

PROJECT DATA:

PROPERTY ADDRESS:	1025 WEST PLACE, ALBANY, CA 94706
PROPERTY OWNER:	AMY & DAVID TICK
APN:	65-2621-14
ZONING:	R-1
LOT SIZE:	12375 s.f.
EXISTING BUILDING TOTAL:	3124 s.f.
PROPOSED ADU:	1000 s.f.
TOTAL GROSS SQ FT INC PROPOSAL:	4124 s.f.
EXISTING LOT COVERAGE:	25 %
PROPOSED LOT COVERAGE:	33 %

PLANS DRAWN BY:	GENERAL CONTRACTOR:
ZACHARY RYMLAND LIQUID PICTURES 510-644-3533 ZAC@LIQUIDPICTURES.COM	TOM PARENTEAU - Carr Custom Builders, Inc. 707-592-4319 carrcustombuilders@gmail.com PO Box 6663, Albany, Ca. 94706 CA State Lic # 833607

SCOPE OF WORK:
1,000 SQ. FT DETACHED ADU IN THE NORTH WEST CORNER OF THE LOT UNDER 3 VERY LARGE EXISTING OAK TREES.

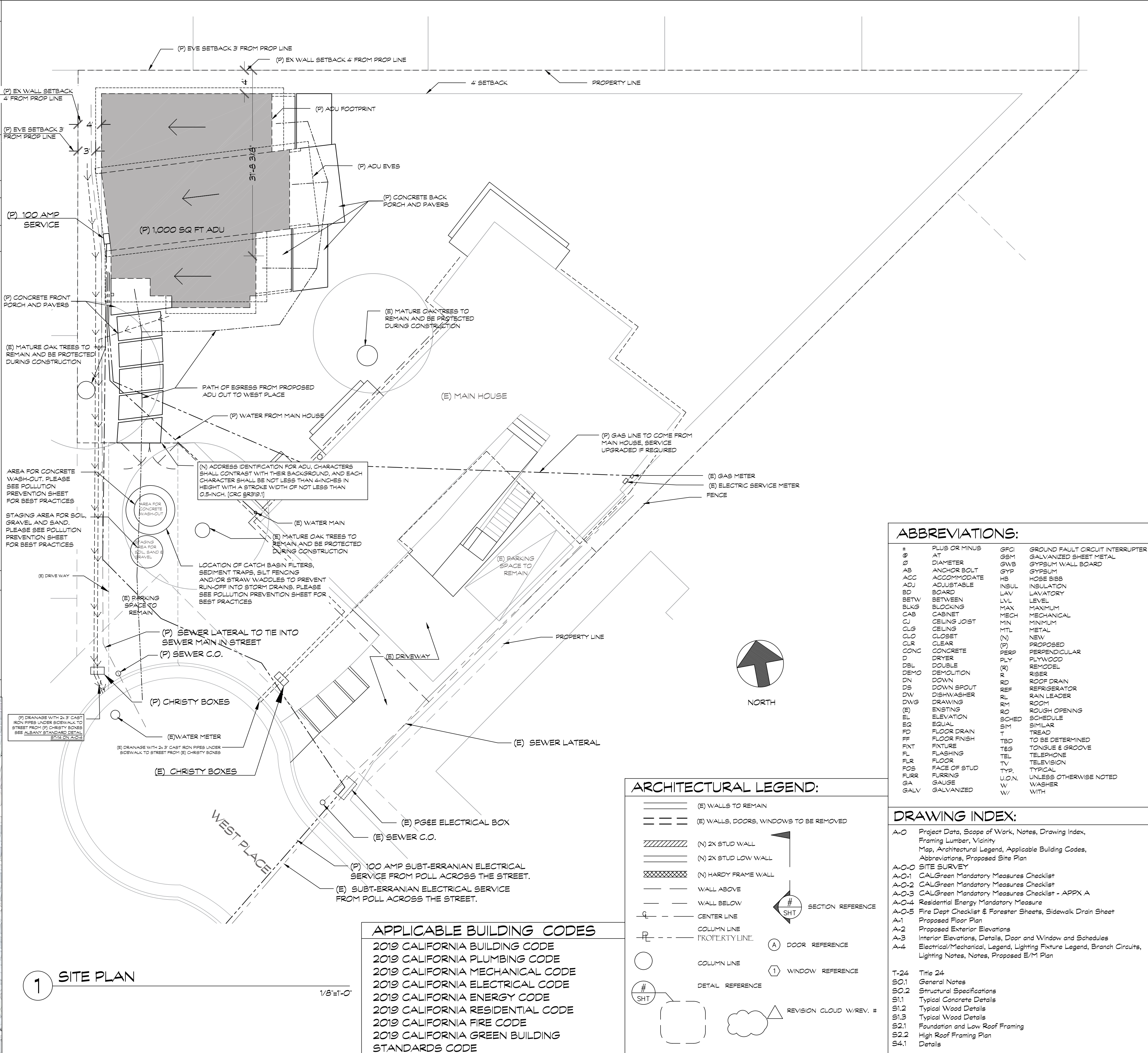
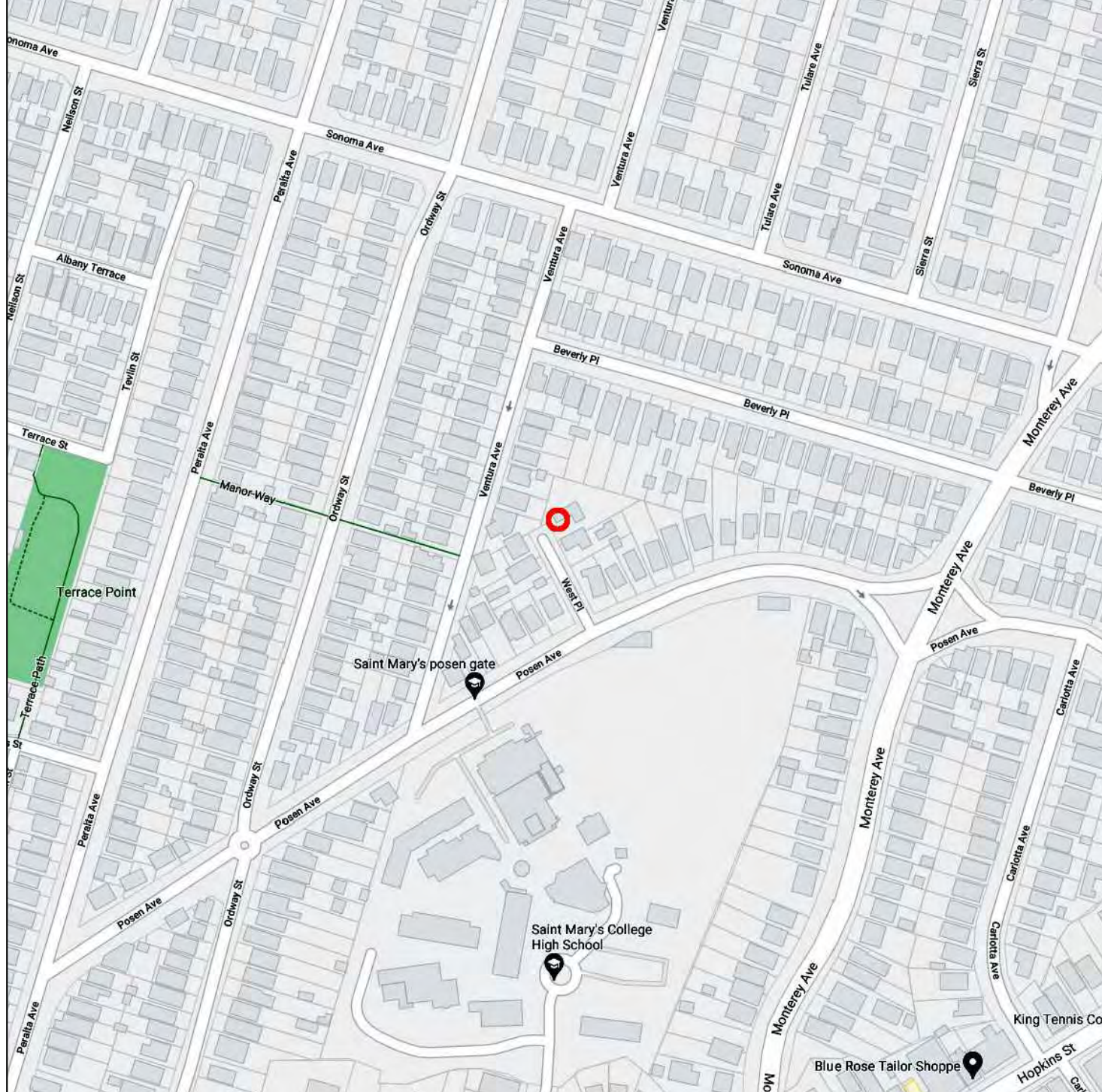
PUPBLIC WORKS CONDITIONS OF APPROVAL

- The applicant shall obtain an encroachment permit from the Engineering Division prior to commencing any construction activities within any public right-of-way or easement.
- All mud, dirt or construction debris carried off the construction site onto adjacent streets shall be removed each day. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.
- Any damage to street improvements now existing or done during construction on or adjacent to the subject property shall be repaired to all current requirements of the City Engineer at the full expense of the applicant. This shall include sidewalk repair, slurry seal, street reconstruction or others, as may be required by the City Engineer.
- All improvements within the public right-of-way, including curb, gutter, sidewalks, driveways, paving and utilities, shall be reconstructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the Community Development Department and Chapter 14 of the City Code.
- The existing upper sewer lateral for the subject building shall be brought into compliance with Chapter 15 of the Albany City Code and with all current requirements of the Maintenance and Engineering Division prior to Final Building Inspection.
- The owner and builder shall comply with all City requirements regarding water pollution prevention, noise control, construction work hours, and archeological discoveries.

FRAMING LUMBER:

KILN-DRIED TO 19% MAX. MOISTURE CONTENT FOR ALTERATIONS AND MODIFICATIONS TO EXISTING FRAMING
DOUG FIR MANUFACTURED AND GRADED IN ACCORDANCE WITH THE WEST COAST LUMBER INSPECTION BUREAU STANDARD GRADING RULES NO. 17 LUMBER SHALL BE FREE OF ANY SIGNS OF VISIBLE MOLD
POSTS AND BEAMS: DOUGH FIR #1 AND BETTER
JOISTS AND RAFTERS: DOUGH FIR #2 AND BETTER
EXTERIOR WALL STUDS: DOUGH FIR #2 AND BETTER
INTERIOR WALLS: DOUGH FIR #2 AND BETTER
BLOCKING TO BE PROVIDED PER CALIFORNIA RESIDENTIAL CODE, PROVIDE BLOCKING FOR ALL CABINETS

VICINITY MAP



1 SITE PLAN
1/8"=1'-0"

- APPLICABLE BUILDING CODES**
- 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA ENERGY CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - 2019 CALIFORNIA FIRE CODE
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

ARCHITECTURAL LEGEND:

[Solid Line]	(E) WALLS TO REMAIN
[Dashed Line]	(E) WALLS, DOORS, WINDOWS TO BE REMOVED
[Diagonal Hatching]	(N) 2X STUD WALL
[Cross Hatching]	(N) 2X STUD LOW WALL
[Stippled]	(N) HARDY FRAME WALL
[Solid Line Above]	WALL ABOVE
[Solid Line Below]	WALL BELOW
[Dashed Center Line]	CENTER LINE
[Dashed Column Line]	COLUMN LINE
[Dashed Property Line]	PROPERTY LINE
[Circle]	COLUMN LINE
[Circle with #]	DETAIL REFERENCE
[Circle with # and SHT]	SECTION REFERENCE
[Circle with A]	DOOR REFERENCE
[Circle with 1]	WINDOW REFERENCE
[Cloud]	REVISION CLOUD W/REV. #

ABBREVIATIONS:

±	PLUS OR MINUS	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
∅	DIAMETER	GSM	GALVANIZED SHEET METAL
AB	ANCHOR BOLT	GWB	GYPSON WALL BOARD
ACC	ACCOMMODATE	GYP	GYPSON
ADJ	ADJUSTABLE	HB	HOSE BIBB
BD	BOARD	INSUL	INSULATION
BETW	BETWEEN	LAV	LAVATORY
BLKG	BLOCKING	LVL	LEVEL
CAB	CABINET	MAX	MAXIMUM
CJ	CELING JOIST	MECH	MECHANICAL
CLG	CELING	MIN	MINIMUM
CLO	CLOSET	MTL	METAL
CLR	CLEAR	(N)	NEW
CONC	CONCRETE	(P)	PROPOSED
D	DRYER	PERP	PERPENDICULAR
DBL	DOUBLE	PLY	PLYWOOD
DEMO	DEMOLITION	(R)	REMODEL
DN	DOWN	R	RISER
DS	DOWN SPOUT	RD	ROOF DRAIN
DV	DISHWASHER	REF	REFRIGERATOR
DWG	DRAWING	RL	RAIN LEADER
EL	ELEVATION	RM	ROOM
EQ	EQUAL	RO	ROUGH OPENING
FD	FLOOR DRAIN	SCHED	SCHEDULE
FF	FLOOR FINISH	SH	SIMILAR
FXT	FIXTURE	T	TREAD
FL	FLASHING	TBD	TO BE DETERMINED
FLR	FLOOR	T&G	TONGUE & GROOVE
FOB	FACE OF STUD	TEL	TELEPHONE
FURR	FURRING	TV	TELEVISION
GA	GAUGE	TYP.	TYPICAL
GALV	GALVANIZED	U.O.N.	UNLESS OTHERWISE NOTED
		W	WASHER
		W/	WITH

DRAWING INDEX:

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A-0-3	CALGreen Mandatory Measures Checklist - APPX A
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OWNER:
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510-421-3998

