

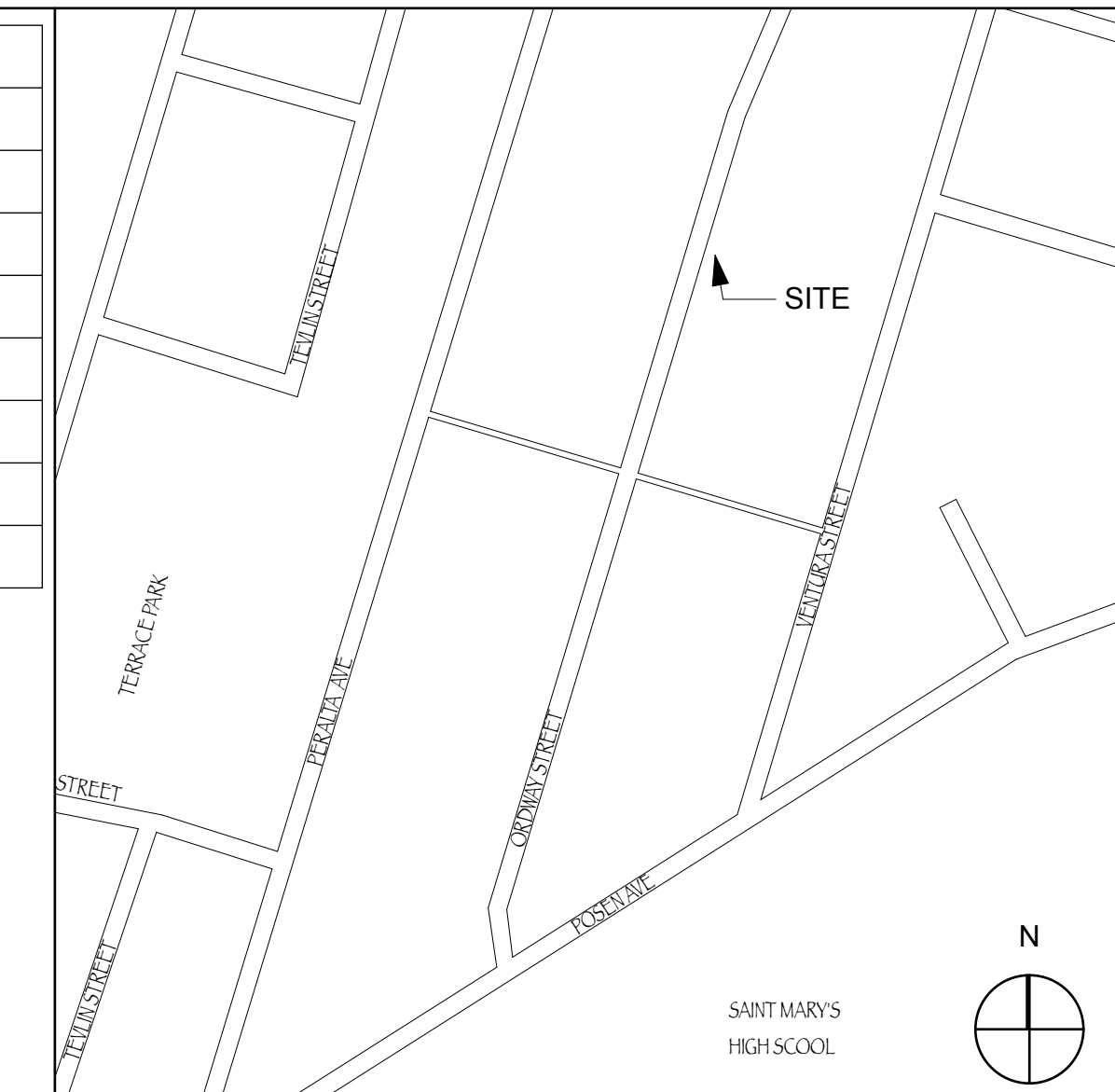
- ◊S1 (E) GARAGE BELOW MAIN FLOOR.
- ◊S2 (E) DRIVEWAY CURB CUT TO REMAIN.
- ◊S3 (E) CONC STEPS TO REMAIN.
- ◊S4 (E) FENCE TO REMAIN.
- ◊S5 (N) CONCRETE PATIO.
- ◊S6 (E) GAS METER LOCATION.
- ◊S7 (E) ELECTRICAL METER.
- ◊S8 (E) WATER METER.
- ◊S9 (E) CITY SIDEWALK TO REMAIN.
- ◊S10 (E) LANDSCAPE AREA.
- ◊S11 (E) DOWNSPOUT TO (N) CHRISTIE BOX PER CITY DETAIL ST-14.
- ◊S12 (N) DOWNSPOUT TO (N) CHRISTIE BOX PER CITY DETAIL ST-14.

- ◊S13 (N) CHRISTIE BOX PER CITY DETAIL ST-14.
- ◊S14 (E) SANITARY SEWER .
- ◊S15 (E) REAR RETAINING WALL.
- ◊S16 (N) 30" HIGH CONCRETE RETAINING WALL.
- ◊S17 (E) CONCRETE WALKWAY.
- ◊S18 (E) CONCRETE RETAINING WALL BY NEIGHBOR.
- ◊S19 (E) DOWNSPOUT
- ◊S20 (N) DOWNSPOUT

DATA		APN: 065-2644-027	
LOT SIZE:	3,675 SF	LOT COVERAGE	FAR
EXISTING FLOOR AREA	1,084 SF		
EXISTING GARAGE-BASEMENT	240 SF *		
TOTAL EXISTING	1,324 SF		36.0%
NEW FLOOR AREA	589 SF		
NEW FLOOR + EXISTING AREA	1,913 SF	52.0%	52.0%
TOTAL ADJUSTED*	1,633 SF**	44.4%	50.9%

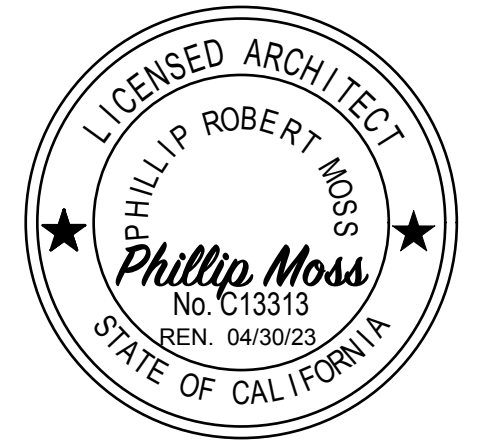
* NOT COUNTED IN LOT COVERAGE BECAUSE IT IS BELOW MAIN FLOOR.
 ** MINUS 220 SF FAR FOR GARAGE AND 60 SF FOR STAIRS.

SETBACKS	EXISTING	NEW
FRONT	15.2'	NC
NORTH SIDE	3.5'	NC
SOUTH SIDE	6.2'	4'-0"
REAR	41'-3"	21'-0"



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 N.C.A.R.B. ARCHITECT

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 912 SANTA FE AVE
 ALBANY, CA 94706-2021
 PHONE: 510.282.5404
 FAX: 510.526.4326



