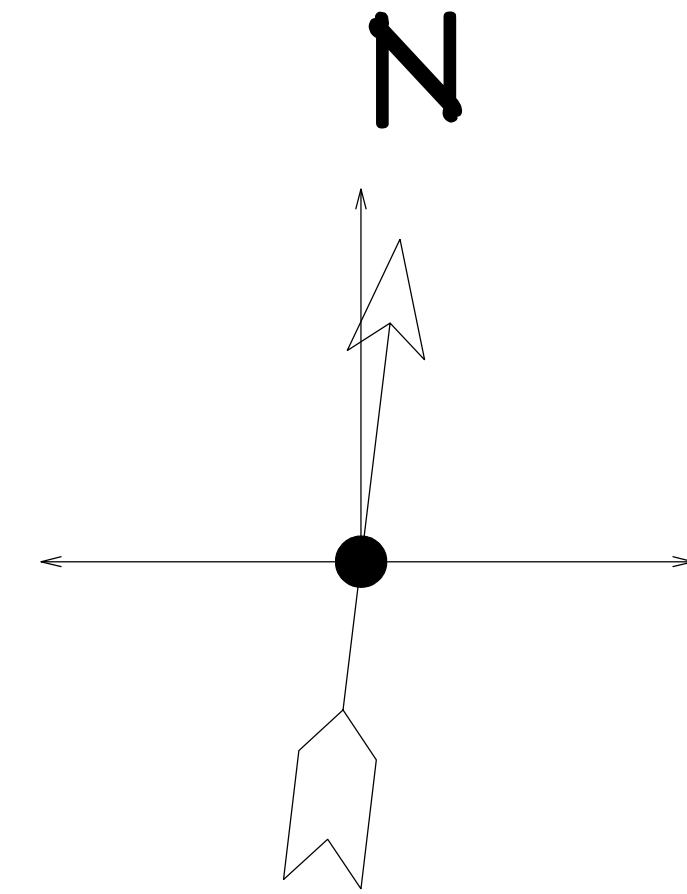
BUILDER: _____

Washington Ave

Scale : 1/2" = 1.0' 1/2" STRUC 1 PLYWOOD
10d @ 6" OC EN
10d @ 12" OC EN

Existing Proposed Work

Carmel Ave



Floor Plan

Scale : 1/2" = 1.0'

Site Plan Proposal

Scale : 1/4" = 1.0'

PROJECT STATISTICS:

LOT SIZE:	SQ. FT.	5,188.715278
ANTICIPATED DISTURBED AREA:	SQ. FT.	301.54 ft
BUILDING ENVELOPE:	SQ. FT.	
ROOF AREA:	SQ. FT.	386,053.4908
FRONT HEIGHT AT RIDGE:	FT.	12' 7"
REAR HEIGHT AT RIDGE:	FT.	15' 10"

SOIL TYPE: SHALLOW AND MODERATELY DEEP, WELL-DRAINED SOIL FORMED IN MATERIAL WEATHERED FROM BASALT THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE MODERATE.

SOIL DENSITY: *2,000 PSF ALLOWABLE (ASSUMED). TO BE DETERMINED AT TIME OF EXCAVATION.

FROST DEPTH: *2'-0"

SEISMIC ZONE: C,

WIND: 90 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

SITE PLAN NOTES:

1. SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION.
2. CALL BEFORE YOU DIG: 800.428.4950

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

3

Freeman's Art Lines
Lic. 00207829

Proposed Foot Print

Mr. & Miss Guan-Cheng
811 Carmel Albany, Ca.

DRAWINGS PROVIDED BY:
James Freeman
Fremont, Ca.
510 846 8499

DATE:

5/5/2022

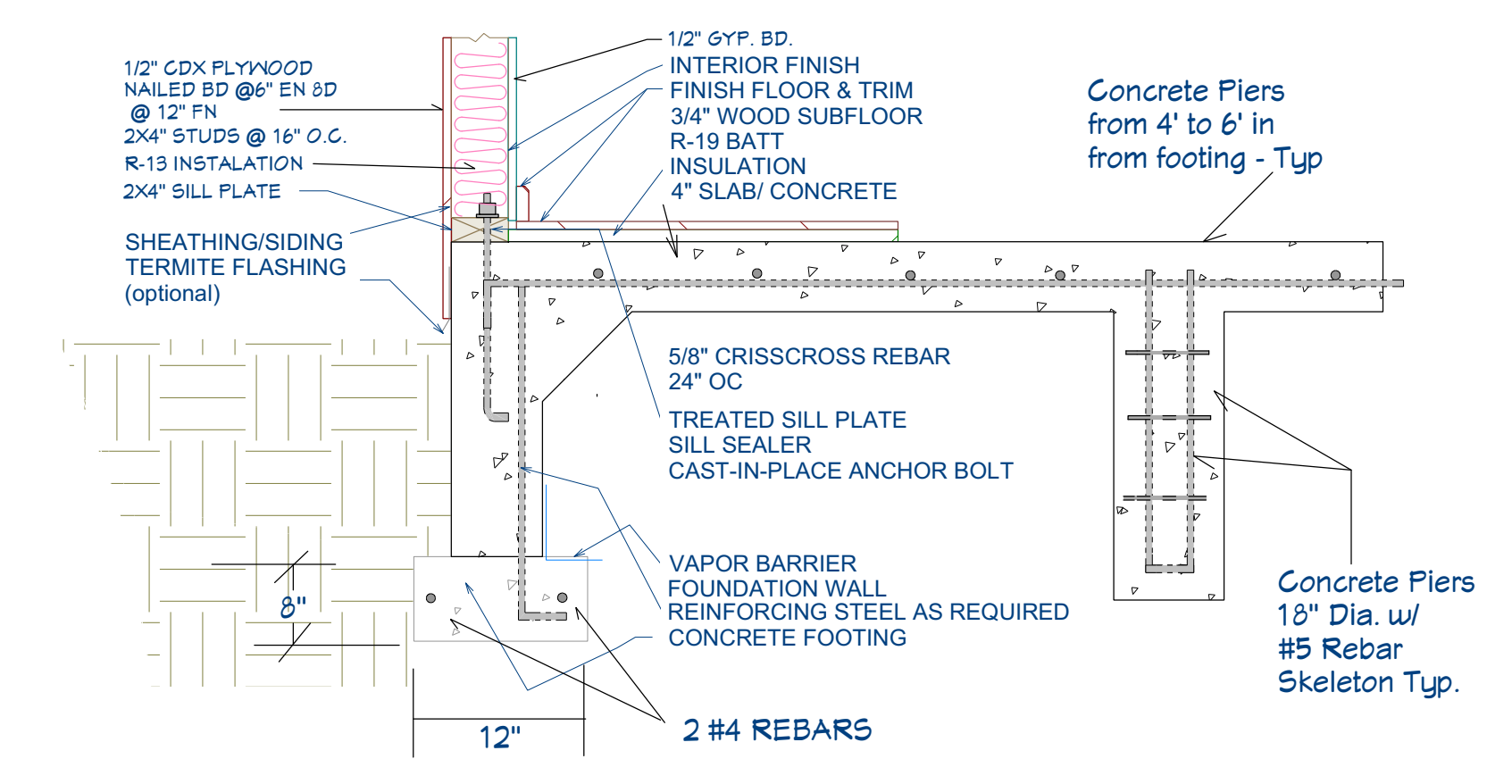
SCALE:

1/4 - 1'0

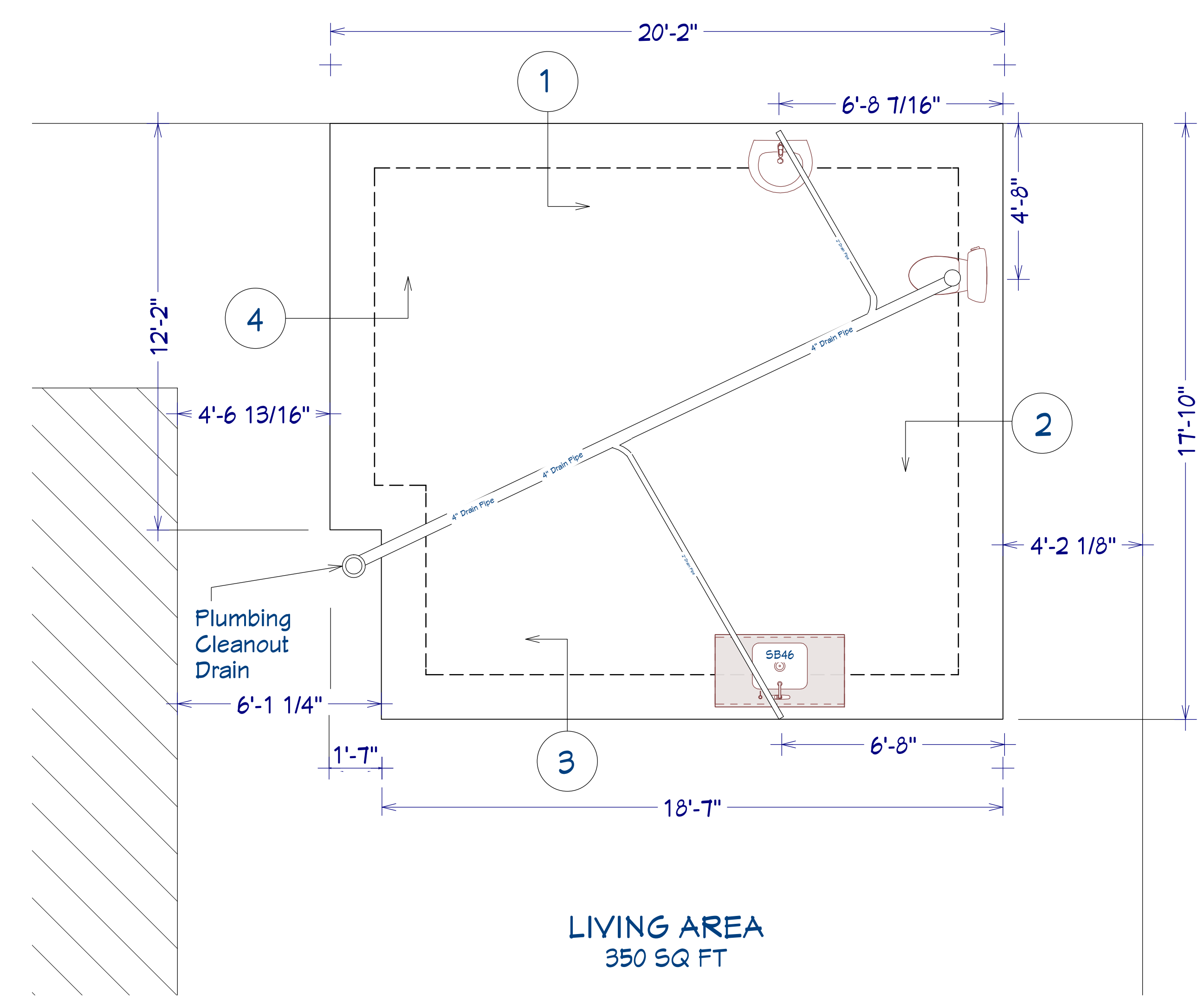
SHEET:

A-3

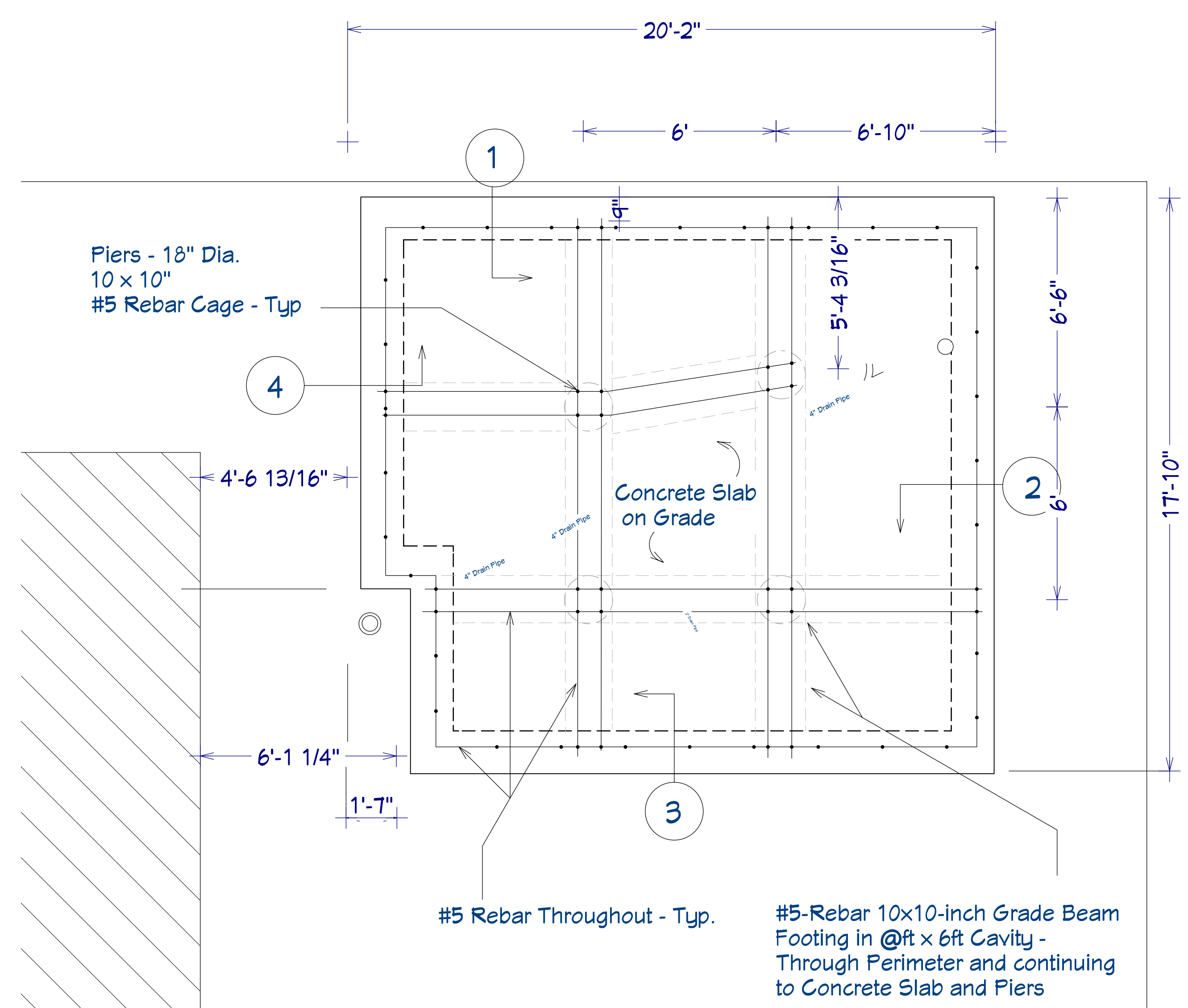
NOTES:
1. ALL WORK SHALL COMPLY WITH CBC 2016.
2. CONCRETE : 2500PSI , REBAR: GR 60
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
4. CONTRACTOR SHALL PROVIDE TRUSS DATA FROM MANUFACTURER



1 TYP 4" Slab and Foundation Detail w/ Piers
FOOTING 2 FT. BELOW GROUND LEVEL



Foundation
Scale: 1/4" = 1.0'



Masonry Skeleton Plan View
Scale: 3/8" = 1.0'

