



SANITARY UPPER SEWER LATERAL
CERTIFICATE OF COMPLIANCE

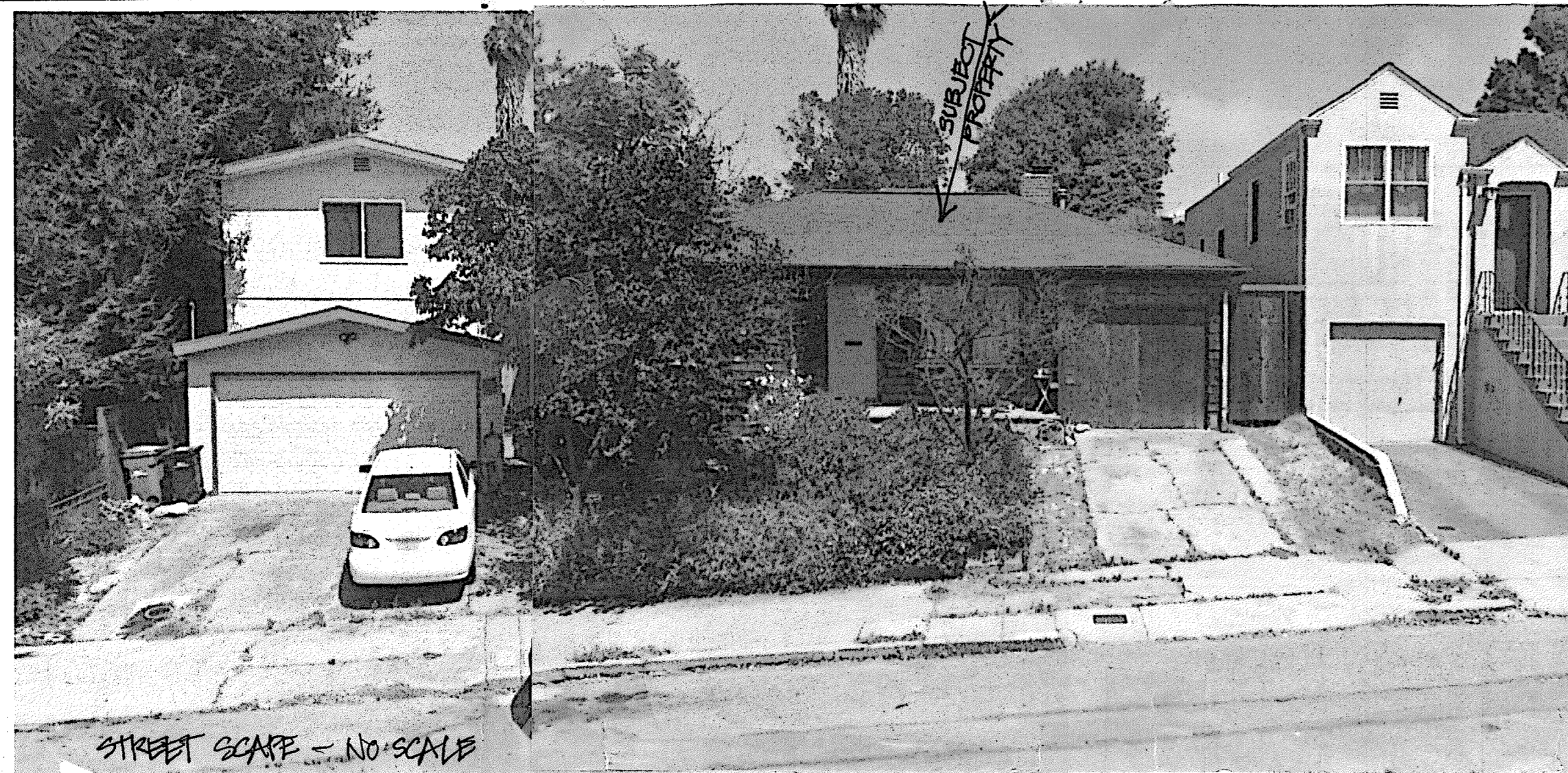
Applicant: Ron Bogley Date: 5/8/03
Property Address: 713 SOLANO AVE ALBANY, CA 94706
Telephone: 650-7837
Mailing Address (if different): 2124 WARD ST BOGLEY, CA 94705

The Community Development Department has reviewed the upper sanitary sewer lateral condition of the above referenced property based upon the following submitted information:

- Videotape of the upper sewer lateral
 - Air Test Report Date: _____
 - Final inspection sign-off of the sewer repair (replacement work) P# 11184
- This letter is to notify you that the subject sewer lateral complies with City of Albany Municipal Code Section 15-1226.2.

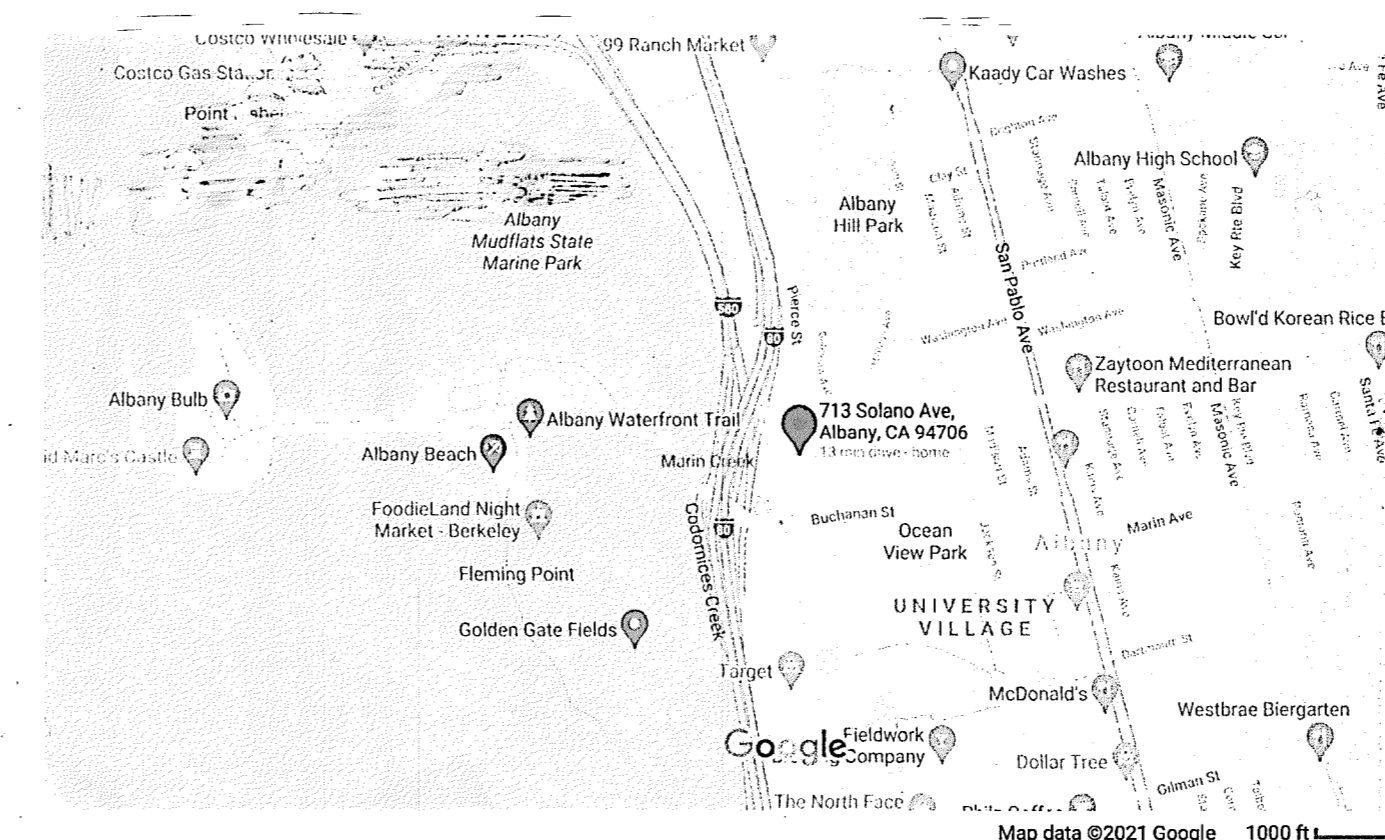
If you have any questions regarding this letter, please do not hesitate to call the Community Development Department at (510) 528-5760.

Ann Chanley, Director
Community Development Department
Date: 5/8/03



STREET SCAPE - NO SCALE

INDEX TO THE DRAWINGS:
SHEET 1: TITLE SHEET, LOCATION MAP, PLOT PLAN, EXISTING FLOOR PLAN, FAR CALC.
SHEET 2: EXISTING ELEVATIONS, PIPE DETAIL
SHEET 3: EXISTING STREET SCAPE, PROPOSED WINDOW DETAILS, GENERAL NOTES
SHEET 4: PROPOSED FLOOR PLAN, PUBLIC WORKS CONDITIONS
SHEET 5: ELEVATIONS, SECTION, FOUNDATION & ROOF FRAMING PLANS;
SHEET 6: DRAINAGE PLAN



LOCATION MAP NO SCALE

DESIGN REVIEW REVISION/EXTENSION
PROPOSED ONE-STORY BEDROOM-BATH ADDITION
AT EXISTING SINGLE FAMILY RESIDENCE
713 SOLANO AVE. ALBANY
BOGLEY-GRUDZIEN LIVING TRUST, OWNER

SCOPE OF PROJECT:

DESIGN REVIEW APPROVAL WAS RECEIVED IN 2018 FOR A BEDROOM-BATH ADDITION WHICH HAS BEEN REDUCED SLIGHTLY HERE FOR THIS NEW 388 SQ. FT. 1-STORY BEDROOM & BATH ADDITION AT THE EXISTING 848 SQ. FT. SINGLE-FAMILY DWELLING;
NEW TOTAL LIVING AREA TO BECOME 1,214 SQ. FT.;
TYPE V-B WOOD FRAME & SHINGLES AT EXISTING HOUSE, ONE-STORY PLUS ATTIC OVER CRAWL SPACE, NEW ONE-STORY ADDITION WITH CEMENT BOARD SIDING OVER SLAB-ON-GRADE FOUNDATION; UNSPRINKLED; R-3 OCCUPANCY.

IMPORTANT NOTES:

(For more complete notes, please see "General Notes")

ALL WORK AS PER 2019 CALIFORNIA RESIDENTIAL, PLUMBING, ELECTRICAL, MECHANICAL, ENERGY, GREEN & FIRE CODES, PLUS ANY MUNICIPAL CODES.

VERIFY ALL CONDITIONS ON SITE. DO NOT SCALE THE DRAWINGS.

VERIFY SMOKE ALARMS AT BOTH BEDROOMS AND HALL AT EXISTING HOUSE; HARDWIRED IN NEW ADDITION BEDROOM; VERIFY OR PROVIDE CARBON MONOXIDE ALARMS AT BOTH EXISTING HOUSE AND NEW ADDITION.

VERIFY GFCI'S AT ALL KITCHEN, BATH, AND EXTERIOR PLUGS; NEW CIRCUITS TO BE TAMPER-RESISTANT AFCI'S; ALL EXTERIOR LIGHTING TO BE HIGH-EFFICACY MOTION SENSORS.