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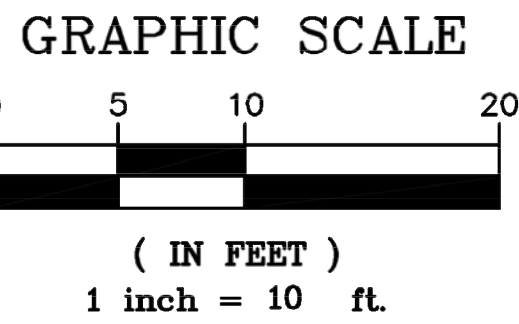
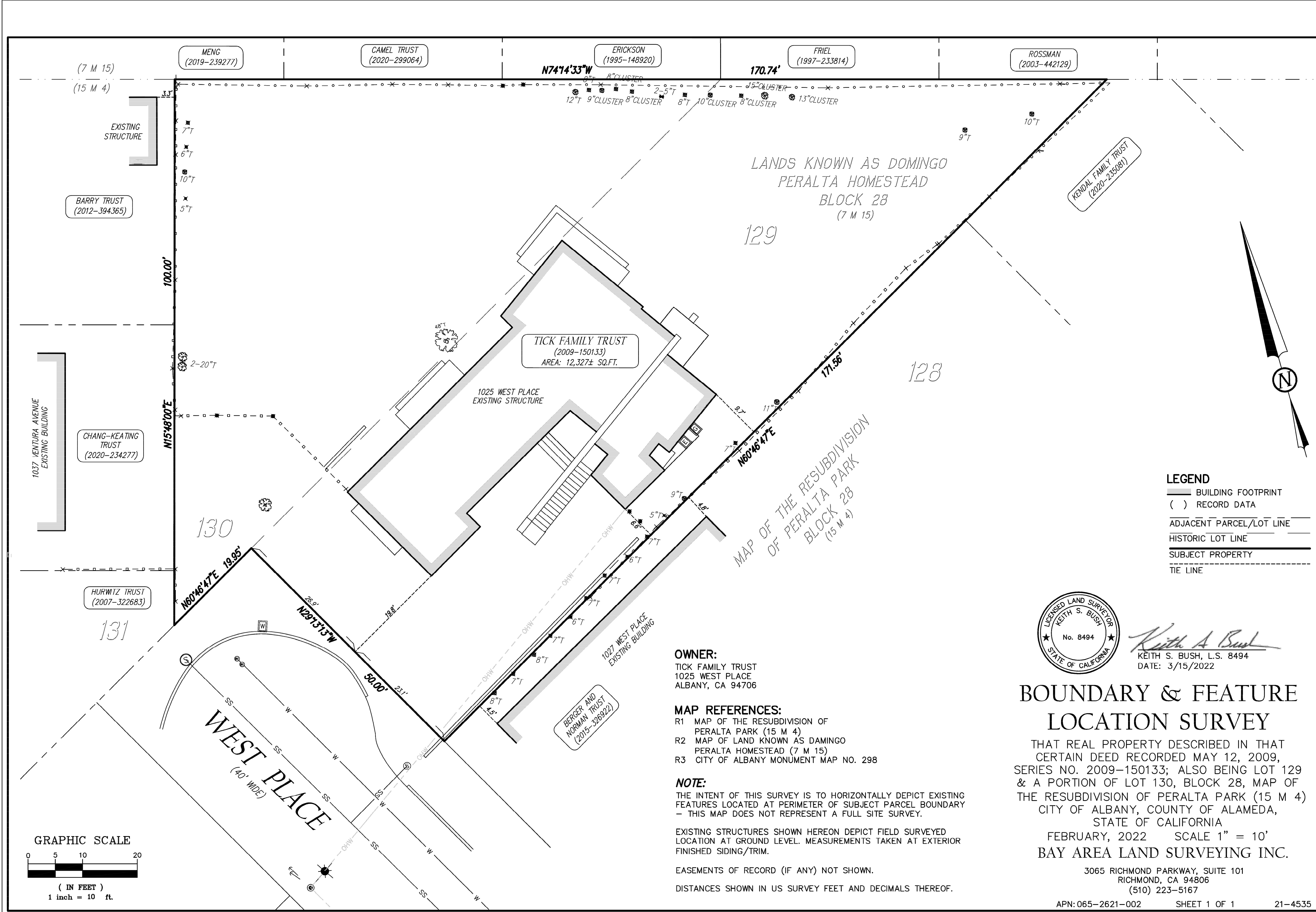
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PROJECT DATA, SCOPE OF WORK, NOTES, APPLICABLE CODES, ABBREVIATIONS ARCHITECTURAL LEGEND, VICINITY MAP, PROPOSED SITE PLAN, DRAINAGE PLAN

REVISIONS

NO	DESCRIPTION	DATE

Date **05/10/2022**
Scale **as noted**
Drawn By **Z. RYMLAND**
Job **1025 WEST**
Sheet **A-0**



OWNER:
TICK FAMILY TRUST
1025 WEST PLACE
ALBANY, CA 94706

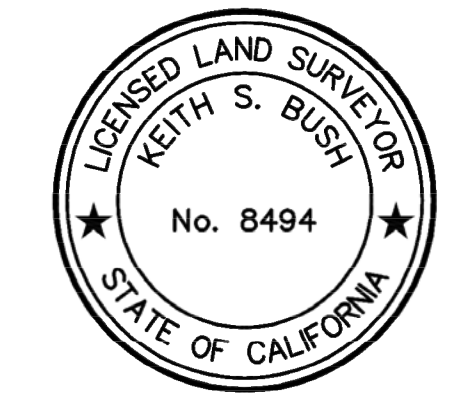
- MAP REFERENCES:**
- R1 MAP OF THE RESUBDIVISION OF PERALTA PARK (15 M 4)
 - R2 MAP OF LAND KNOWN AS DAMINGO PERALTA HOMESTEAD (7 M 15)
 - R3 CITY OF ALBANY MONUMENT MAP NO. 298

NOTE:
THE INTENT OF THIS SURVEY IS TO HORIZONTALLY DEPICT EXISTING FEATURES LOCATED AT PERIMETER OF SUBJECT PARCEL BOUNDARY - THIS MAP DOES NOT REPRESENT A FULL SITE SURVEY.

EXISTING STRUCTURES SHOWN HEREON DEPICT FIELD SURVEYED LOCATION AT GROUND LEVEL. MEASUREMENTS TAKEN AT EXTERIOR FINISHED SIDING/TRIM.

EASEMENTS OF RECORD (IF ANY) NOT SHOWN.

DISTANCES SHOWN IN US SURVEY FEET AND DECIMALS THEREOF.



Keith A. Bush
KEITH S. BUSH, L.S. 8494
DATE: 3/15/2022

BOUNDARY & FEATURE LOCATION SURVEY

THAT REAL PROPERTY DESCRIBED IN THAT CERTAIN DEED RECORDED MAY 12, 2009, SERIES NO. 2009-150133; ALSO BEING LOT 129 & A PORTION OF LOT 130, BLOCK 28, MAP OF THE RESUBDIVISION OF PERALTA PARK (15 M 4) CITY OF ALBANY, COUNTY OF ALAMEDA, STATE OF CALIFORNIA

FEBRUARY, 2022 SCALE 1" = 10'
BAY AREA LAND SURVEYING INC.

3065 RICHMOND PARKWAY, SUITE 101
RICHMOND, CA 94806
(510) 223-5167

APN: 065-2621-002 SHEET 1 OF 1 21-4535

LEGEND

- BUILDING FOOTPRINT
- RECORD DATA
- ADJACENT PARCEL/LOT LINE
- HISTORIC LOT LINE
- SUBJECT PROPERTY
- TIE LINE

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SITE SURVEY

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NO	DESCRIPTION	DATE

Date: 04/27/2022
Scale:
Drawn By: Z. RYMLAND
Job: 1025 WEST
Sheet:

A-O-O

NOTES:

SAFETY GLAZING SHALL BE PROVIDED IN WALLS OR ENCLOSURES CONTAINING BATHUBS OR SHOWERS, OR FACING TUBS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHUB, HOT TUB, SPA OR WHIRLPOOL. [CRC §8308.4.5]

NEW WINDOWS SHALL HAVE A U-FACTOR EQUAL TO 0.32 OR LOWER. EXCEPTIONS: REPLACEMENT SKYLIGHTS, OR NEW SKYLIGHTS UP TO 16 SQUARE FEET, MAY HAVE A U-FACTOR OF 0.55. WHEN 75 SQUARE FEET OR LESS OF FENESTRATION IS REPLACED WINDOWS MAY HAVE A U-FACTOR OF 0.40. [CENCL §80.2(9)]

SHOWER COMPARTMENT TO HAVE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE. [CRC §408.6]

SHOWER DOORS SHALL OPEN OUTWARD WITH A 22" UNOBSTRUCTED OPENING WIDTH. [CRC §408.5]

TUB/SHOWER WALLS TO HAVE A MOISTURE RESISTANT UNDERLAYMENT TO A MINIMUM HEIGHT OF 72" ABOVE THE FLOOR. [CRC SEC. R307.2, R702.4]

MAX FLOW RATE FOR WATER CLOSETS IS 1.28 GPF. [CGBSC 4.303.1.1]
MAX FLOW RATE FOR SHOWERSHEADS IS 2.0 GPM. [CGBSC 4.303.1.3]
FLOW RATE FOR LAVATORY FAUCETS IS 1.2 GPM MAX AND 0.5 GPM MIN. [CGBSC 4.303.1.4.1]

MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. IN WALLS PARTITIONS, FLOOR/CEILING ASSEMBLIES THAT ARE REQUIRED TO HAVE A FIRE-RESISTIVE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE-RESISTANCE WILL NOT BE REDUCED PER CRC §R302.4.2.

PENETRATIONS IN FIRE-RESISTANCE RATED WALL ASSEMBLY SHALL BE IN ACCORDANCE WITH SECTION R302.3 AND R302.4. CRC TABLE 302.1(1).

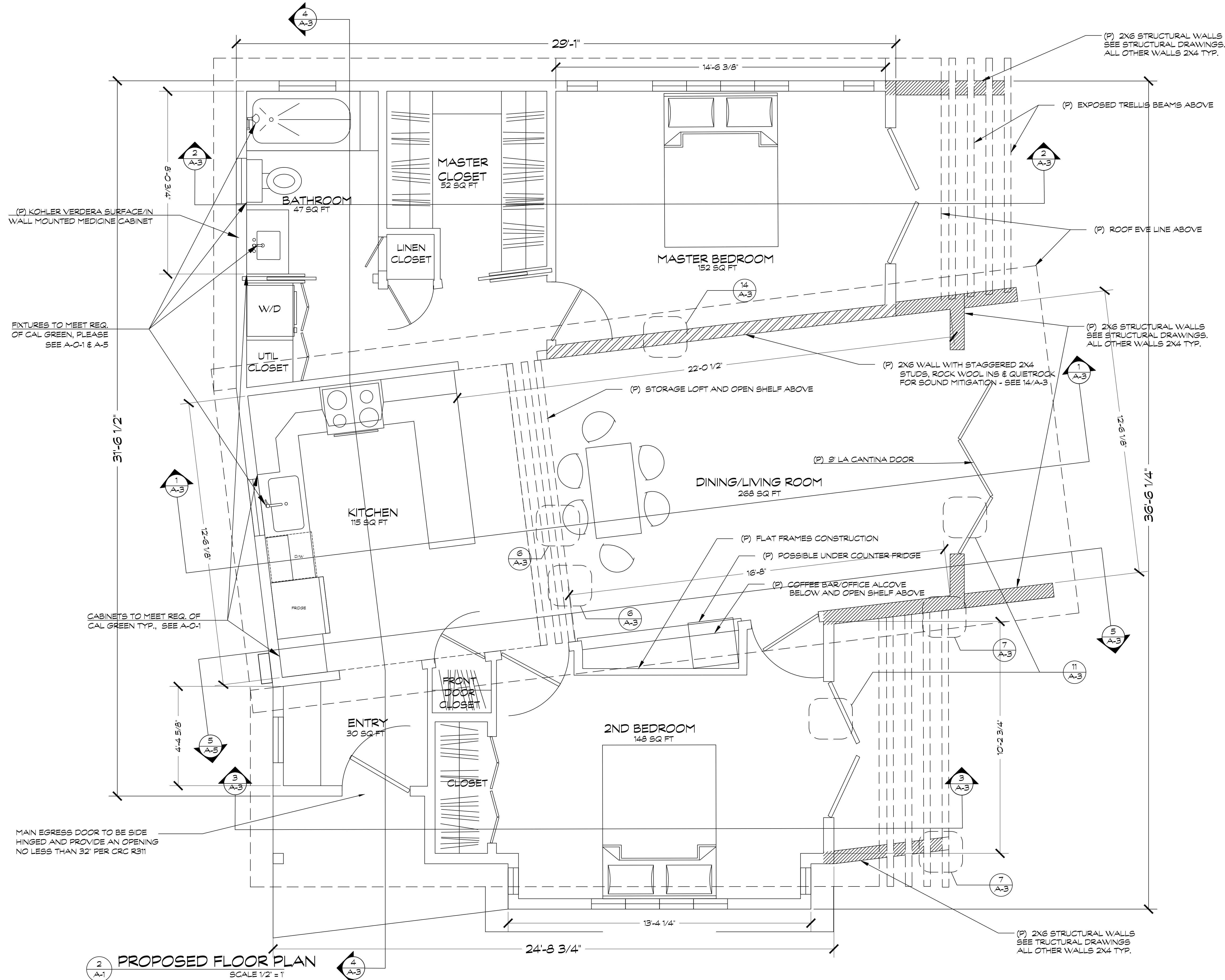
(P) KOHLER VERDERA SURFACE/IN WALL MOUNTED MEDICINE CABINET

FIXTURES TO MEET REQ. OF CAL GREEN, PLEASE SEE A-O-1 & A-5

CABINETS TO MEET REQ. OF CAL GREEN TYP., SEE A-O-1

MAIN EGRESS DOOR TO BE SIDE HINGED AND PROVIDE AN OPENING NO LESS THAN 32" PER CRC R311

PROPOSED FLOOR PLAN
SCALE 1/2" = 1'