FOUNDATION NOTES:

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

CONCRETE STRENGTH, 3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI). 3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION. MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

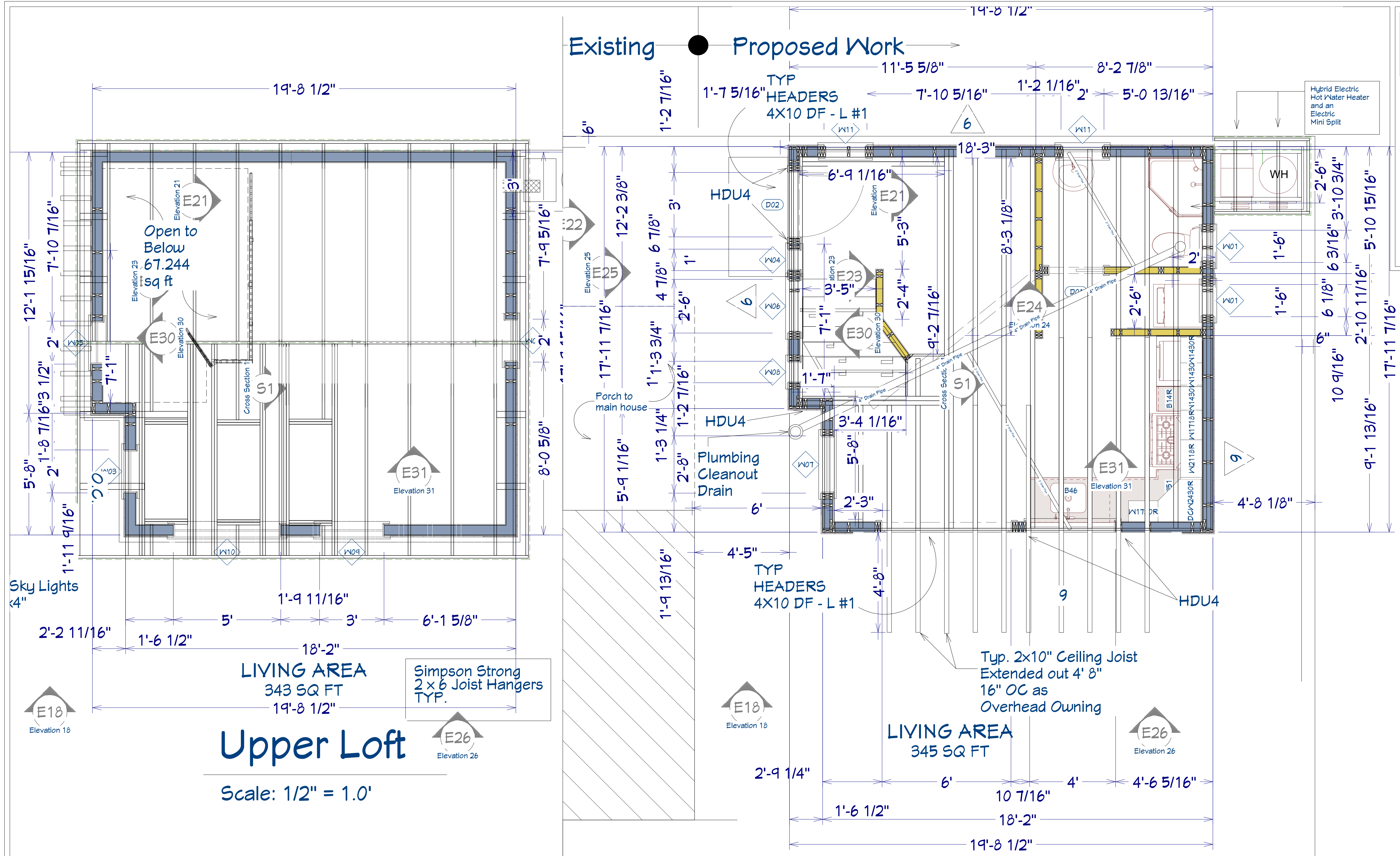
CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

EROSION CONTROL NOTES:

1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
4. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURE'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
5. DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

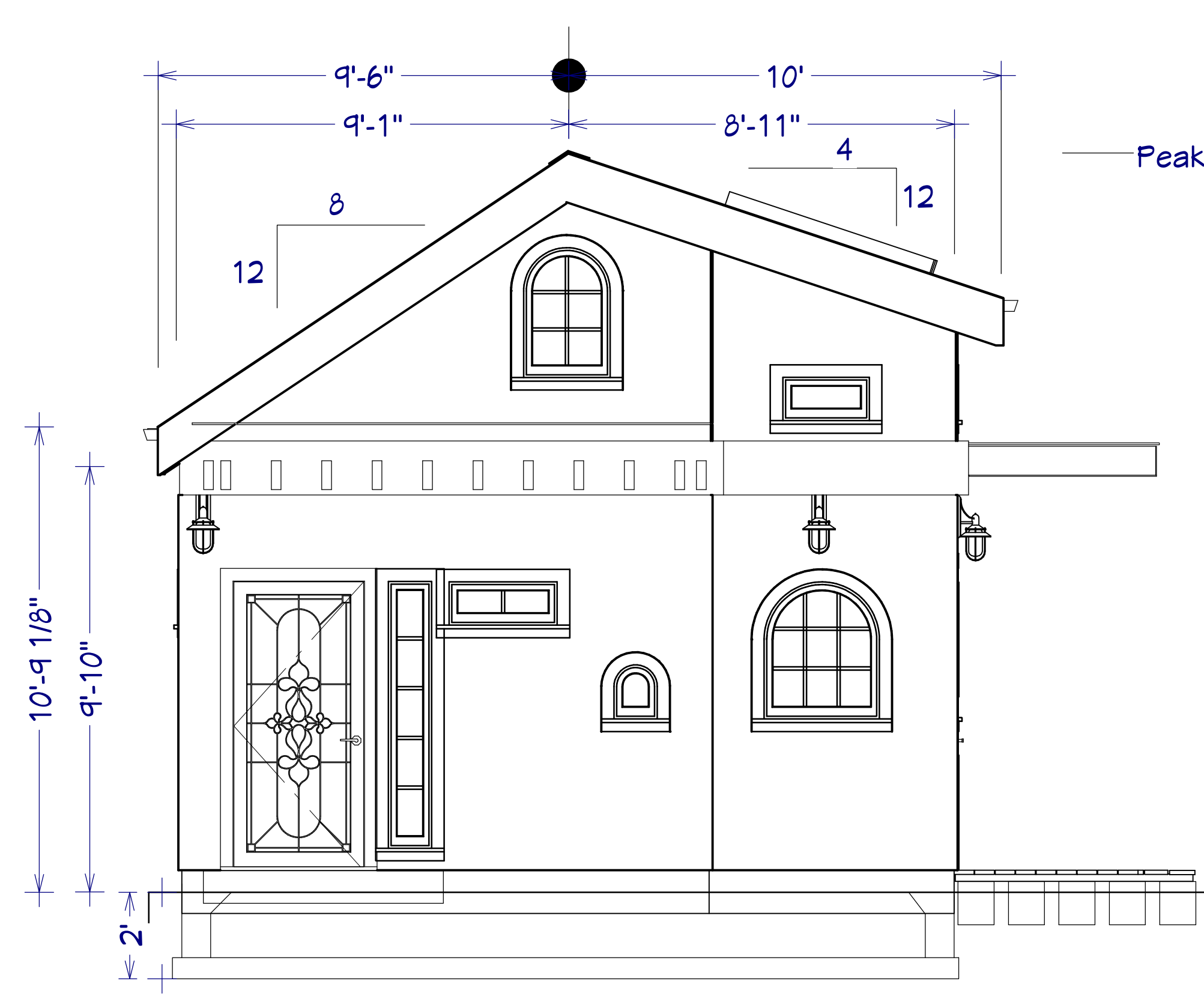


Upper Loft

Scale: 1/2" = 1.0'

Floor Plan

Scale : 1/2" = 1.0'



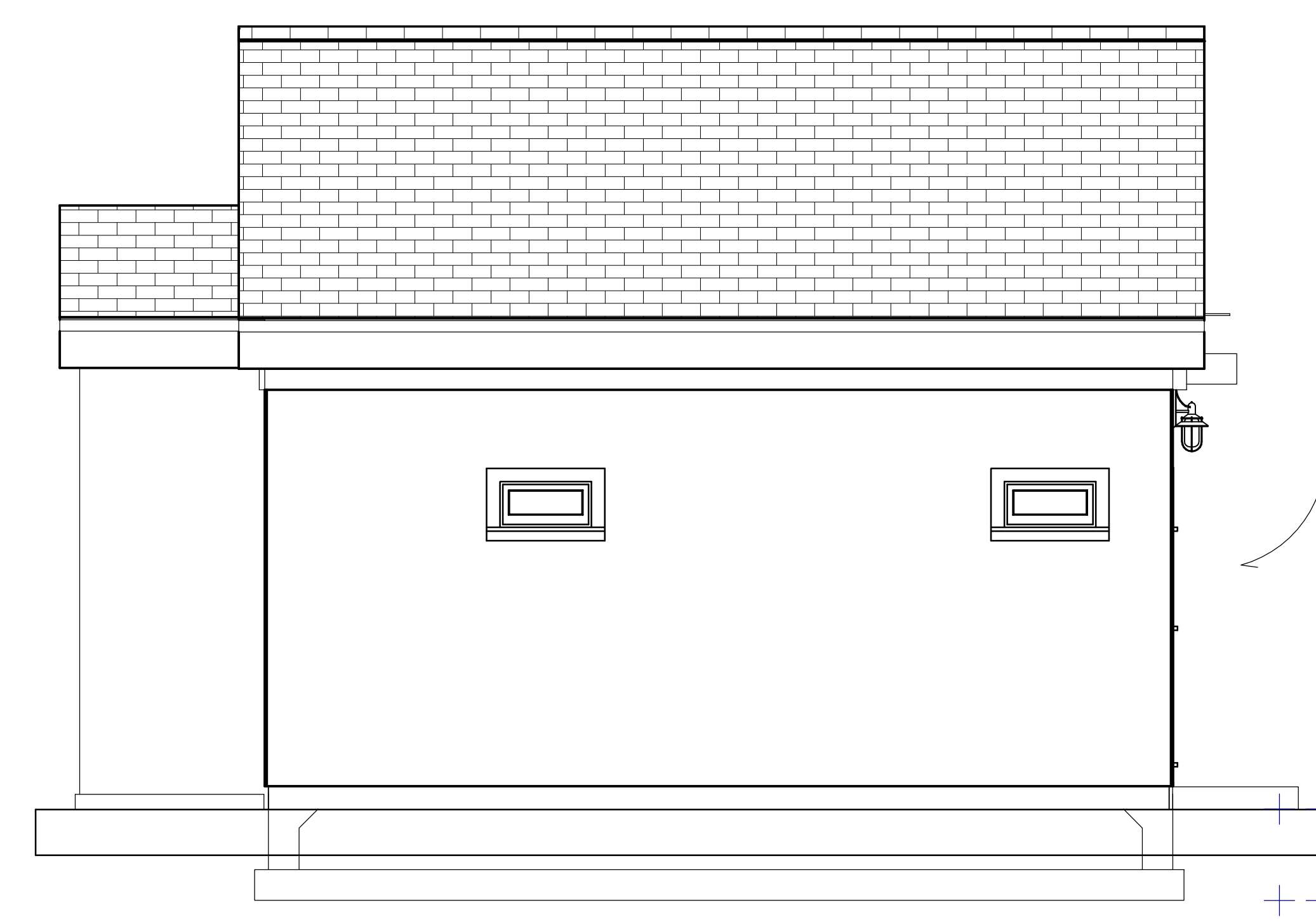
Front View

Scale : 3/8" = 1.0'



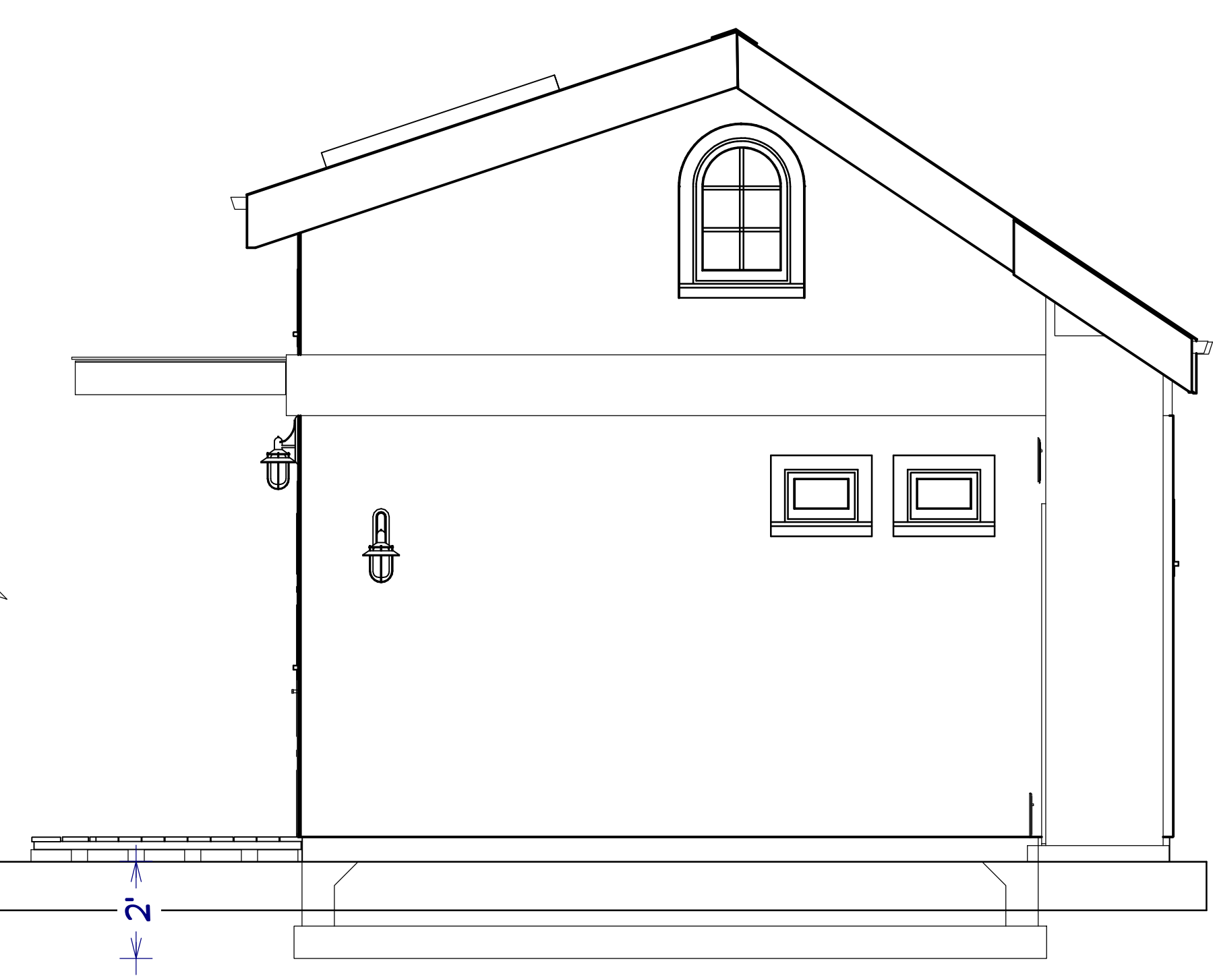
Right side View

Scale : 3/8" = 1.0'