KEYNOTES D

PLANNING CALCULATIONS C

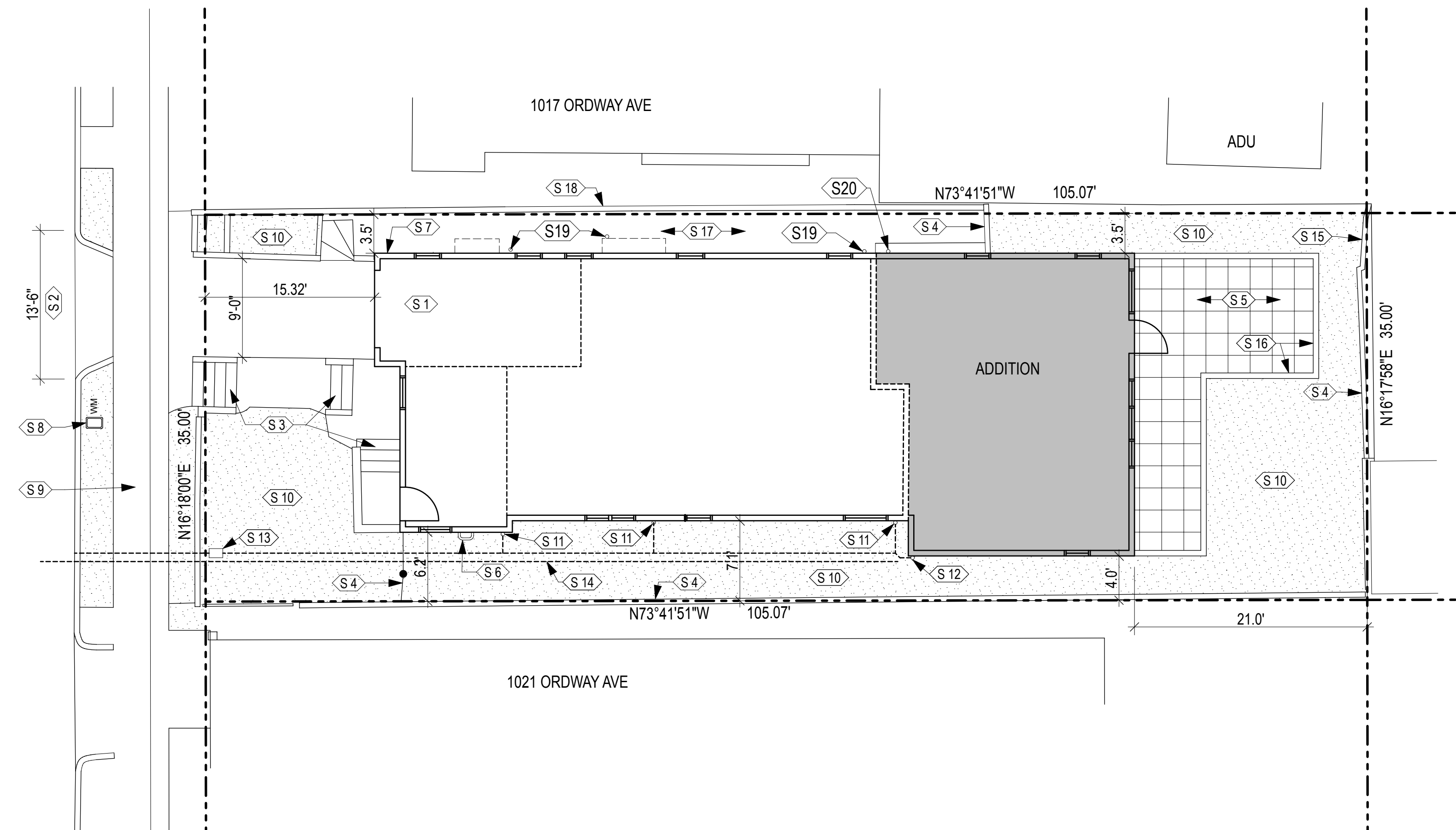
VICINITY MAP B

- A0.0 SITE PLAN, PLANNING DATA, INDEX
- A0.1 SURVEY
- A1.0 NEW AND EXISTING MAIN FLOOR PLANS
- A2.0 EXISTING BASEMENT, NEW ROOF PLAN
- A3.0 NEW AND EXISTING SOUTH EXTERIOR ELEVATION
- A3.1 NEW AND EXISTING NORTH EXTERIOR ELEVATION
- A3.2 NEW AND EXISTING EAST AND WEST EXTERIOR ELEVATION
- A4.0 SECTIONS
- A5.0 PERSPECTIVES
- A6.0 PHOTOGRAPHS

INDEX G

ADD A SINGLE STORY 589 SF ADDITION TO THE REAR OF THE EXISTING SINGLE FAMILY HOME. NEW ADDITION TO INCLUDE A NEW PRIMARY BEDROOM, PRIMARY BATHROOM, AND A FAMILY ROOM

SCOPE OF WORK F



- G

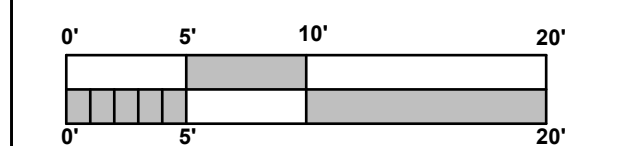
SITE PLAN SCALE: 1/8" = 1'-0" A

**ADDITION TO:
 T.J. AND KRISTIN WARRNER
 1019 Ordway Ave
 Albany, CA 94706
 APN 065-2644-027**

SHEET
 • VICINITY MAP
 • SITE DATA
 • SITE PLAN

Date 10-3-2022
 Revisions
 1 -

Scale
 24x36 = 1/8" = 1'-0"
 11x17 = 1/16" = 1'-0"



Sheet Number

A0.0

MANOR WAY (10' WIDE)

MAP OF KEY ROUTE TERRACE NUMBER 2 BLOCK 4 (21 M 52)

ORDWAY STREET (FORMERLY ORDWAY AVENUE) (60' WIDE)

24

NICHOLS TRUST (2022-029816) PARCEL AREA = 3,677± SQ. FT.

MORANDIN TRUST (2001-069405)

HEYDARI-ASGARI TRUST (2015-005673)

ANTHONY TRUST (2011-260424)

PROPER TRUST (2005-313063)

PTASZYNSKI & COBB (2001-252011)

11

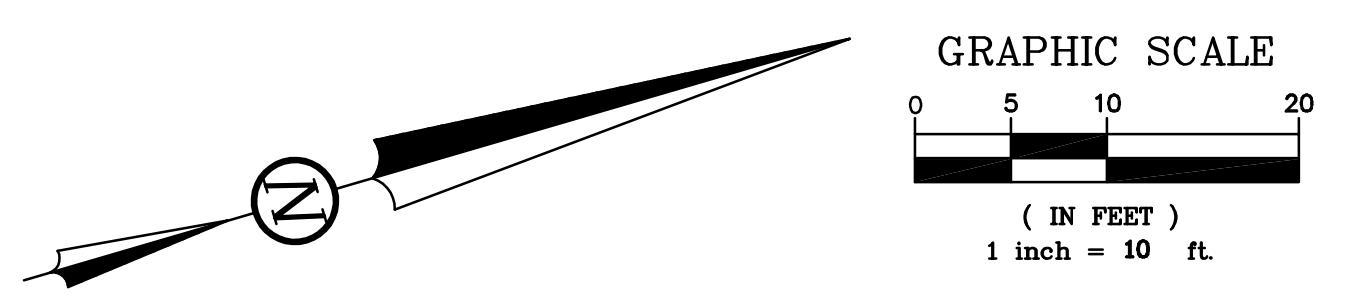
10

9

8

7

6



OWNER: BETTY ALDENE LIVING TRUST 1019 ORDWAY STREET ALBANY CA 94706

BASIS OF BEARINGS: MONUMENT LINE IN ORDWAY STREET PER CITY OF ALBANY MON MAP 2 BEARING: N16°18'00"E

BENCHMARK: ALL ELEVATIONS SHOWN HEREON ARE BASED UPON ASSUMED DATUM.

MAP REFERENCES: R1 MAP OF KEY ROUTE TERRACE NO. 2 (21 M 52) R2 MAP OF NORTHBRAE (21 M 6) R3 CITY OF ALBANY MONUMENT MAP 2

SURVEYOR'S STATEMENT: THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA LAND SURVEYORS ACT ON 04/29/2022.

LEGEND table with symbols for FOUND CITY MONUMENT AS NOTED, FOUND NAIL & TAG AS NOTED, RECORD DATA, BUILDING FOOTPRINT, CONCRETE, ASPHALT, ADJACENT BUILDING CORNER, BUILDING CORNER, TOP OF CURB, CONCRETE, DRIVEWAY, ELECTRIC METER, FENCE, FIRE HYDRANT, FLOW LINE, GAS METER, GATE POST, GROUND SHOT, JOINT POLE, PAVEMENT, PROPERTY LINE, SANITARY SEWER MANHOLE, STAIRS, DIAMETER OF TREE (INCHES), TOP OF CONCRETE, TREE WELL, TOP OF WALL, BACK OF SIDEWALK, WATER METER.

ADJACENT PARCEL/LOT LINE, HISTORIC PARCEL/LOT LINE, MONUMENT LINE, SUBJECT PROPERTY, TIE LINE



Keith A. Bush, KEITH S. BUSH, L.S. 8494, DATE: 06/03/2022

BOUNDARY & TOPOGRAPHIC SURVEY

THAT REAL PROPERTY DESCRIBED IN THAT CERTAIN DEED RECORDED ON FEBRUARY 07, 2022 SERIES NO. 2022-029816; ALSO BEING LOT 24, BLOCK 3, MAP OF KEY ROUTE TERRACE NO. 2 (21 M 52) ALBANY, ALAMEDA COUNTY, CALIFORNIA JUNE, 2022 SCALE 1" = 10'

BAY AREA LAND SURVEYING INC.