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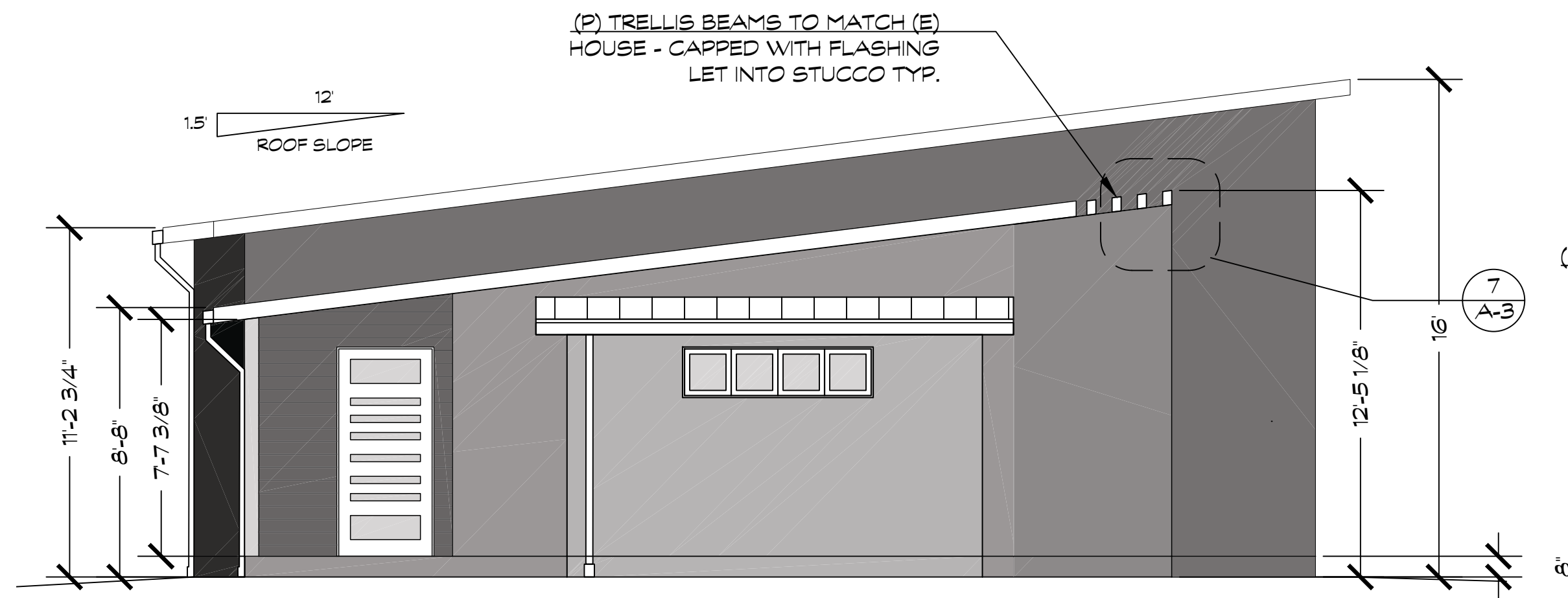
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EXISTING FLOOR/DEMO PLAN AND PROPOSED FLOOR PLAN

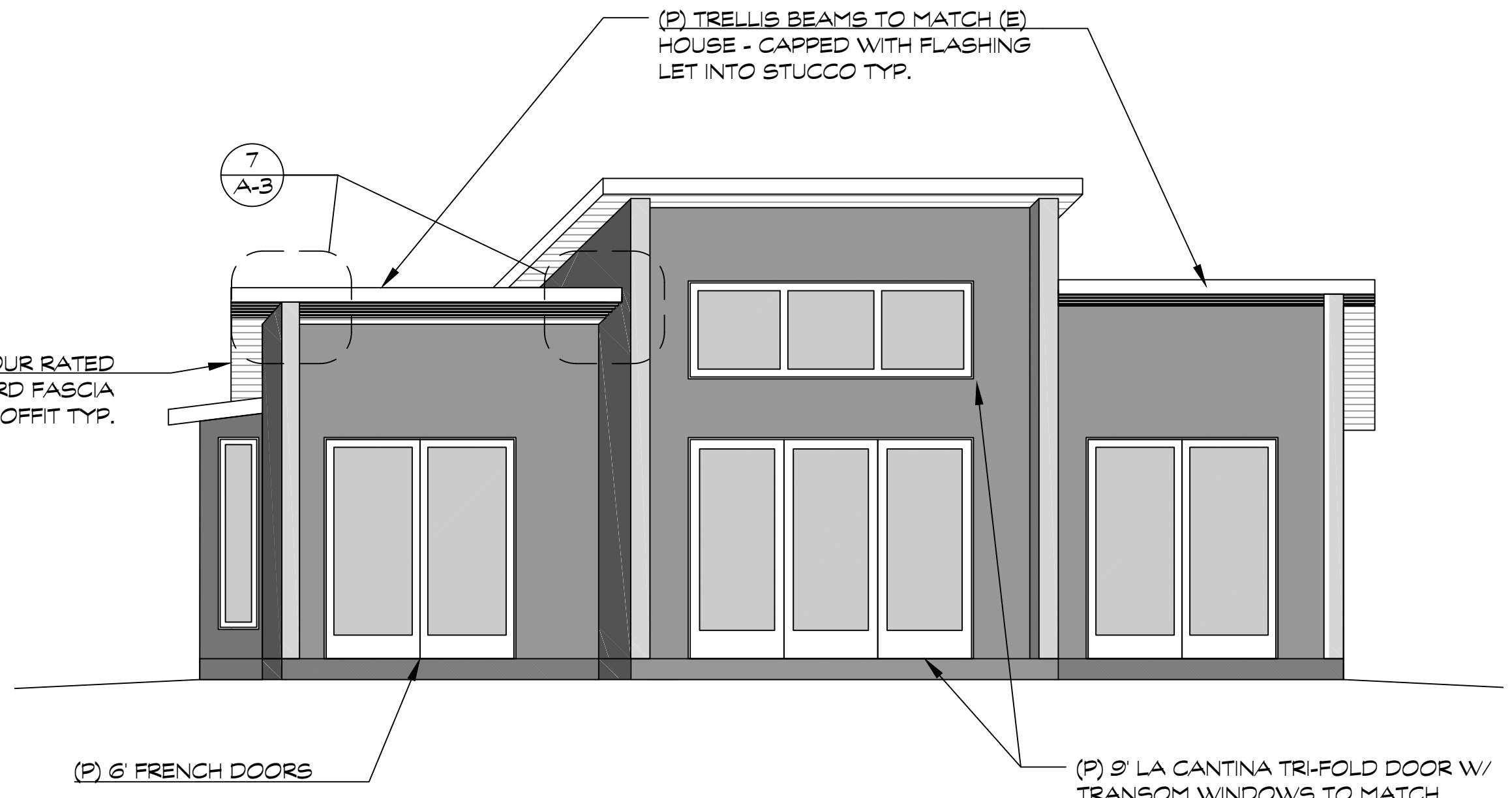
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Date **04/26/2022**
Scale **as noted**
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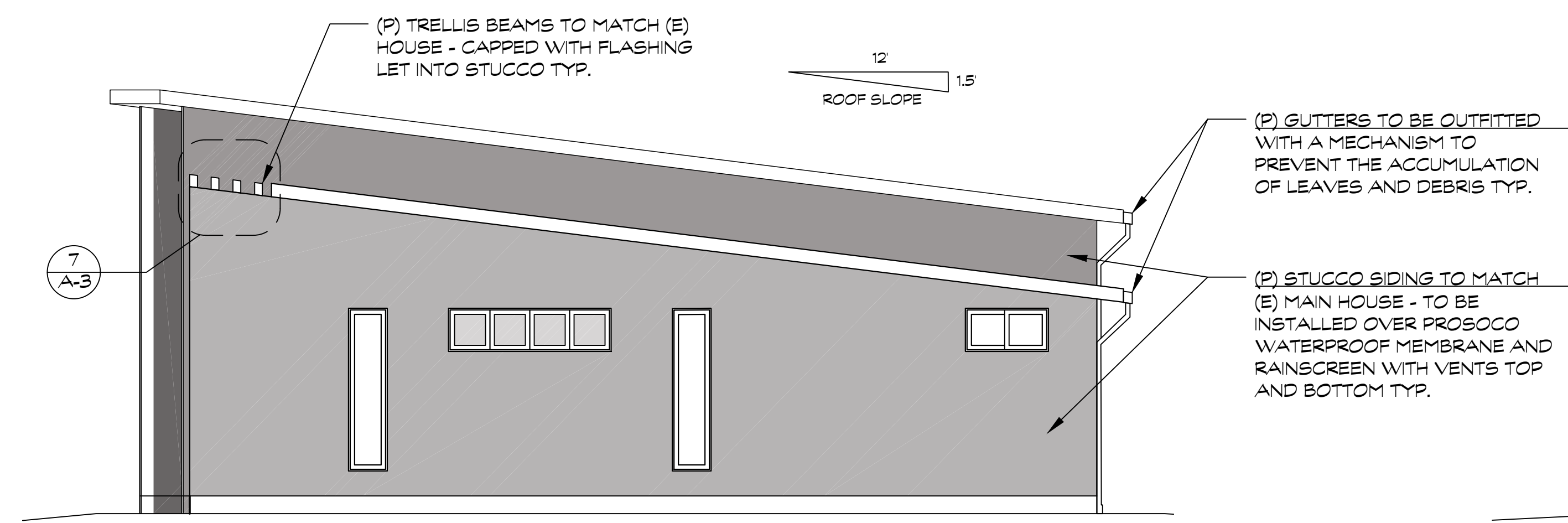
A-1



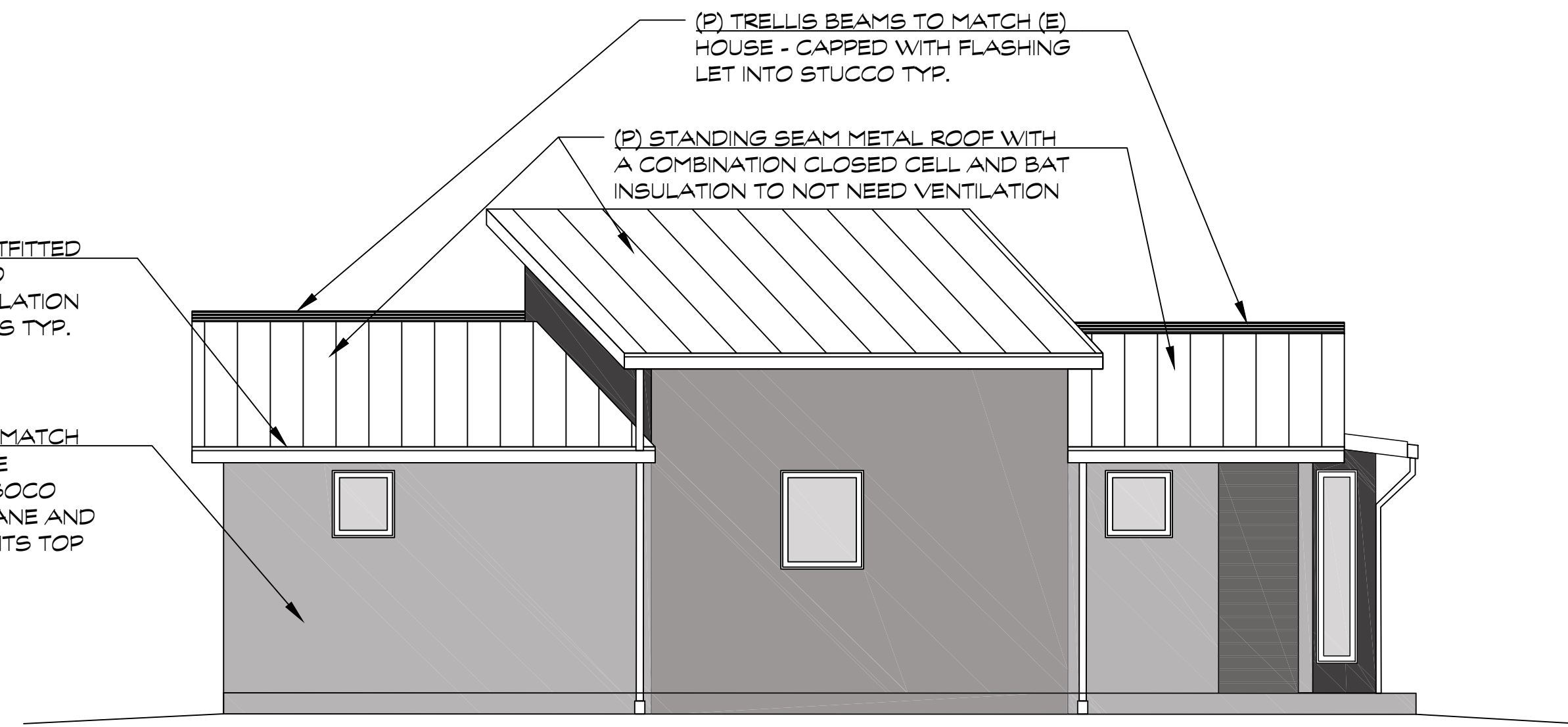
3 PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'



4 PROPOSED EAST ELEVATION
SCALE 1/4" = 1'



1 PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'



2 PROPOSED WEST ELEVATION
SCALE 1/4" = 1'

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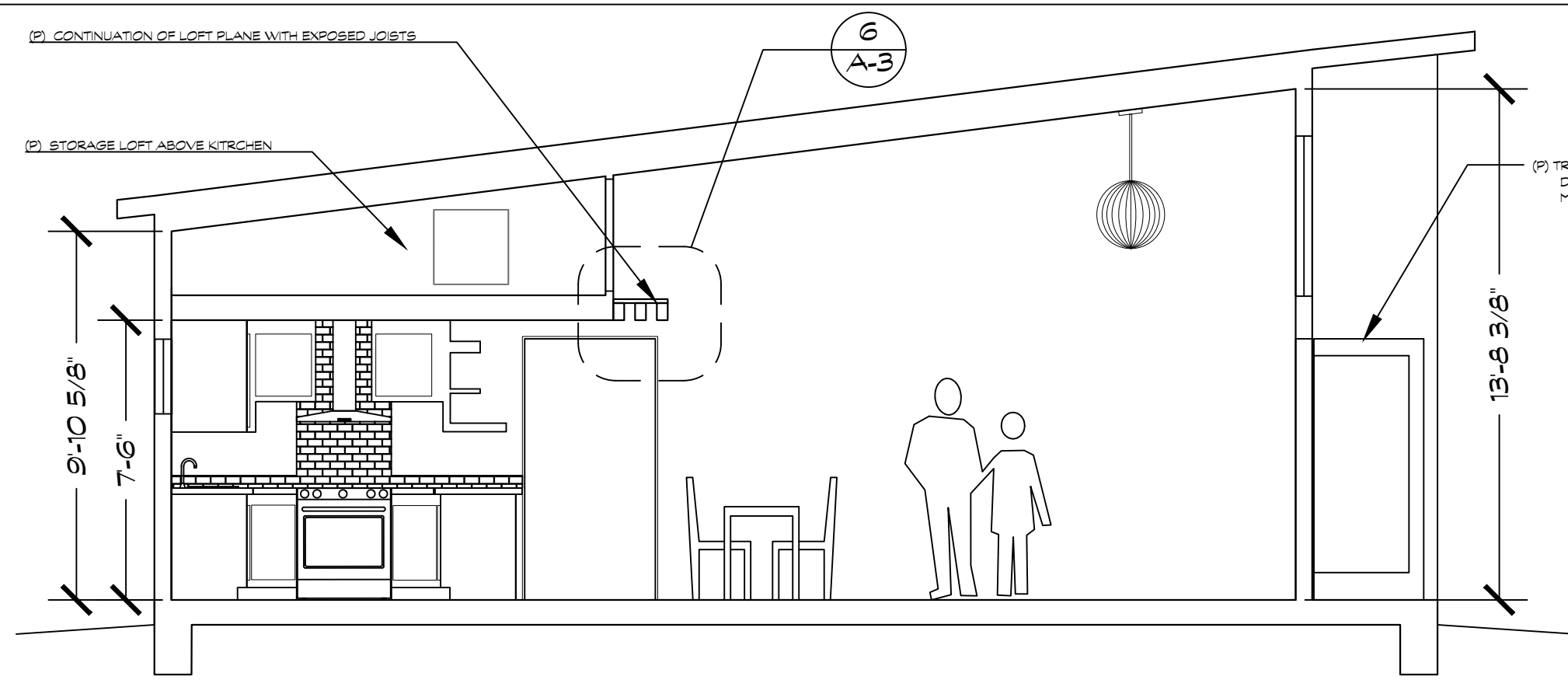
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PROPOSED EXTERIOR ELEVATIONS