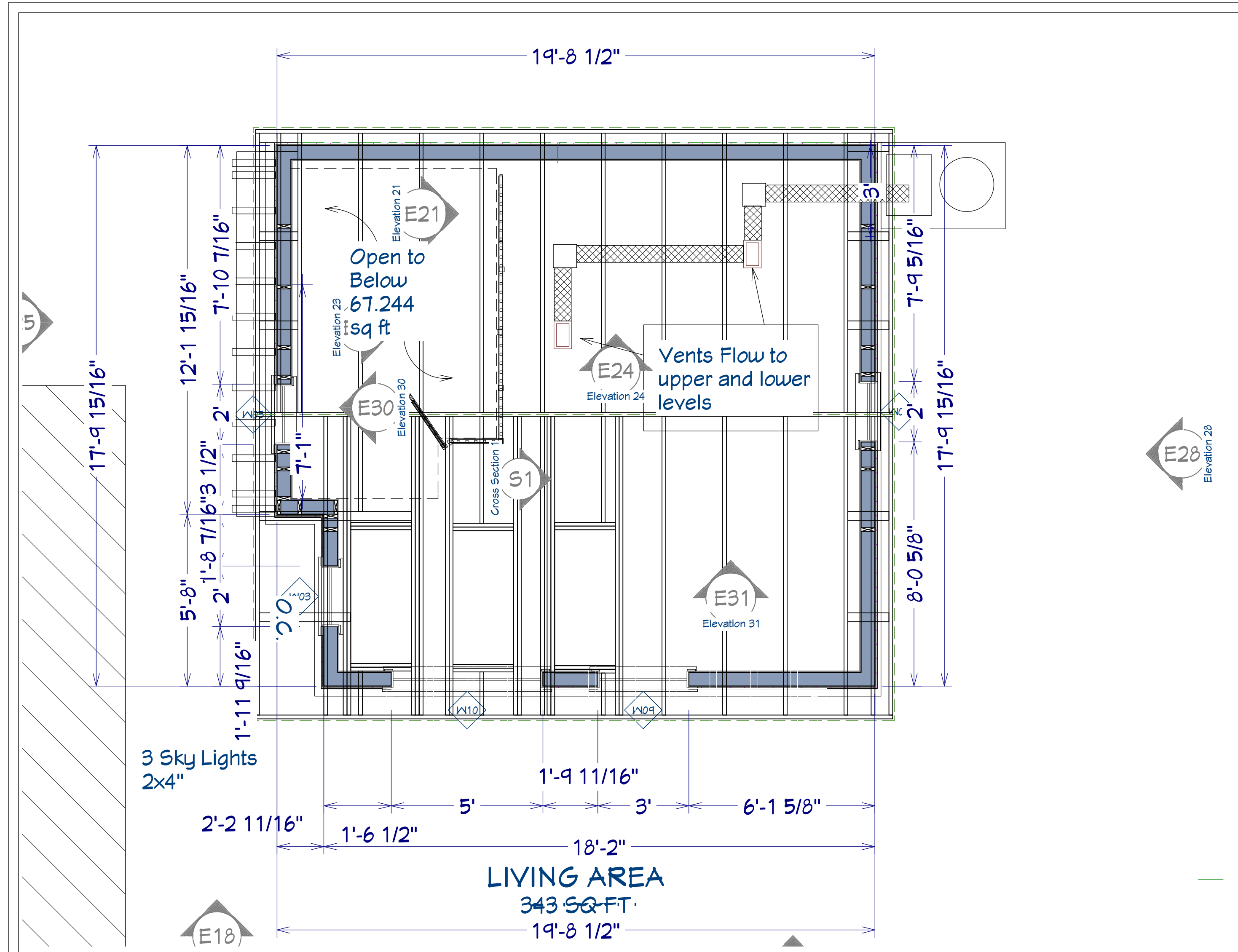
Left side View

Scale : 3/8" = 1.0'



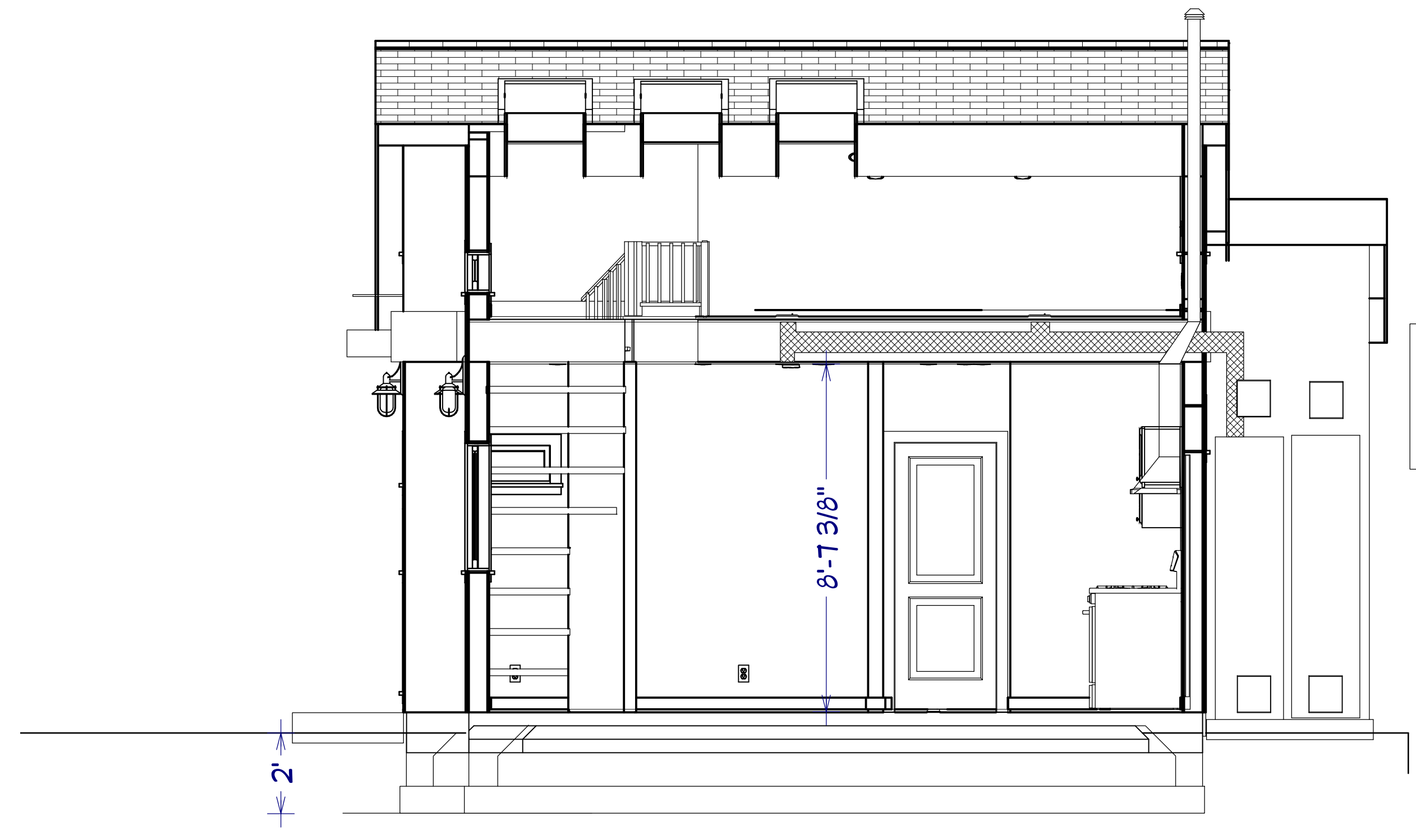
Rear View

Scale : 3/8" = 1.0'



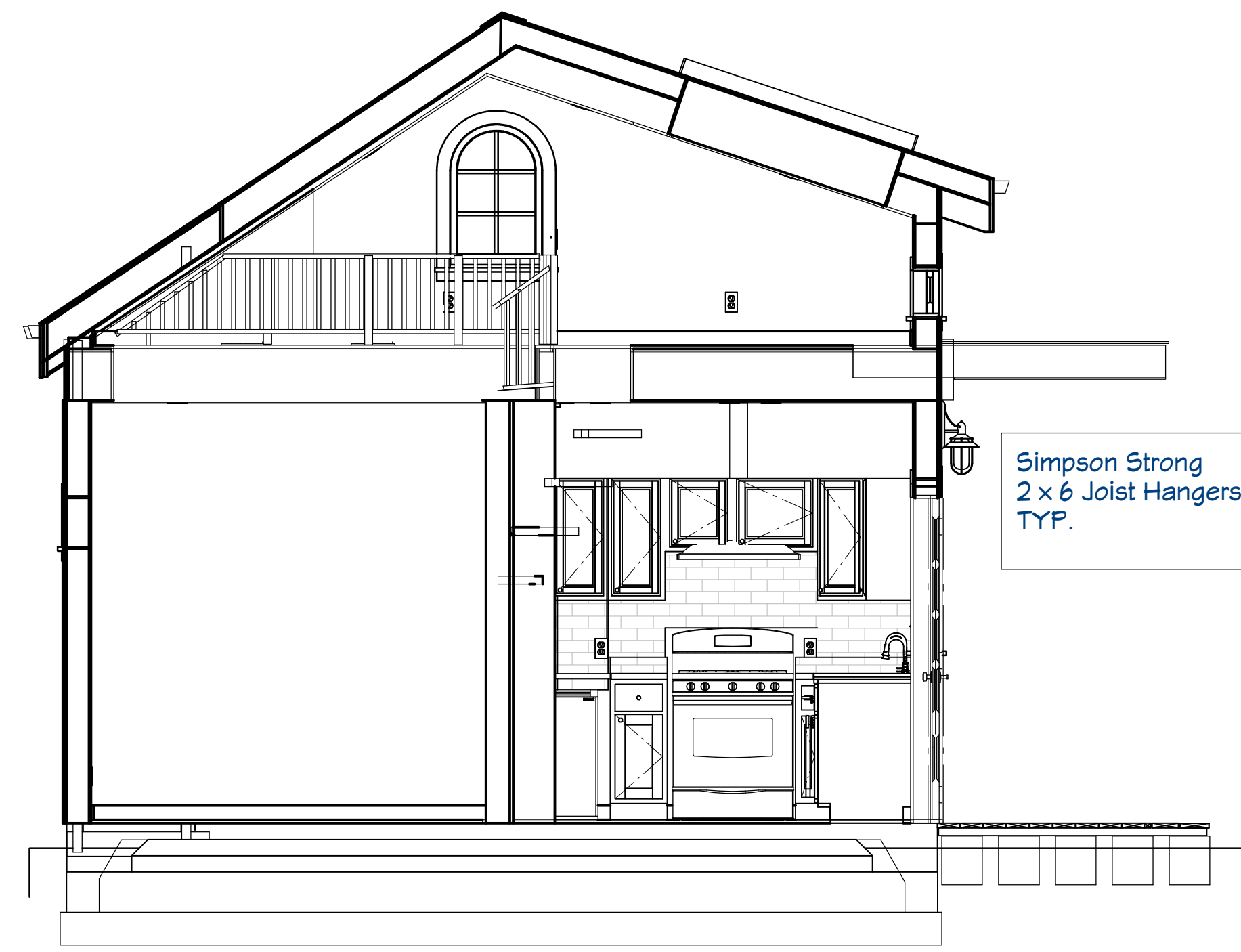
Roof Rafter

Scale: 1/2" = 1.0'




Cut Section

Scale : 3/8" = 1.0'



Cut Section

Scale : 3/8" = 1.0'