3065 RICHMOND PARKWAY, SUITE 101 RICHMOND, CA 94806 (510) 223-5167

A0.1

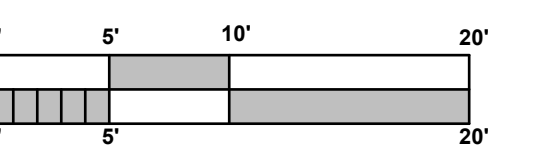


**ADDITION TO:
T.J. AND KRISTIN WARRNER
1019 Ordway Ave
Albany, CA 94706
APN 065-2644-027**

SHEET
• BASEMENT
• 1st FLOOR PLAN

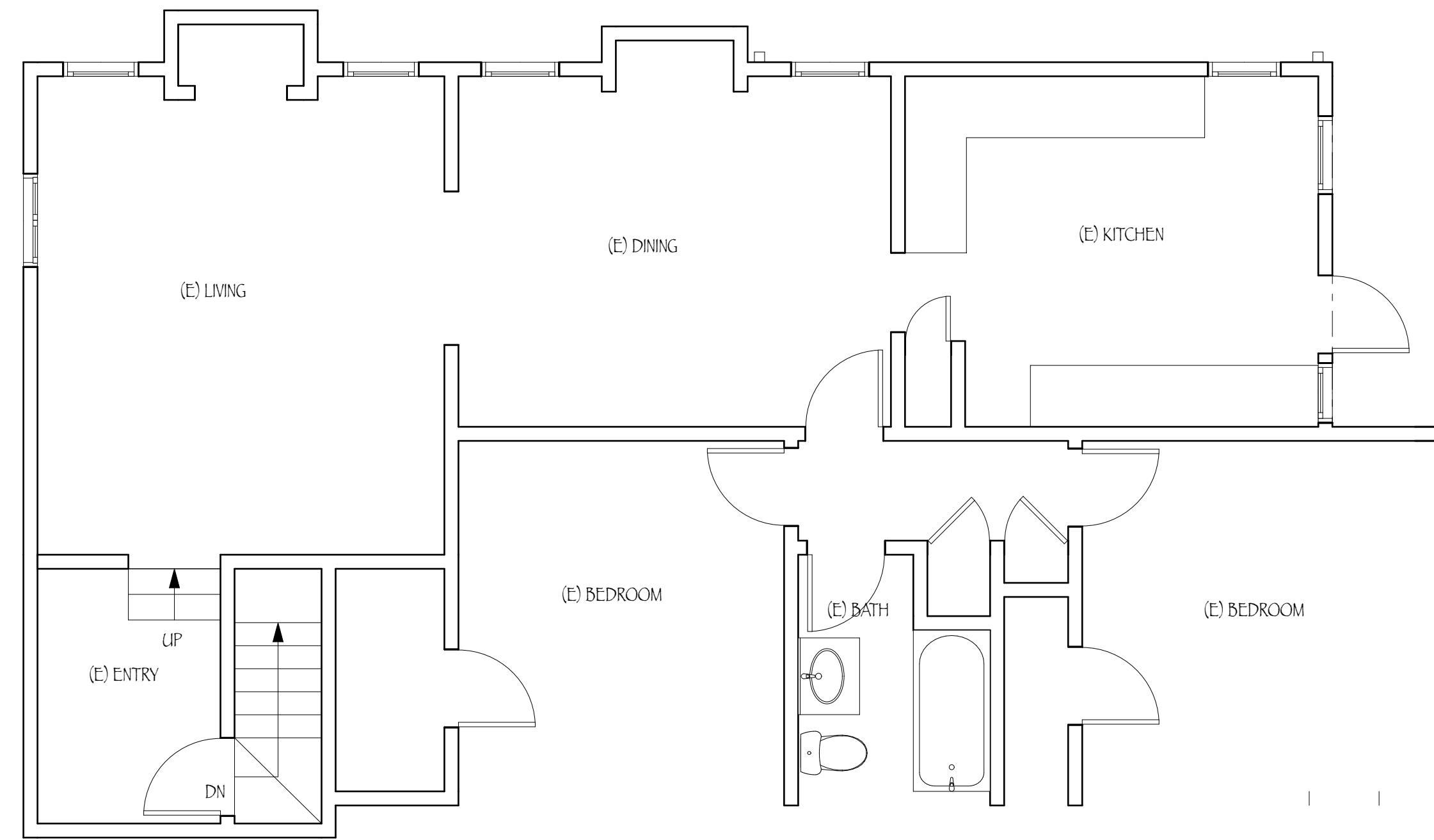
Date 10-3-2022
Revisions 1 -

Scale
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11x17 = 1/8" = 1'-0"

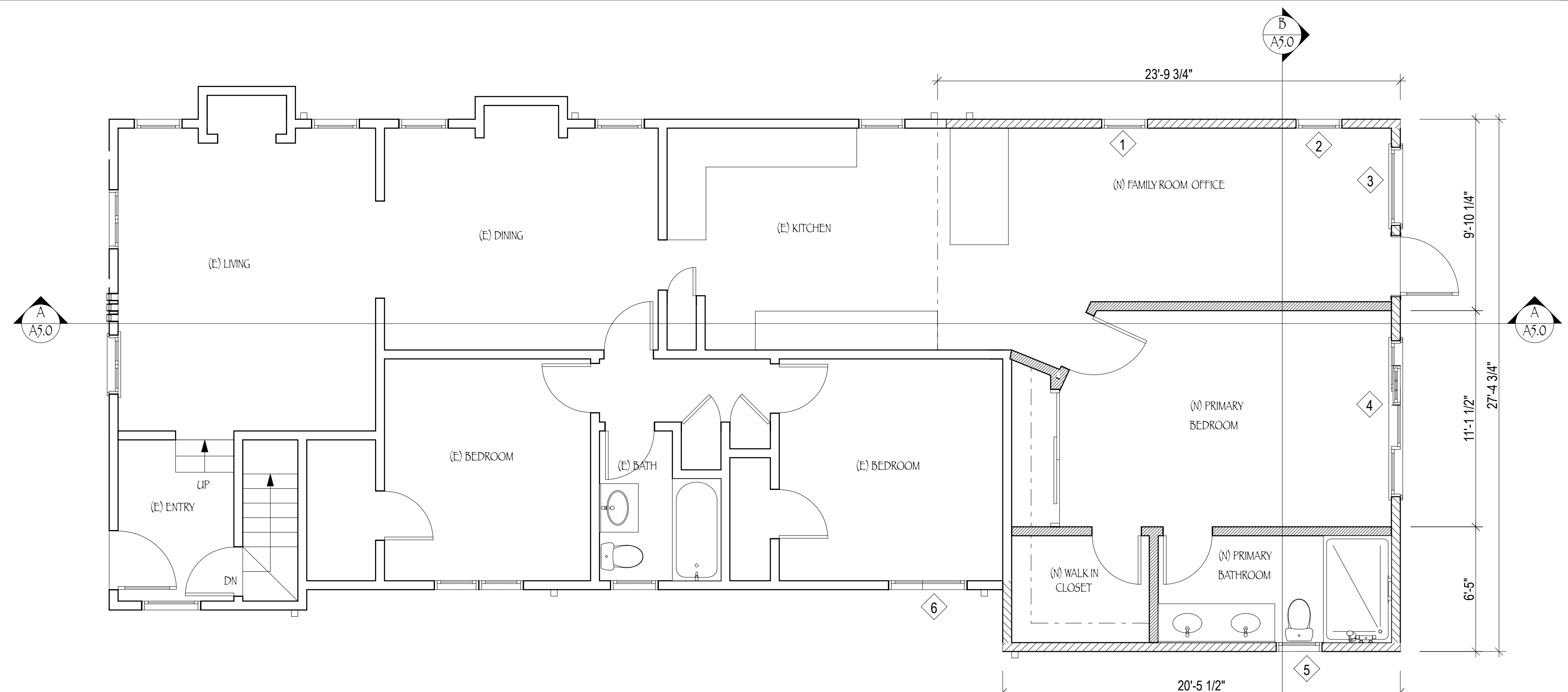


Sheet Number

A1.0



EXISTING FLOOR PLAN SCALE: 1/4" = 1'-0" 1



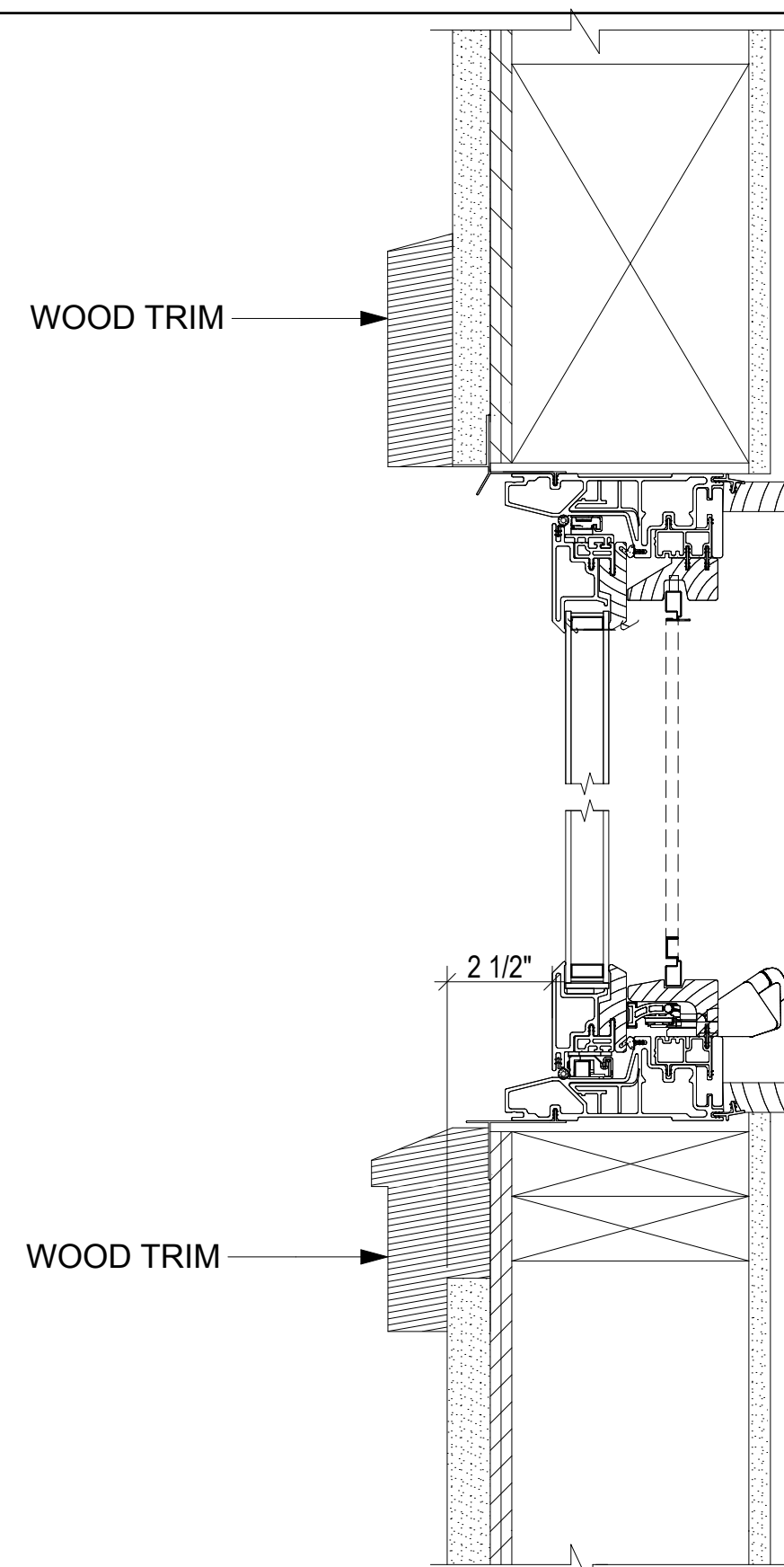
NEW FIRST FLOOR PLAN SCALE: 1/4" = 1'-0" 2