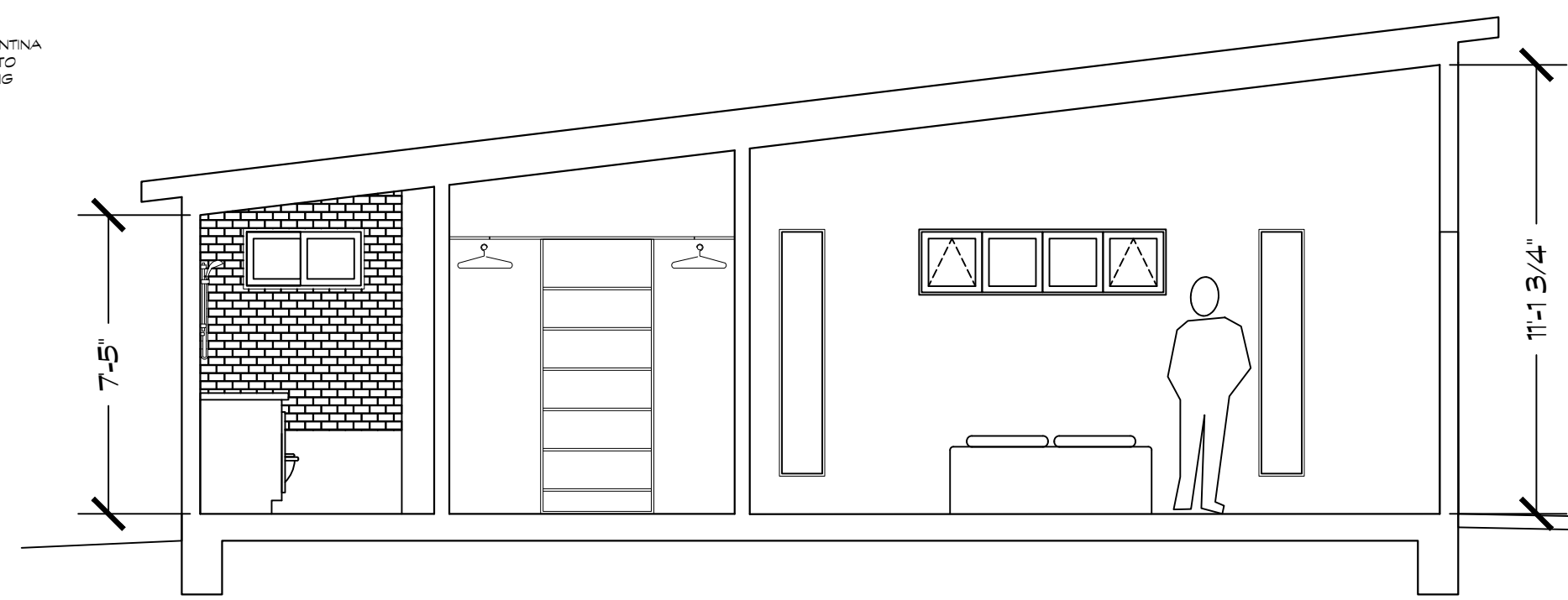
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NO	DESCRIPTION	DATE

Date 05/05/2022
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Job 1025 WEST
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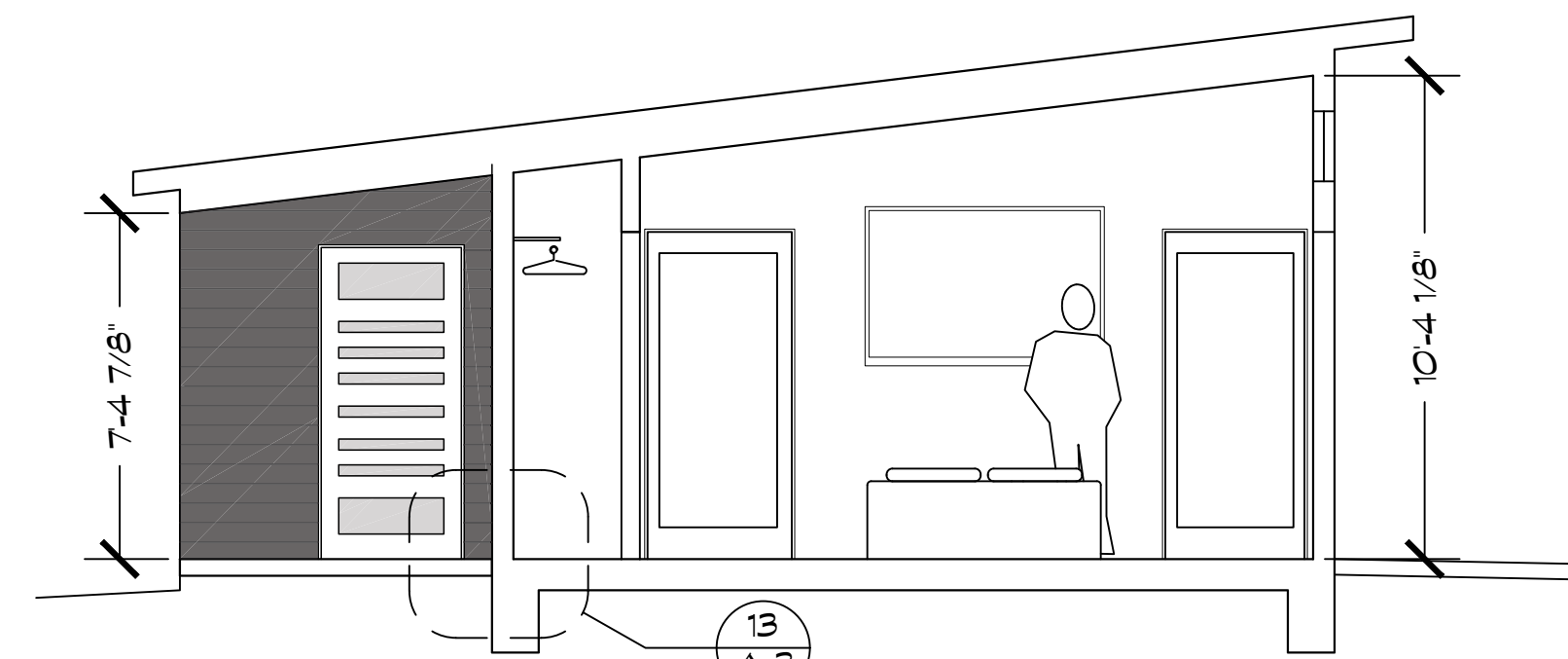
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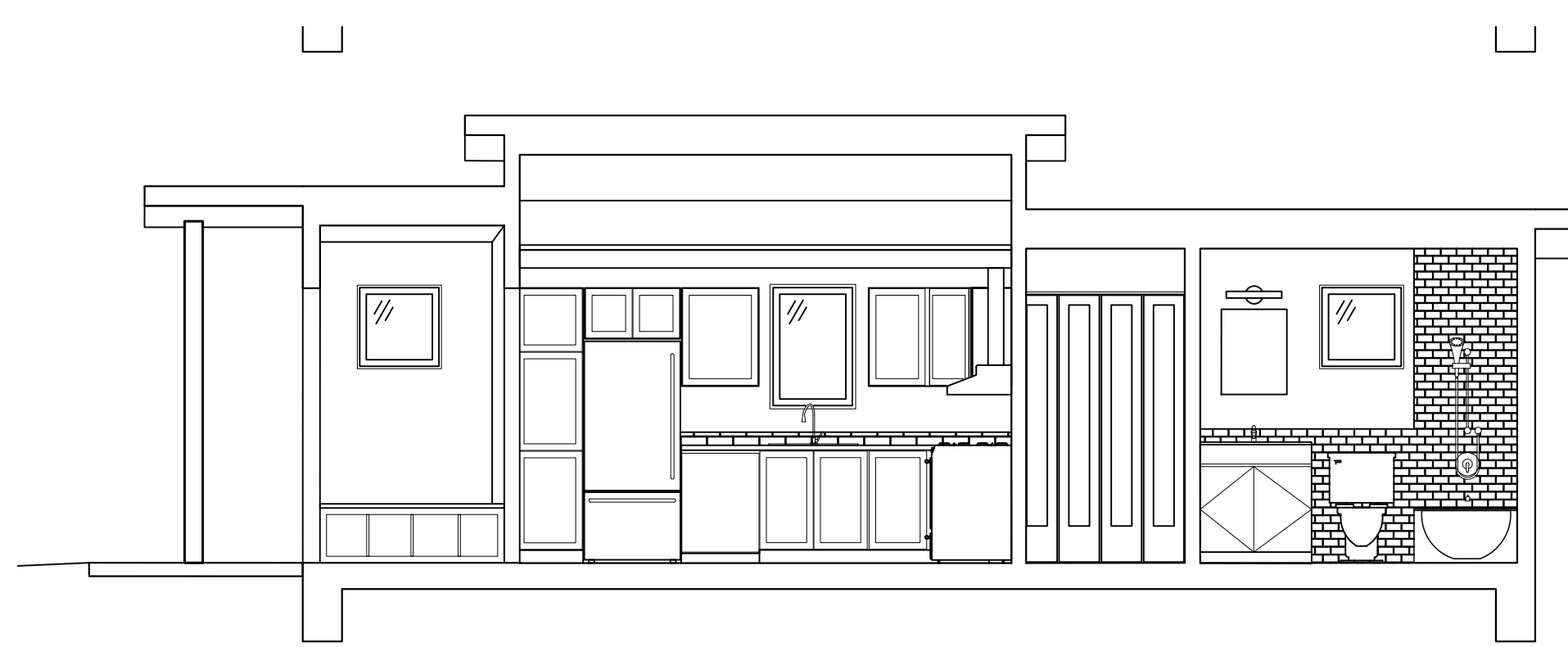
1 (P) KITCHEN/DINING/LIVING ROOM NORTH INT ELEVATION
SCALE 1/4" = 1'



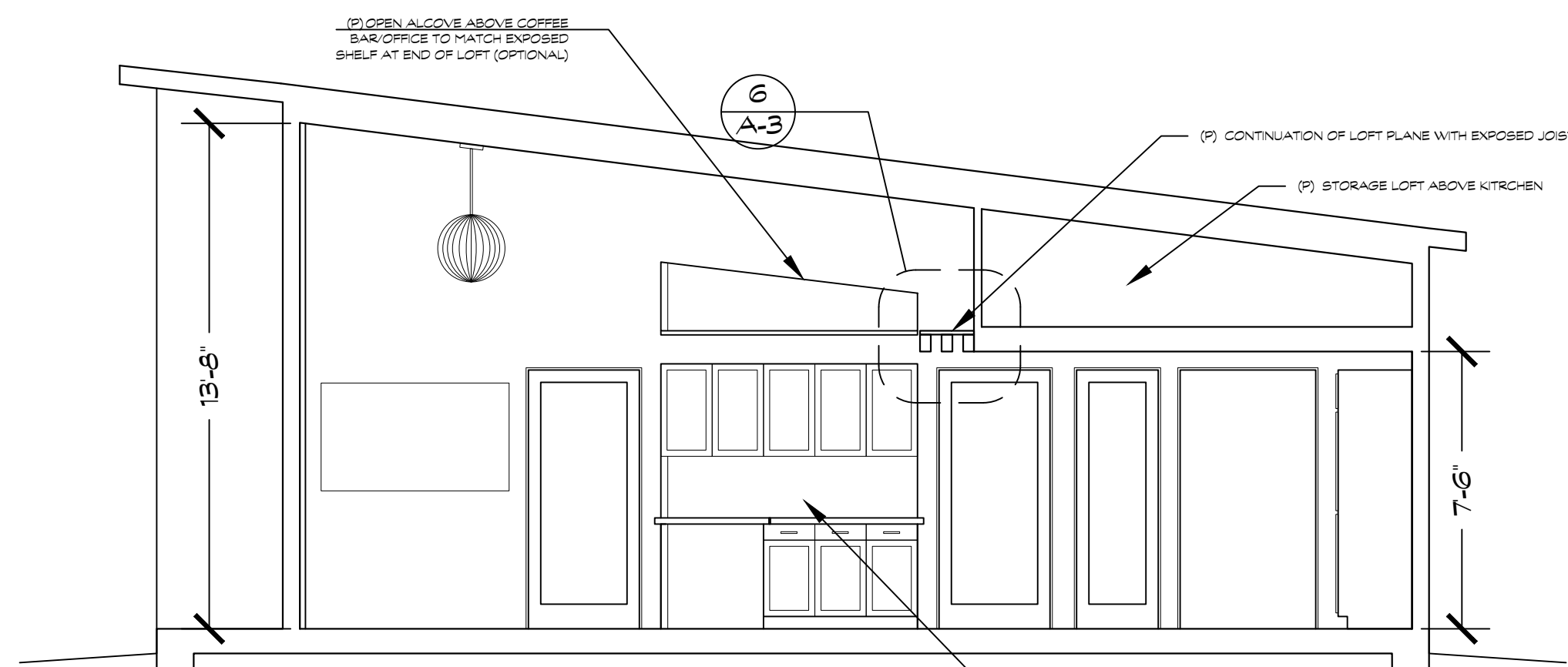
2 (P) BATHROOM/CLOSET/MASTER NORTH INT ELEVATION
SCALE 1/4" = 1'