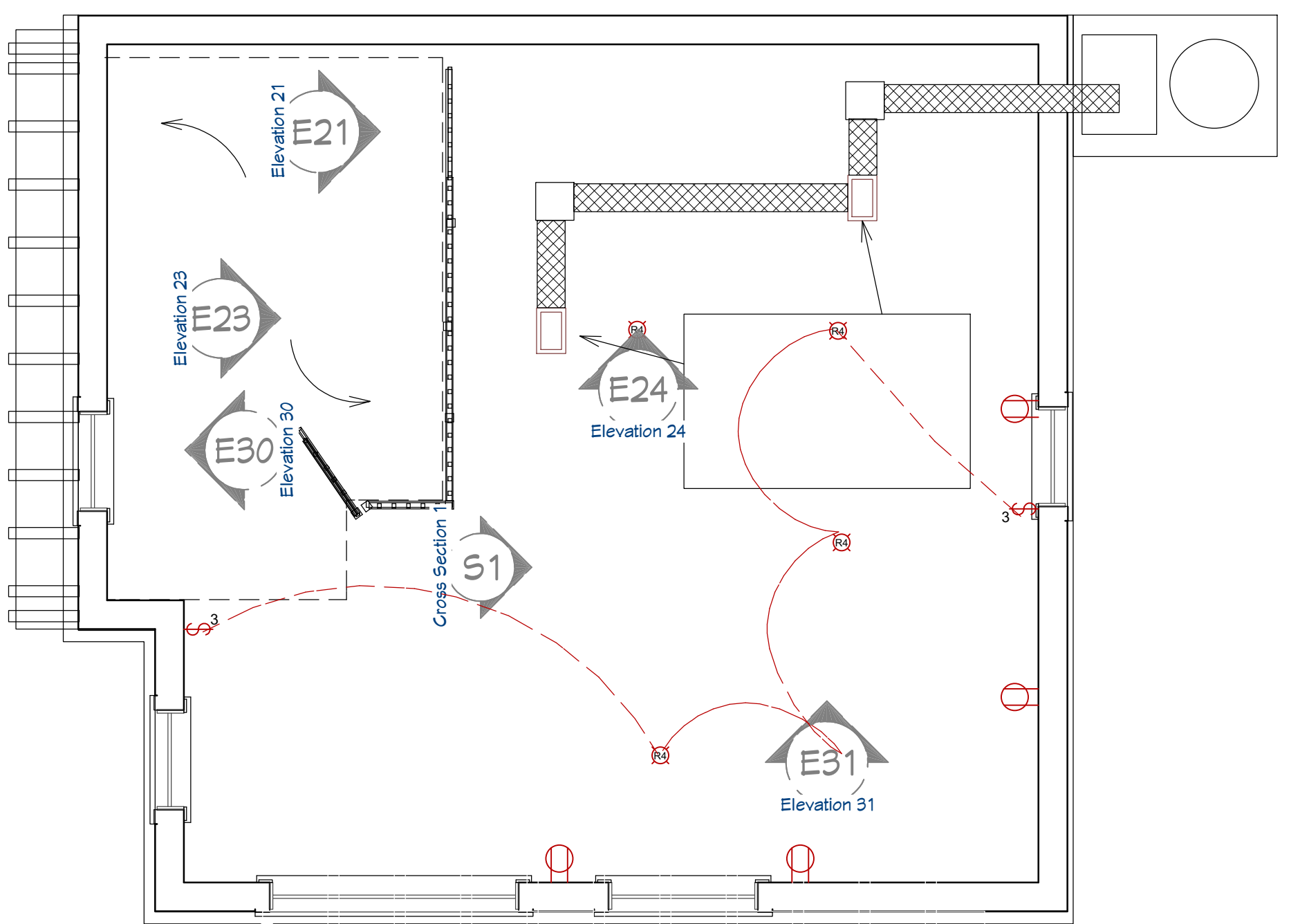
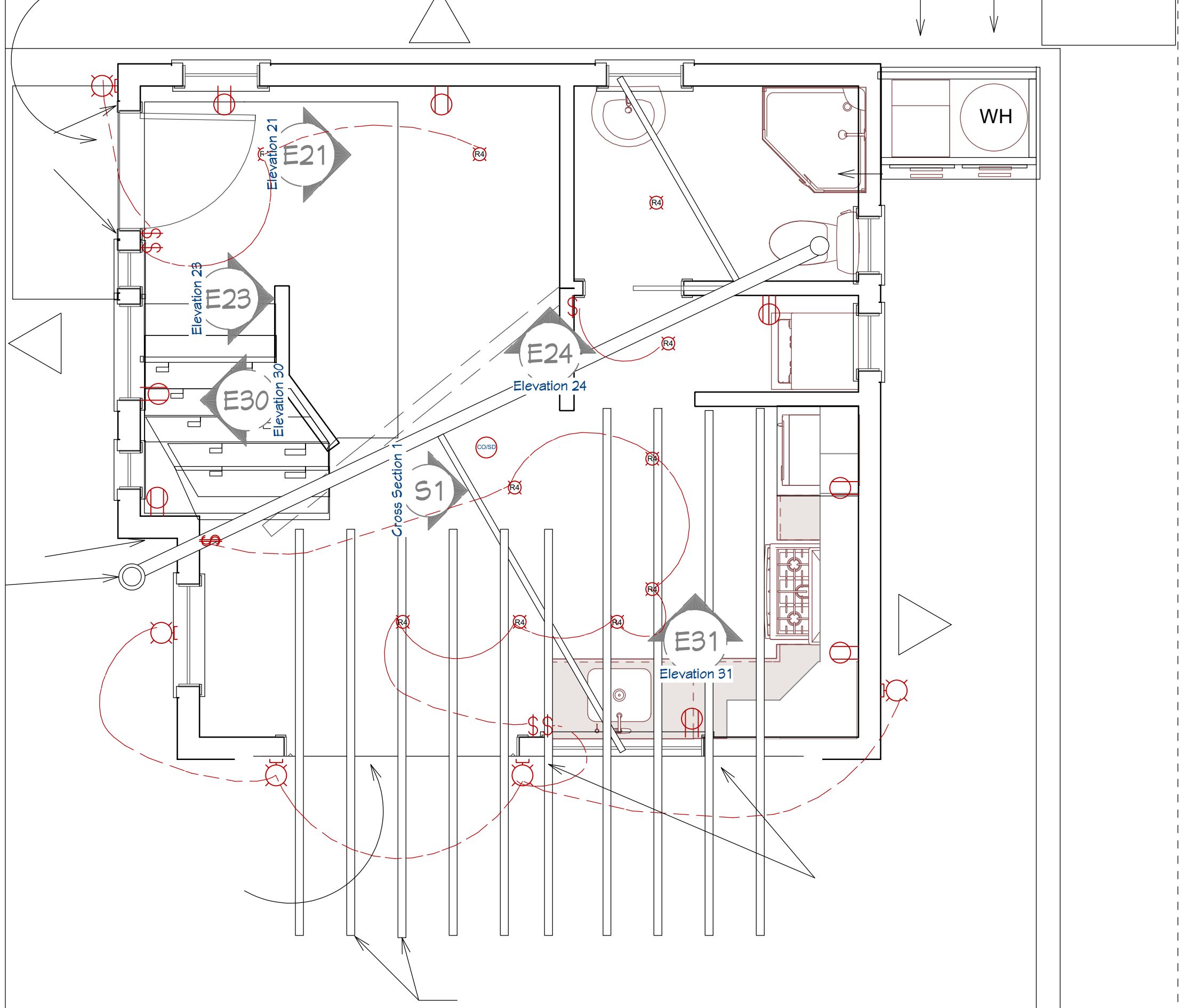
 Ladder :
Intended to be
3-Point Climbed. at
the 4ft tread are
handles within the
treads for climbing
Safely



Cut Section

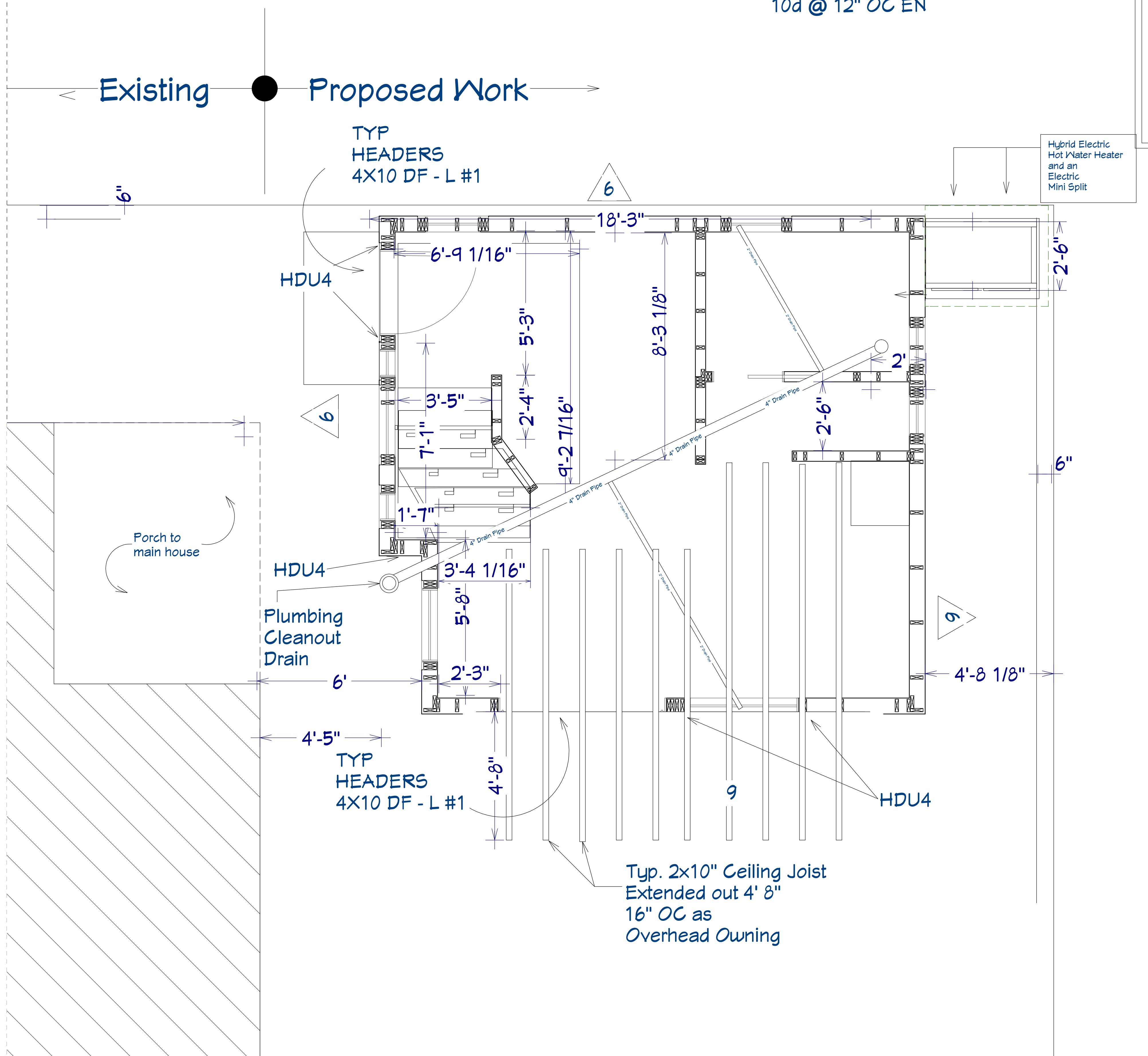
Scale : 3/8" = 1.0'

Proposal Electrical Plan

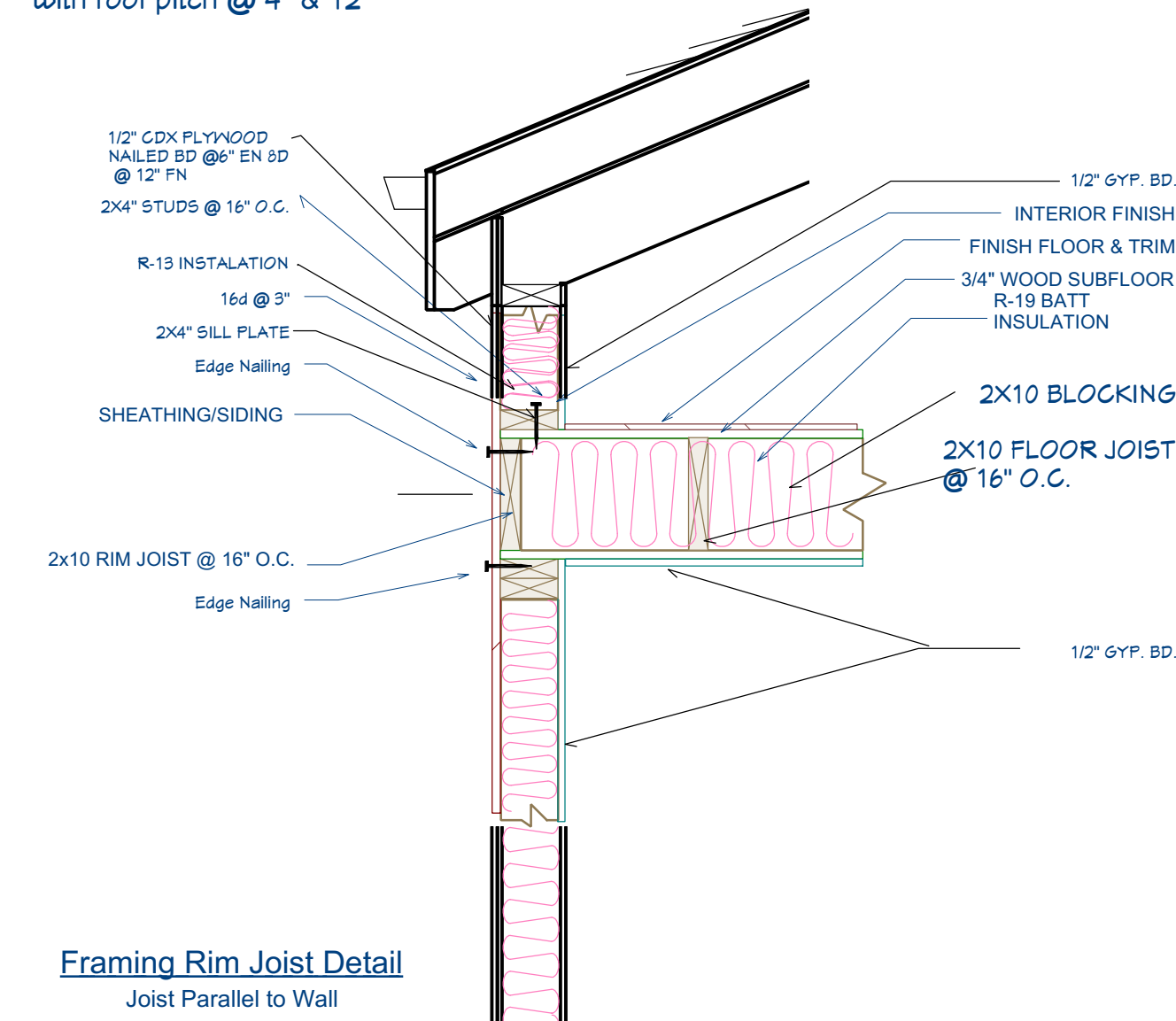


BRACED WALL PLAN

Scale : 1/2" = 1.0' 6 1/2" STRUC 1 PLYWOOD
10d @ 6" OC EN
10d @ 12" OC EN



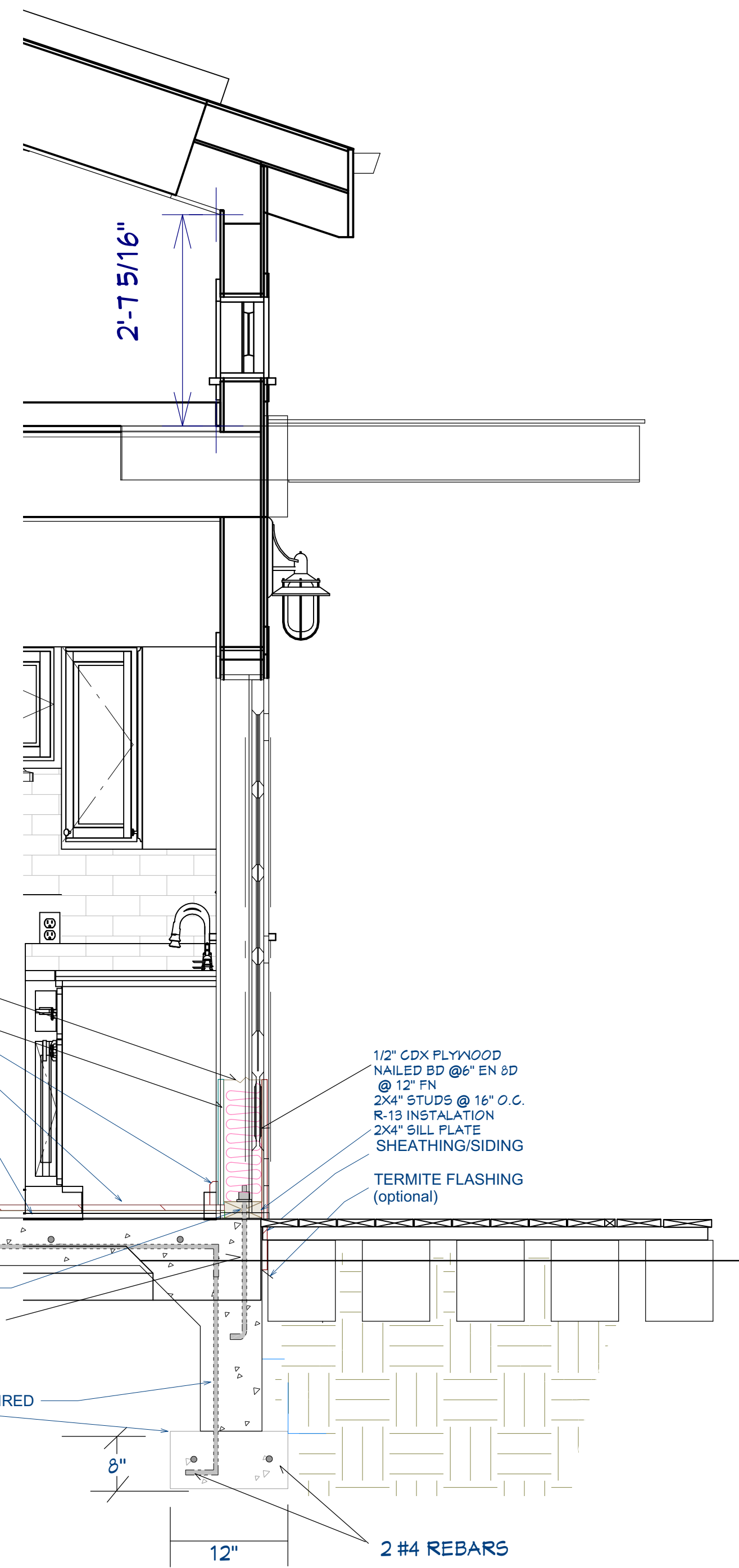
TYP ASPHALT ROOFING
2nd Floor (Loft) Wall 6" high
with roof pitch @ 4" & 12"