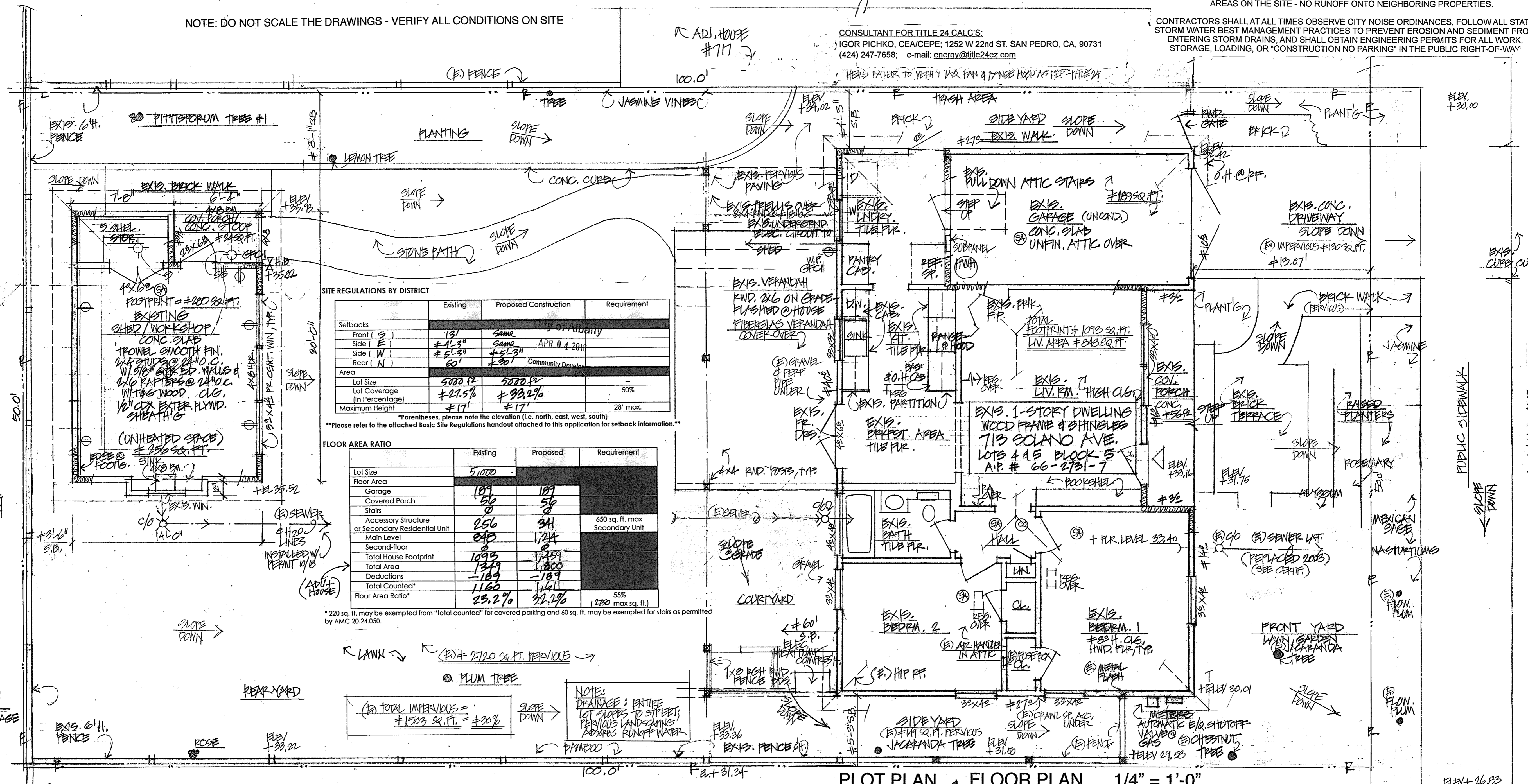
SEWER LATERAL WAS REPLACED IN 2003.

DRAINAGE OF RUNOFF WATER FROM NEW DOWNSPOUTS TO BE DISPERSED IN VEGETATED AREAS ON THE SITE - NO RUNOFF ONTO NEIGHBORING PROPERTIES.

CONTRACTORS SHALL AT ALL TIMES OBSERVE CITY NOISE ORDINANCES, FOLLOW ALL STATE STORM WATER BEST MANAGEMENT PRACTICES TO PREVENT EROSION AND SEDIMENT FROM ENTERING STORM DRAINS, AND SHALL OBTAIN ENGINEERING PERMITS FOR ALL WORK, STORAGE, LOADING, OR "CONSTRUCTION NO PARKING" IN THE PUBLIC RIGHT-OF-WAY.

EXISTING CONDITIONS

NOTE: DO NOT SCALE THE DRAWINGS - VERIFY ALL CONDITIONS ON SITE



SITE REGULATIONS BY DISTRICT

	Existing	Proposed Construction	Requirement
Setbacks			
Front (S)	13'	Same	City of Albany
Side (E)	# 4'-3"	Same	APR 0 4 2014
Side (W)	# 5'-3"	# 5'-3"	Community Dev.
Rear (N)	60'	# 20'	Community Dev.
Area			
Lot Size	5000 SF	5000 SF	-
Lot Coverage (In Percentages)	# 21.5%	# 32.2%	50%
Maximum Height	# 17'	# 17'	28' max.

*Parentheses, please note the elevation (i.e. north, east, west, south)
**Please refer to the attached Basic Site Regulations handout attached to this application for setback information.

FLOOR AREA RATIO

	Existing	Proposed	Requirement
Lot Size	51000		
Floor Area			
Garage	187	187	
Covered Porch	56	56	
Stairs	0	0	
Accessory Structure or Secondary Residential Unit	256	34	650 sq. ft. max Secondary Unit
Main Level	843	1,214	
Second-floor			
Total House Footprint	1093	1,451	
Total Area	1349	1,800	
Deductions	-183	-183	
Total Counted*	1166	1,611	
Floor Area Ratio*	23.2%	32.2%	55% (2700 max sq. ft.)

* 220 sq. ft. may be exempted from "total counted" for covered parking and 60 sq. ft. may be exempted for stairs as permitted by AMC 20.24.050.

PLOT PLAN & FLOOR PLAN 1/4" = 1'-0"

FOOTPRINT = 1093 SQ. FT.
LV. AREA = 840 SQ. FT.

RE-PRINTED FROM PREVIOUS PERMIT PLANS
(FROM BEFORE THE AGE OF COMPUTERS!)

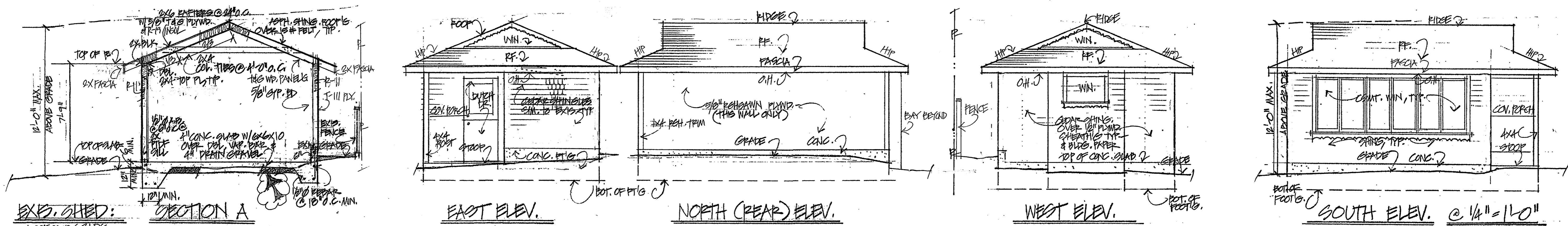
REVISIONS	BY

DATE 02 MAR 2003
SCALE 1/4" = 1'-0"
DRAWN RB
JOB
SHEET 1
OF 6 SHEETS

RON BOGLEY ARCHITECT
CALIFORNIA STATE LICENSED ARCHITECT #C-9028
2124 WARD ST. BERKELEY, CA 94705
TEL. 510.665.7837
e-mail: ronbogleyarchitect@vanadoo.com