KEYNOTES A

KEY TO WALLS

- EXISTING WALL TO REMAIN
- NEW 2x6 STUDS @16" OC WITH R-19 BATT INSULATION EXTERIOR 7/8" CEMENT PLASTER
- NEW 2x6 STUDS @16" OC WITH 5/8" GYP BOARD BOTH SIDES

WALL SCHEDULE B

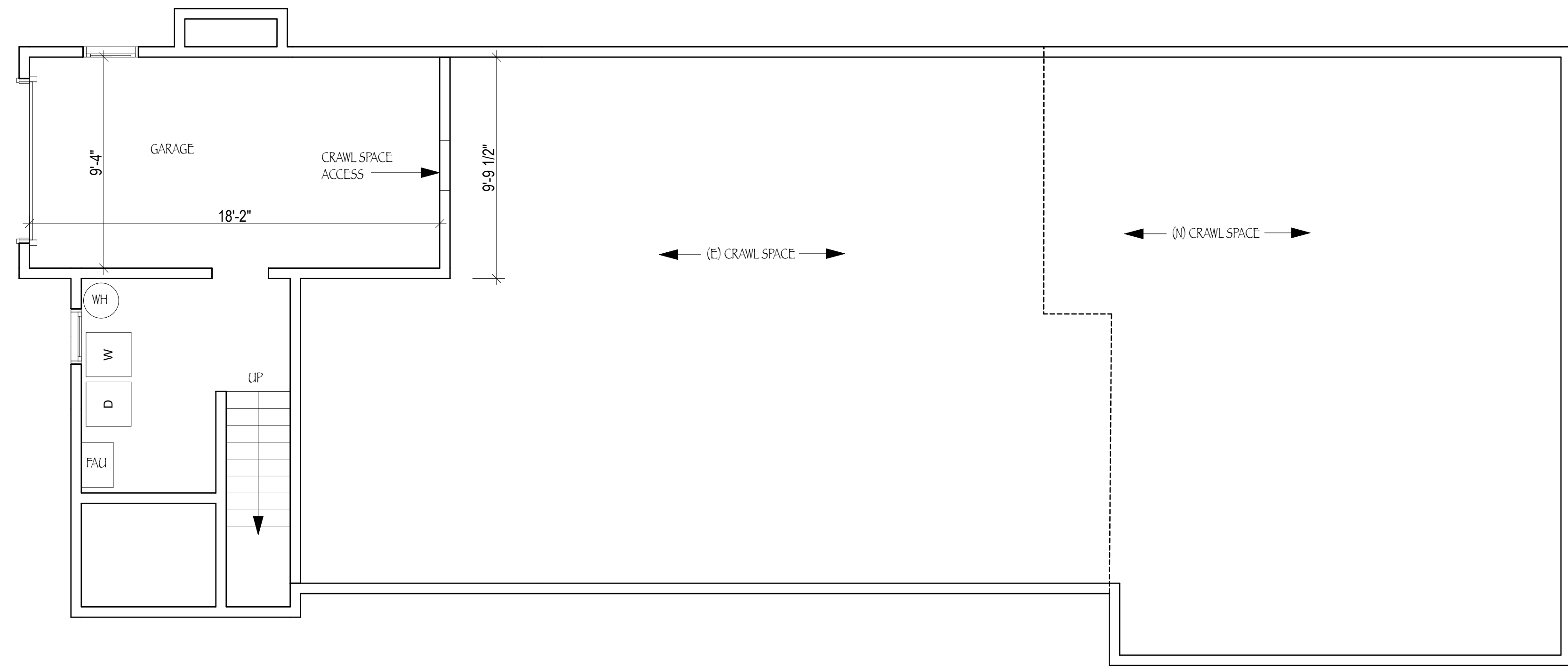


TYPICAL WINDOW DETAIL SCALE: 3" = 1'-0" C

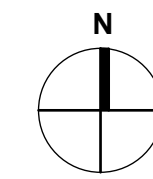
NO.	SIZE	TYPE	GLAZING	NOTES	FRAME	U-FACTOR*	SHGC*	VT
1	2'-4" x 4'-3"	DBL HUNG	DBL PANE	-	METAL CLAD	.32	.40	.60
2	2'-4" x 4'-3"	DBL HUNG	DBL PANE	-				
3	4'-0" x 4'-3"	DBL HUNG	DBL PANE	-				
4	8'-0" x 5'-0"	DBL HG FIXED	DBL PANE	ESCAPE WINDOW				
5	2'-4" x 4'-3"	DBL HUNG	DBL PANE	OBSCURE				
6	4'-0" x 4'-3"	DBL HUNG	DBL PANE	ESCAPE WINDOW				

* MINIMUM REQUIRED RATING.
NOTE: VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION.

WINDOW SCHEDULE D

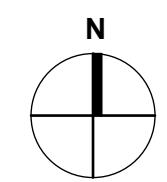
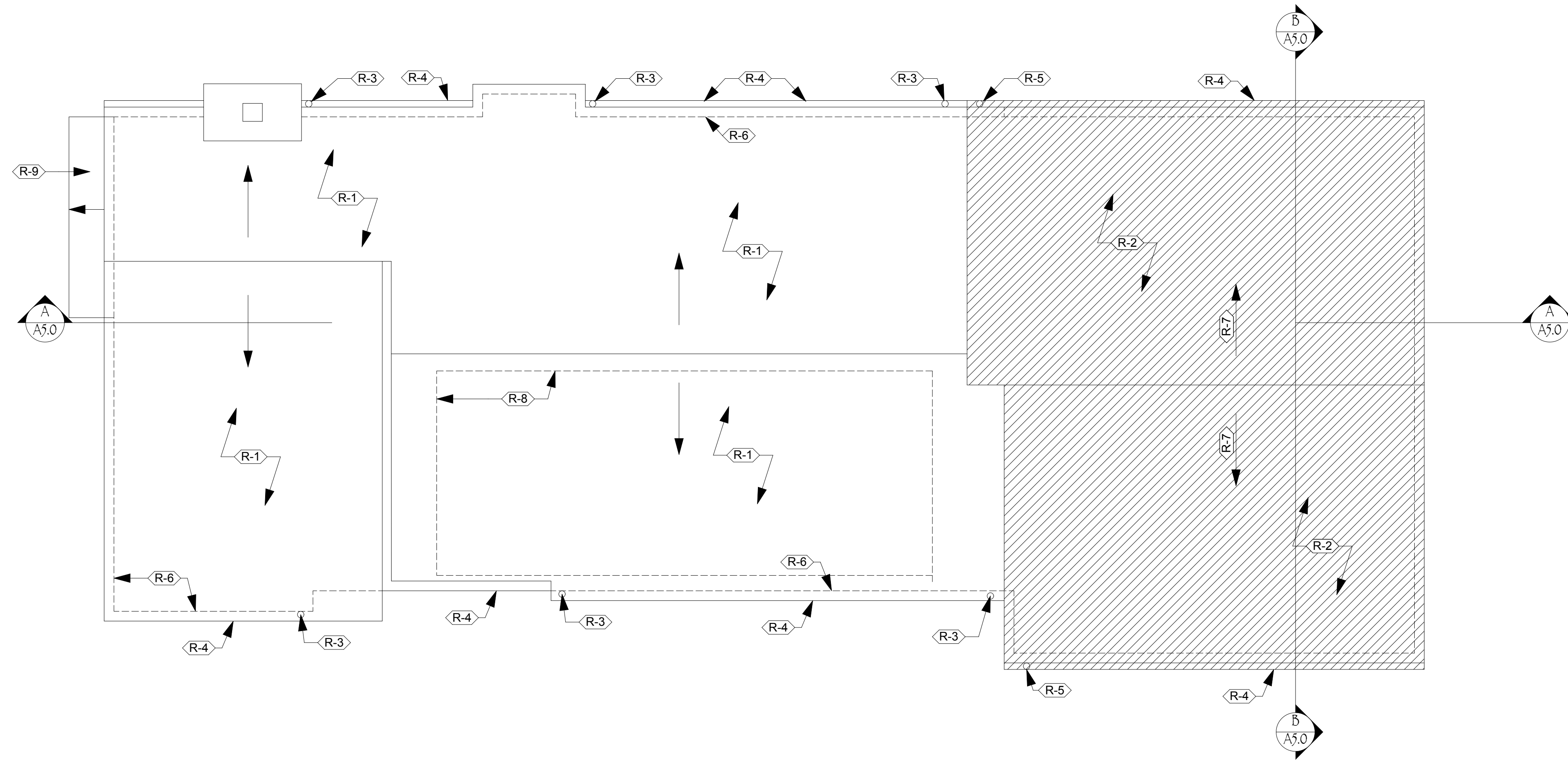