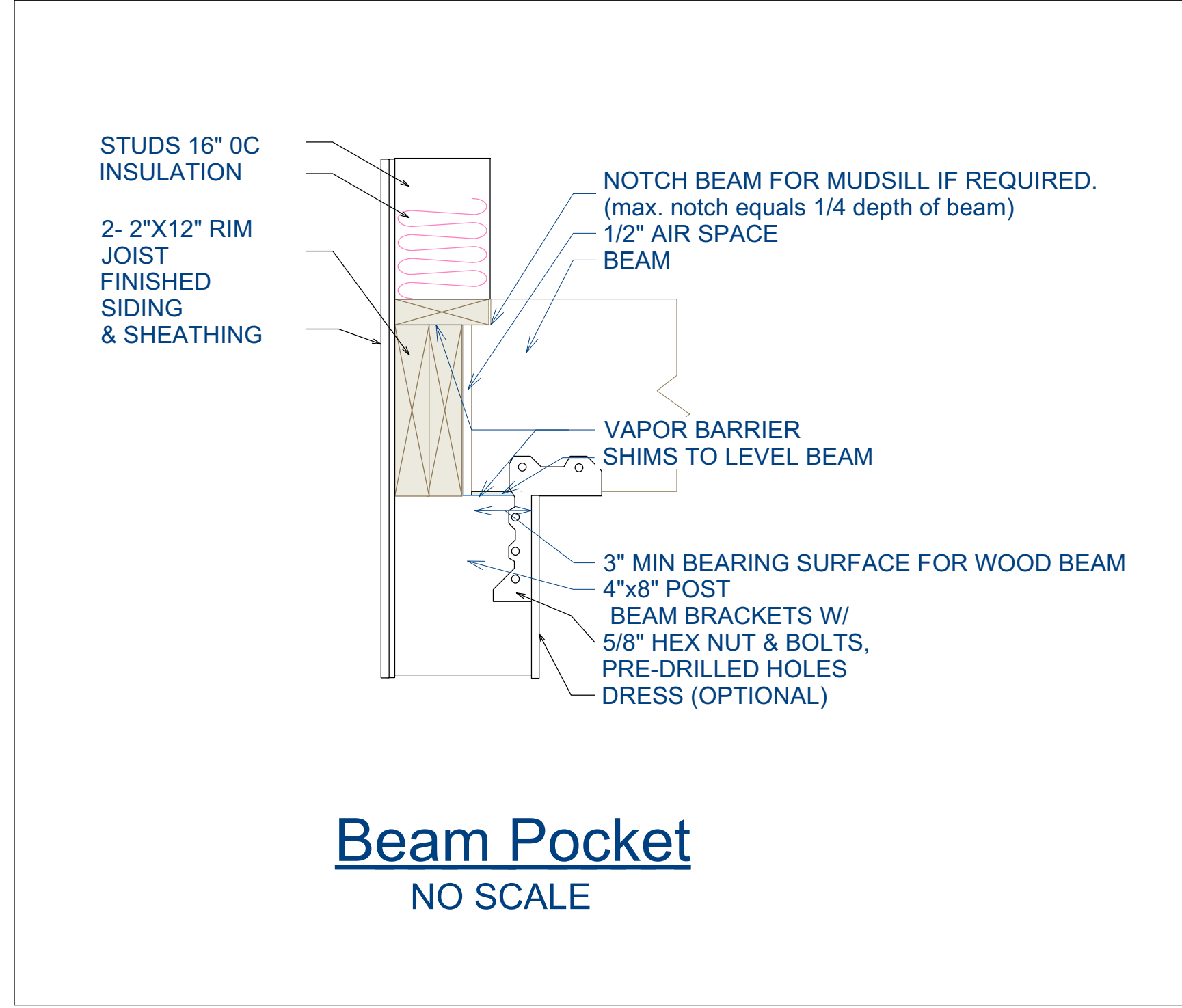
Framing Rim Joist Detail
Joist Parallel to Wall

Simpson Strong
2 x 6 Joist Hangers
TYP.

Cross joist and
decking boards
materials ;
Trex - Solid
composite deck
boards



2 TYP 4" Slab and Foundation Detail
FOOTING 2 FT. BELOW GROUND LEVEL



Beam Pocket
NO SCALE

4"X6: POST FOR
END BEAM SUPPORT

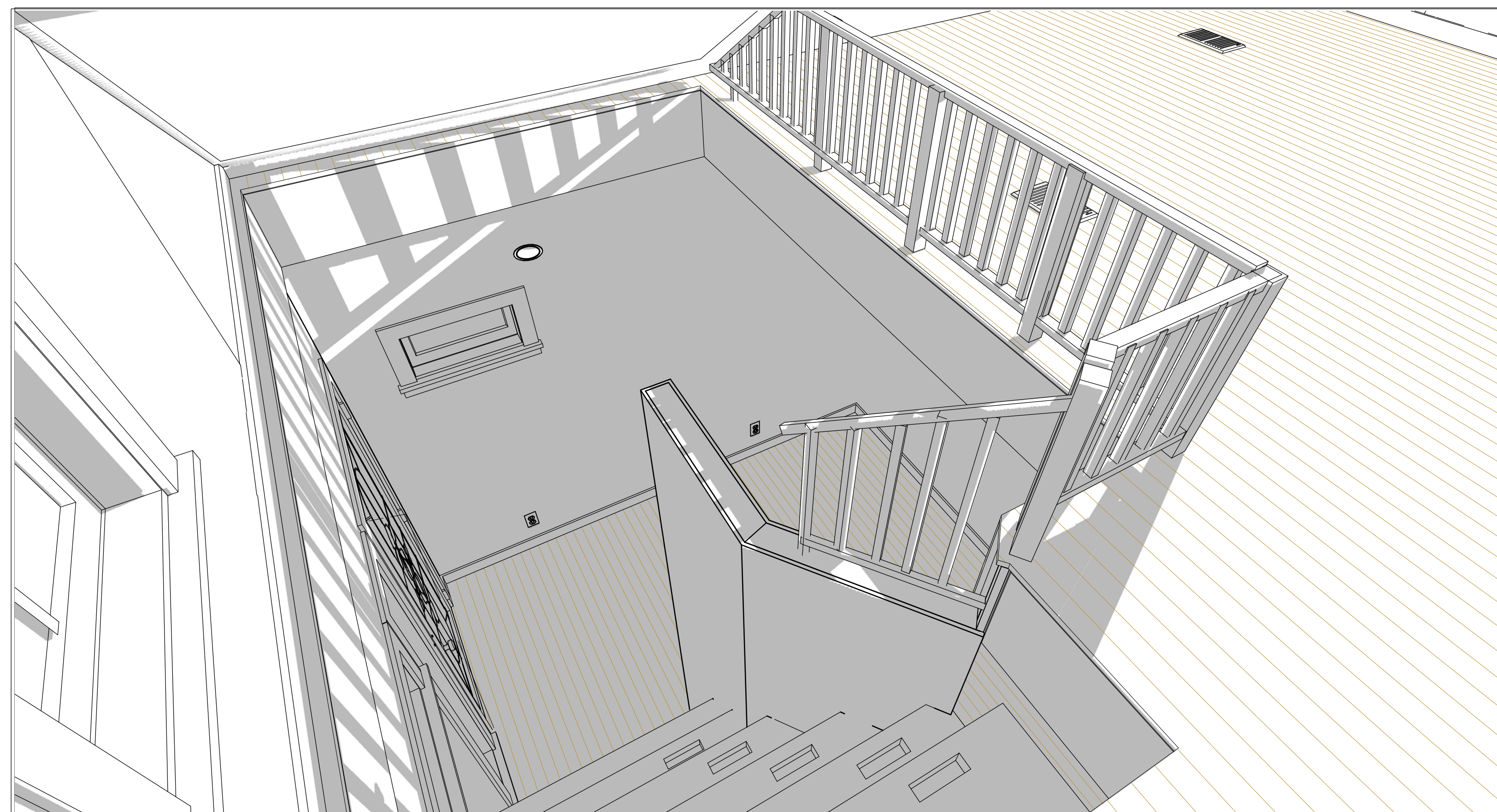
3 TYP 4" Slab and Foundation Detail
FOOTING 2 FT. BELOW GROUND LEVEL

Loft is limited for head Space; not intended for standing

Stationary Ladder
Tread height - 12"
Open through
Handles within the Treads



Ladder : to be 3-Point Climbed. at the 4ft tread are handles within the treads for climbing Safely

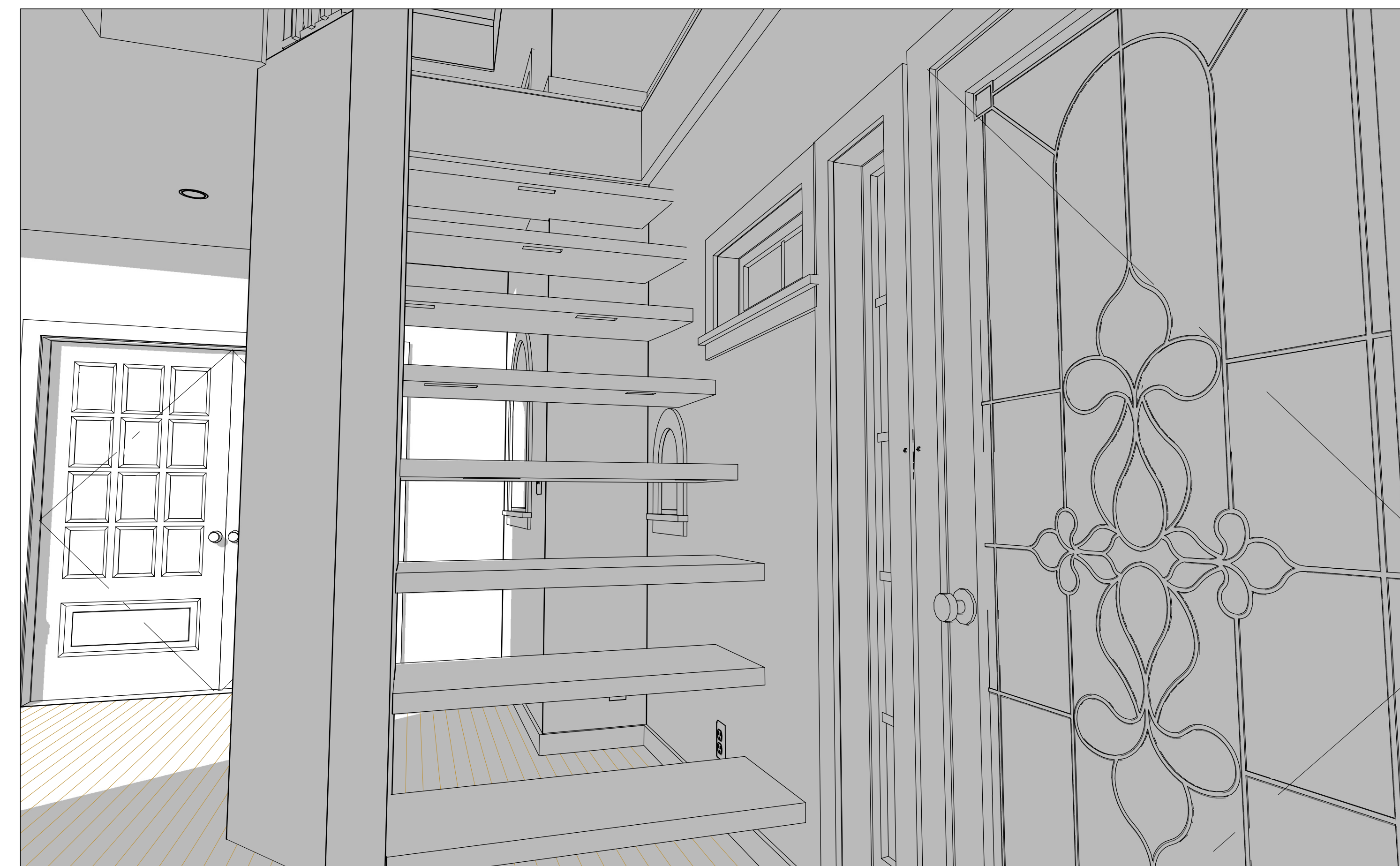


EXTERIOR FINISH NOTES:

1. EXTERIOR FINISH TO BE FIBER CEMENT SIDING OVER 5/8 CDX PLYWOOD/OSB. WINDOW & DOOR TRIM CEDAR. MATERIAL AND COLOR BY OWNER.
2. ROOFING TO BE 50 YEAR ASPHALT OVER 30# FELT, 5/8 CDX PLYWOOD/OSB.
3. DECKING TO BE TREX OR WOOD. FINAL MATERIAL AND COLOR BY OWNER.
4. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY.
5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.
6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.
7. BASALT RETAINING WALLS TO MATCH EXISTING RETAINING WALL.

LUMBER SPECIES:

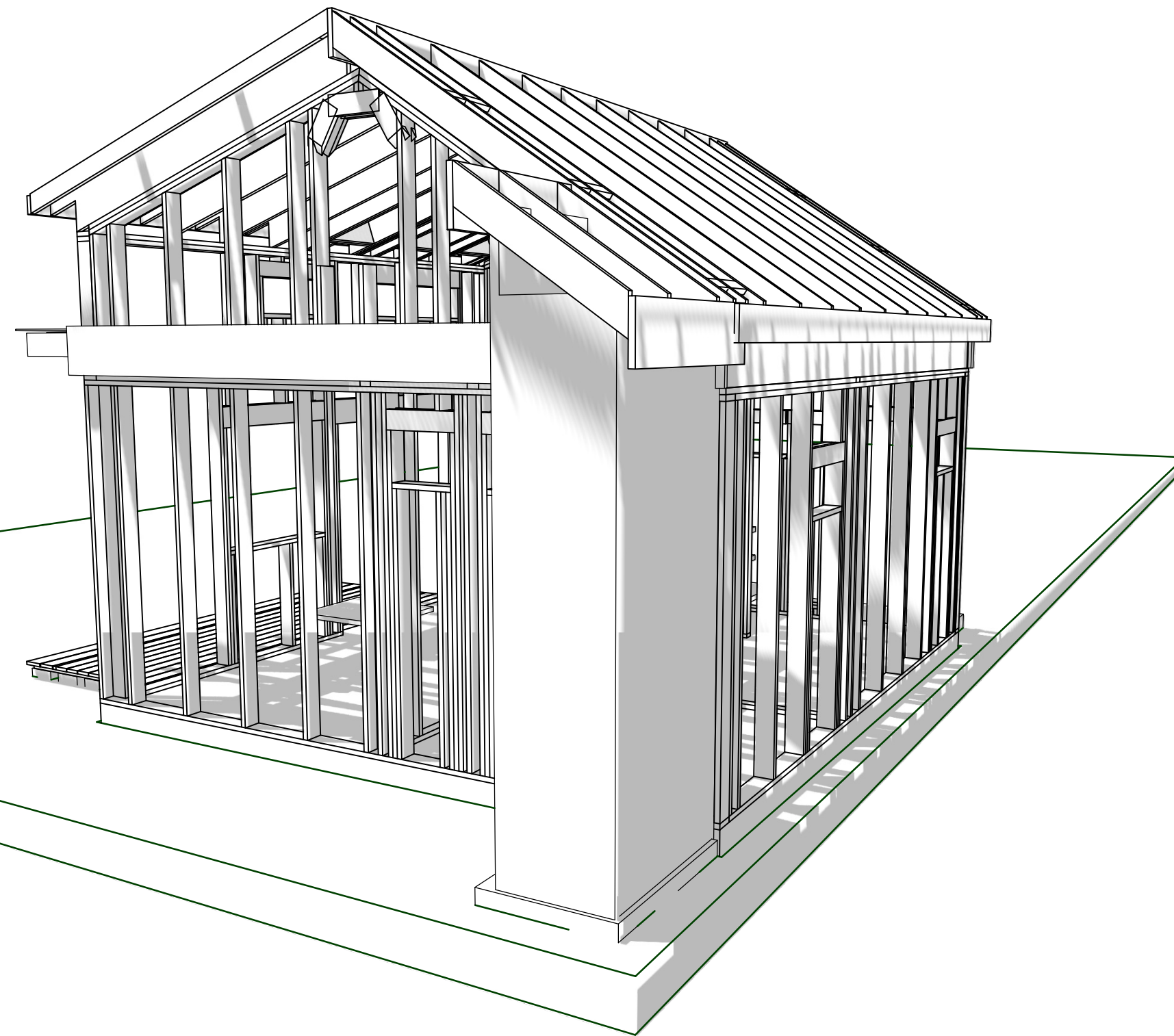
1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.
2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.
3. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
4. ALL STUDS TO BE DF#2 OR BETTER.
5. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
6. ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 9/32 OSB.
7. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
8. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.