EXISTING CONDITIONS
BOGLEY-GRUDZIEN RESIDENCE
713 SOLANO AVENUE ALBANY
OWNER: BOGLEY-GRUDZIEN LIVING TRUST

REVISIONS	BY

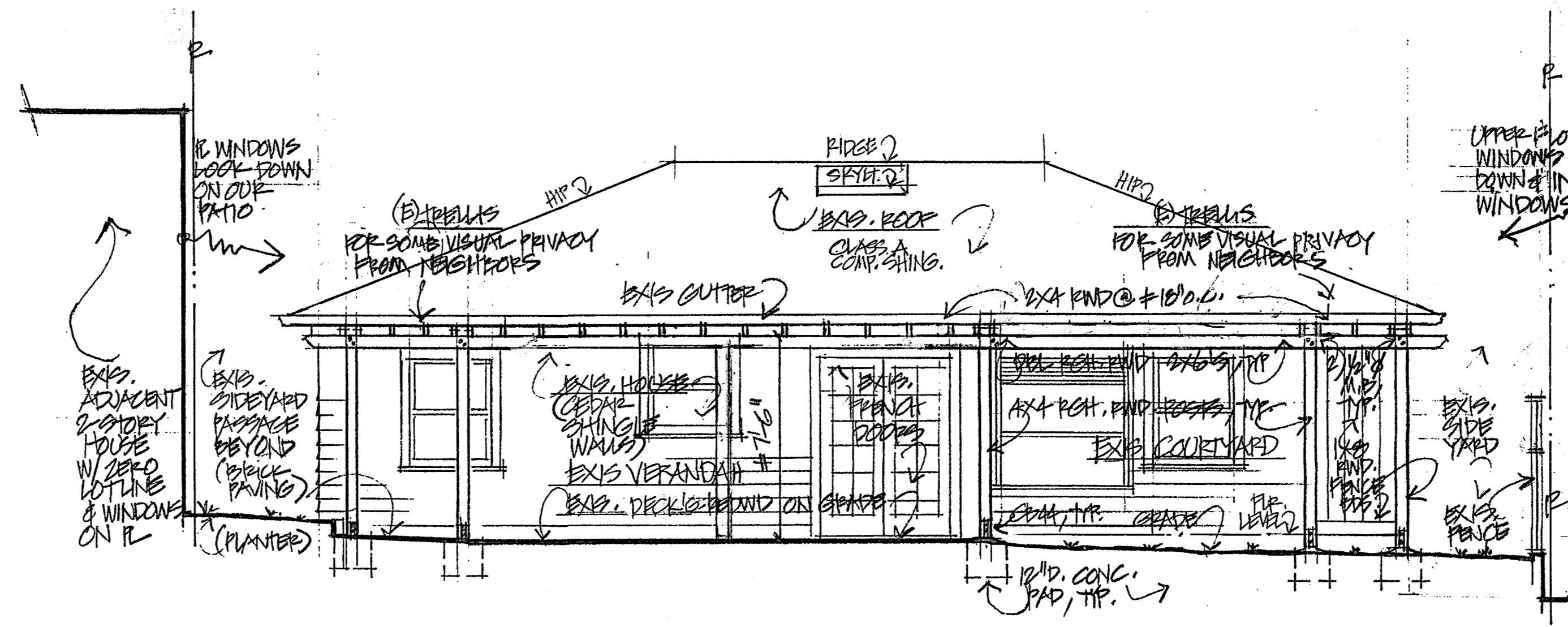


EXISTING CONDITIONS

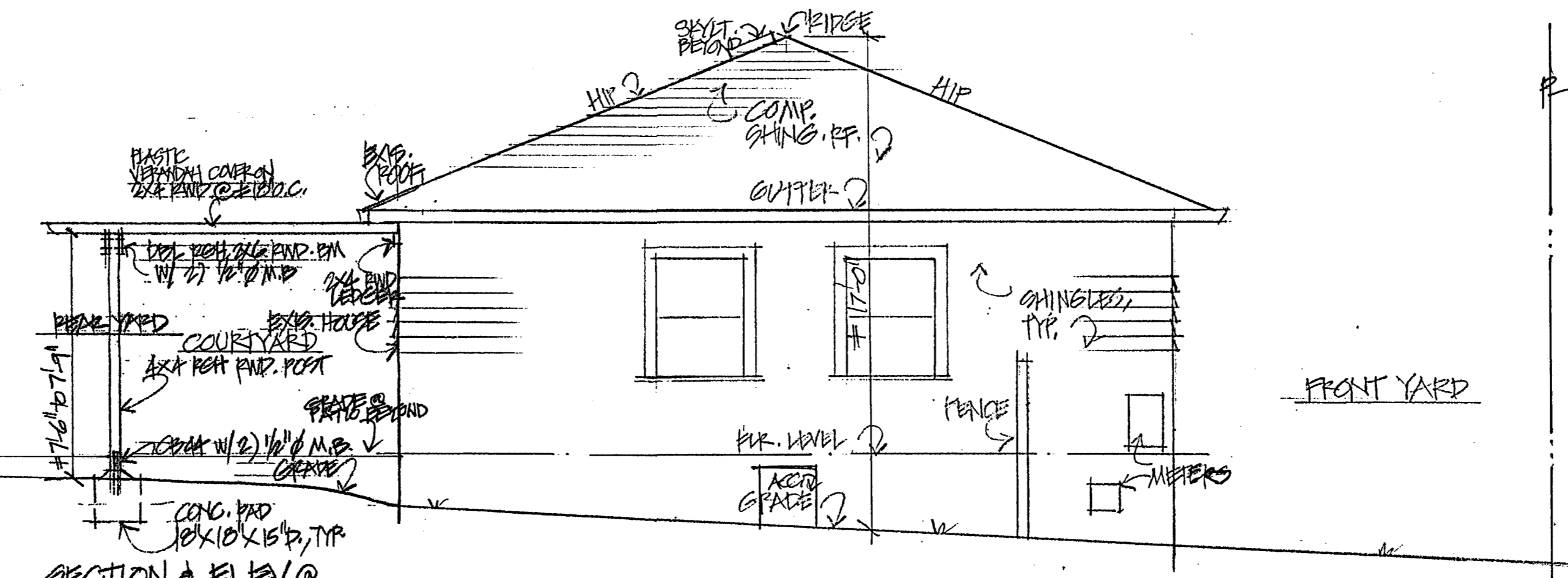
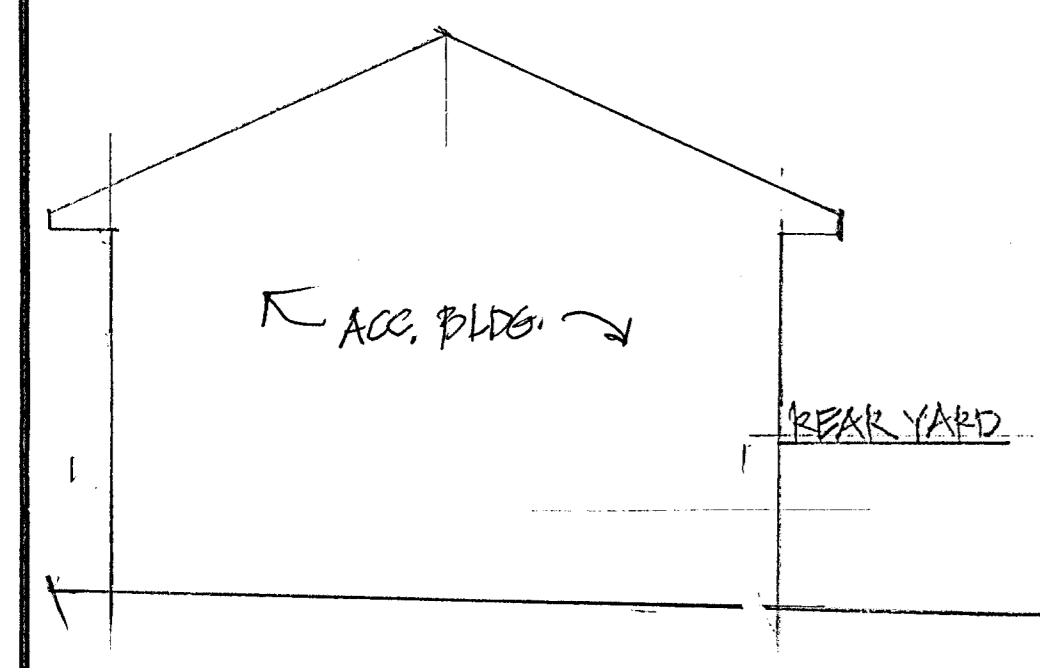
NOTE: DO NOT SCALE THE DRAWINGS - VERIFY ALL CONDITIONS ON SITE



VIEW OF SHED, 2010 & BUILT CA. 1975

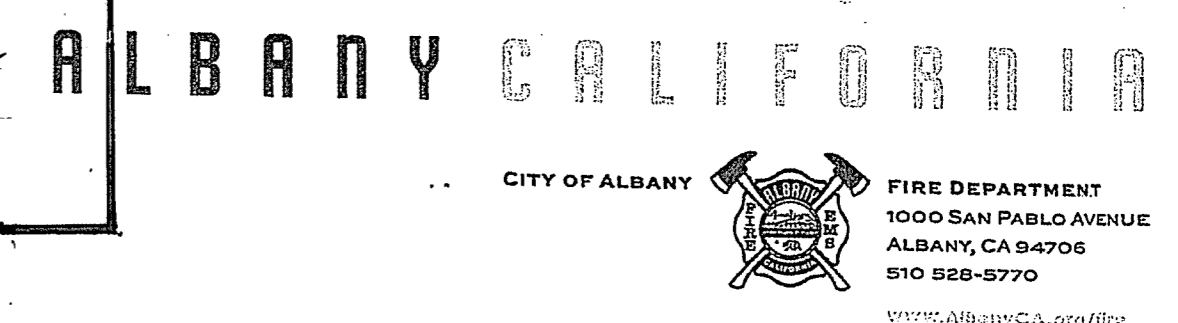


REAR (NORTH) ELEVATION 1/4" = 1'-0"
@ HOUSE



SECTION & ELEV. @ EXIS. TRUSS 1/4" = 1'-0"
(OPPOSITE ELEVATION IS MIRROR IMAGE OF THIS)

SIDE (WEST) ELEVATION 1/4" = 1'-0"
@ HOUSE



Permit Applicant: BOGLEY GRUZZIEN RESIDENCE
Property Address: 713 SOLANO

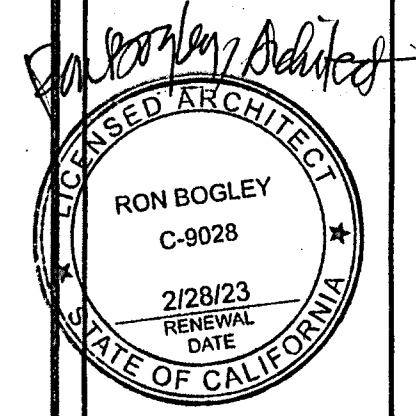
The following Fire Prevention requirements, checked below, shall apply to the above referenced project:

- Residential Commercial
- An automatic fire sprinkler system is required of this project pursuant to Albany Municipal code 11-6.2 B.
- Address of residence (main building) shall be plainly visible from the street and shall meet the requirements of 2019 California Fire Code 505.
- Smoke Alarms:
 - Stand-alone Photoelectric technology with 10-year Lithium batteries.
 - New and existing areas of construction shall have smoke alarms (California Residential Code (CRC) R314.2.1 & R314.2.2), which receive their primary power from the building wiring with battery backup. Alarms shall be interconnected per California Fire Code (CFC) 907.2.10.5. Alarm placement shall be per CRC R314.3, CFC 907.2.10.8, and NFPA 72. All Smoke alarms shall be Photoelectric technology per Albany Municipal Code 11-8.
 - Carbon Monoxide detectors shall be required per CFC 915.1 through 915.7.
 - Monitored Fire Alarm System KNOX Box Rapid Entry System

If there are any questions, please contact the Albany Fire Prevention Department
Phone: (510) 528-5775 or e-mail: fireinspector@albanyca.org

Signature: [Signature] Date: 10-18-2021

366 sq ft Addition to main House
Parcel 4587 746 sq ft Garage 189 = 935
ADU conversion to accessory Bld.



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EXISTING CONDITIONS
SINGLE FAMILY RESIDENCE
713 SOLANO AVE. ALBANY
BOGLEY-GRUZZIEN LIVING TRUST, OWNER

Date: 22 MAR 2022
Scale: 1/4" = 1'-0"
Drawn: RB
Job:
Sheet:
Of 2 Sheets

GENERAL NOTES:

All work to be done to 2019 California Codes and the best standards of workmanship of each trade.

Verify all conditions on the site. Do not scale the drawings. Omissions, deficiencies or errors in the drawings discovered at any time before or during construction to be brought to the attention of the Architect. The Owner/Builder and Subs - not the Architect - to be responsible for correcting any errors or omissions in the plans.

Equipment and materials to be installed in accordance with manufacturer's instructions. Copy of instructions to be provided to Field Inspector at time of inspection.

Smoke alarms to be listed in accordance with UL217 & CRC R314 1.1 and Carbon Monoxide alarm to be listed with UL 2034 per R314.1.1, as per Code, hardwired with battery backup. Alarms inside rooms to be within 3' of door. Alarms outside bathrooms to be no closer than 3' to the bathroom door. Verify smoke alarms in existing house at each bedroom and hallway, plus CO alarm at hall.

Address numbers on front of main house to be clearly visible from the street, 4" tall min. and well lit.

Automatic Earthquake Gas shutoff valve to be verified at gas meter.

Dimensions on the drawings normally refer to edge of rough concrete surfaces, top of slab, face of studs, and top of plywood subfloor.

Concrete, framing and nailing to be as per structural notes and drawings.

Framing and nailing to be as per code and drawings, and as per Section 2308 "Conventional Light-Framed Construction". Plywood braced walls to be more than 50% of wall length. Assume normal wind loads of 110 mph, soft clayey soils, and Seismic Zone D.

Use "Advanced Framing" techniques for framing - cf. align studs, joists and rafters at 24" o.c.; no headers needed at non-bearing walls, etc., to minimize thermal bridging.

Moisture content of framing lumber to be less than 19% at time of installation and before covering with finish materials. Verify with moisture meter.

Mudsills to be pressure treated Douglas fir. Re-treat any cut ends, notches or holes prior to installation. Use hot-dipped galvanized nails when attaching wood framing and plywood to sills.

2x studs to be No. 2 or better Douglas fir. 4x posts and beams to be No. 1 Douglas fir.

Wall sheathing to be 1/2" CDX plywood (not OSB) installed vertically, nailed 8d 6" o.c. @ edge, 12" o.c. in field at braced walls more than 4 feet long; or 8d @ 4-1/4" o.c. (for code minimum of 6" o.c.) @ edges, 8" o.c. in field at braced walls less than 4'. Edge nail into sole plate/mud sill, top plate, rafters and/or blocking. Minimum size of any plywood sheet to be 16' and/or 4 sq. ft. All edges to end on framing members or be blocked. Use 9' or 10' sheets where height is over 8 feet.

Roof surface to be Class A composition shingles, color selected by owners, over 15# felt underlayment. Install jacks and storm collars at all vent penetrations. Provide L-metal at all roof edges. Roofing Contractor to warranty watertightness of roof.

Gutters to be aluminum. Downspouts to be 2"x3", with drainage partially dispersed into landscaped planting areas in the center of the lot, as per State Stormwater practices - no runoff water is to drain onto neighboring properties.

Openings for new windows and doors to be wrapped with EZ Moistop or equivalent, and counterflashed with building paper.

Exterior doors to have a 3' wide landing outside, and if outswing, to have 1-1/2" maximum step.

Windows to be Marvin Integrity or as selected by owners, double (insulated) glass, U=30, SHGC=2.0.

"Z" metal head flashing to be installed at new window and door. Guarantee watertightness.

Siding to be Certainteed or Hardiesiding or equivalent, over Tyvek.

Exterior trim to be clear heart redwood, or pre-primed radiata pine, or medium density board; touchup prime all cut ends, notches, holes, etc.

Exhaust fan to be Panasonic "Energy Star" with humidistat, supply 5 air changes per hour and be switched separately from lights. Duct to have backdraft damper and exhaust to the exterior, no closer than 3 feet to windows, doors, or property line. Fan shall be 50 cfm-3one max and 20 cfm-1sone max for continuous airflow.

Plumbing as per code. Plumbing Contractor to inspect and test existing water pipes, drain pipes, vents and sewer line for proper, quiet operation of the system.

Drain pipes to be cast iron, sloping 1/4" per foot; other piping and vents may be ABS plastic; connect to existing sewer lateral.

New toilet to be 1.28 gallon flush, min. 15" clear each side, and 24" clear in front minimum.

New faucets to be 1.2 gallons per minute max. at 60 psi.

Showerhead to be 1.8 gallons per minute max. at 80 psi.

Shower valve to be pressure balanced or thermostatic and 120 degrees max. temperature.

Provide vacuum breaker anti-siphon devices at all hose bibbs.

Plumbers to not drill horizontally through any 2x4 studs for drain or vent pipe.

Provide metal nail plates or straps at all framing where pipes are closer than 2" to the surface.

Fixtures to be white, faucets to be chrome, or as selected by owners.

Electrical outlets and lights to be installed as required by Code, plus any additional desired by Owners. Electrical Subcontractor to inspect and test existing service, circuits and wiring for proper, safe operation of the system.

Verify that all circuits are labeled.

Main Panel to have one 20 amp dedicated circuit for GFCI plug at bath.

Other new circuits to be Tamper-resistant and AFCI protected.

Any additional circuits as desired by Owners.

Verify or provide GFCI's at all kitchen plugs and at all exterior outlets.