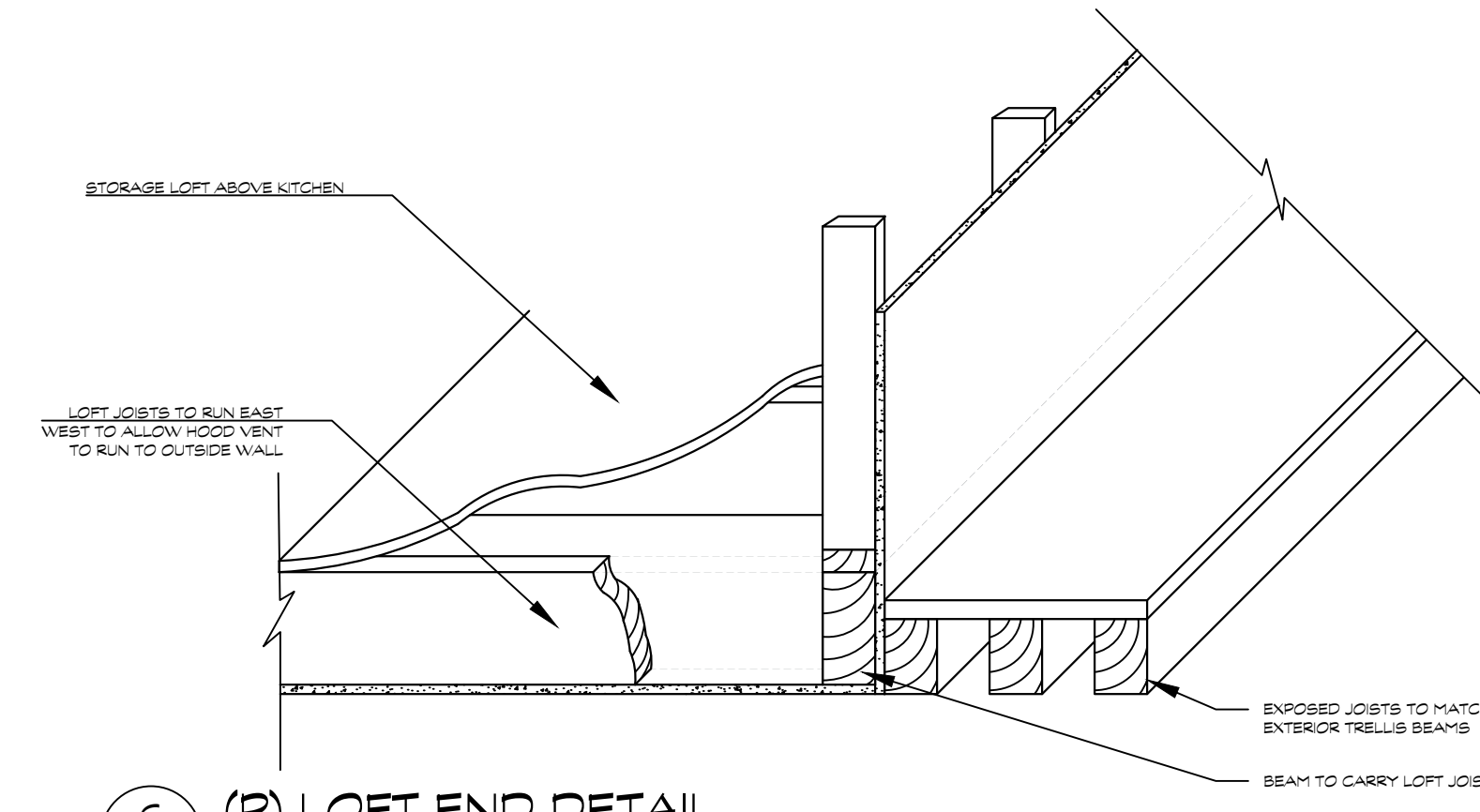
3 (P) ENTRY SPARE ROOM INT ELEVATION
SCALE 1/4" = 1'



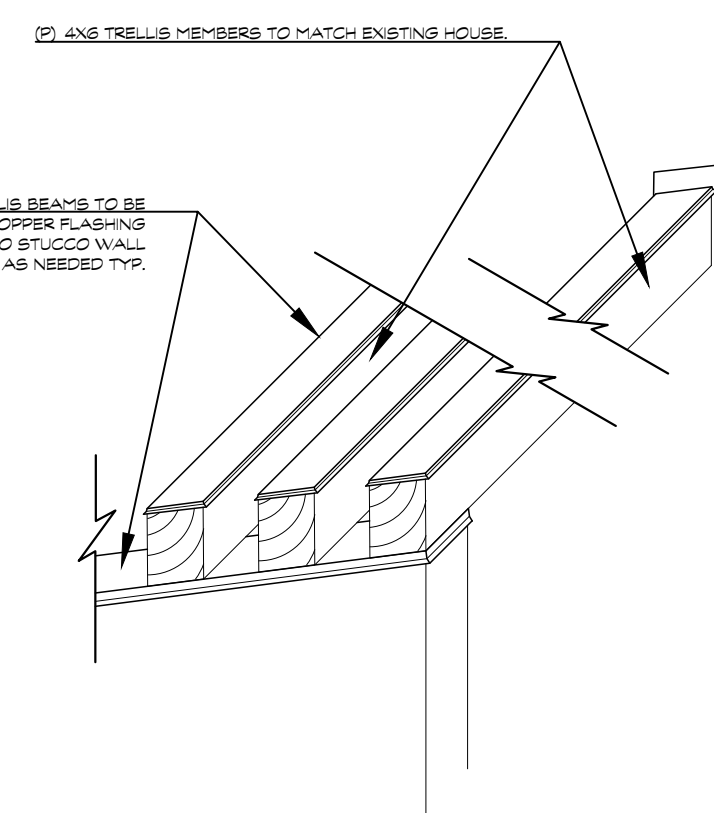
4 (P) ENTRY/KITCHEN/BATHROOM WEST INT ELEVATION
SCALE 1/4" = 1'



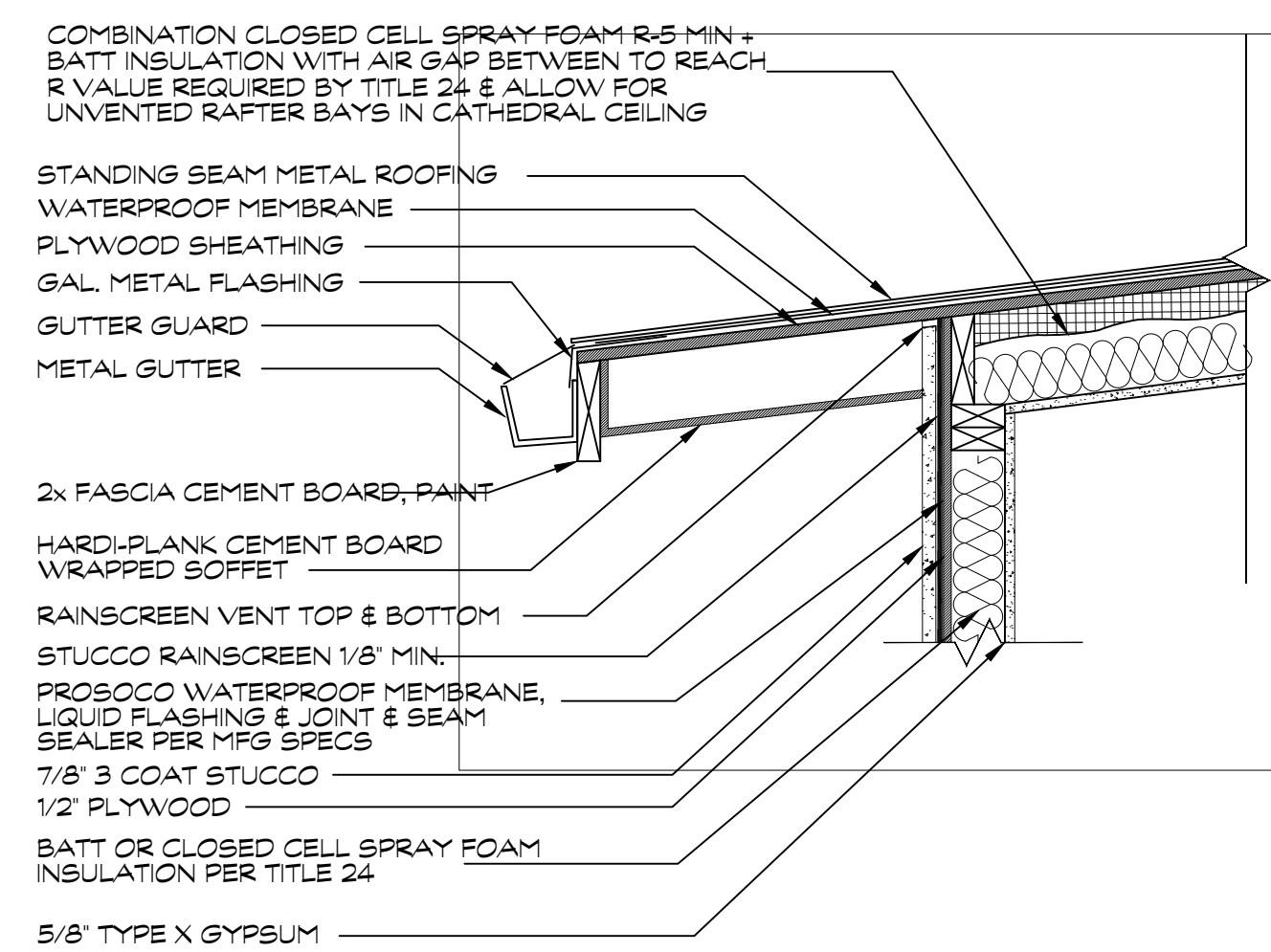
3 (P) LIVING/DINING/KITCHEN SOUTH INT ELEVATION
SCALE 1/4" = 1'



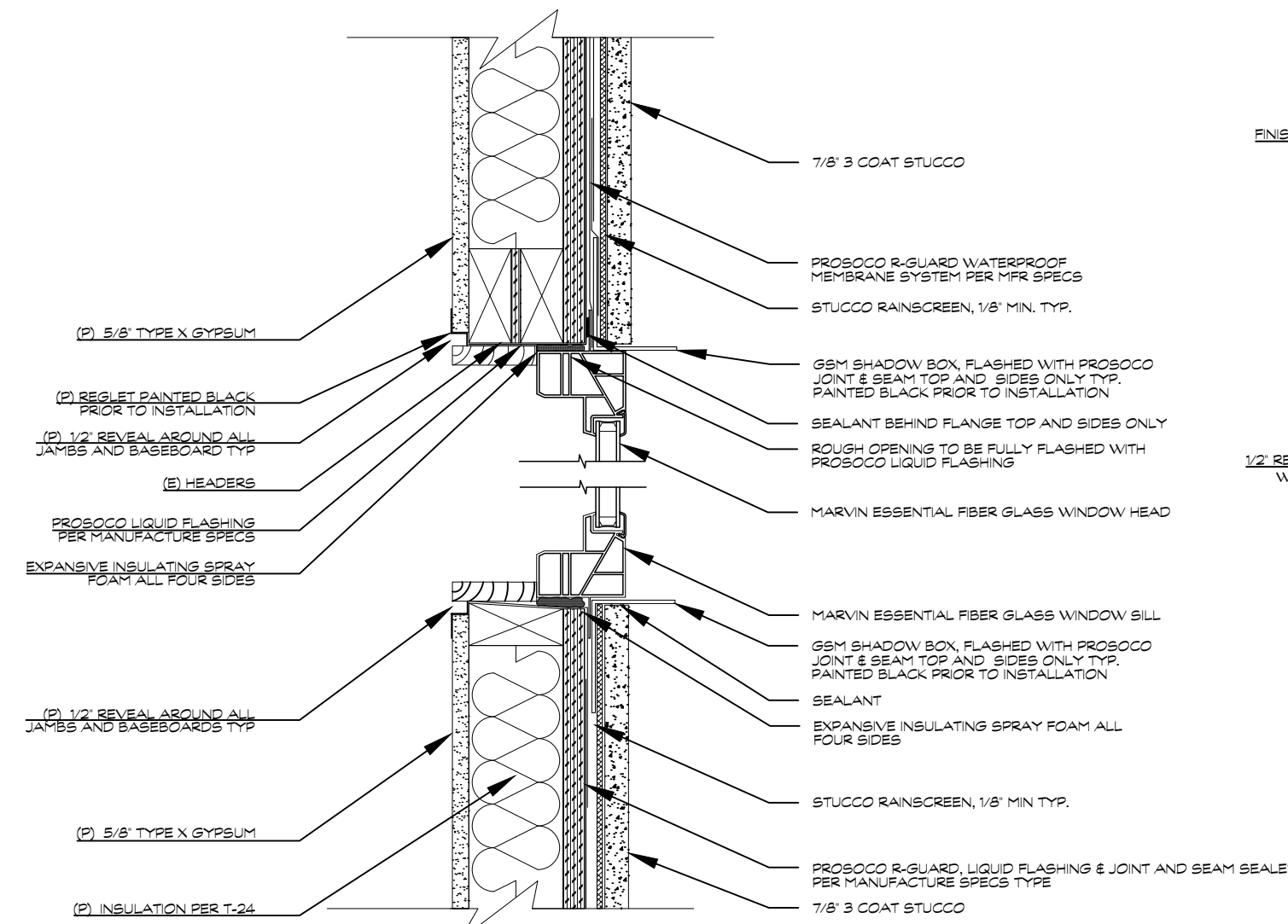
6 (P) LOFT END DETAIL
SCALE 1" = 1'