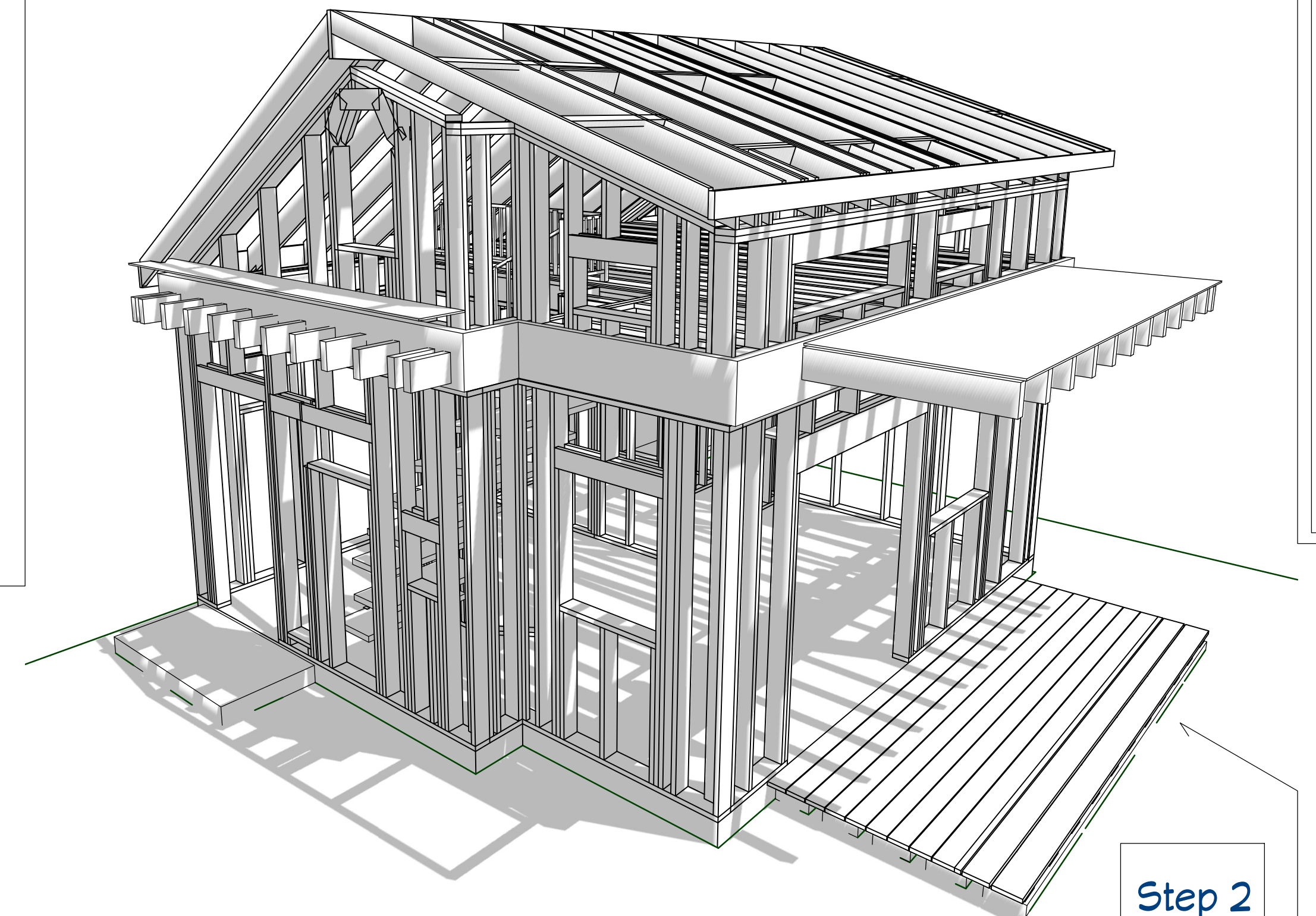
Perspective Views

2"x12" Roof Joist
24" OC.
2"x12" I-Beam
Floor Joist
24" OC.
2"x4" Stud Walls
16" OC.

Framing



Rear to Left Side View



Front to Right Side View

Step 2

Cross joist and decking boards materials ;
Trex - Solid composite deck boards

NAILING NOTES: (PER IRC TABLE R602.3(1))

JOIST TO SILL OR GIRDER
BRIDGING TO JOIST
SOLE PLATE TO JOIST OR BLK'G
STUD TO SOLE PLATE
TOP PLATE TO STUD

TOE NAIL (3)-8d
TOE NAIL EA. END (2)-8d
FACE NAIL 16d @ 16"OC
TOE NAIL (4)-8d, END NAIL (2) 16d
END NAIL (2)-16d

DOUBLE STUDS
DOUBLE TOP PLATES
CONTINUOUS HEADER, TWO PIECES
BUILT-UP HEADER, TWO PIECES
W/ 1/2" SPACER
TOP PLATES, LAPS AND INTERSECTIONS

FACE NAIL 16d @ 24" OC
FACE NAIL 16d @ 16" OC
16d @ 16" OC ALONG EA. EDGE
FACE NAIL (2)-16d
16d @ 16" OC ALONG EA. EDGE
FACE NAIL (2)-16d

CEILING JOISTS TO PLATE
CONTINUOUS HEADER TO STUD
CEILING JOISTS, LAPS OVER PARTITIONS
CEILING JOISTS TO PARALLEL RAFTERS
RAFTER TO PLATE
1" BRACE TO EACH STUD AND PLATE
BUILT-UP CORNER STUDS
2" PLANKS

TOE NAIL (3)-8d
TOE NAIL (4)-8d
FACE NAIL (3)-10d
FACE NAIL (3)-10d
TOE NAIL (2)-16d
FACE NAIL (2)-8d
10d @ 24" OC
(2)-16d @ EA.BRG.

1/2" PLYWOOD ROOF AND WALL
SHEATHING

EDGES 8d @ 6" OC
INTERMEDIATE 8d @ 12" OC

3/4" PLYWOOD SUBFLOOR

EDGES 8d @ 6" OC
INTERMEDIATE 8d @ 12" OC

2x MULTIPLE JOISTS - STAGGER @ 15" OC
W/(2) @ EA. END OR SPLICE
(3) OR FEWER
(4) OR MORE

16d NAILS
1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

FRAMING NOTES:

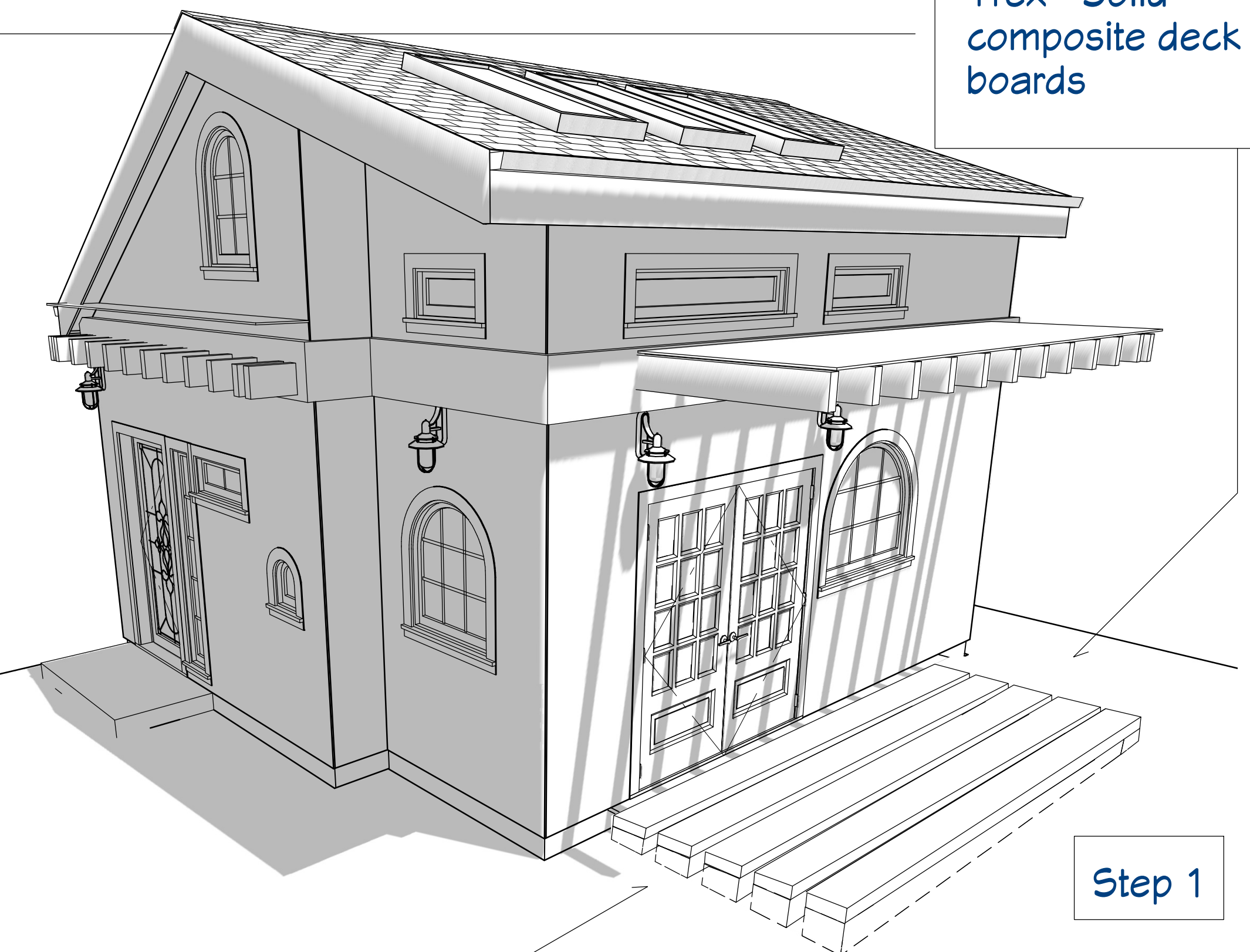
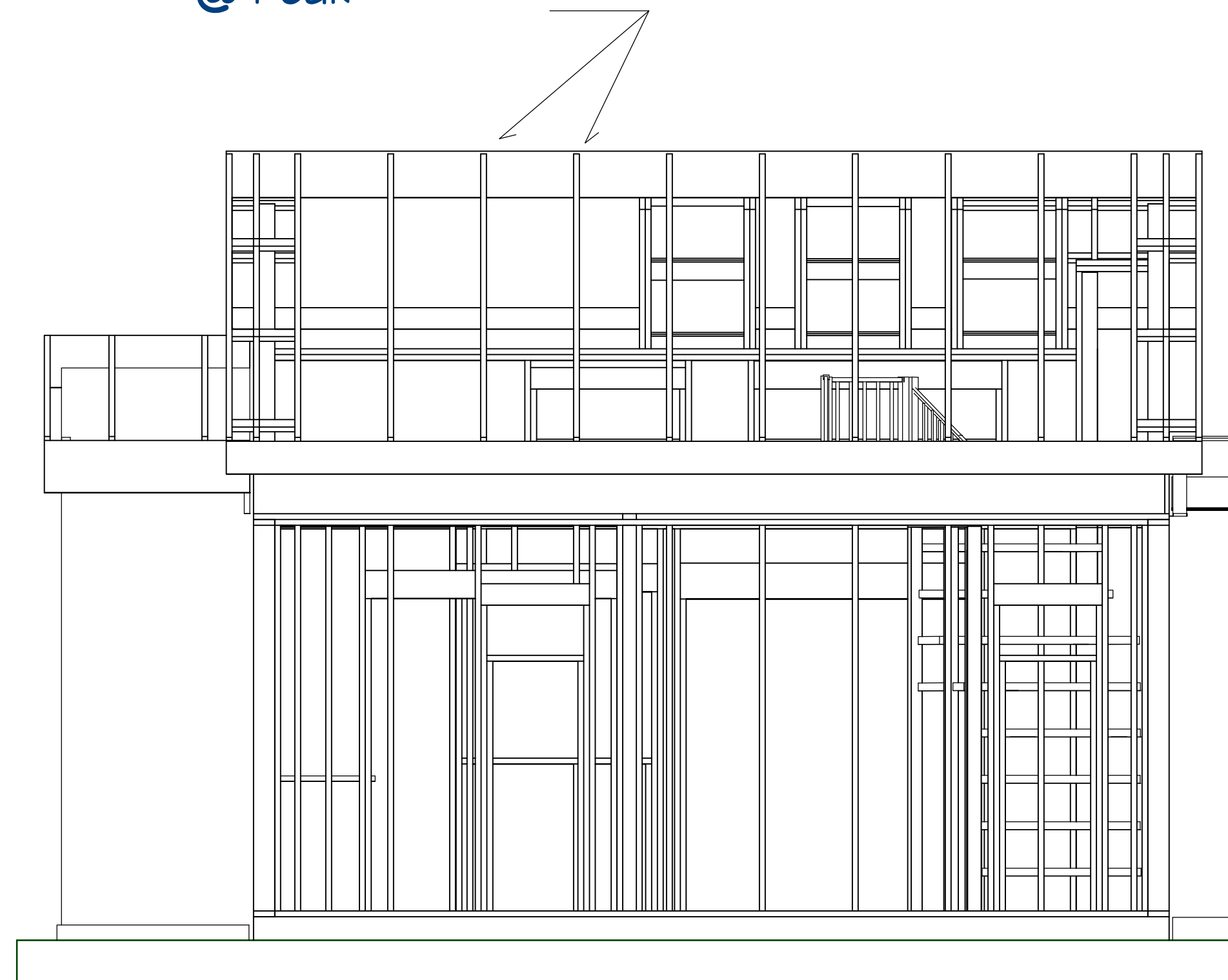
PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