Plugs to be installed at maximum 12' o.c., and within 6' of every door or opening in walls.

All new lighting to be high efficacy LED (40 lumens per watt).

Provide vacancy-sensing light switches to lights in bathroom.

Provide dimmer switches or vacancy-sensing light switches in all other rooms.

No controls shall bypass the dimmer or vacancy-sensor functions.

Provide infrared motion sensors and high efficacy LED at all exterior lights.

Electrical Contractor to recommend any other repairs, replacement, or upgrades to the owners.

Owners to supply all light fixtures.

Exact location of all devices to be determined on site - those shown on plans are for graphical purposes only.

Cable TV, door buzzer, alarm system, computer wires, etc. supplied by owners.

Thermal insulation and weatherstripping as per Title 24: New 2x6 walls to be R-21. Ceiling to be R-30 spray foam. Hot water pipes insulated their entire length. Weatherstrip windows and exterior doors. All joints and penetrations caulked and sealed.

Gypsum board walls and ceilings to be 5/8", screwed as per code. All edges to end on solid framing. Smooth finish in bathroom, textured finish elsewhere is ok throughout, or as per owners.

Paint new interior gypsum board with PVA primer and 2 coats flat finish. Bathroom to have eggshell finish. Wood trim to have primer and 2 coats semi-gloss finish, or natural satin varathane. Provide 150 grams max. of V.O.C. per liter of high-gloss paint; provide 100 grams max. of V.O.C. per liter of non-flat paint, as per the Cal Green code.

Ceramic tile backsplash may be mastic on sheetrock. Tile walls and countertops to have cement mortarbed or backerboard (Hardibacker or equiv.) over 15# felt paper. Tile at tub/shower surround to be 72" high minimum, and/or extend above the showerhead.

Shower door and glass to be tempered glass, clear, or as selected by owners.

Interior doors, hardware and trim to match the existing house, or as selected by owners.

Finishes, colors, paint, trim details, hardware, bath equipment, etc. to be selected by owners.

Landscaping, finish garden soil, exterior paving, outdoor low voltage lighting, mailbox, address numbers, etc. to be supplied by owners.

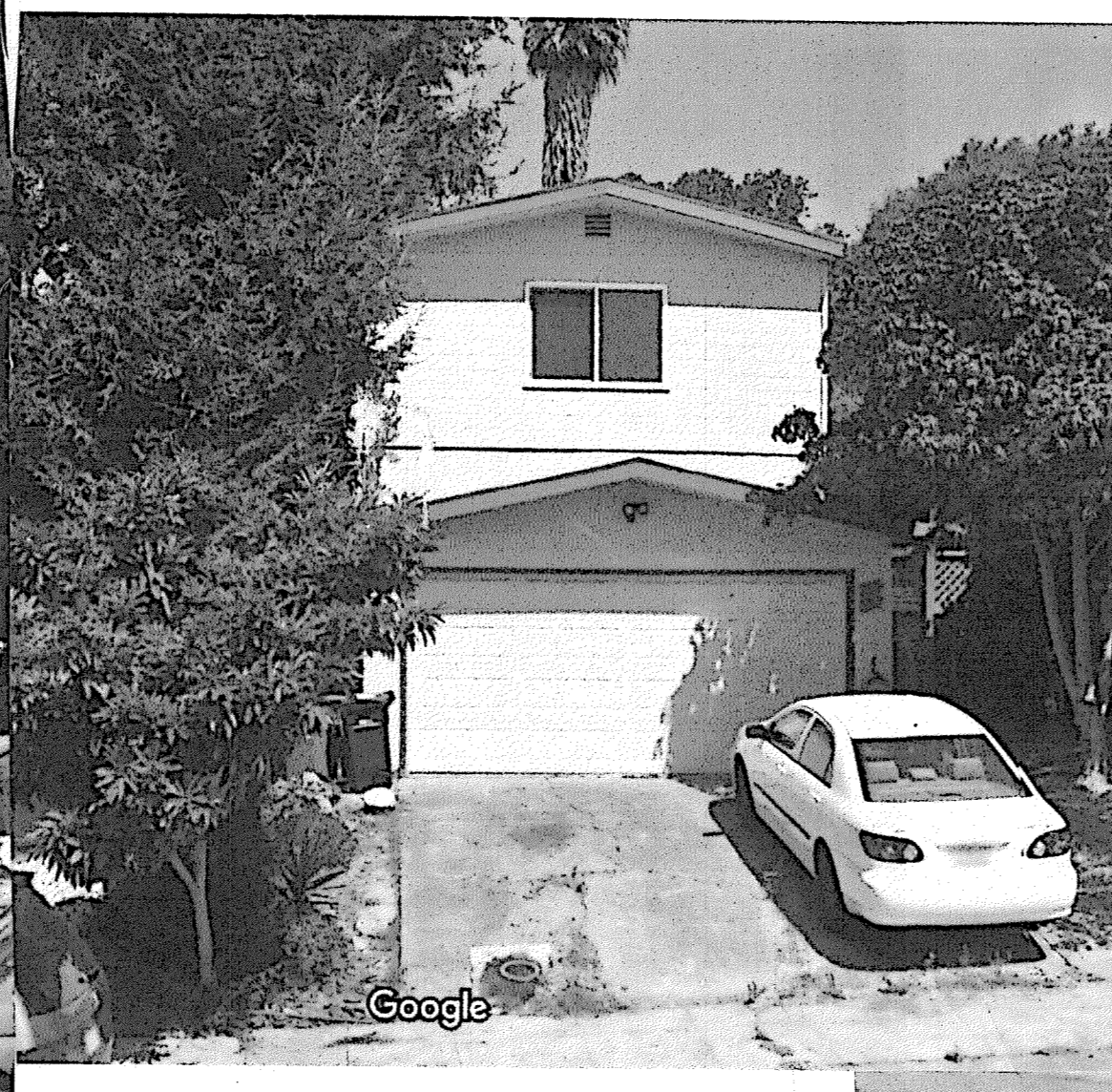
Finish grade to be 8" minimum below wood structure, and to slope away from the building 1/2" per foot for 5 feet on all sides, or into a swale or french drain - no low spots along the foundation. This is important! Owners to convey this information to landscapers.

Google Maps 707 Solano Ave



711 Solano Ave - Google Maps

711 Solano Ave



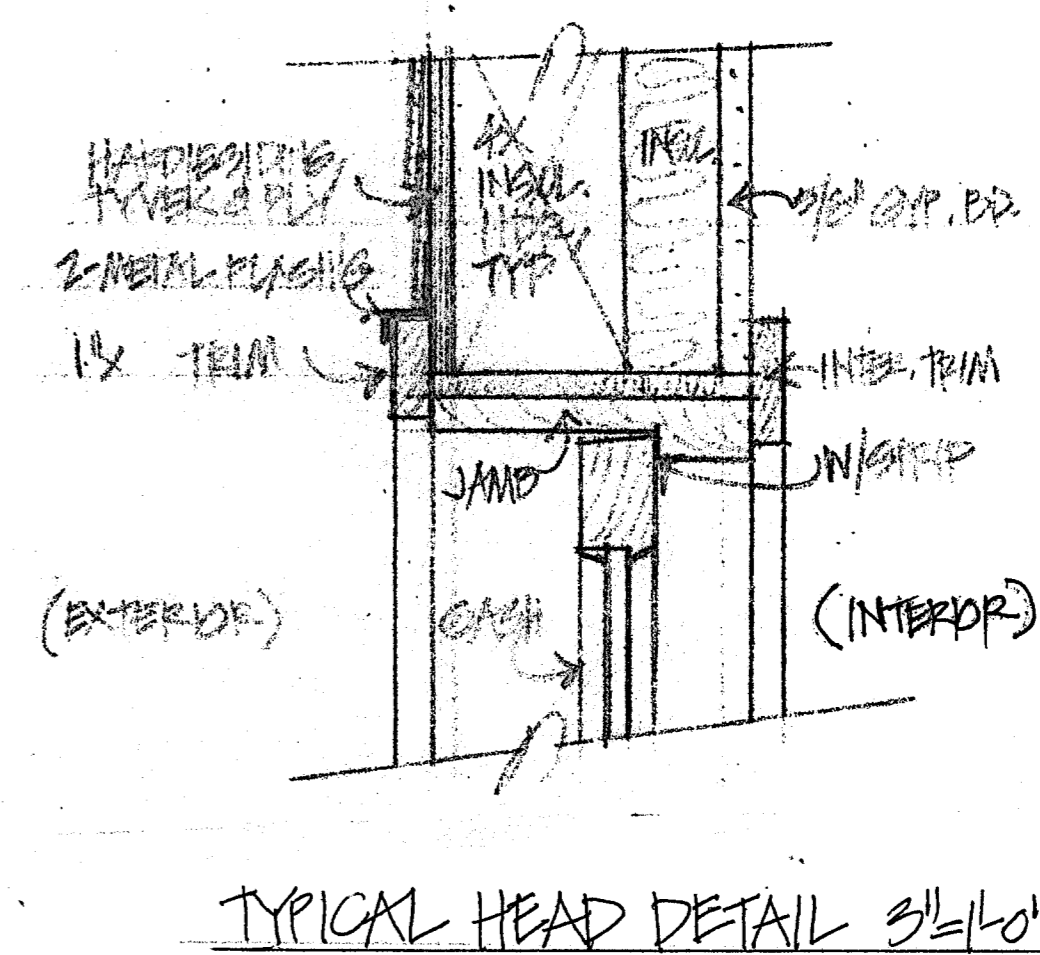
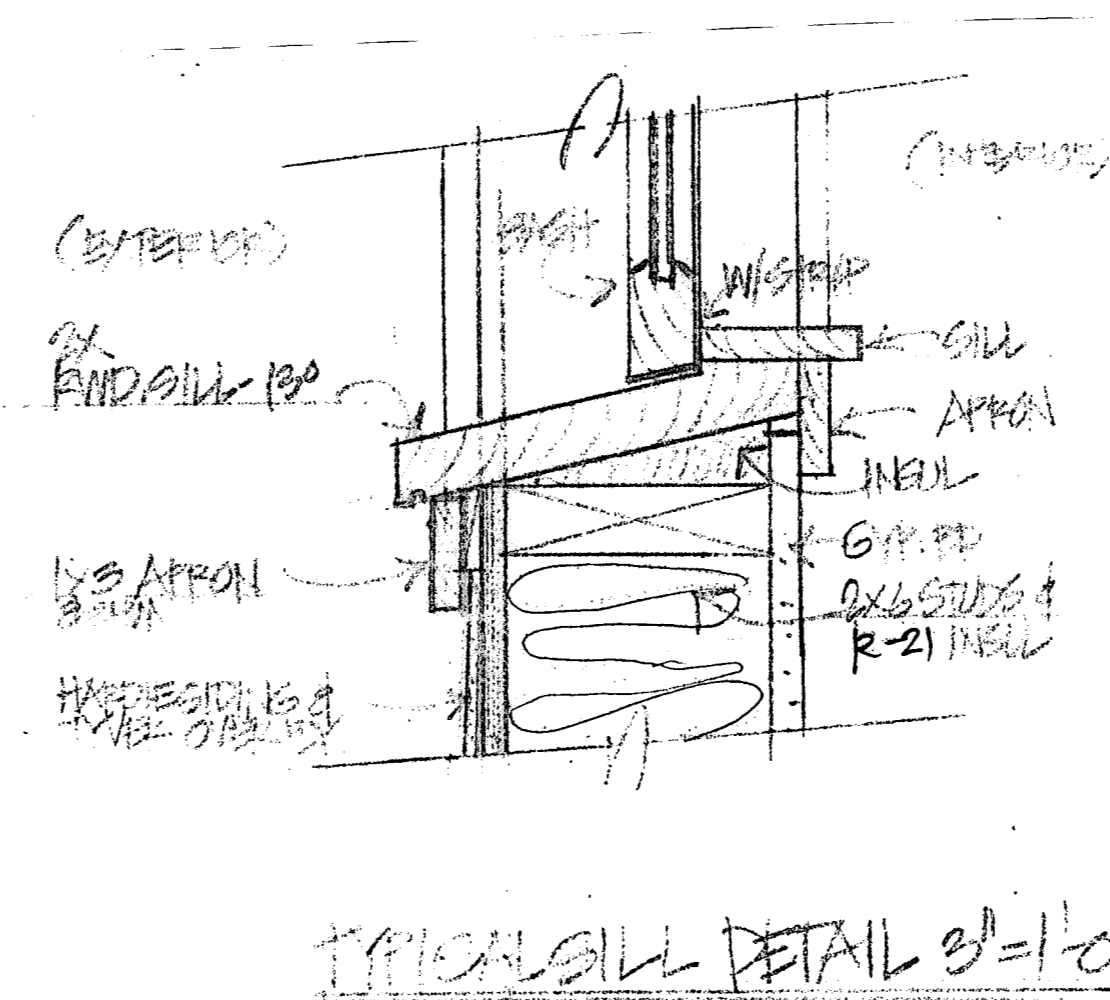
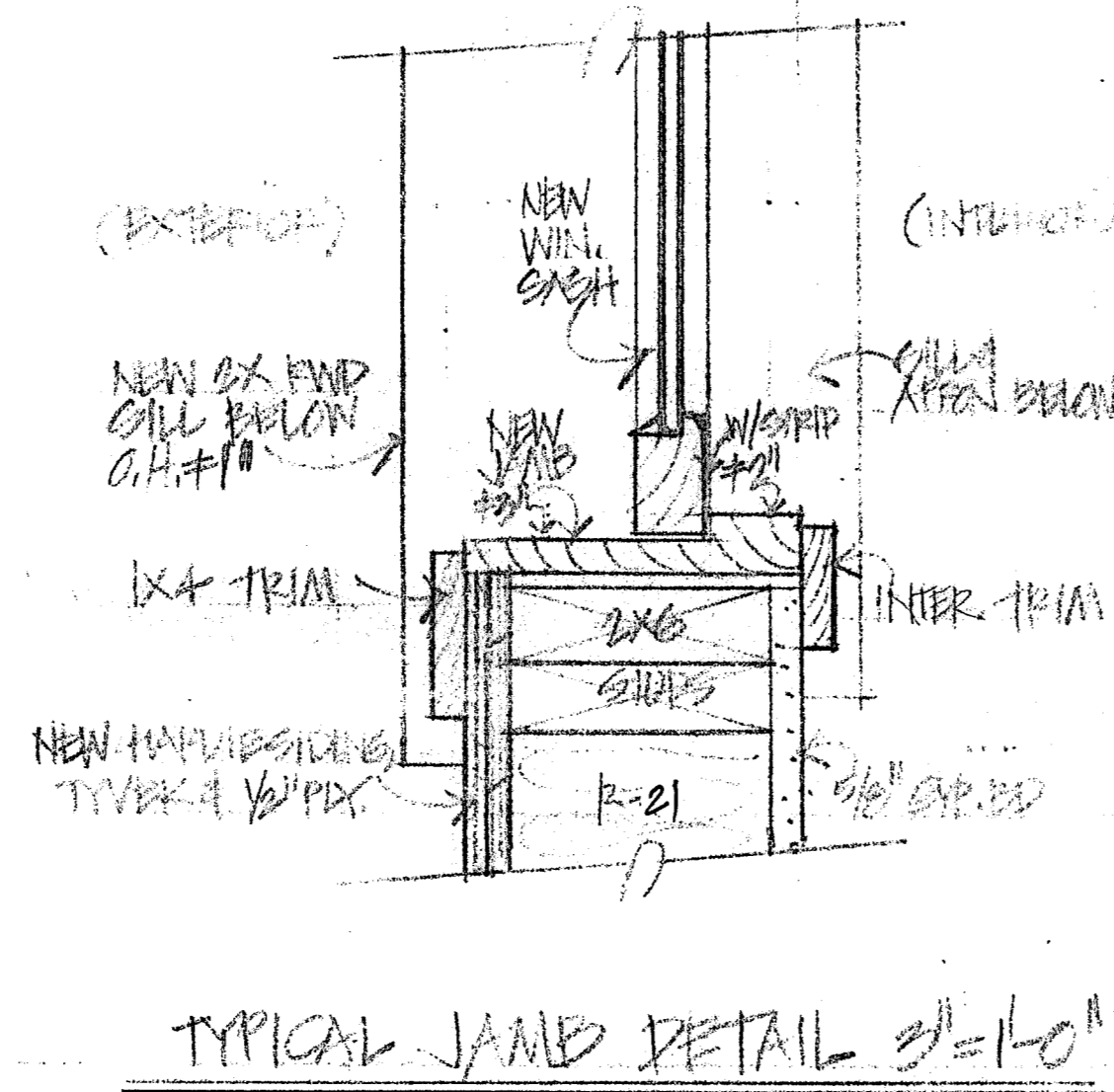
713 Solano Ave