- R-1** (E) ROOF, REPLACE WITH (N) ROOF.
- R-2** (N) ROOF TO MATCH (E) ROOF
- R-3** (E) GSM DOWNSPOUTS TO (E) TIGHTLINE SYSTEM
- R-4** (N) PAINTED GSM GUTTERS.
- R-5** (N) GSM DOWNSPOUTS TO (E) TIGHTLINE SYSTEM
- R-6** LINE OF EXTERIOR WALL.
- R-7** ALL (N) ROOF SLOPES TO MATCH (E) ROOF SLOPES.
- R-8** (N) SOLAR PANELS
- R-9** (E) TILE ROOF TO REMAIN.



EXISTING BASEMENT SCALE: 1/4" = 1'-0" **1**

KEYNOTES **A**



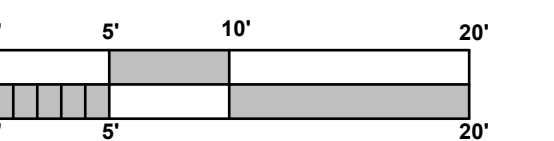
NEW ROOF PLAN SCALE: 1/4" = 1'-0" **2**

ADDITION TO:
T.J. AND KRISTIN WARRNER
1019 Ordway Ave
Albany, CA 94706
APN 065-2644-027

SHEET
• BASEMENT PLAN
• ROOF PLAN

Date	10-3-2022
Revisions	1 -

Scale

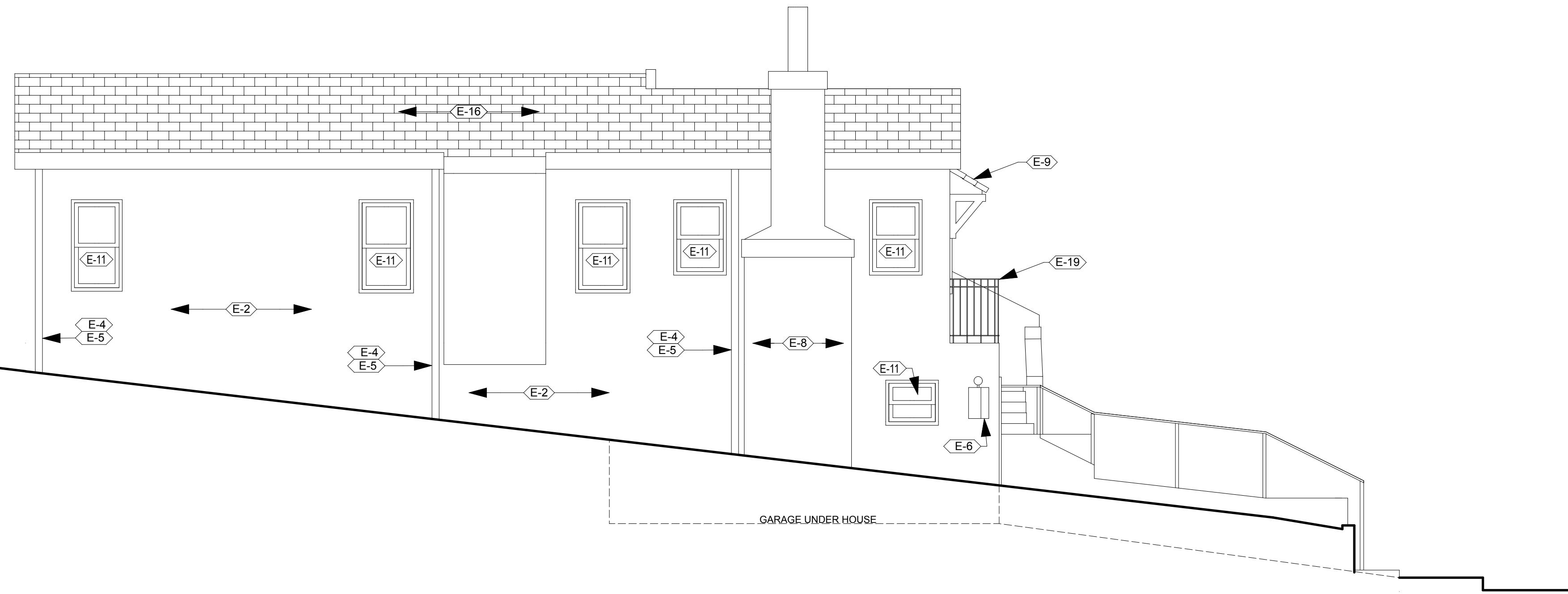


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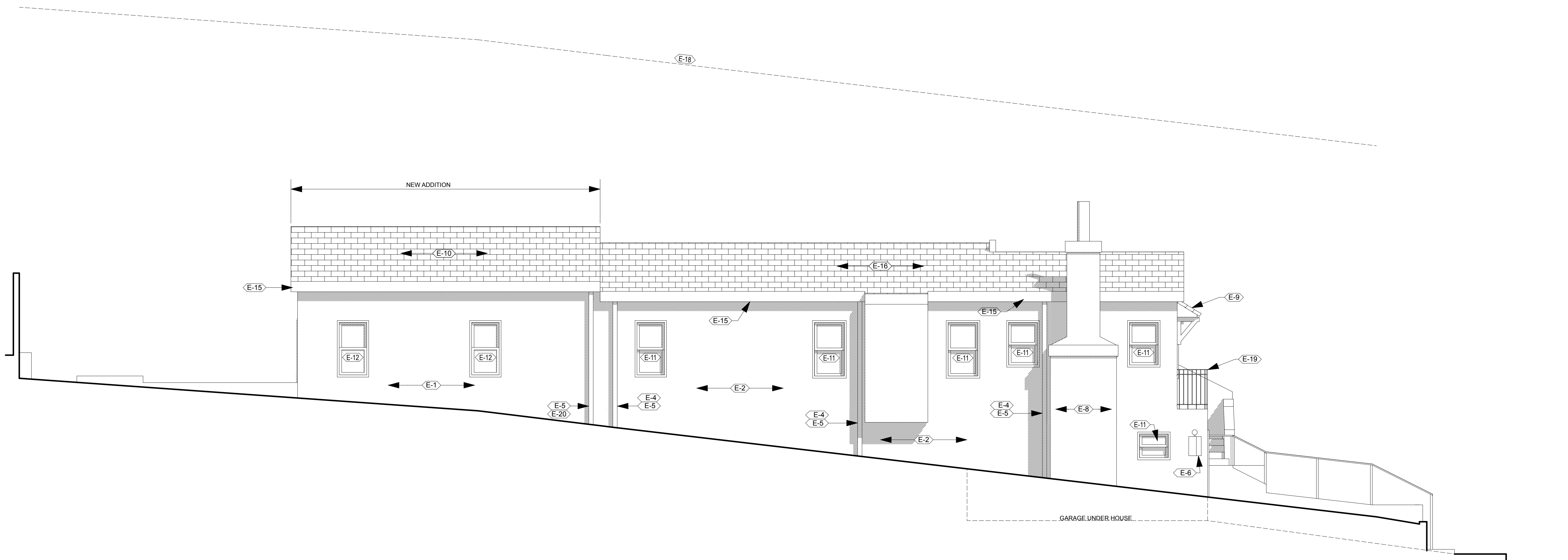