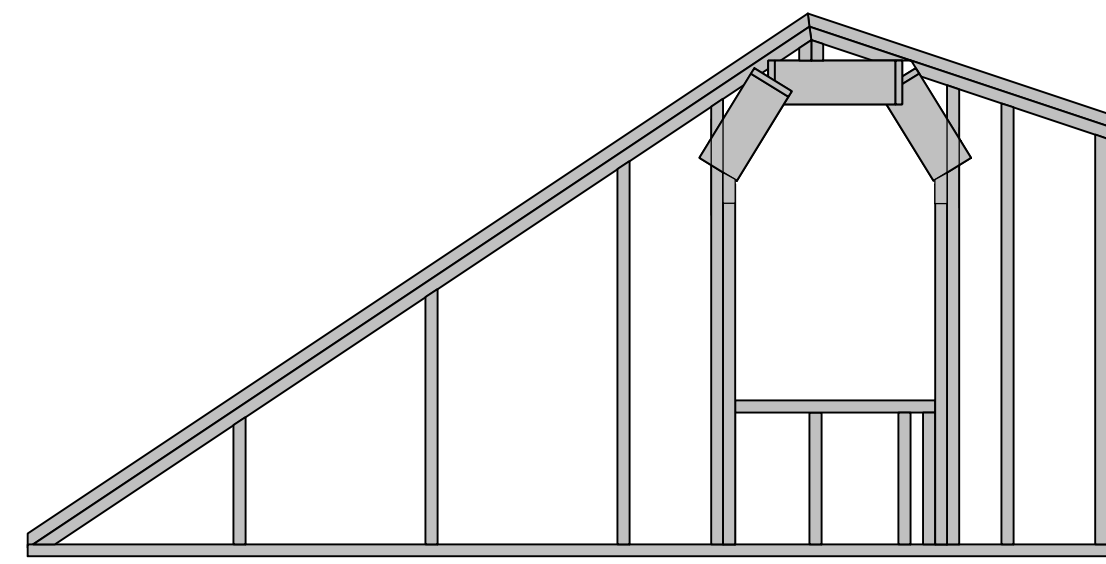
PROVIDE POSITIVE CONECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

Roof Joist 2 x12"
@ 24" O.C.
2 - 2x12" Ridge Joist
@ Peak

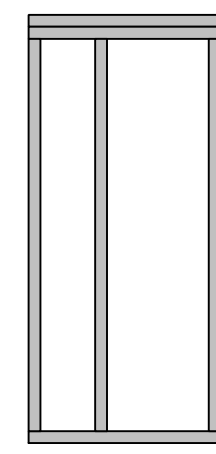


Step 1

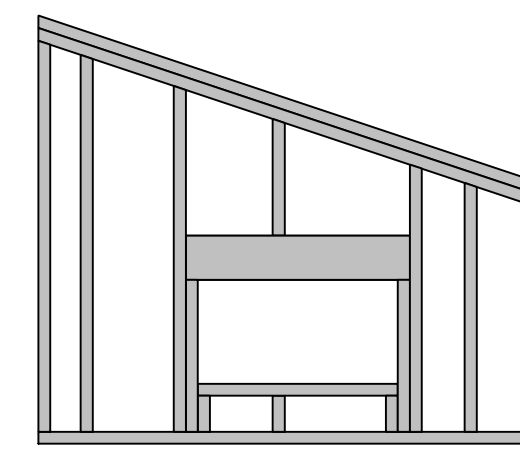
5 - 8" x 10" concrete footing slabs , before framing cross joist for stable Decking boards and water runoff.