SUBJECT PROPERTY

Google Maps 719 Solano Ave



STREETSCAPE LOOKING NORTH (NO SCALE)



Details and procedures not specifically mentioned here to be the responsibility of the Contractor and Subs, in order to complete the job in a thorough, professional, and workmanlike manner. The drawings do not necessarily mention all items and details necessary for construction.

Safety and security for all persons and property to be the complete responsibility of the Contractors, 24 hours per day during the course of construction.

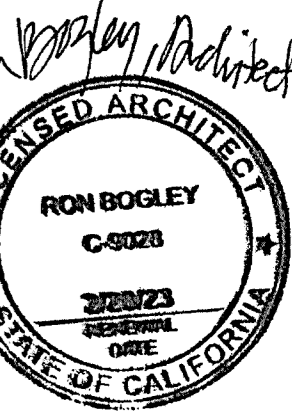
City Noise Ordinance and Hours of Construction shall be adhered to at all times by all workers: 8:00 a.m. to 6:00 p.m. weekdays and Saturdays; no work on Sundays and legal holidays.

Insurance, including Liability Insurance against damage, and Worker's Compensation Insurance against injury for all workers to be carried by Contractor and all Subs as per State and Federal regulations, and owners to be supplied with certificates of insurance.

Toxic substance identification and removal - including any asbestos, lead, etc. - to be the responsibility of the owners.

Neatness at the jobsite to be maintained at all times during construction, presenting an orderly appearance to the neighborhood. Contractors to haul away debris frequently, and be responsible for a thorough final cleaning.

REVISIONS BY



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 TEL: 510.866.7837
 e-mail: ronbogleyarchitect@yahoo.com

PROPOSED NEW ADDITION
 BOGLEY/GRUZZIEN RESIDENCE
 713 SOLANO AVE, ALPANY
 OWNER: BOGLEY - GRUZZIEN UN. TRUST

Date 22 MAR 2022
 Scale N/A
 Drawn PD
 Job
 Sheet 3
 Of 6 Sheets

REVISIONS	BY

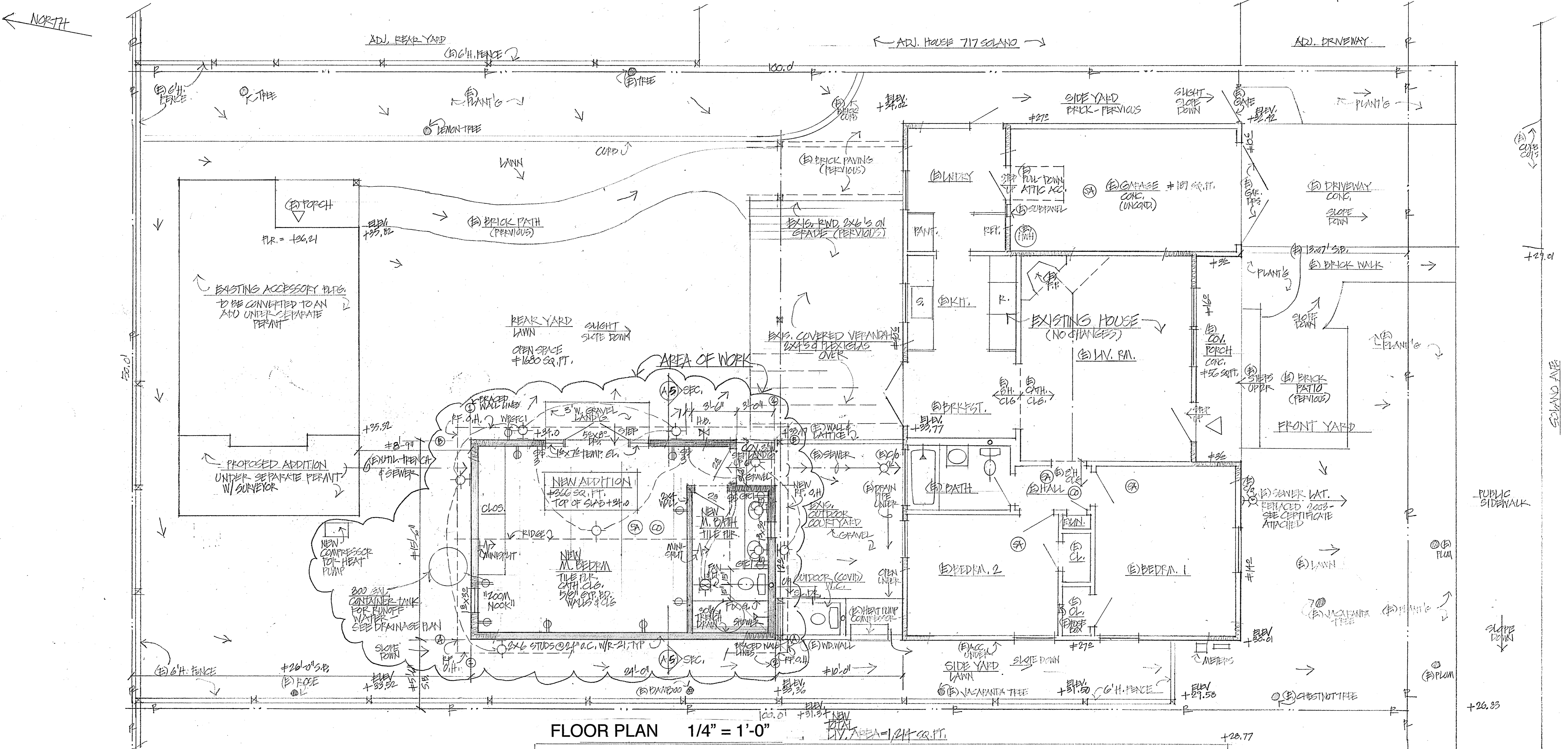
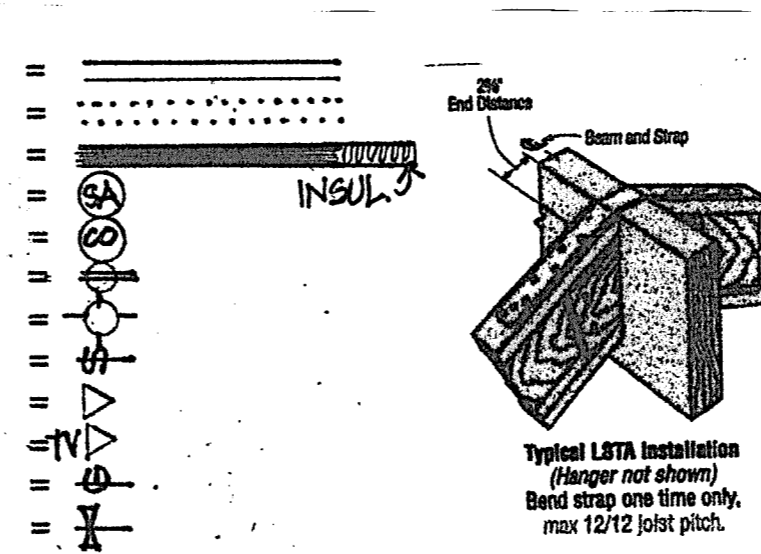
- Public Works Conditions of Approval**
- The applicant shall obtain an encroachment permit from the Engineering Division prior to commencing any construction activities within any public right-of-way or easement.
 - All mud, dirt or construction debris carried off the construction site onto adjacent streets shall be removed each day. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.
 - Any damage to street improvements now existing or done during construction on or adjacent to the subject property shall be repaired to the satisfaction of the City Engineer at the full expense of the applicant. This shall include sidewalk repair, slurry seal, street reconstruction or others, as may be required by the City Engineer.
 - All improvements within the public right-of-way, including curb, gutter, sidewalks, driveways, paving and utilities, shall be reconstructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the Community Development Department and Chapter 14 of the City Code.
 - The existing upper sewer lateral for the subject building shall be brought into compliance with Chapter 15 of the Albany City Code and with all current requirements of the Maintenance and Engineering Division prior to Final Building Inspection.
 - The owner and builder shall comply with all City requirements regarding water pollution prevention, noise control, construction work hours, and archeological discoveries.