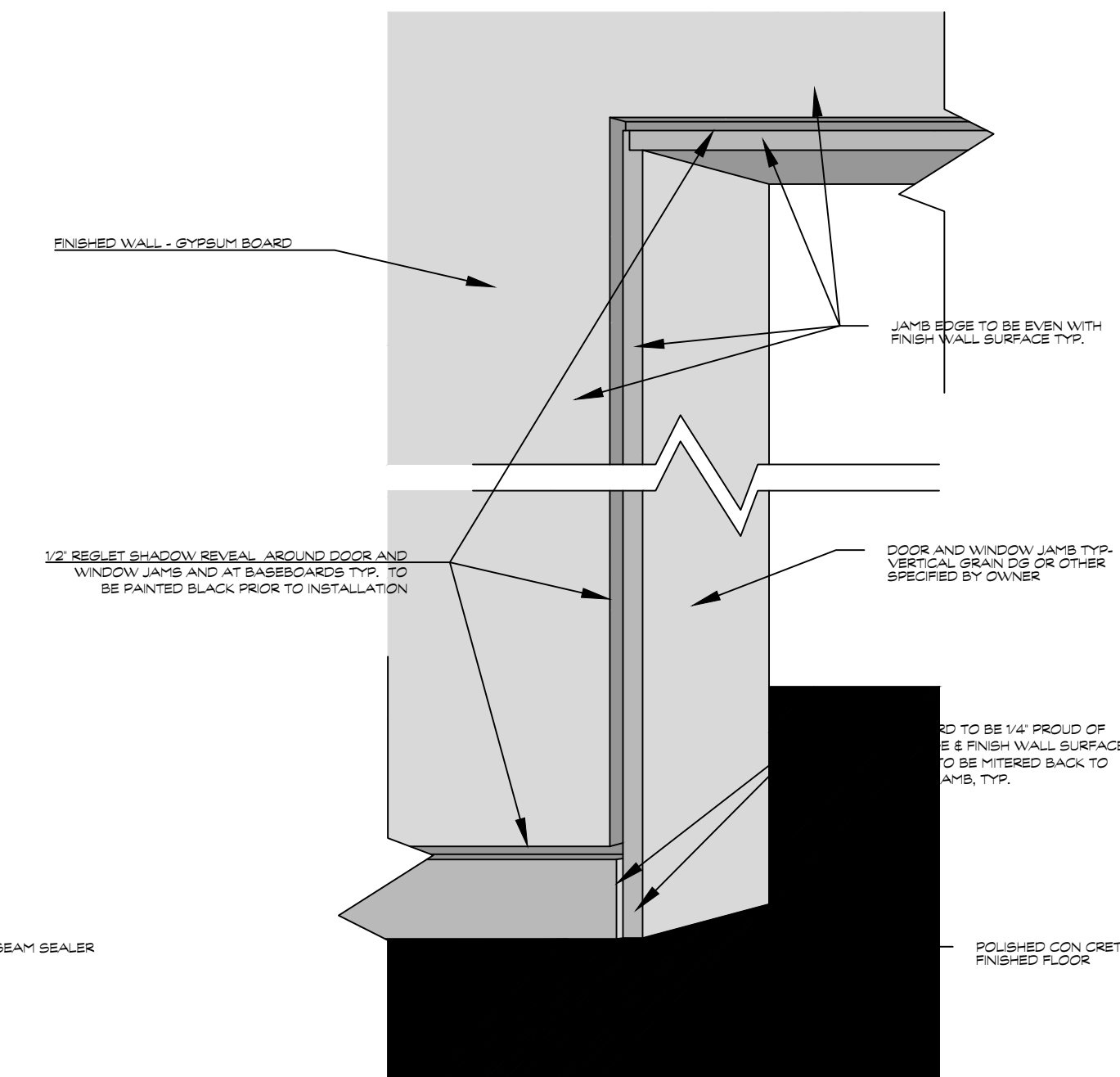
7 (P) TRULLIS/WALL CAP DETAIL
SCALE 1" = 1'



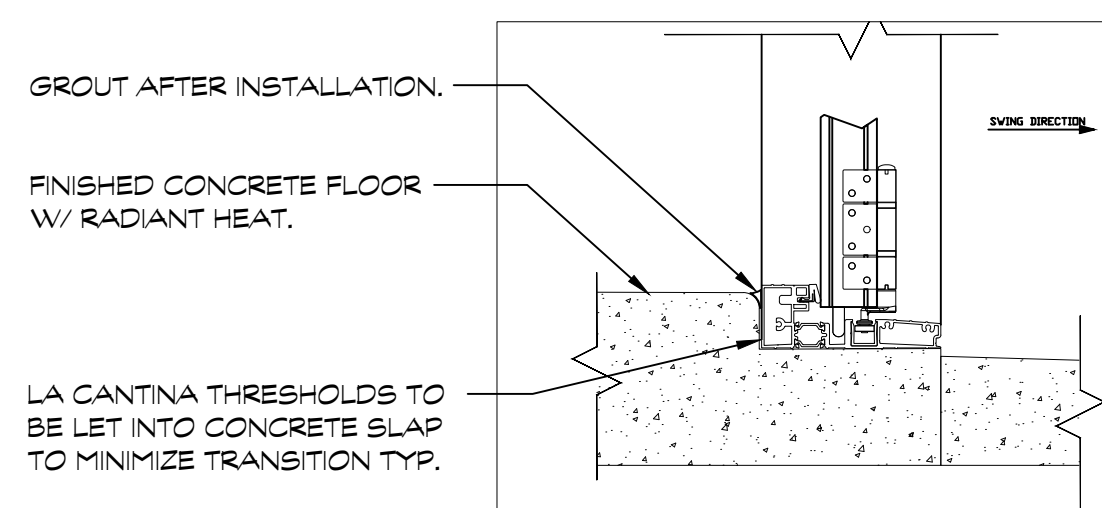
8 (P) 1-HOUR FIRE RATED WALL/EYE DETAIL
SCALE 1" = 1'



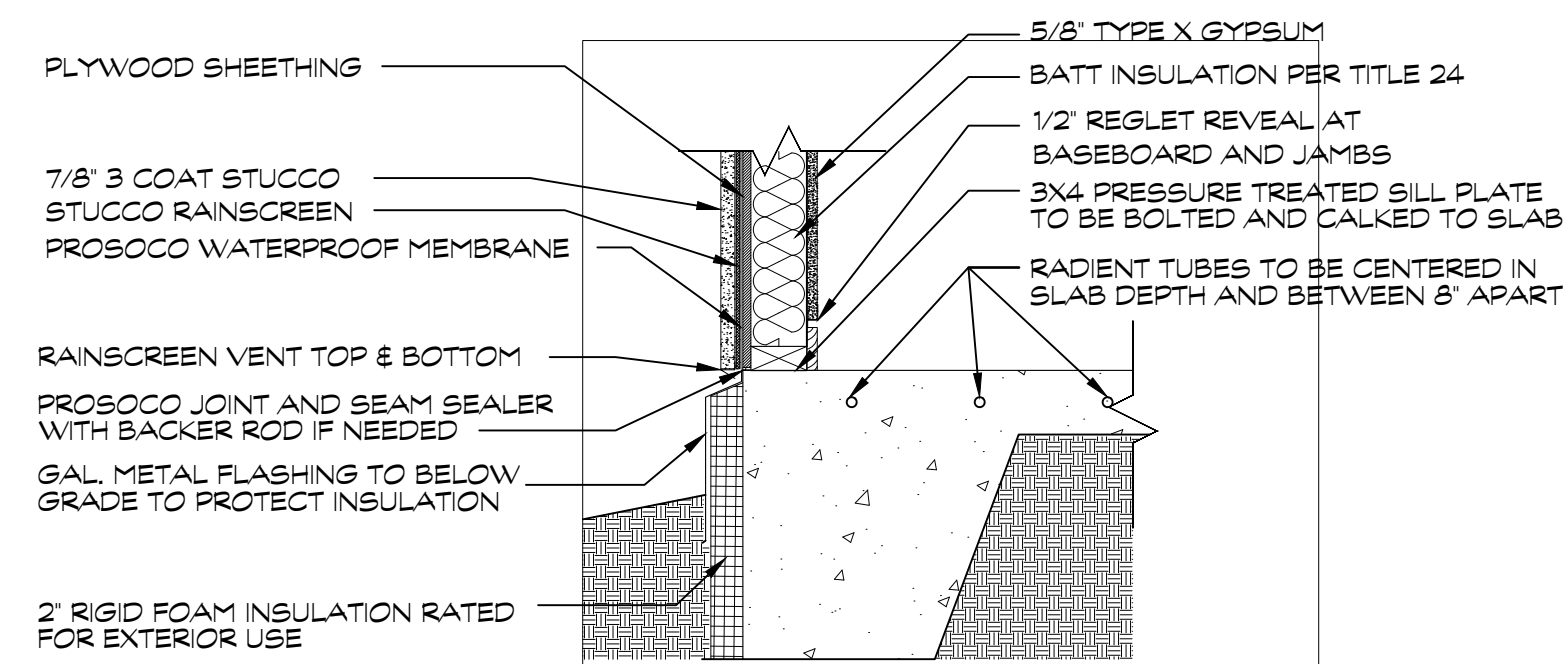
9 WINDOW SILL & HEADER OPENING DETAIL
SCALE 2" = 1'



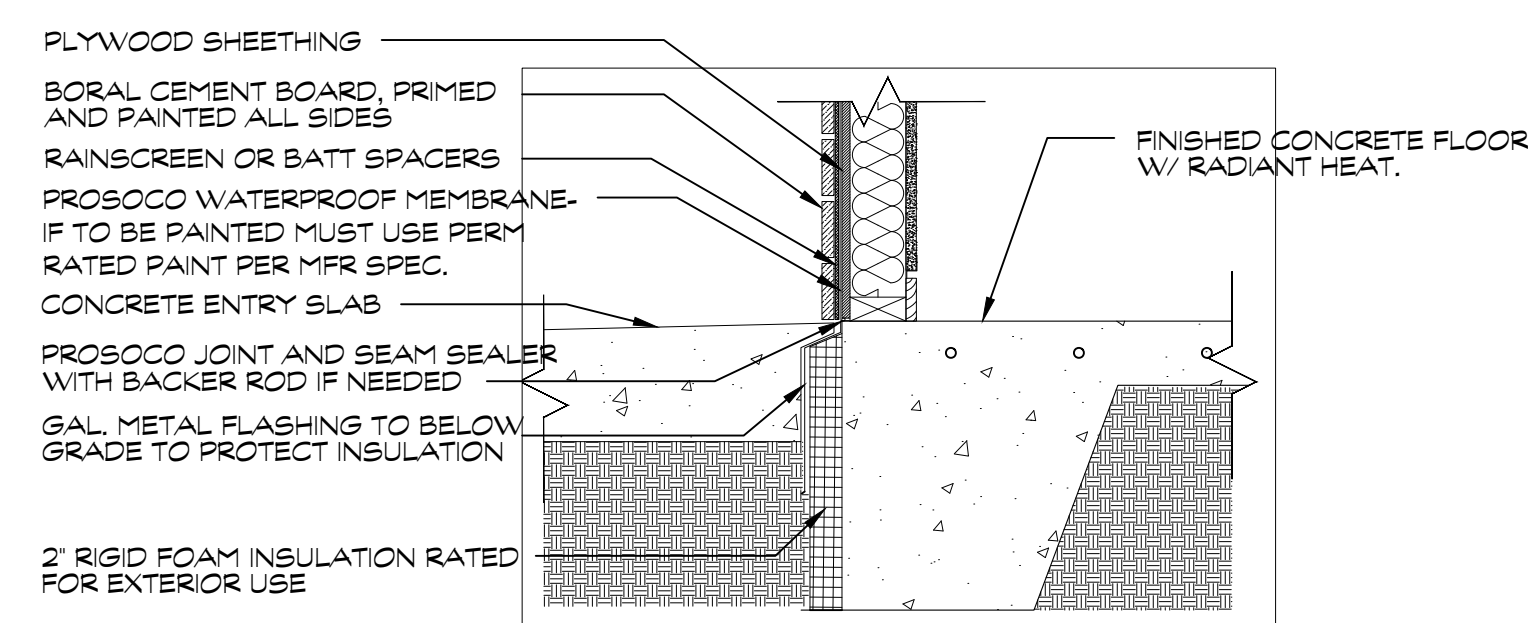
10 (P) INT TRIM/SHADOW REVEAL DETAIL
SCALE 2" = 1'



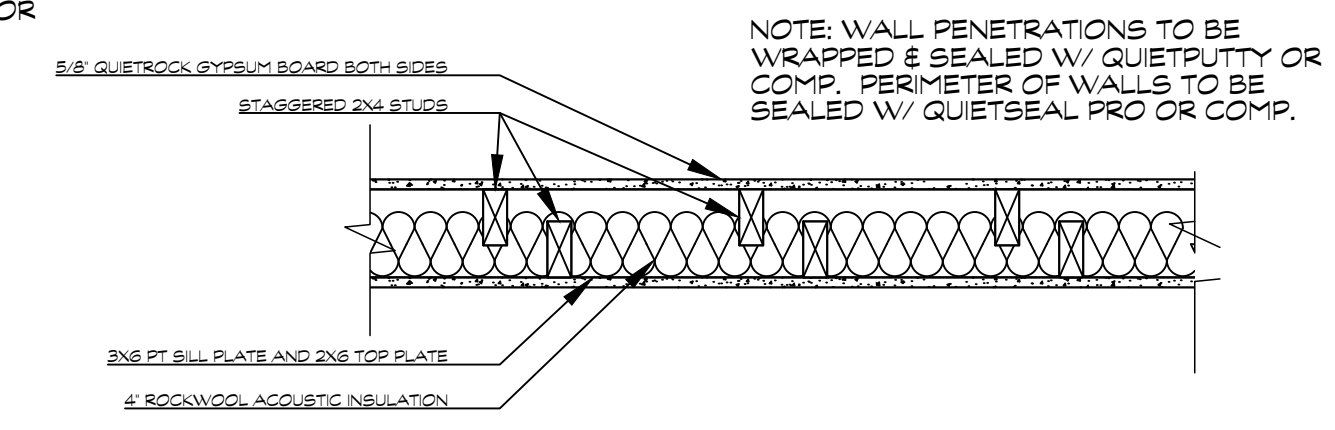
11 (P) LA CANTINA THRESHOLD DETAIL
SCALE 1" = 1'



12 (P) SLAB INSULATION DETAIL
SCALE 1" = 1'



13 (P) RAINSCREEN/BOARD SIDING AT ENTRY DETAIL
SCALE 1" = 1'



14 (P) SOUND MITIGATING WALL DETAIL
SCALE 1" = 1'