- ◻E-1 (N) 3-COAT CEMENT PLASTER W/SELF FURRING METAL LATH O/2 LAYERS MIN D BUILDING PAPER OR EQUAL. PER
- ◻E-2 (E) CEMENT PLASTER OVER (E) FRAMING
- ◻E-3 (E) CONCRETE STEPS.
- ◻E-4 (E) DOWNSPOUT TO BE REMAIN.
- ◻E-5 (N) OR (E) DOWNSPOUT TO BE EXTENDED TO (N) TIGHLINE SYSTEM.
- ◻E-6 (E) ELECTRICAL SERVICE.
- ◻E-7 (E) GAS METER TO REMAIN.
- ◻E-8 (E) FIREPLACE TO REMAIN.
- ◻E-9 (E) TILE ROOF TO REMAIN.
- ◻E-10 (N) ASPHALT SHINGLE ROOF.
- ◻E-11 (E) WINDOW TO REMAIN.
- ◻E-12 (N) WINDOW / DOOR TO MATCH (E).
- ◻E-13 REMOVE (E) WINDOW / DOOR AND INFILL W/ CEMENT PLASTER TO MATCH (E).
- ◻E-14 (E) WASTE VENT PIPE TO REMAIN.
- ◻E-15 (N) PAINTED GSM GUTTER.
- ◻E-16 (E) ROOF TO BE REPLACED W/ (N) SHINGLES.
- ◻E-17 FOUNDATION VENT.
- ◻E-18 LINE OF 28 FOOT HEIGHT LIMIT.
- ◻E-19 (E) WROUGHT IRON RAIL TO REMAIN.
- ◻E-20 (N) DOWNSPOUT TO MATCH (E).
- ◻E-21 (N) GABLE END VENT



EXISTING NORTH ELEVATION SCALE: 1/4" = 1'-0" 1

KEYNOTES A



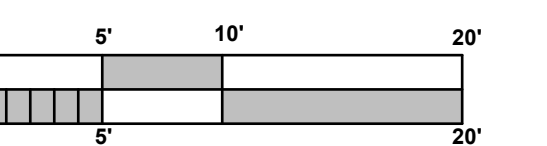
NEW NORTH ELEVATION SCALE: 1/4" = 1'-0" 2

**ADDITION TO:
T.J. AND KRISTIN WARRNER
1019 Ordway Ave
Albany, CA 94706
APN 065-2644-027**

SHEET
• NORTH
EXTERIOR ELEVATION

Date	10-3-2022
Revisions	1 -

Scale
24x36 = 1/4" = 1'-0"
11x17 = 1/8" = 1'-0"

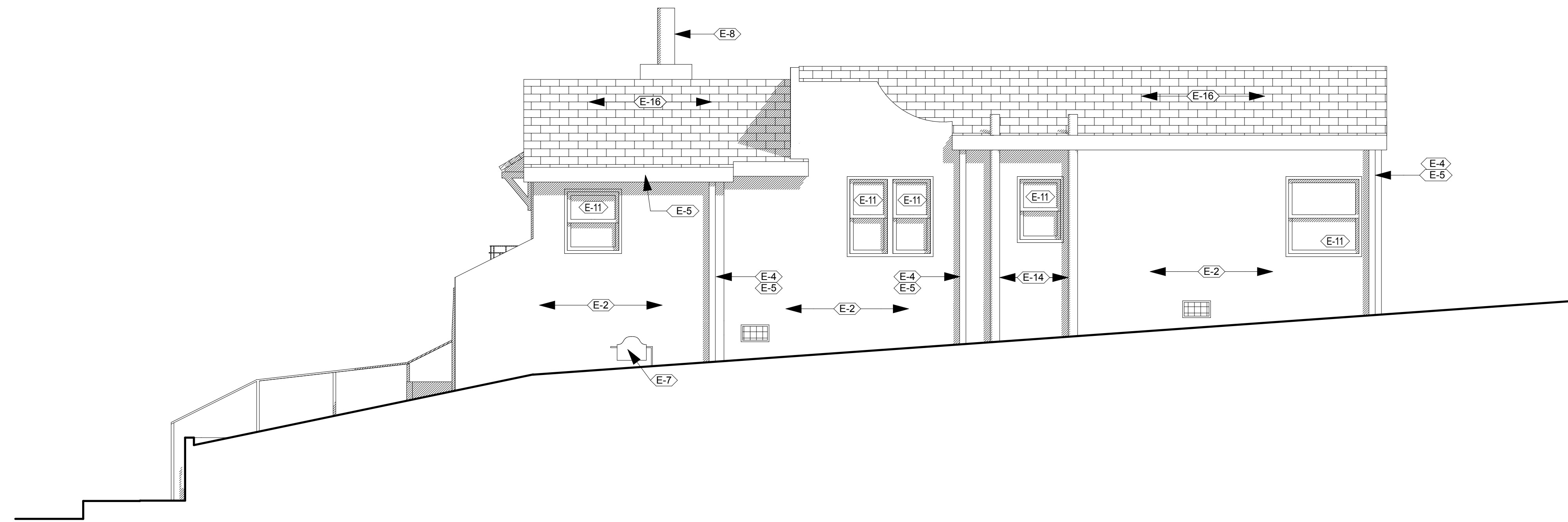


Sheet Number

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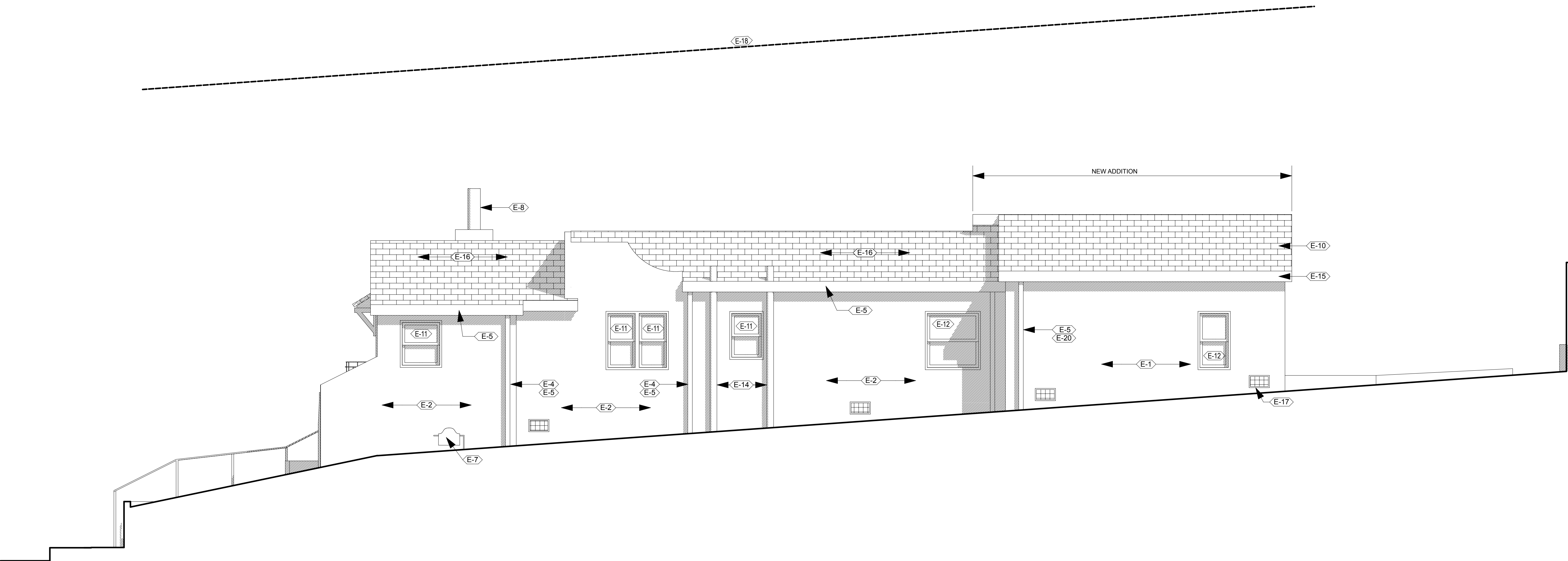


- ◊E-1 (N) 3-COAT CEMENT PLASTER W/SELF FURRING METAL LATH O/2 LAYERS MIN D BUILDING PAPER OR EQUAL. PER
- ◊E-2 (E) CEMENT PLASTER OVER (E) FRAMING
- ◊E-3 (E) CONCRETE STEPS.
- ◊E-4 (E) DOWNSPOUT TO BE REMAIN.
- ◊E-5 (N) OR (E) DOWNSPOUT TO BE EXTENDED TO (N) TIGHLINE SYSTEM.
- ◊E-6 (E) ELECTRICAL SERVICE.
- ◊E-7 (E) GAS METER TO REMAIN.
- ◊E-8 (E) FIREPLACE TO REMAIN.
- ◊E-9 (E) TILE ROOF TO REMAIN.
- ◊E-10 (N) ASPHALT SHINGLE ROOF.
- ◊E-11 (E) WINDOW TO REMAIN.
- ◊E-12 (N) WINDOW / DOOR TO MATCH (E).
- ◊E-13 REMOVE (E) WINDOW / DOORAND INFILL W/ CEMENT PLASTER TO MATCH (E).
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- ◊E-19 (E) WROUGHT IRON RAIL TO REMAIN.
- ◊E-20 (N) DOWNSPOUT TO MATCH (E).
- ◊E-21 (N) GABLE END VENT



EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0" 1

KEYNOTES A



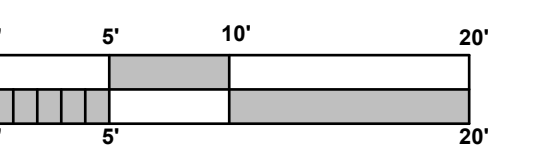
NEW SOUTH ELEVATION SCALE: 1/4" = 1'-0" 2

**ADDITION TO:
T.J. AND KRISTIN WARRNER
1019 Ordway Ave
Albany, CA 94706
APN 065-2644-027**

SHEET
• SOUTH
EXTERIOR ELEVATION

Date	10-3-2022
Revisions	
1 -	

Scale
24x36 = 1/4" = 1'-0"
11x17 = 1/8" = 1'-0"



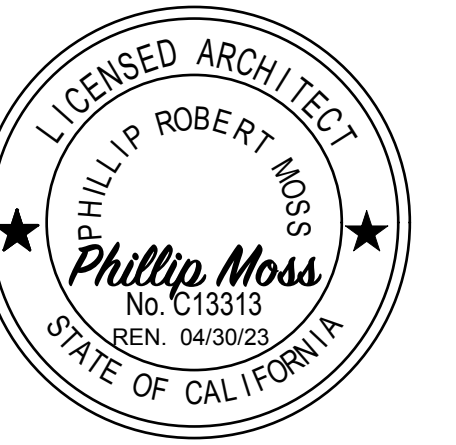
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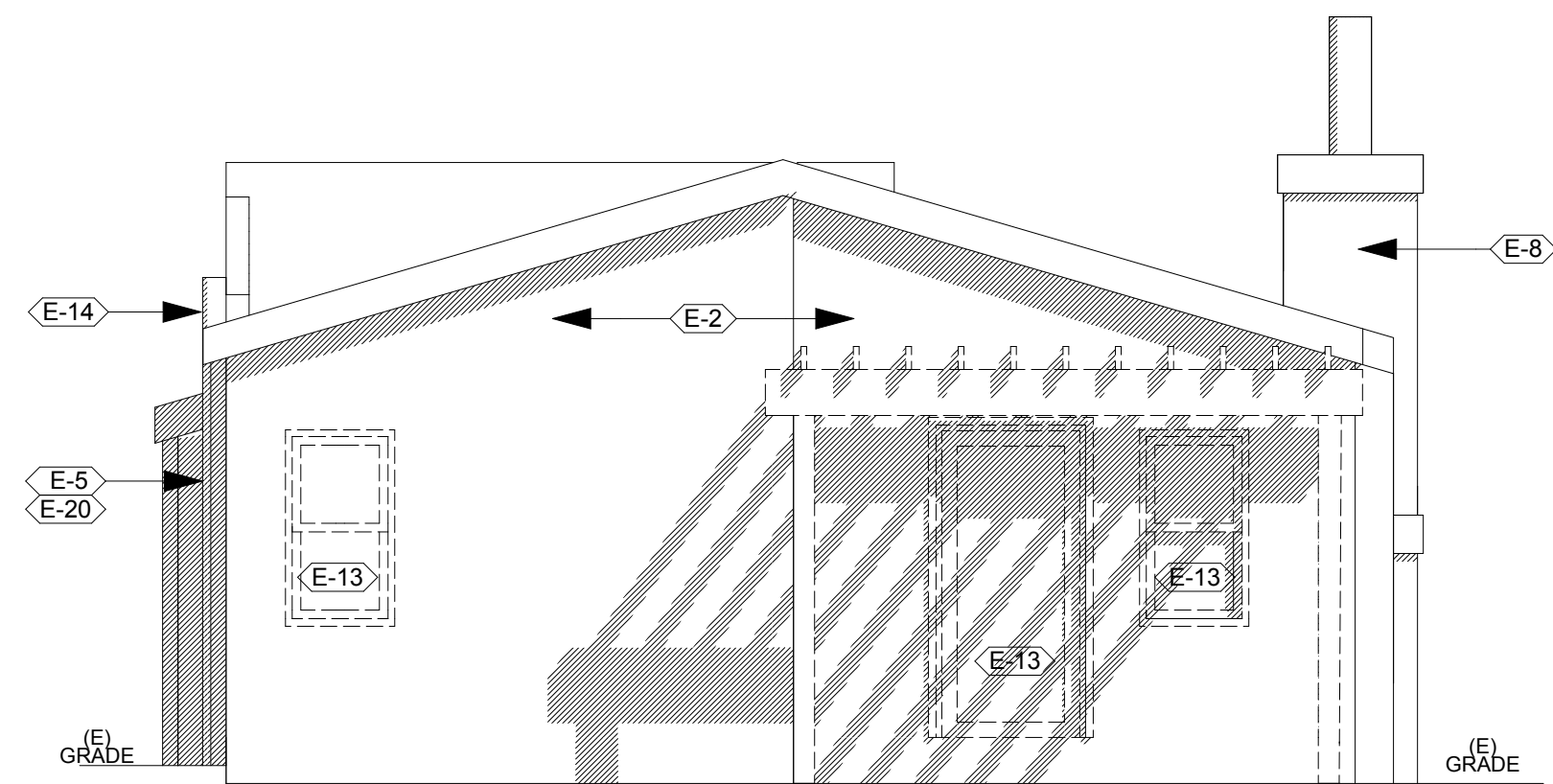
**PHILLIP
MOSS**

**N.C.A.R.B.
ARCHITECT**

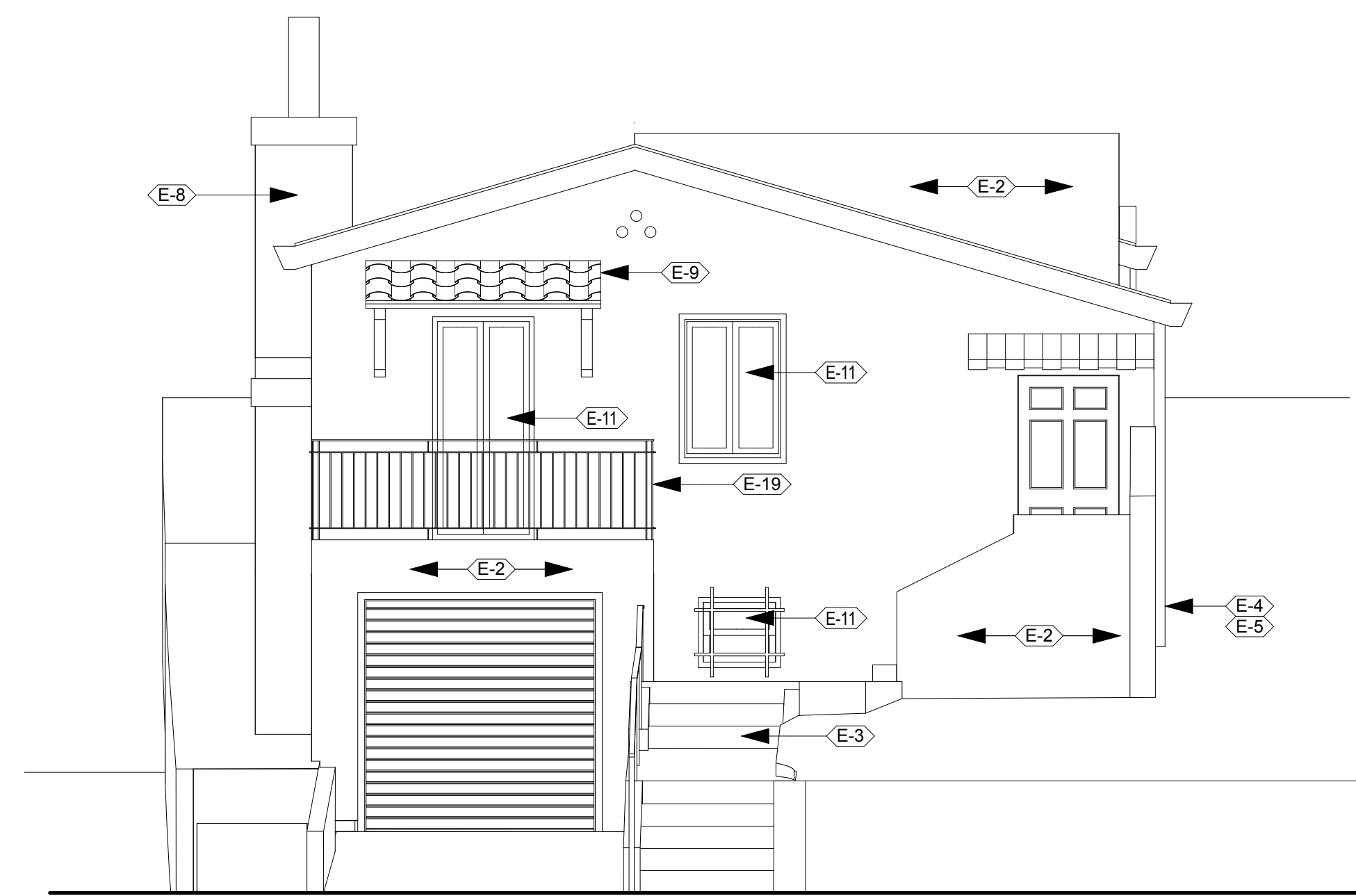
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912 SANTA FE AVE
ALBANY, CA 94706-2021
PHONE: 510.282.5404
FAX: 510.526.4326