Framing to be as per Section 2308 "Conventional Light-Framed Construction"; plywood braced walls to be more than 50% of wall length; assume normal wind loads of 85 mph., soft clayey soils, and Seismic Zone D.

FOR SPECIFICS ON GFCI'S, LIGHTING, W.C. CLEARANCES, AND ALL CODE ITEMS, PLEASE REFER TO "GENERAL NOTES"

LOCATION OF ELEC. LIGHTS, PLUGS, & SWITCHES SHOWN ON PLANS IS FOR GRAPHICAL PURPOSES ONLY - EXACT LOCATION TO BE DECIDED ON SITE

- LEGEND:**
- EXISTING TO REMAIN
 - TO BE REMOVED
 - NEW
 - SMOKE ALARM
 - CARBON MONOXIDE ALARM
 - ELECTRICAL PLUGS
 - LIGHTS
 - SWITCHES
 - TELEPHONE JACK
 - TV/CABLE
 - GAS
 - HOSE BIBB



PROPOSED ADDITION

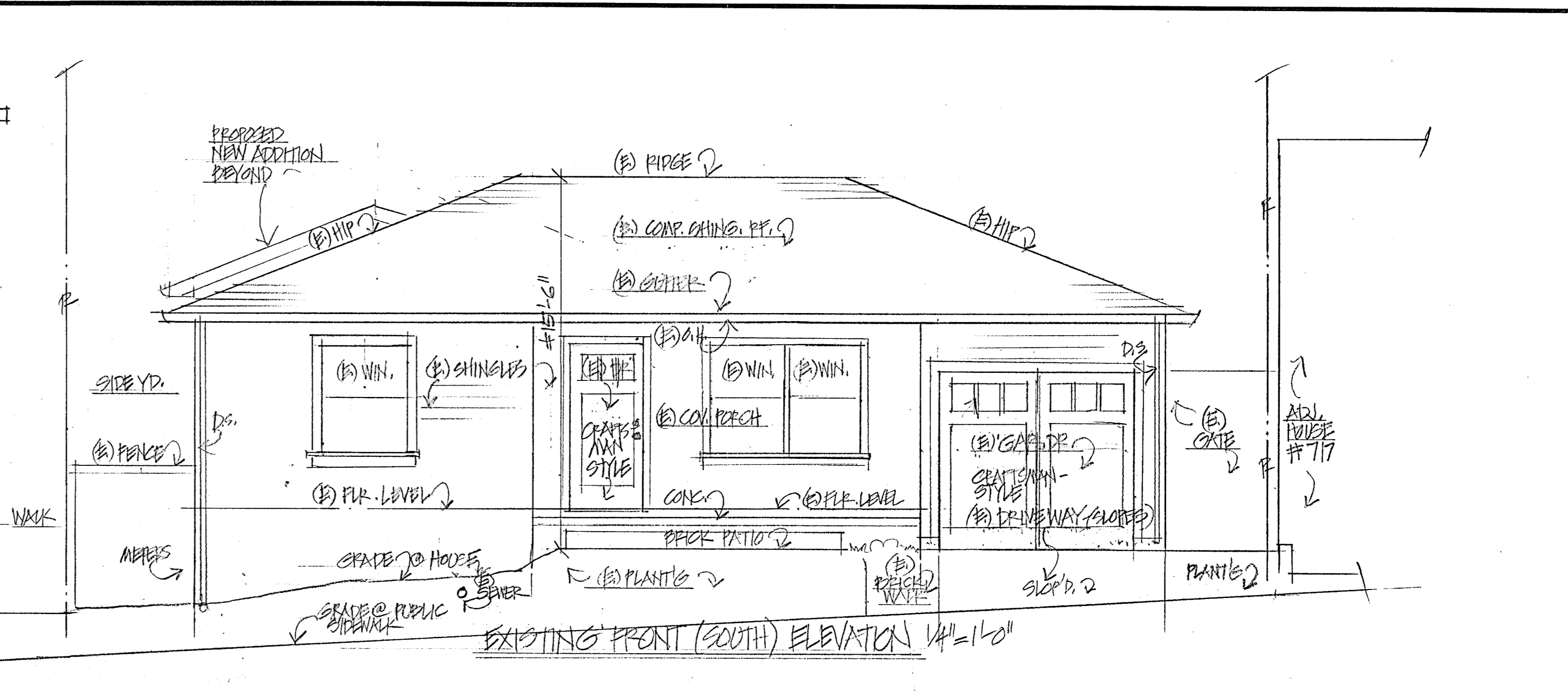
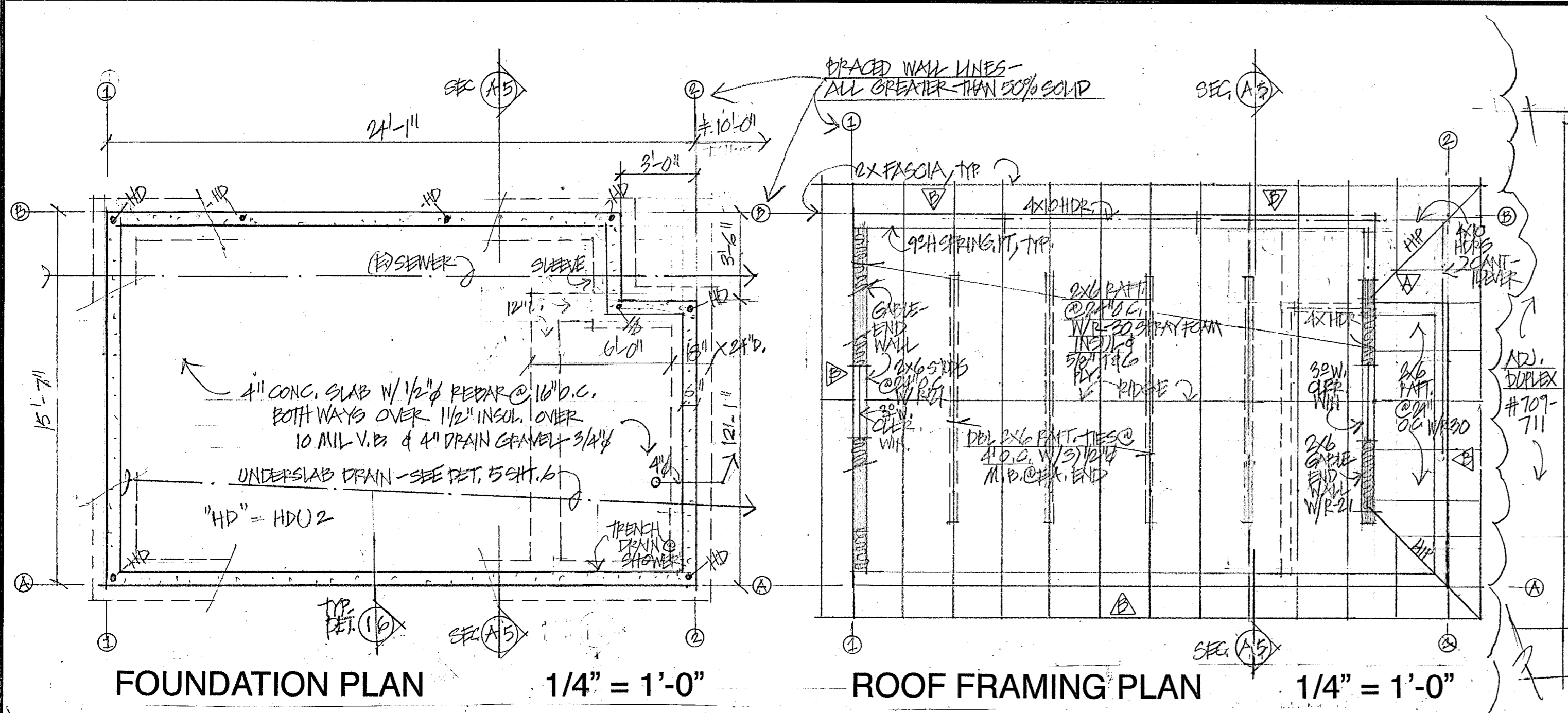
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PROPOSED ONE-STORY BEDROOM-BATH ADDITION
AT EXISTING SINGLE FAMILY RESIDENCE
713 SOLANO AVE. ALBANY
BOGLEY-GRUDZIN LIVING TRUST, OWNER