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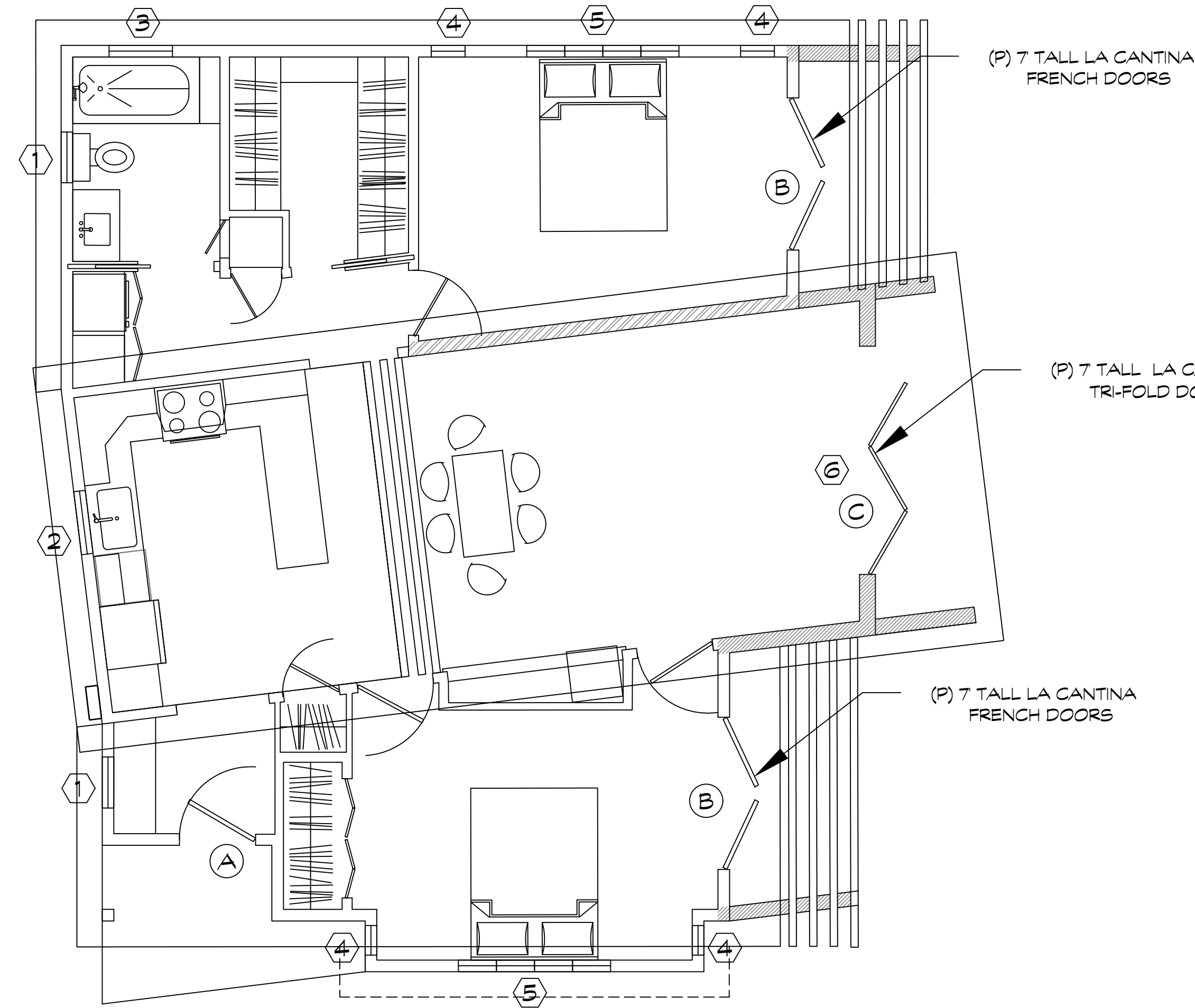
PROPOSED INTERIOR ELEVATIONS/SECTIONS AND DETAILS

REVISIONS		
NO	DESCRIPTION	DATE

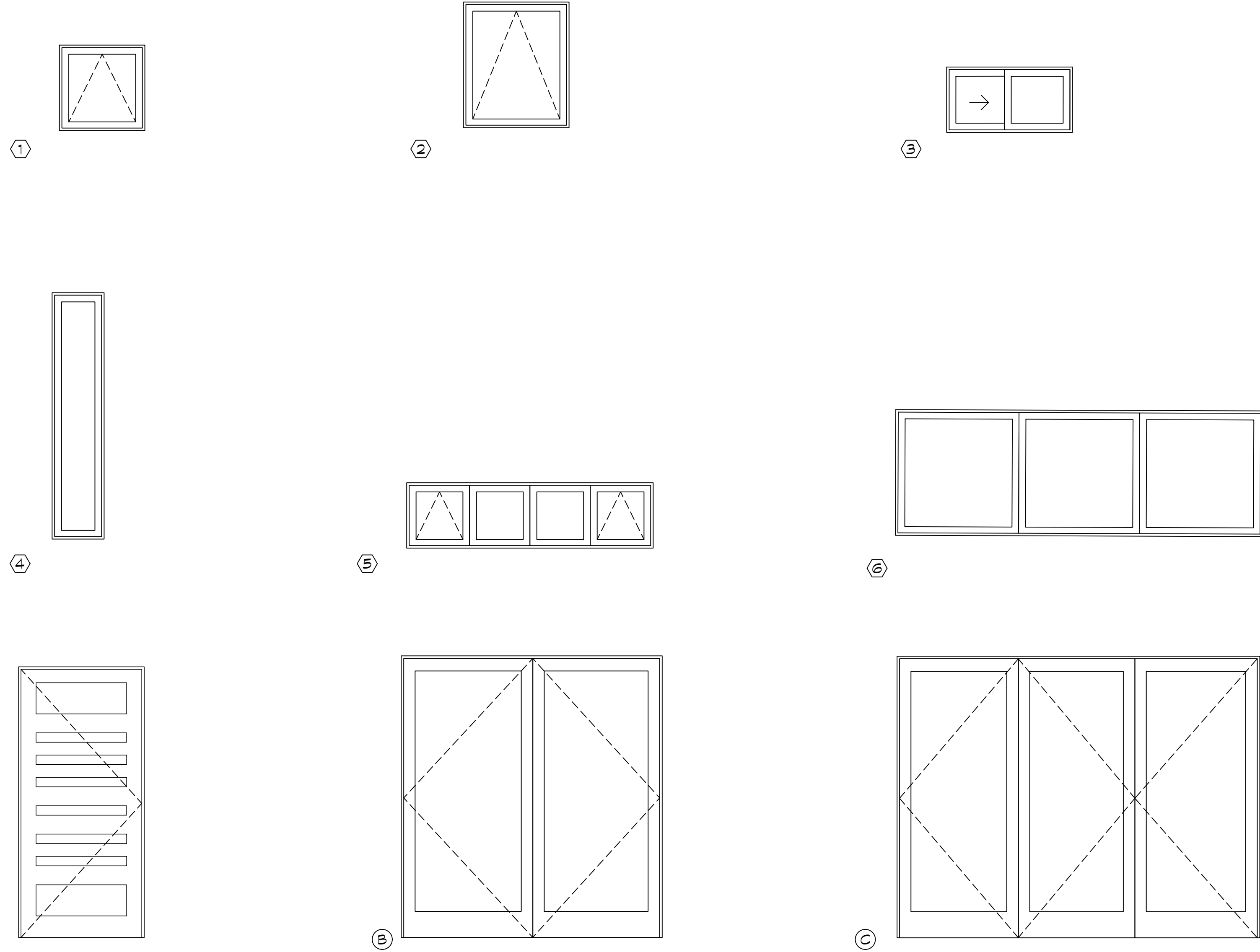
Date **04/26/2022**
 Scale **as noted**
 Drawn By **Z. RYMLAND**
 Job **1025 WEST**
 Sheet

A-3

NOTES:** ALL DIMENSIONS AND ANGLES TO BE CONFIRMED IN FIELD. WINDOW AND DOOR SCHEDULE TO BE SIGNED OFF BY OWNER/GC PRIOR TO ORDERING.



4 WINDOW AND DOOR PLAN
SCALE 1/4"=1'



WINDOW SCHEDULE * NOTE: ALL WINDOW GLAZING TO BE DUAL PANE, LOW-E, ARGON FILLED AND TO MEET OR EXCEED ALL TITLE-24 REQUIREMENTS

NO.	ROOM	QTY	FRAME SIZE (WxH)	ROUGH OPENING (WxH)	TYPE	MODEL/#	EXT. FINISH	INT. FINISH	GLAZING	HARDWARE
①	ENTRY & BATHROOM **	2	1'-11 1/2" x 1'-11 1/2"	2'-0" x 2'-0"	AWNING	MARVIN ESSENTIAL ESAWN2020	FIBERGLASS - EBONY	FIBERGLASS - EBONY	INSULATING/LOW E/ARGON	BLACK
②	KITCHEN	1	2'-5 1/2" x 2'-11 1/2"	2'-6" x 3'-0"	AWNING	MARVIN ESSENTIAL ESAWN2630	FIBERGLASS - EBONY	FIBERGLASS - EBONY	INSULATING/LOW E/ARGON	BLACK
③	BATHROOM**	1	2'-11 1/2" x 1'-5 1/2"	3'-0" x 1'-6"	GLIDER	MARVIN ESSENTIAL ESGL3016 NO	FIBERGLASS - EBONY	FIBERGLASS - EBONY	INSULATING/LOW E/ARGON	BLACK
④	BEDROOMS	4	1'-2" x 6'-0"	1'-2 1/2" x 6'-1 1/2"	FIXED	MARVIN ESSENTIAL DIRECT GLAZE	FIBERGLASS - EBONY	FIBERGLASS - EBONY	INSULATING/LOW E/ARGON W/ OBSCURED GLASS	BLACK
⑤	BEDROOMS	2	5'-10 1/2" x 1'-5 1/2"	6'-0" x 1'-6"	AWNING	MARVIN ESSENTIAL ESAWN1616 (X3) XCOX	FIBERGLASS - EBONY FACTORY MULL	FIBERGLASS - EBONY	INSULATING/LOW E/ARGON	BLACK
⑥	LIVING ROOM ***	1	9'-0" x 3'-0"	9'-0 1/2" x 3'-0 1/2"	FIXED XXX	MARVIN ESSENTIAL PICTURES 3X3 (X3) XXX	FIBERGLASS - EBONY FACTORY MULL	FIBERGLASS - EBONY	INSULATING/LOW E/ARGON	BLACK

** = BATHROOM WINDOWS WITHIN 5' OFF FF TO BE GLAZED WITH SAFETY GLASS NOTE: WINDOW OPERATION CONTROL DEVICES (WOCD) TO BE USED ON ALL WINDOWS WITH SILLS BELOW 24" FROM FF.
*** = TRANSOM WINDOW AND DOOR BELOW SIGHT LINES TO MATCH AS BEST AS POSSIBLE

DOOR SCHEDULE * NOTE: ALL DOOR GLAZING TO BE TEMPERED, DUAL PANE, LOW-E, ARGON FILLED AND TO MEET OR EXCEED ALL TITLE-24 REQUIREMENTS

NO.	ROOM	QTY.	DOOR SIZE (WxH)	ROUGH OPENING (WxH)	MODEL/MATERIAL	INT. FINISH	EXT. FINISH	GLAZING	HARDWARE	NOTES
(A)	ENTRANCE	1	3'-0" X 6'-8" (DOOR SIZE)	3'-2" x 6'-10.5"	SIMPSON 7423 CONTEMPORARY THERMAL W/ ULTRABLOCK AND WATER BARRIER	VGDF	PRIMED	INSULATING/LOW E/ARGON TEMPERED	BLACK	W/ ULTRABLOCK & WATER BARRIER
(B)	BEDROOM FRENCH DOORS	2	6'-0" X 7'-0"	6'-1" X 7'-3/4"	LA CANTINA CONTEMPORARY CLAD 1/1	VGDF	CLAD -BLACK	INSULATING/LOW E/ARGON TEMPERED	OUTSWING FRENCH BLACK HDV	OUTWARD SWING, WEATHER RESISTANT SILL
(C)	LIVING ROOM ***	1	108-1/8" X 83-1/2"	108-1/8" X 84-1/4"	LA CANTINA CONTEMPORARY CLAD 3/0 ***	VGDF	CLAD -BLACK	INSULATING/LOW E/ARGON TEMPERED	TRI-FOLD 3L-OR BLACK HDV	OUTWARD SWING, WEATHER RESISTANT SILL

* = ALL DIMENSIONS TO BE VERIFIED IN FIELD *** = TRANSOM WINDOW AND DOOR BELOW SIGHT LINES TO MATCH AS BEST AS POSSIBLE

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DOOR AND WINDOW SCHEDULES

REVISIONS

NO	DESCRIPTION	DATE

Date **05/05/2022**
Scale **as noted**
Drawn By **Z. RYMLAND**
Job **1025 WEST**
Sheet

A-4

ELECTRICAL / MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
⊖	DUPLEX WALL OUTLET
⊖	HALF-HOT OUTLET WIRED TO WALL SWITCH
⊖	DUPLEX OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER
⊖	DUPLEX TAMPER-PROOF OUTLET W/ ARC-FAULT CIRCUIT INTERRUPTER
⊖	TAMPER RESISTANT OUTLET
⊖	WATERPROOF DUPLEX OUTLET W/ G.F.C.I.
⊖	QUAD OUTLET
⊖	FLOOR OUTLET
⊖	WALL SWITCH
⊖	3-WAY SWITCH
⊖	WALL SWITCH W/ TIMER
⊖	AUTOMATIC DOOR JAMB SWITCH
⊖	WALL SWITCH W/ DIMMER
⊖	WALL SWITCH W/ DIMMER (LOW-VOLTAGE)
⊖	SWITCH W/ OCCUPANCY SENSOR SEE NOTE 9
⊖	SWITCH W/ VACANCY SENSOR
⊖	TELEPHONE JACK
⊖	ETHERNET CABLE
⊖	COAX CABLE
⊖	COMPUTER
⊖	COMBO TELEPHONE COMPUTER
⊖	COMBO TELEPHONE COAX
⊖	EXHAUST FAN, WALL MOUNT
⊖	EXHAUST FAN, CEILING MOUNT
⊖	EXHAUST FAN FOR RANGE HOOD
⊖	COMBO EXHAUST FAN LIGHT
⊖	COMBO EXHAUST FAN, LIGHT & HEAT
⊖	HEAT REGISTER, CEILING MOUNT
⊖	HEAT REGISTER, IN CABINET KICK
⊖	HEAT REGISTER, FLOOR
⊖	GARBAGE DISPOSAL
⊖	HOSE BIBB
⊖	RECESSED LAUNDRY HOOKUPS
⊖	RECESSED COLD WATER GAS
⊖	SMOKE DETECTOR
⊖	WALL-MOUNTED SMOKE ALARM
⊖	CARBON MONOXIDE ALARM
⊖	THERMOSTAT
⊖	FIRE SPRINKLER
⊖	MOTION DETECTOR - SECURITY SYSTEM
⊖	MOTION DETECTOR SWITCH
⊖	GRAPHIC EYE CONTROL
⊖	REMOTE GRAPHIC EYE
⊖	SPACER CONTROL
⊖	DOOR CHIME
⊖	CEILING-MOUNTED SPEAKER
⊖	WALL-MOUNTED SPEAKER
⊖	AUDIO PANEL
⊖	ELECTRICAL PANEL BOARD