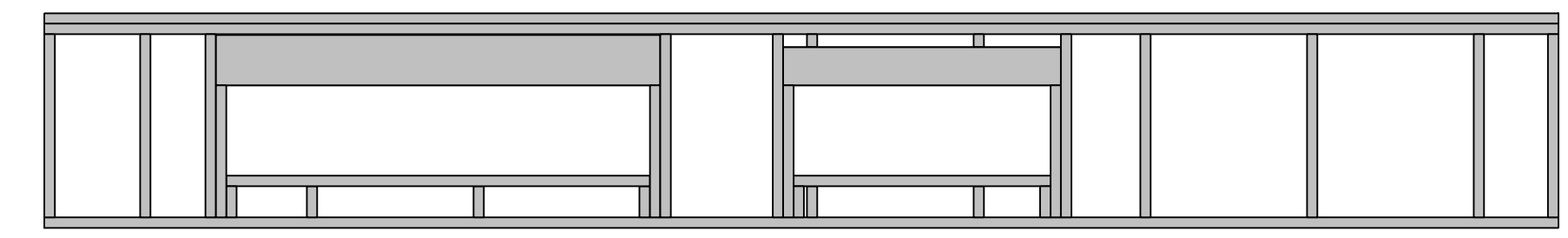
Wall Layer 4 - Viewed From Outside



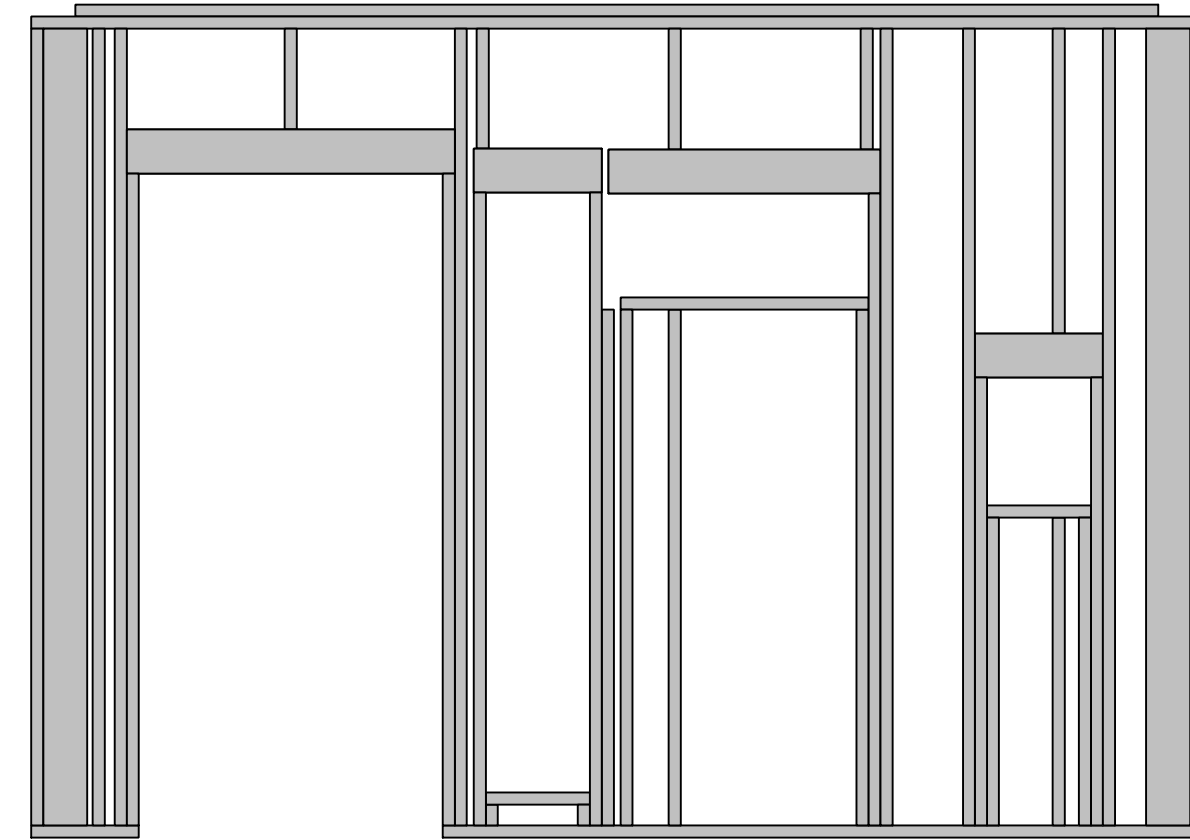
Wall Layer 4 - Viewed From Outside



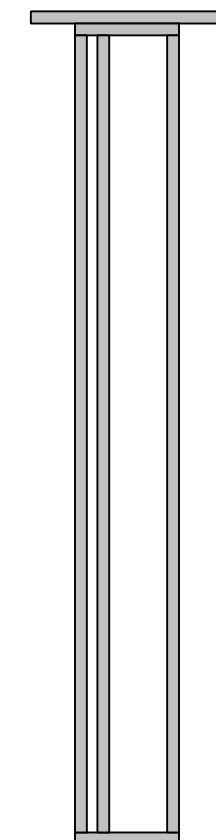
Wall Layer 4 - Viewed From Outside



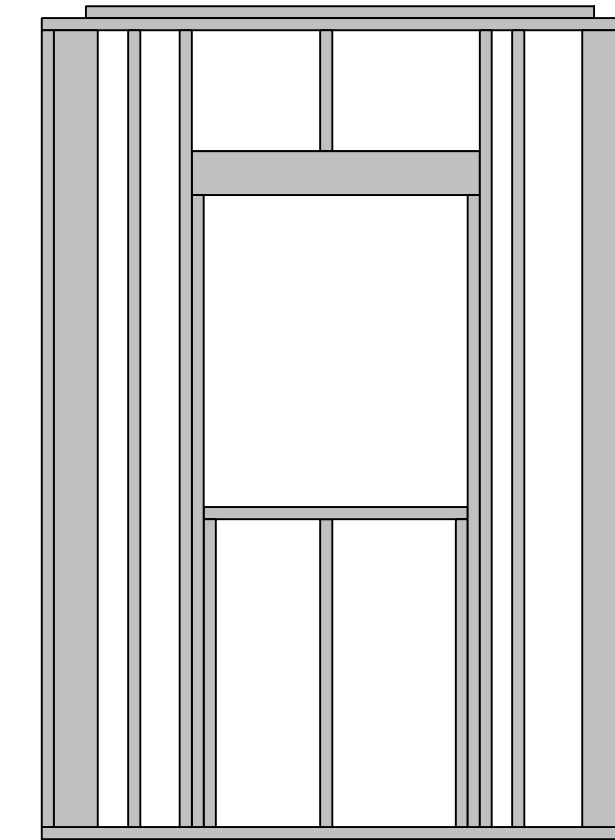
Wall Layer 4 - Viewed From Outside



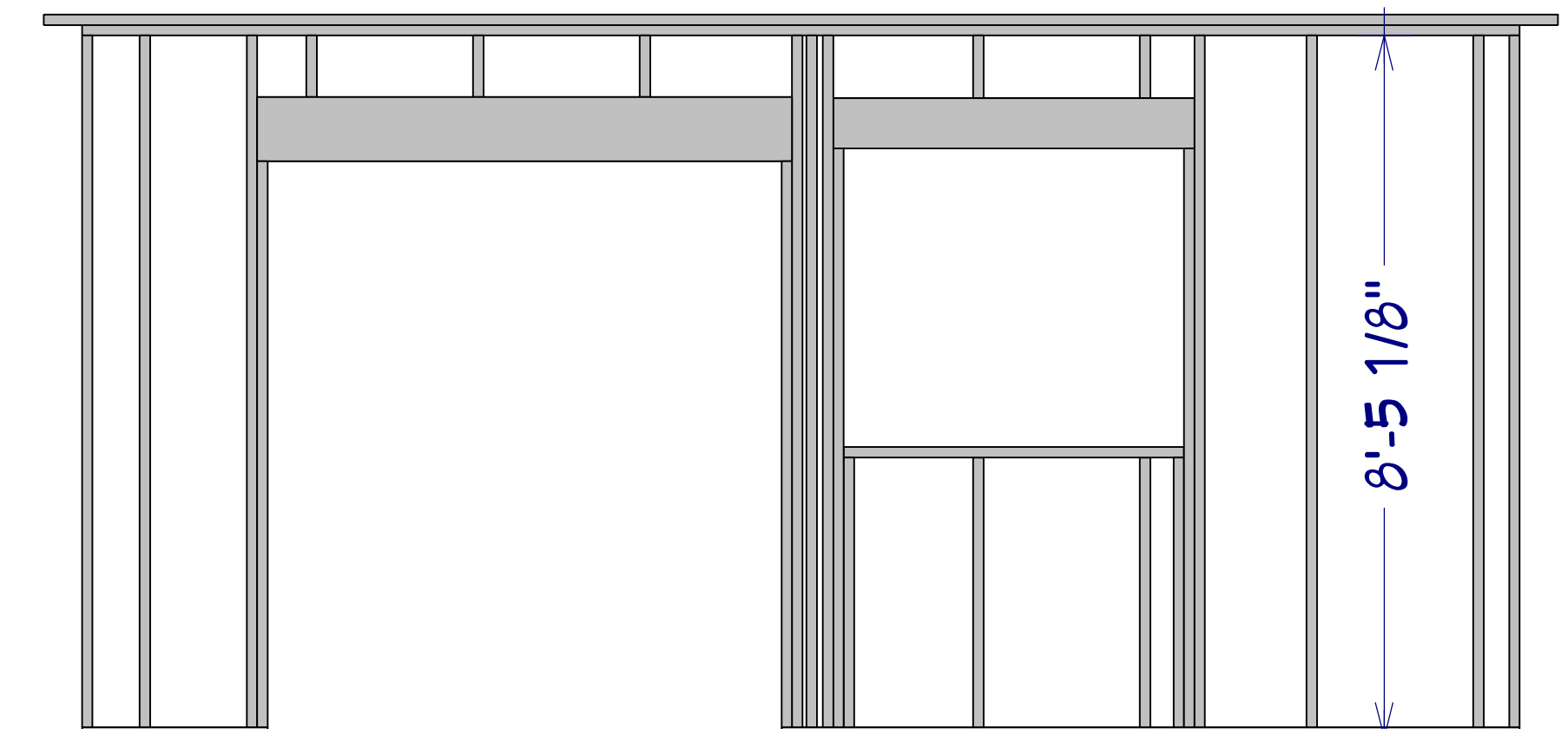
Wall Layer Front door view outside



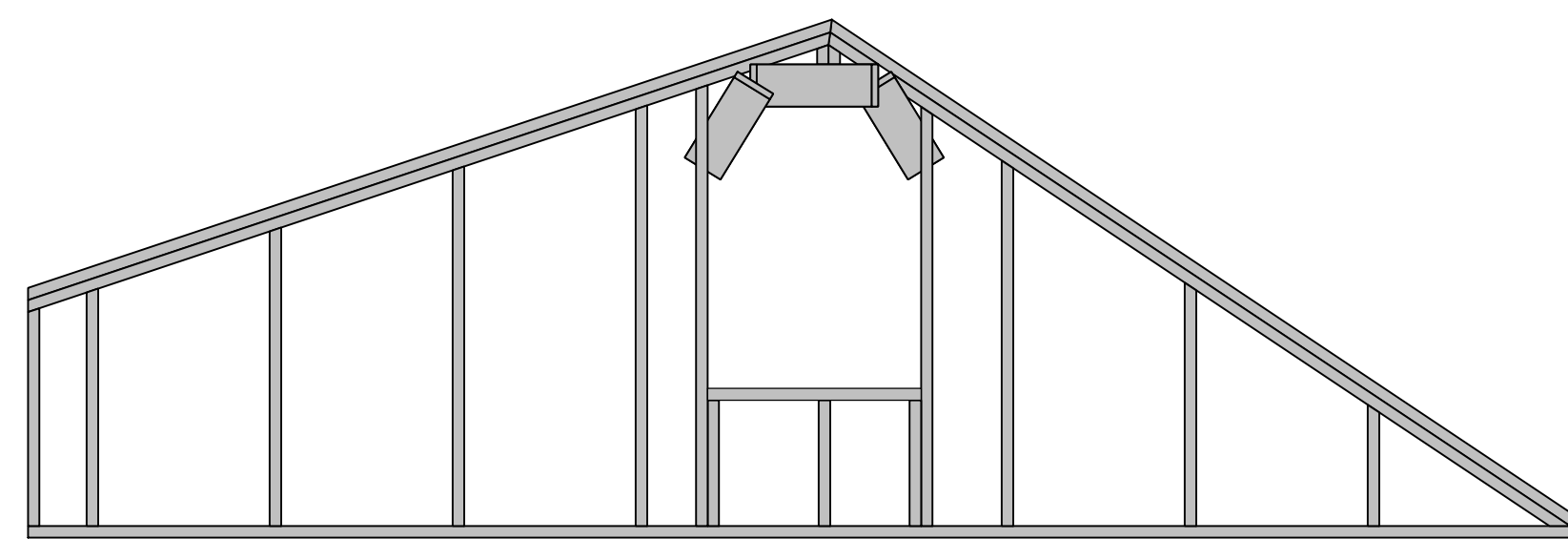
Wall Layer Front view 2 outside



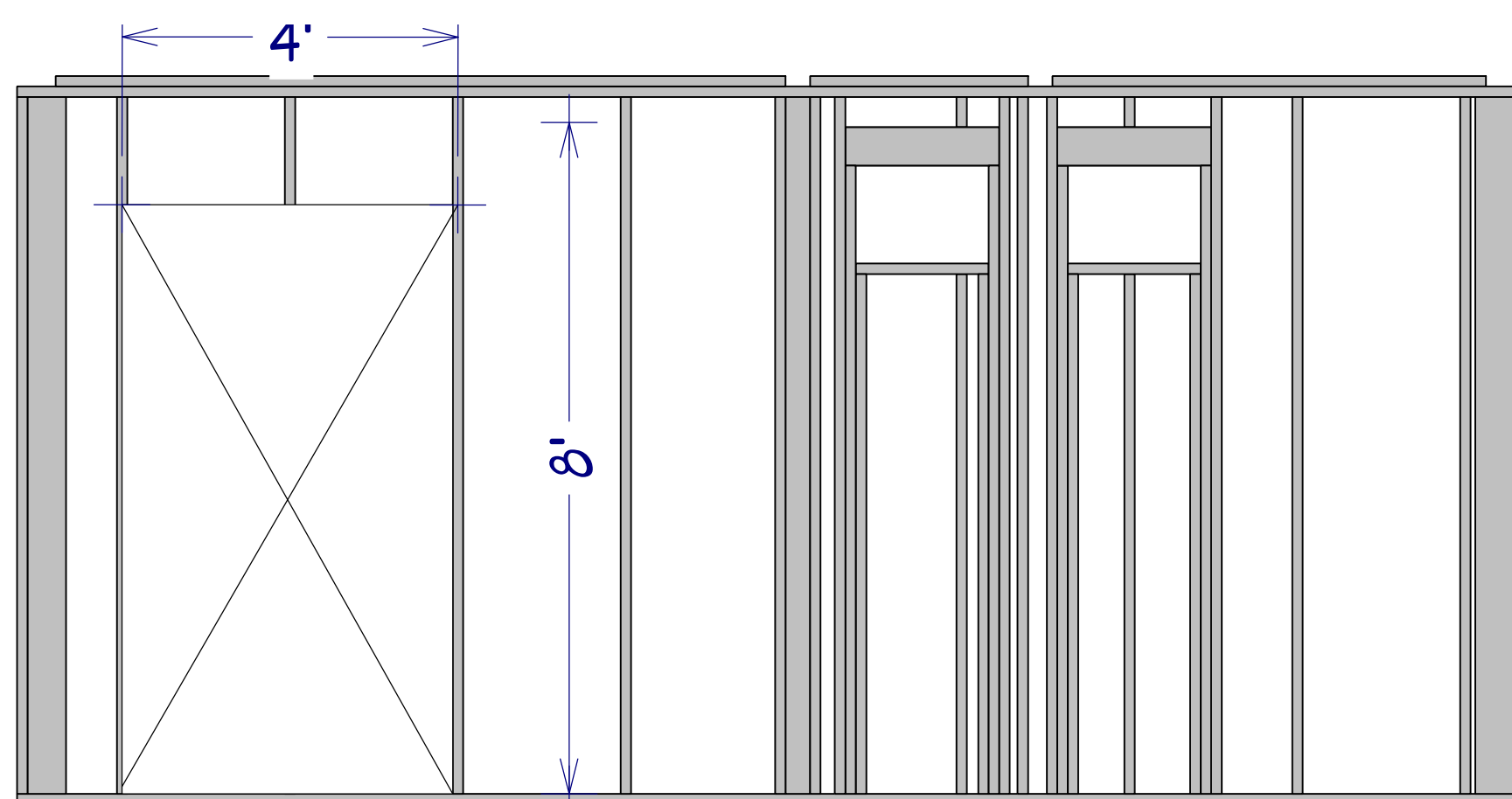
Wall Layer Front view 3 outside



Wall Layer Right side view outside

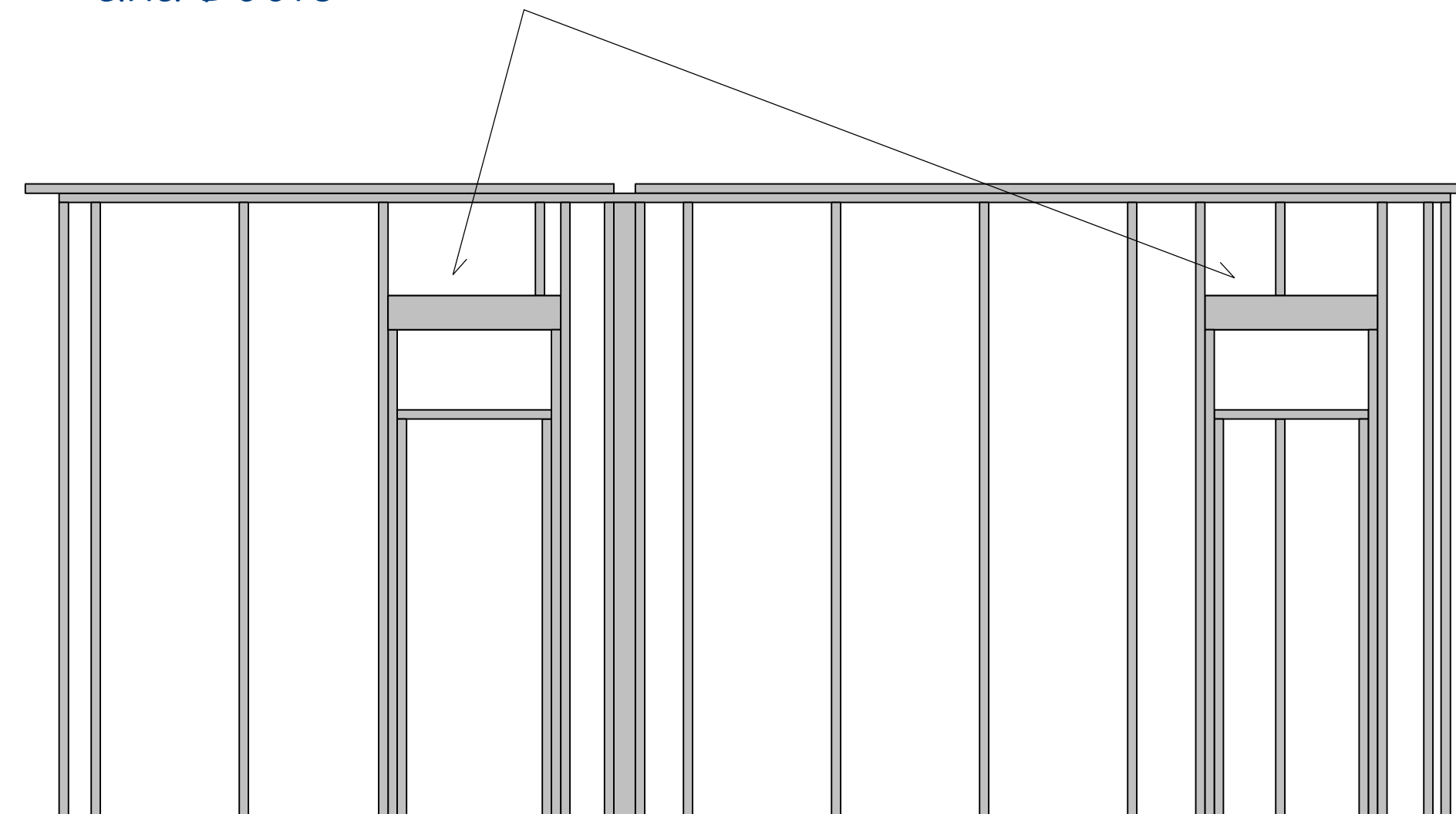


Wall Layer Rear view upper outside

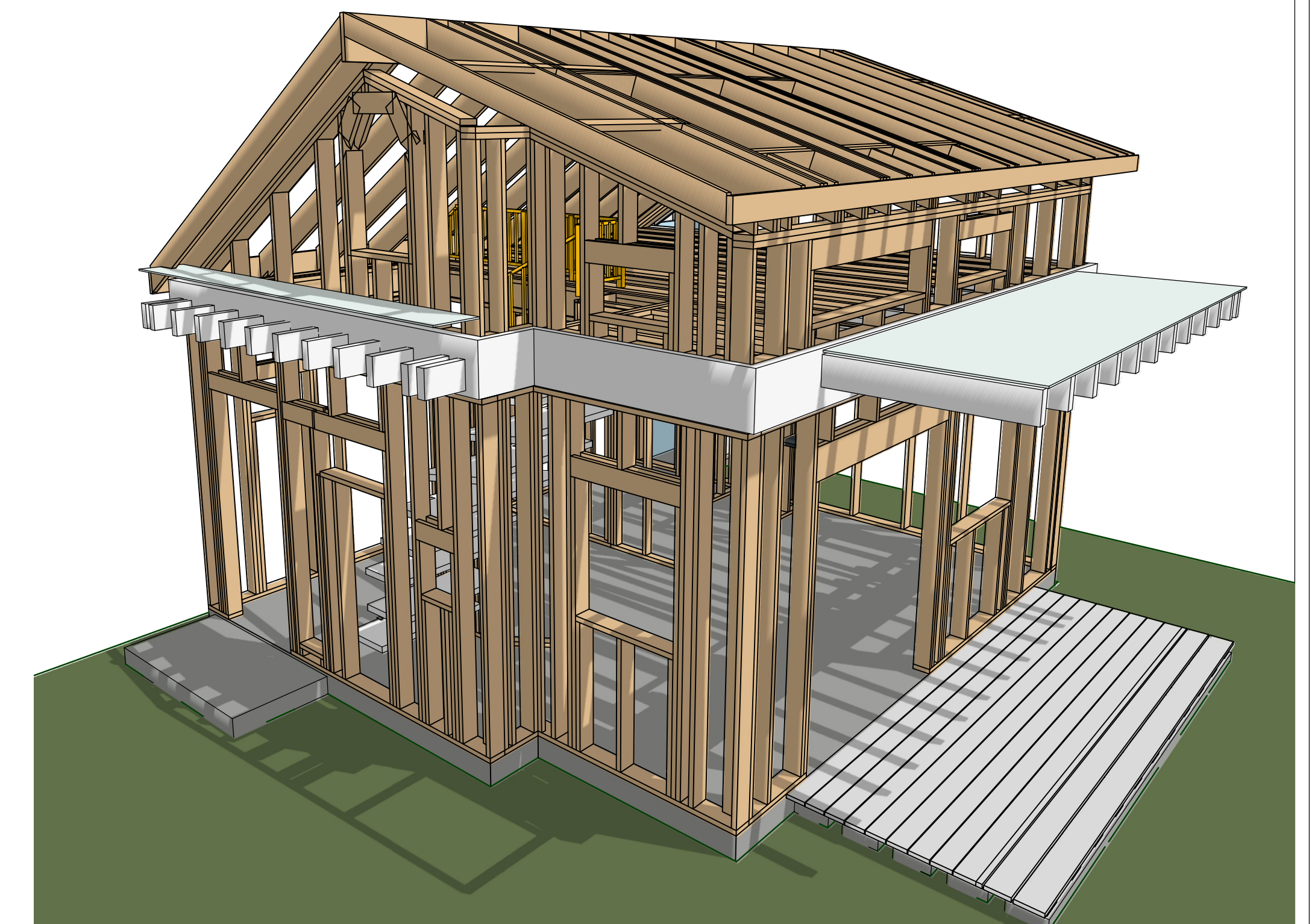


Wall Layer Rear view lower outside

2- 2x8" Headers
above all windows
and Doors



Wall Layer Left side view Lower
Wall Layer 4 - Viewed From Outside



WINDOW SCHEDULE														
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	DIMENSIONS	3D PERSPECTIVE
W01	1611FX	2	1	1611FX	18 "	13 "	19"X14"		FIXED GLASS	2X6X22" (2)			18"X13"FX	
W02	4036FX	1	1	4036FX	48 "	42 "	49"X43"		FIXED GLASS-CT	2X8X52" (2)			48"X42"FX	
W03	2010FX	1	2	2010FX	24 "	12 "	25"X13"		FIXED GLASS	2X6X28" (2)			24"X12"FX	
W04	1062FX	1	1	1062FX	12 "	74 "	13"X75"		FIXED GLASS	2X6X16" (2)			12"X74"FX	
W05	2030FX	2	2	2030FX	24 "	36 "	25"X37"		FIXED GLASS-CT	2X6X28" (2)			24"X36"FX	
W06	2610FX	1	1	2610FX	30 "	12 "	31"X13"		FIXED GLASS	2X6X34" (2)			30"X12"FX	
W07	2832FX	1	1	2832FX	32 "	38 "	33"X39"		FIXED GLASS-CT	2X6X36" (2)			32"X38"FX	
W08	1013FX	1	1	1013FX	12 "	15 "	13"X16"		FIXED GLASS-CT	2X6X16" (2)			12"X15"FX	
W09	3010FX	1	2	3010FX	36 "	12 "	37"X13"		FIXED GLASS	2X6X40" (2)			36"X12"FX	
W10	5010FX	1	2	5010FX	60 "	12 "	61"X13"		FIXED GLASS	2X8X64" (2)			60"X12"FX	
W11	2010FX	2	1	2010FX	24 "	12 "	25"X13"		FIXED GLASS	2X6X28" (2)			24"X12"FX	

DOOR SCHEDULE													
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	3D PERSPECTIVE	DIMENSIONS	
D01	2668	1	1	2668 R	30 "	80 "	62"X82 1/2"	POCKET-DOOR P04	2X6X65" (2)	1 3/8"		30"X80"X1 3/8" R	
D02	3068	1	1	3068 L EX	36 "	80 "	38"X83"	EXT. HINGED-DOOR L02	2X6X41" (2)	1 3/4"		36"X80"X1 3/4" L EX	
D03	6068	1	1	6068 L/R EX	72 "	80 "	74"X83"	EXT. DOUBLE HINGED-DOOR E14	2X10X77" (2)	1 3/4"		(2) 36"X80"X1 3/4" L/R EX	