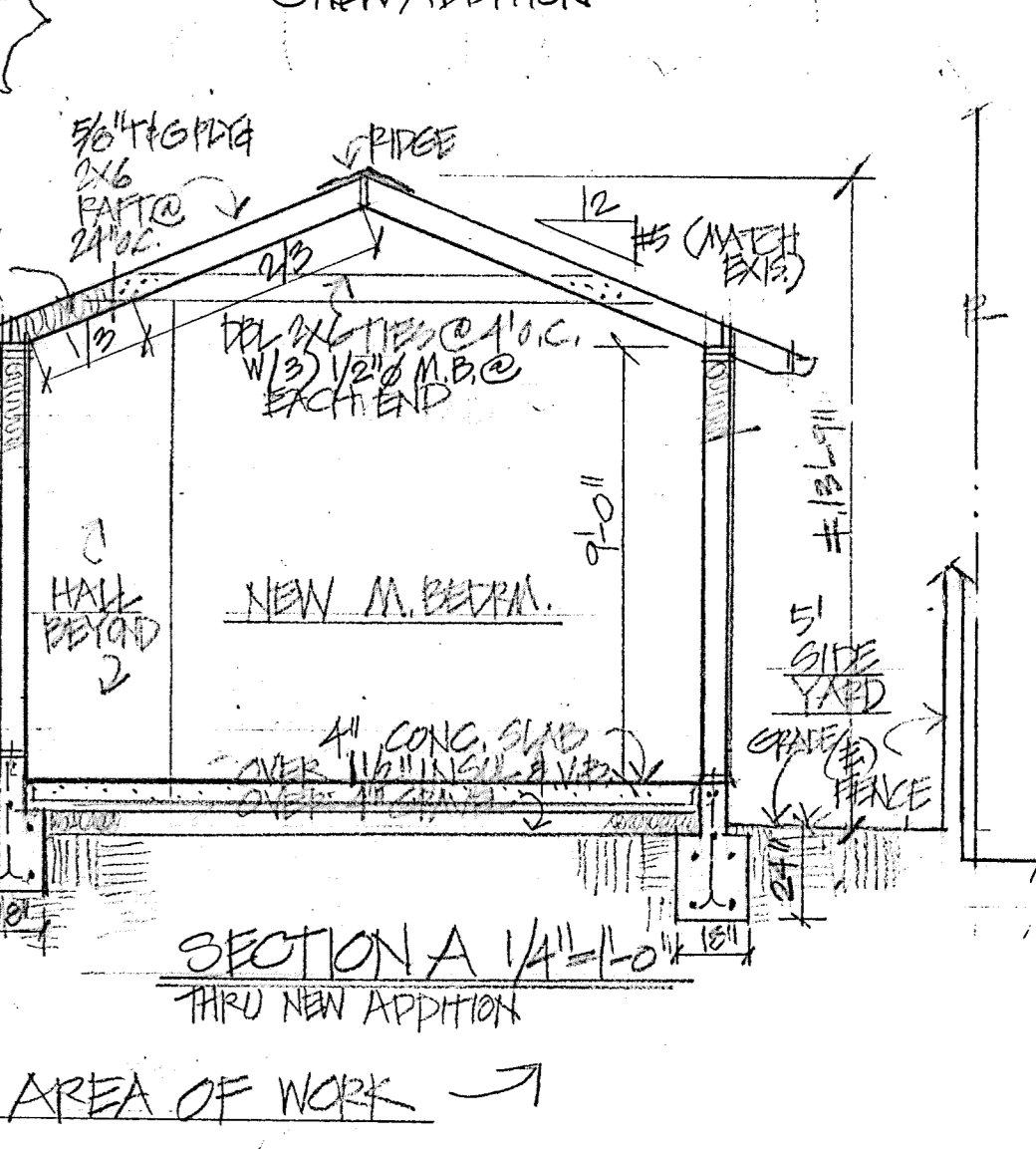
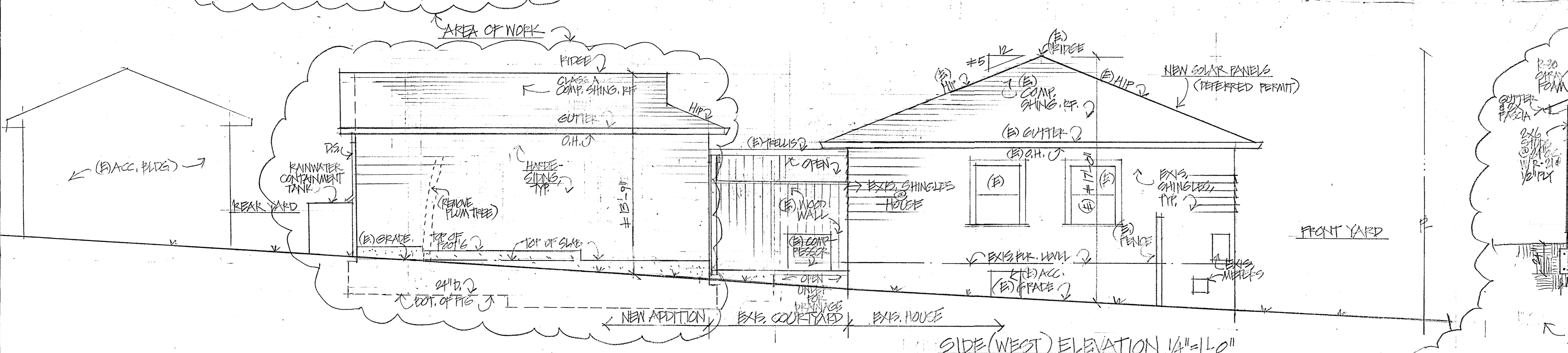
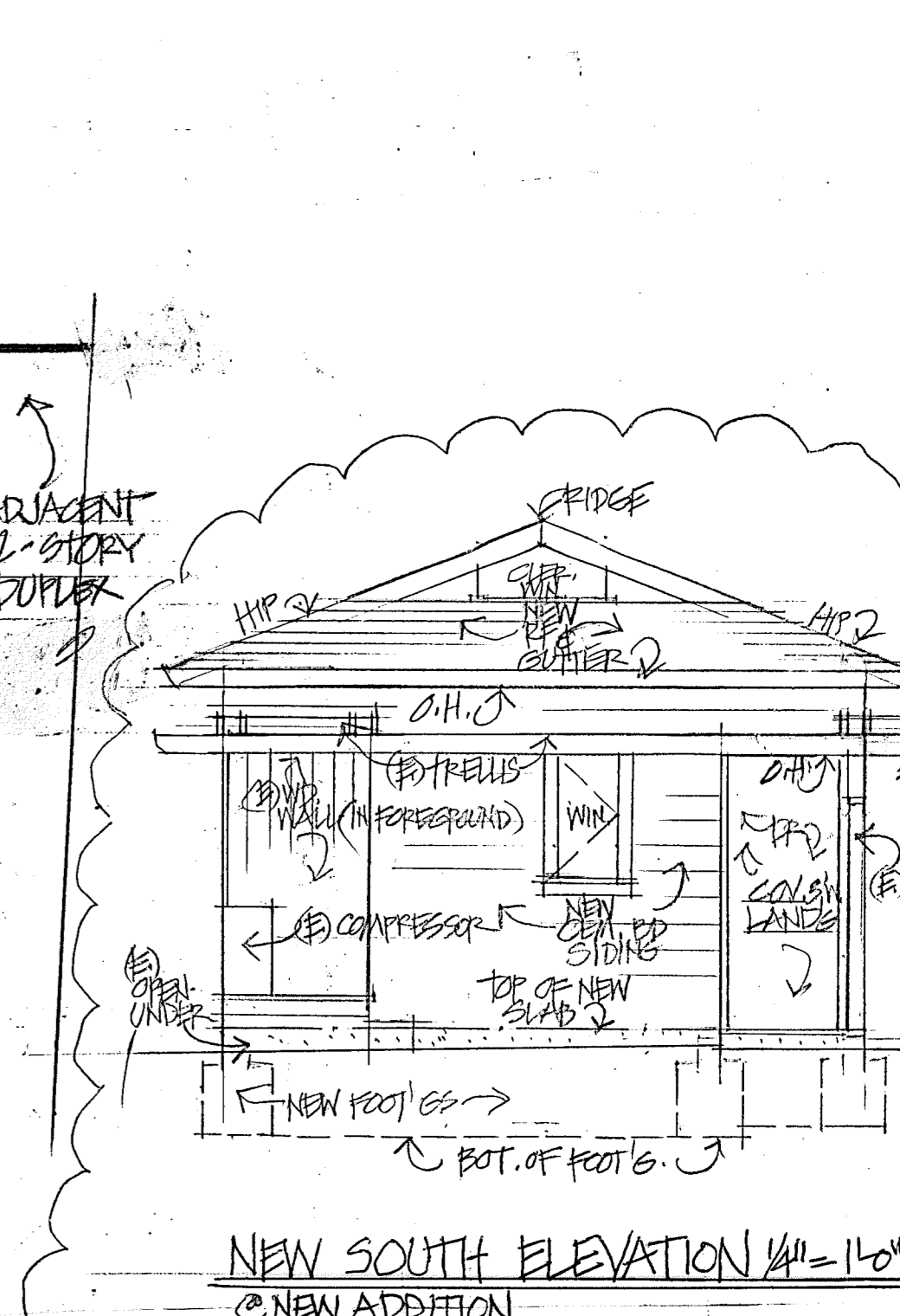
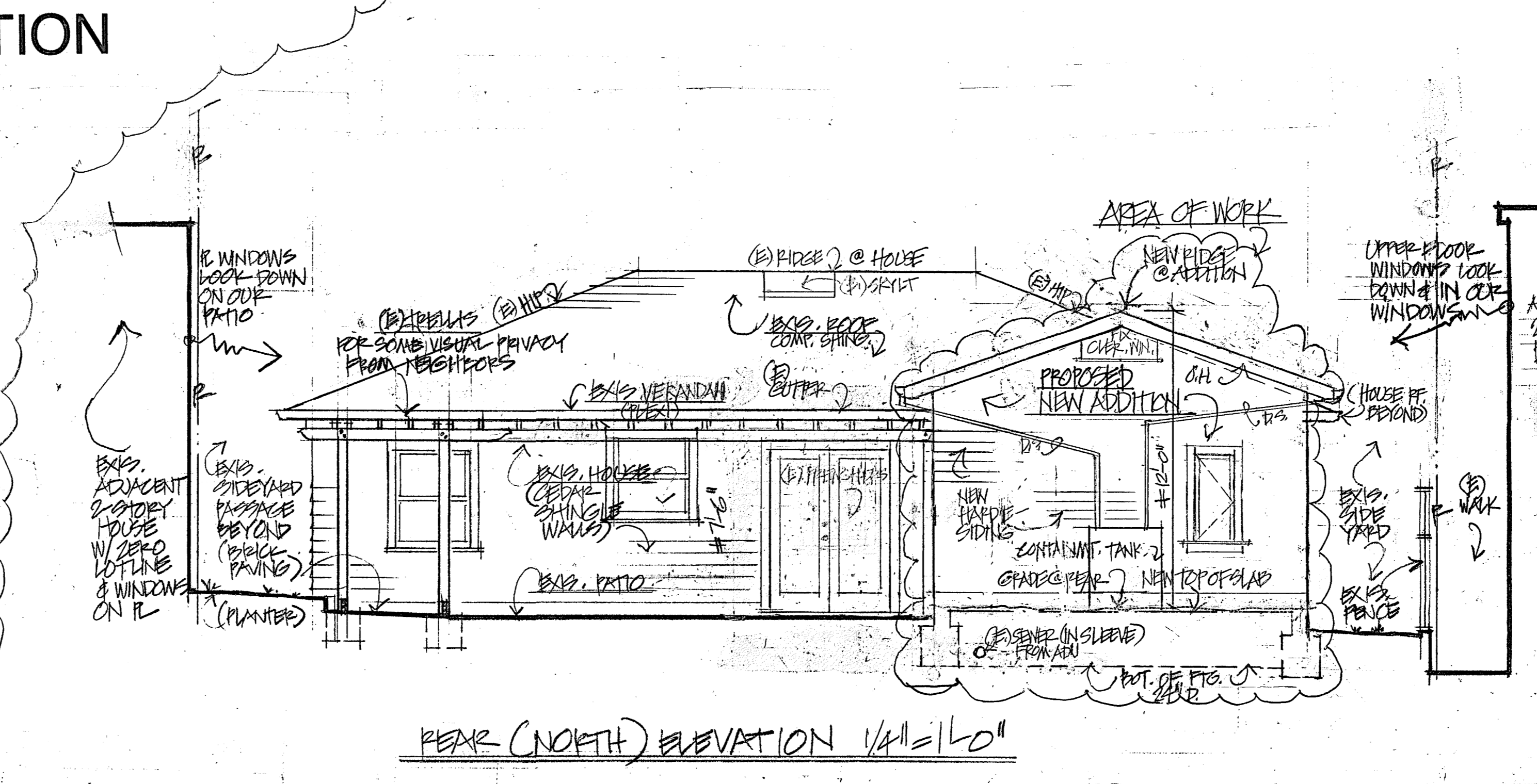
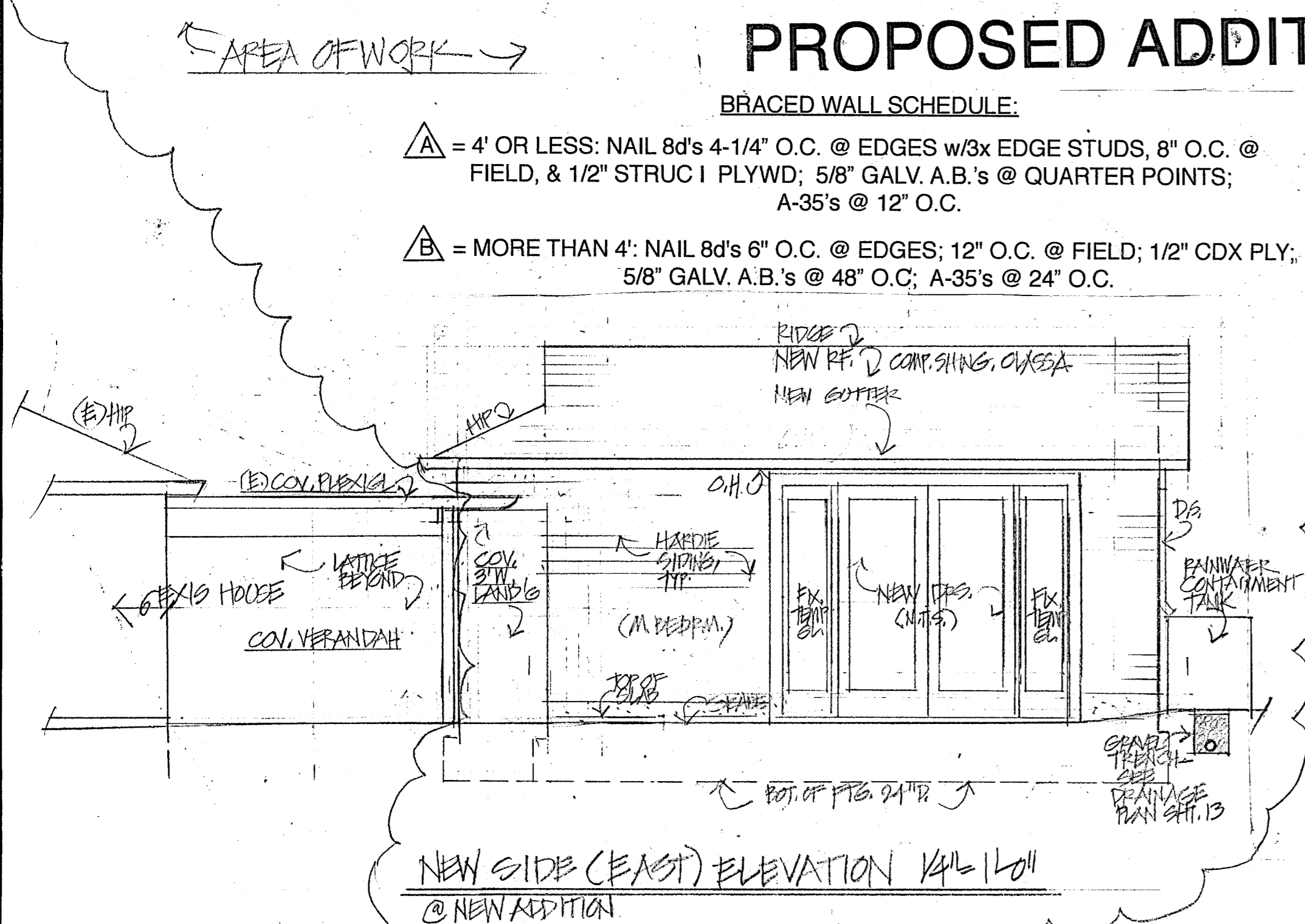
Date: 02 APR. 2022
Scale: 1/4" = 1'-0"
Drawn: [Signature]
Job:
Sheet:
4
Of 6 Sheets

REVISIONS	BY

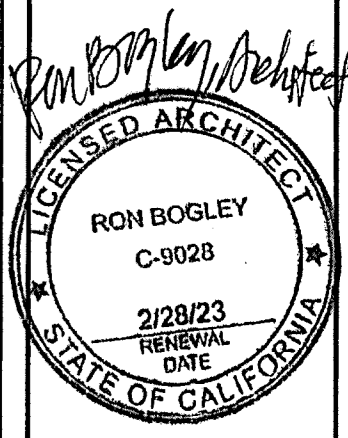


PROPOSED ADDITION

- BRACED WALL SCHEDULE:**
- A** = 4' OR LESS: NAIL 8d's 4-1/4" O.C. @ EDGES w/3x EDGE STUDS, 8" O.C. @ FIELD, & 1/2" STRUC I PLYWD; 5/8" GALV. A.B.'s @ QUARTER POINTS; A-35's @ 12" O.C.
 - B** = MORE THAN 4': NAIL 8d's 6" O.C. @ EDGES; 12" O.C. @ FIELD; 1/2" CDX PLY; 5/8" GALV. A.B.'s @ 48" O.C.; A-35's @ 24" O.C.