LIGHTING FIXTURE LEGEND	
SYMBOL	DESCRIPTION
⊖	SURFACE MOUNT ACCENT LIGHT
⊖	WALL-MOUNTED FIXTURE
⊖	CEILING-MOUNTED FIXTURE
⊖	CEILING-MOUNTED HIGH EFFICACY FIXTURE
⊖	CEILING-MOUNTED PENDANT FIXTURE
⊖	CEILING-MOUNTED FLUORESCENT FIXTURE
⊖	4' RECESSED DOWN LIGHT
⊖	5' RECESSED DOWN LIGHT
⊖	6' RECESSED DOWN LIGHT
⊖	4' RECESSED FLUORESCENT DOWN LIGHT
⊖	5' RECESSED FLUORESCENT DOWN LIGHT
⊖	6' RECESSED FLUORESCENT DOWN LIGHT
⊖	RECESSED ACCENT / WALL WASH
⊖	SPOT LIGHT
⊖	UNDERCABINET LIGHTING
⊖	LED STRIP LIGHTING
⊖	MOTION CONTROLLED LED STRIP LIGHTING
⊖	TRACK LIGHTING
⊖	LOW-VOLTAGE LIGHT ON LOW-VOLTAGE RAIL
⊖	RECESSED FLUORESCENT FIXTURE (LENGTH TO SCALE)
⊖	SURFACE-MOUNTED FLUO. FIXTURE (LENGTH TO SCALE)
⊖	SURFACE-MOUNTED LED
⊖	MOTION CONTROLLED SURFACE-MOUNTED LED

BRANCH CIRCUITS	
BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENIS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR SPACES SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12(A))	AT LEAST TWO (2) SMALL APPLIANCE BRANCH CIRCUITS IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREA LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY. (CEC 210.11(C))
LIGHTING NOTES:	
ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY (CALIFORNIA ENERGY CODE 150 (A)(1)).	OUTDOOR LIGHTING: ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY AND CONTROLLED BY MOTION SENSORS AND PHOTOCONTROL, OR OTHER APPROVED METHODS PER CALIFORNIA ENERGY CODE 150 (A)(3).
ALL RECESSED LUMINAIRES IN INSULATED CEILING LUMINAIRES RECESSED INTO INSULATED CEILING: (A) SHALL BE LISTED FOR ZERO CLEARANCE INSULATION COVER (C RATED); (B) SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS; (C) SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINARY HOUSING AND CEILING; (D) IF RECESSED LIGHTS ARE EQUIPPED WITH BALLASTS, SHALL ALLOW BALLAST MAINTENANCE AND REPLACEMENT WITHOUT REQUIRING CUTTING OF HOLES IN THE CEILING; AND (E) SHALL NOT CONTAIN SCREW BASE SOCKETS. (CES Sec.150(A)(2)).	
NOTES:	
ALL ADDED/REPLACED 125-VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT CEC, ART 406.11	THE MINIMUM DISCONNECTING MEANS FOR A SINGLE-FAMILY DWELLING IS 100 AMPERES, 3 WIRE PER CEC ARTICLE 230.79(C)
SMOKE ALARMS TO BE INSTALLED: [CRC §314]	A. IN EACH SLEEPING ROOM B. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS C. ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS D. INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY CRC §314.3.
SMOKE ALARMS INSTALLED LESS THAN 20-FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE MUST BE AN IONIZATION SMOKE ALARM WITH AN ALARM-SILENCING SWITCH OR PHOTOELECTRIC SMOKE ALARM. [CRC §314.3.3 (NFPA 72 §29.8.3.4 ITEM 4)]	SMOKE ALARMS MUST BE LISTED IN ACCORDANCE WITH UL 217 AND CALIFORNIA STATE FIRE MARSHAL APPROVED FOR SMOKE ALARMS. [CRC §314.1.1]
CARBON MONOXIDE ALARMS: DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN EACH OF THE FOLLOWING LOCATIONS: [CRC §315.3]	A. OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. B. ON EVERY OCCUPIED LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. C. WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.
CARBON MONOXIDE ALARM MUST BE LISTED IN ACCORDANCE WITH UL 2034. [CRC §315.1.1]	MULTIPURPOSE ALARMS: CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SECTION R315, ALL APPLICABLE STANDARDS AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARMS.
ALARM INTERCONNECTION AND POWER: [CRC §314 AND §315]	SMOKE AND CARBON MONOXIDE ALARMS ARE REQUIRED TO BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. EXCEPTION: WHERE REPAIRS OR ALTERATIONS TO EXISTING BUILDINGS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES AND THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWL SPACE.
SHOWER COMPARTMENT TO HAVE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30' DIAMETER CIRCLE. [CPC §408.6]	SHOWER DOORS SHALL OPEN OUTWARD WITH A 22' UNOBSTRUCTED OPENING WIDTH. [CPC §408.5]
TUB/SHOWER WALLS TO HAVE A MOISTURE RESISTANT UNDERLAYMENT TO A MINIMUM HEIGHT OF 72" ABOVE THE FLOOR. [CRC SEC.R307.2, R702.4]	MAX FLOW RATE FOR WATER CLOSETS IS 1.28 GPF. [CGBSC 4.303.1.1]
	MAX FLOW RATE FOR SHOWER-HEADS IS 2.0 GPM. [CGBSC 4.303.1.3]
	FLOW RATE FOR LAVATORY FAUCETS IS 1.2 GPM MAX AND 0.8 GPM MIN. [CGBSC 4.303.1.4.1]

NOTE: KITCHEN AND BATHROOM VENT EITHER THROUGH THE ROOF OR UP THE SIDE OF THE HOUSE, AT LEAST 3' FROM PROPERTY LINE AND OTHER OPENINGS.

ALL BATHROOM LIGHT FIXTURES TO BE WET LOCATION APPROVED

BATHROOM OUTLETS TO BE ON DEDICATED 20 AMP CIRCUIT

TILE SHOWER SURROUND, WALLS FINISHED WITH A NON-ABSORBANT SURFACE, MIN. 6" ABOVE THE FLOOR

CONTINUOUSLY RUNNING WHOLE HOUSE IAQ SYSTEM IN BATHROOM PER TITLE 24 ENERGY REPORT AND CEC SEC. 150 WITH MIN. 50 CFM.

COMBO WET LOCATION APPROVED 4' DOWN LIGHT/HUMIDISTAT CONTROLLED BATHROOM FAN PER CGBSC 4.506.1.

SHOWER FIXTURE TO MEET REQ. OF CAL GREEN, PLEASE SEE A-0-1 WITH MAX. FLOW RATE OF 2.0 GPM @ 80 PSI.

TOILET TO MEET REQ. OF CAL GREEN, PLEASE SEE A-0-1 WITH A MAX FLUSH OF 1.28 GPF.

FIXTURE TO MEET REQ. OF CAL GREEN, PLEASE SEE A-0-1 WITH A MAX FLOW RATE OF 1.5 GPM.

MOTION OR OCCUPANCY CONTROLLED MAIN HIGH EFFICACY LIGHT [CPC §150.0 (A)(2)]

DEDICATED 20-AMP CIRCUIT FOR LAUNDRY APPLIANCES

NEW ELECTRICAL SERVICE PANEL 60 AMPERES, 3-WIRE WITH A MINIMUM OF 30' WIDE BY 36" DEEP BY 6'-6" HIGH ILLUMINATED CLEAR WORKING AREA PER CEC §110.26

ON-DEMAND COMBI BOILER FOR DOMESTIC HOT WATER AND RADIANT HEAT. IBC COMBI BOILER DC 20-125 (OR SIMILAR) 95% AFUE, 120,000 BTU/H PER TITLE 24

DEDICATED 20 AMP CIRCUIT FOR ON DEMAND HOT WATER HEATER

MECHANICAL ROOM/UTILITY CLOSET

GAS SHUTOFF VALVE ACCESSIBLE BEHIND CABINET

DEDICATED 20 AM CIRCUIT FOR FUTURE ERV SYSTEM

(P) RANGE HOOD TO VENT TO THE OUTSIDE WITH A MINIMUM 100 CFM (CEC 150(A) & ASHRAE 62.2)

FIXTURE TO MEET REQ. OF CAL GREEN, PLEASE SEE A-0-1 WITH A MAX FLOW RATE OF 1.5 GPM.

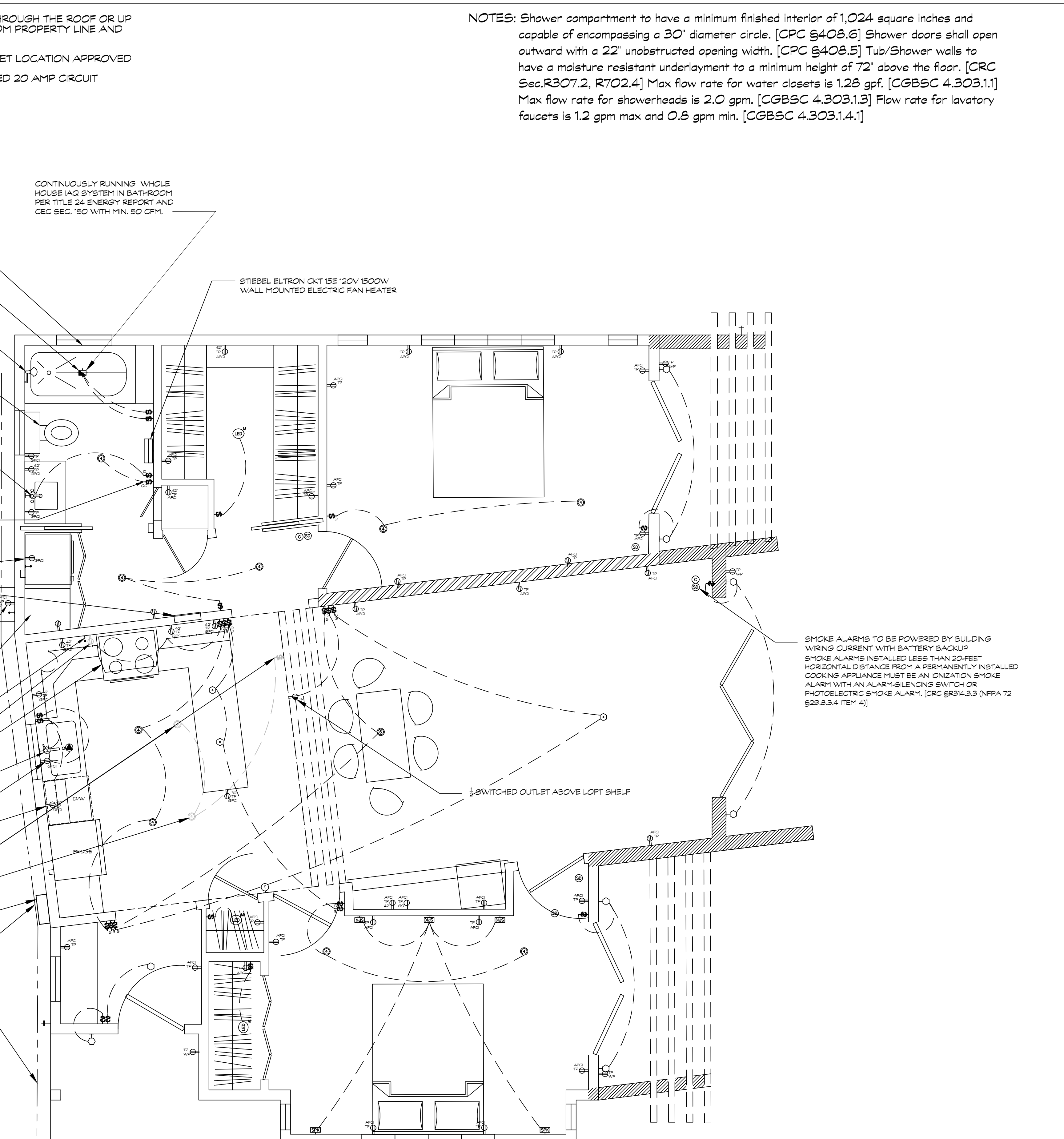
UNDER COUNTER OUTLET, 1 SIDE SWITCHED FOR GARBAGE DISPOSAL

ABOVE COUNTER OUTLET AS REQUIRED PER CEC 210.52

SWITCH & LIGHTS IN ATTIC LOFT, SWITCH JUST INSIDE ACCESS DOOR

(P) 100 AMP SERVICE

SANITARY SEWER LINE TO TIE INTO EXISTING OR DIRECTLY INTO MAIN - GRAVITY FED LINE TO MAINTAIN A MINIMUM 2% SLOPE



NOTES: Shower compartment to have a minimum finished interior of 1,024 square inches and capable of encompassing a 30' diameter circle. [CPC §408.6] Shower doors shall open outward with a 22' unobstructed opening width. [CPC §408.5] Tub/Shower walls to have a moisture resistant underlayment to a minimum height of 72" above the floor. [CRC Sec.R307.2, R702.4] Max flow rate for water closets is 1.28 gpf. [CGBSC 4.303.1.1] Max flow rate for showerheads is 2.0 gpm. [CGBSC 4.303.1.3] Flow rate for lavatory faucets is 1.2 gpm max and 0.8 gpm min. [CGBSC 4.303.1.4.1]

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ELECTRICAL/MECHANICAL LEGEND, LIGHTING FIXTURE LEGEND, BRANCH CIRCUITS, LIGHTING NOTES, PROPOSED E/M PLAN

REVISIONS		
NO	DESCRIPTION	DATE

Date **05/05/2022**
Scale **as noted**
Drawn By **Z. RYMLAND**
Job **1025 WEST**
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