Footing trenches to be observed by the geotechnical engineer before setting rebar.
Some local over-excavation and/or re-compaction expected. Prepare slab sub-grade per soil report



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AT EXISTING SINGLE FAMILY RESIDENCE
713 SOLANO AVE. ALBANY
BOGLEY-GRUDZIEŃ LIVING TRUST, OWNER

Date 22 MAR 2022
Scale 1/4" = 1'-0"
Drawn RB
Job
Sheet 5
Of 6 Sheets

REVISIONS	BY

DRAINAGE PLAN 1/4" = 1'-0"

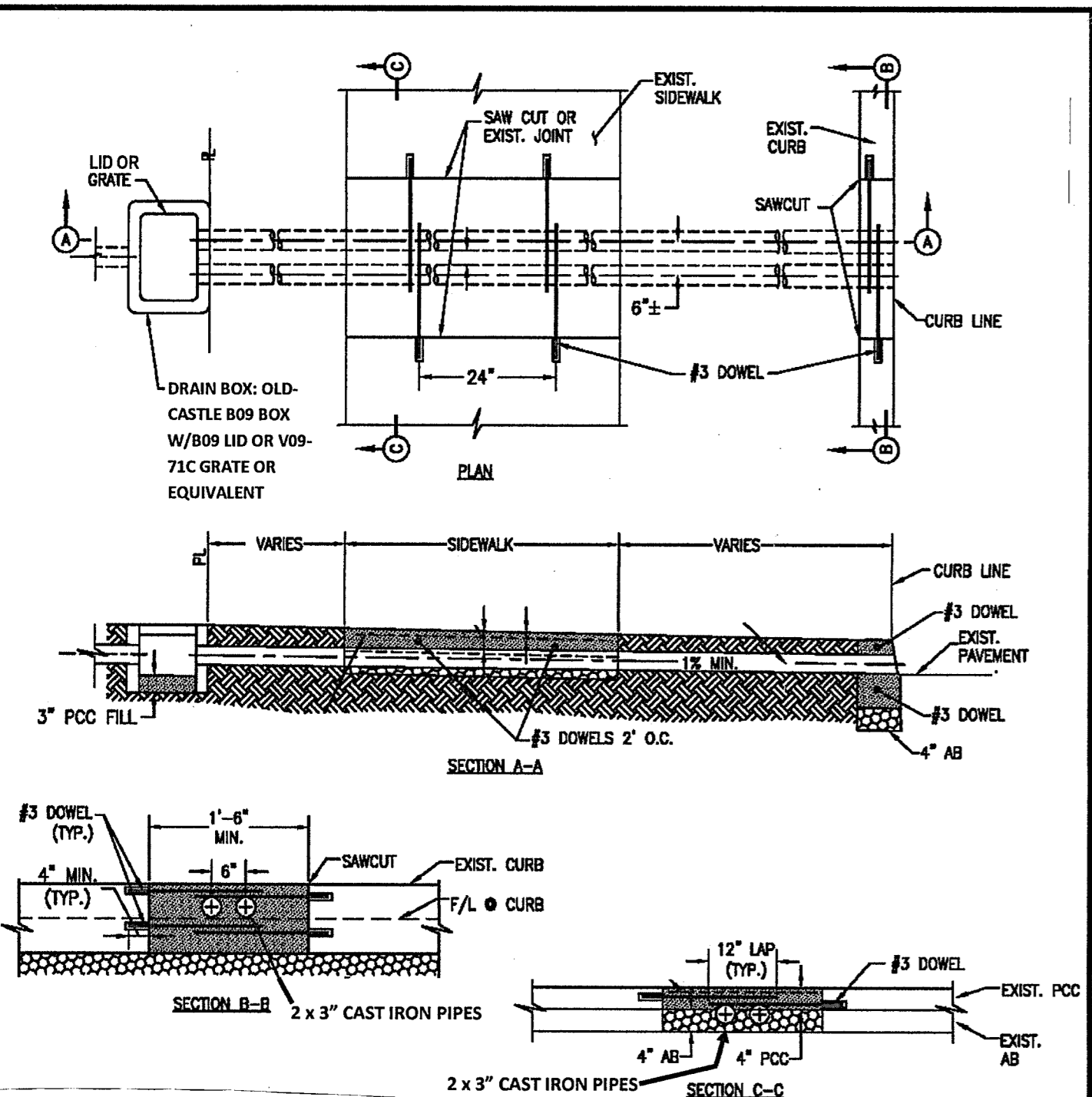
ENTIRE LOT IS PERVIOUS, EXCEPT FOR DRIVEWAY AND BUILDING FOOTPRINTS.

LOT SLOPES +/- 6% STRAIGHT DOWN TO STREET - NO RUNOFF ONTO NEIGHBORING PROPERTIES.

EXISTING FRENCH DRAIN, GRAVEL AND PERFORATED PIPE IS LOCATED ALONG REAR OF EXISTING MAIN HOUSE, WITH DRAIN PIPE TO DISPERSAL IN VEGETATED AREA OF FRONT YARD.

EXISTING DOWNSPOUTS FROM MAIN HOUSE ROOF DRAIN THE SAME.

NOTE: SEE SOILS REPORT - THERE IS SOLID ROCK 4' DEEP WITH A SLIGHT OF WATER FLOWING DOWNHILL OVER IT - PRESUMABLY ALL THE WAY FROM THE TOP OF ADJACENT HILLS. WATER FROM THIS PROPERTY WILL SEEP DOWN AND JOIN THAT UNDERGROUND WATER, UNMIXEDLY



NOTES

1. Cross-sidewalk pipes to be 2 x 3" cast iron pipes.
2. Min. 2" separation between drain pipes.
3. Drain box to be located on private property.
4. Concrete mix to include 1 lb. lampblack per cubic yard.
5. Install 6" x 6" welded wire mesh over pipes in sidewalk, if depth allows.

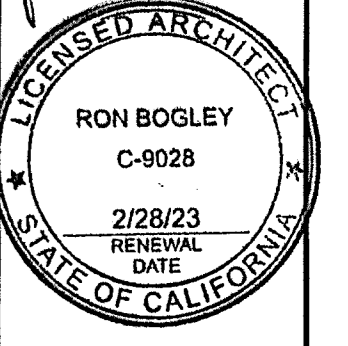
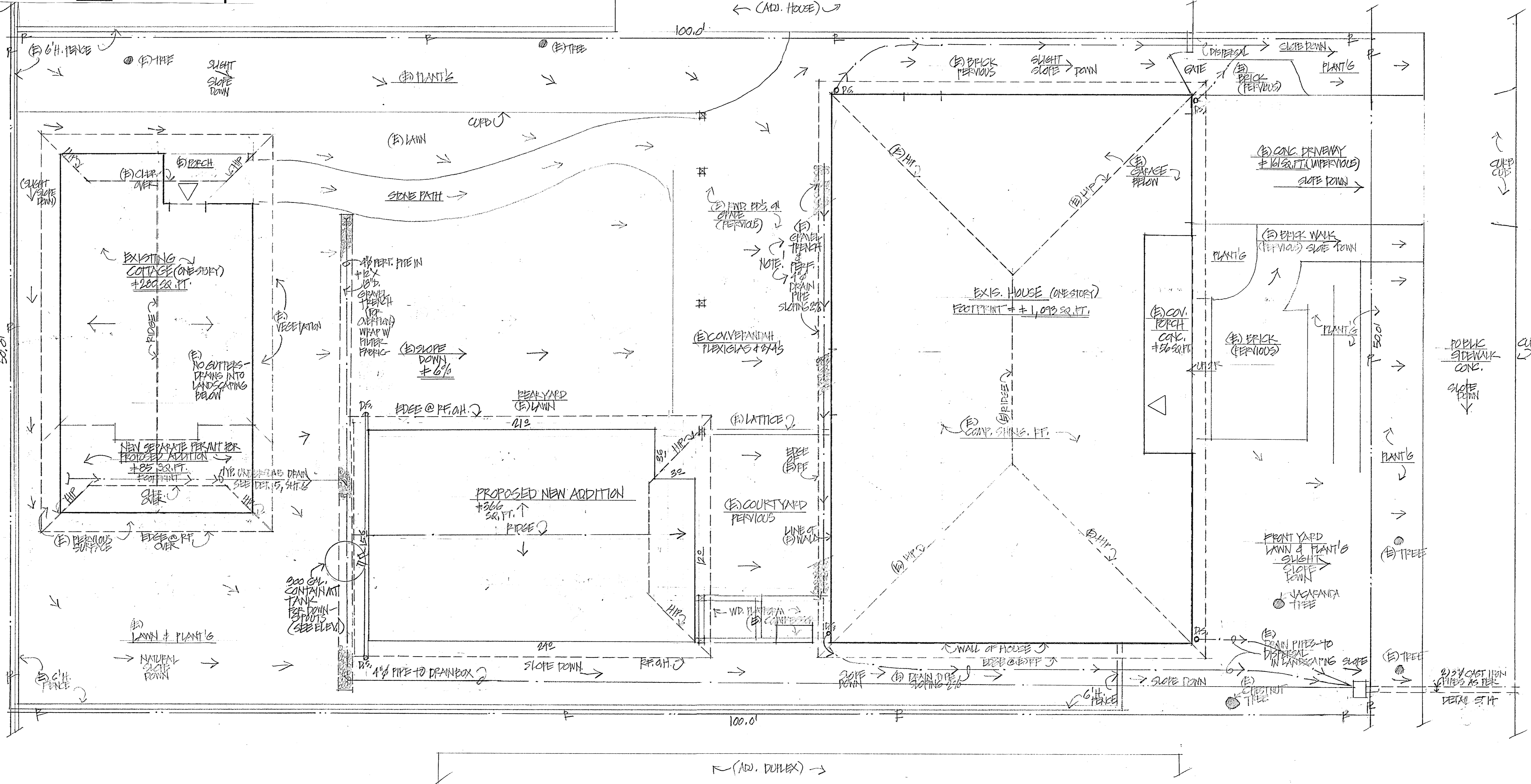
SCALE: NTS

CITY OF ALBANY, CALIFORNIA STANDARD DETAIL

SIDEWALK DRAIN RESIDENTIAL LOTS

STD DETAIL No. ST 14

Public Works/ST14 Temp Working Update by CD Staff - 4/16/19



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PROPOSED CONVERSION OF ACCESSORY BUILDING TO ADU AT EXISTING SINGLE-FAMILY RESIDENCE
 713 SOLANO AVE. ALBANY
 BOGLEY-GRUDZIEŃ LIVING TRUST, OWNER

Date	22 MAR 2022
Scale	1/4" = 1'-0"
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