- ◊E-1 (N) 3-COAT CEMENT PLASTER W/SELF FURRING METAL LATH O/2 LAYERS MIN D BUILDING PAPER OR EQUAL. PER
- ◊E-2 (E) CEMENT PLASTER OVER (E) FRAMING
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- ◊E-20 (N) DOWNSPOUT TO MATCH (E).
- ◊E-21 (N) GABLE END VENT

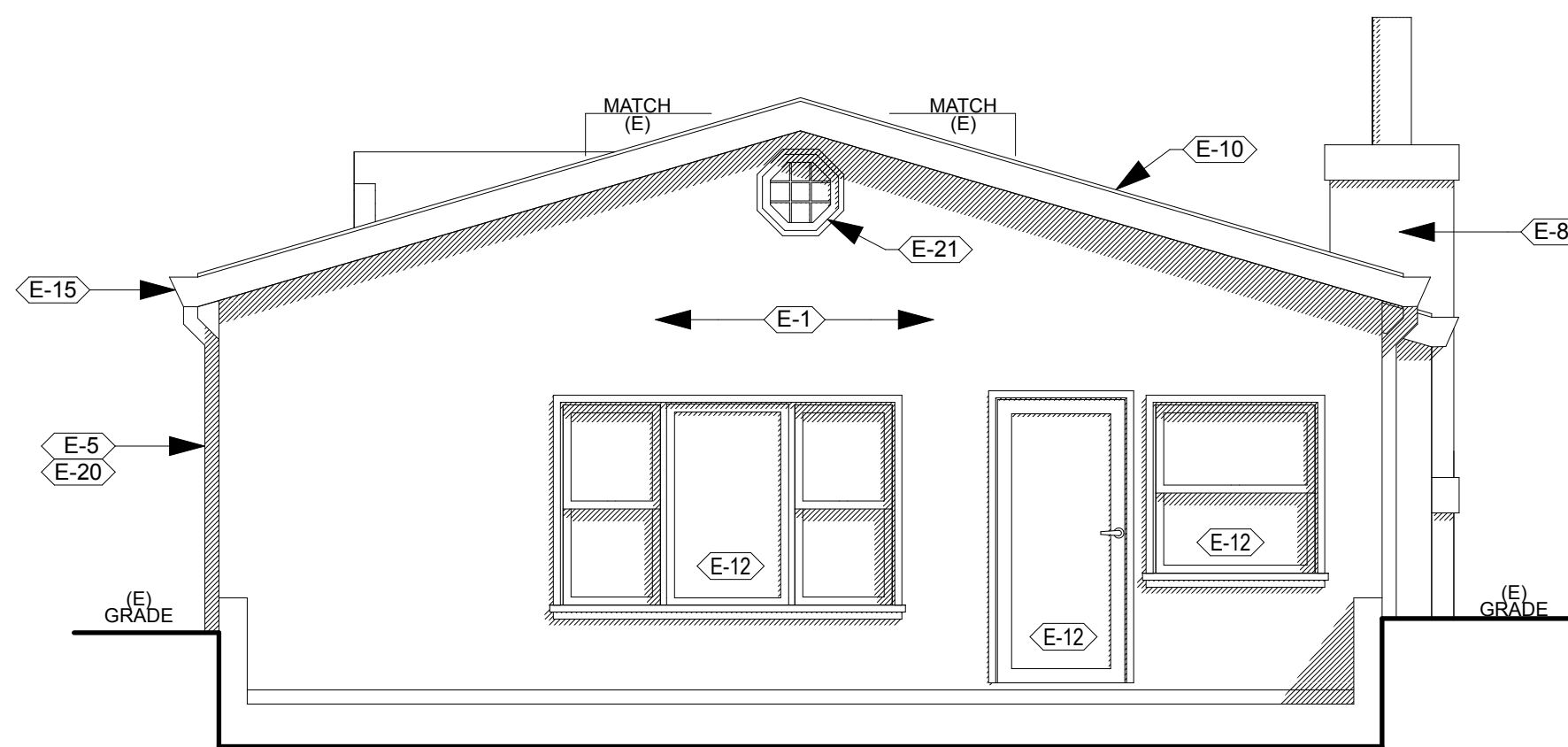


EXISTING EAST ELEVATION SCALE: 1/4" = 1'-0"

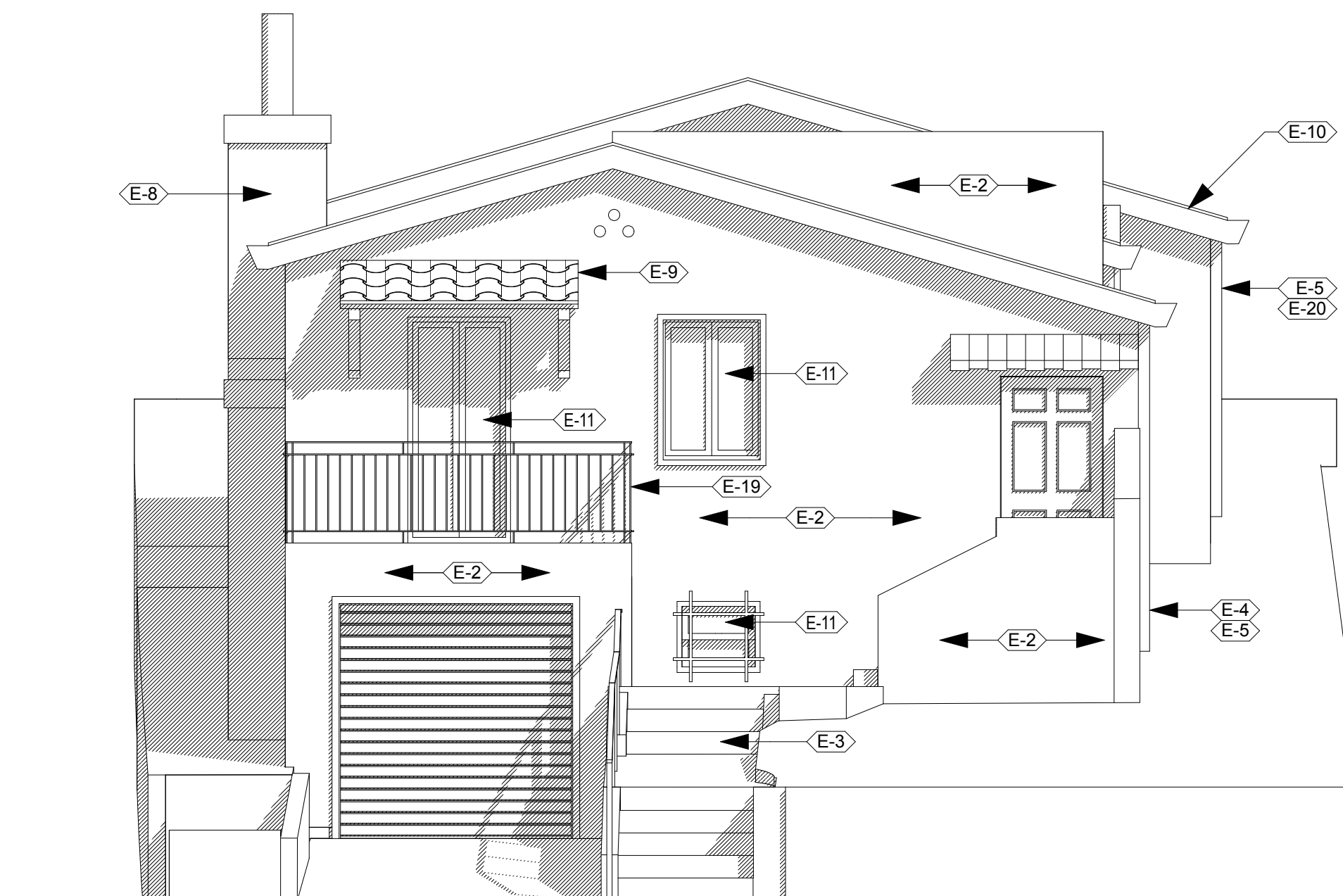


EXISTING WEST ELEVATION SCALE: 1/4" = 1'-0" 1

KEYNOTES A



NEW EAST ELEVATION SCALE: 1/4" = 1'-0" 2



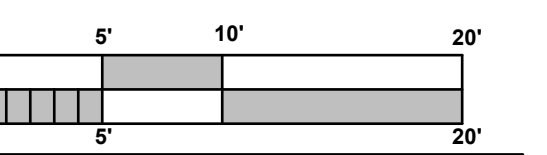
NEW WEST ELEVATION SCALE: 1/4" = 1'-0" 2

**ADDITION TO:
T.J. AND KRISTIN WARRNER
1019 Ordway Ave
Albany, CA 94706
APN 065-2644-027**

SHEET
• EAST AND WEST
EXTERIOR ELEVATION

Date	10-3-2022
Revisions	
1 -	

Scale
24x36 = 1/4" = 1'-0"
11x17 = 1/8" = 1'-0"



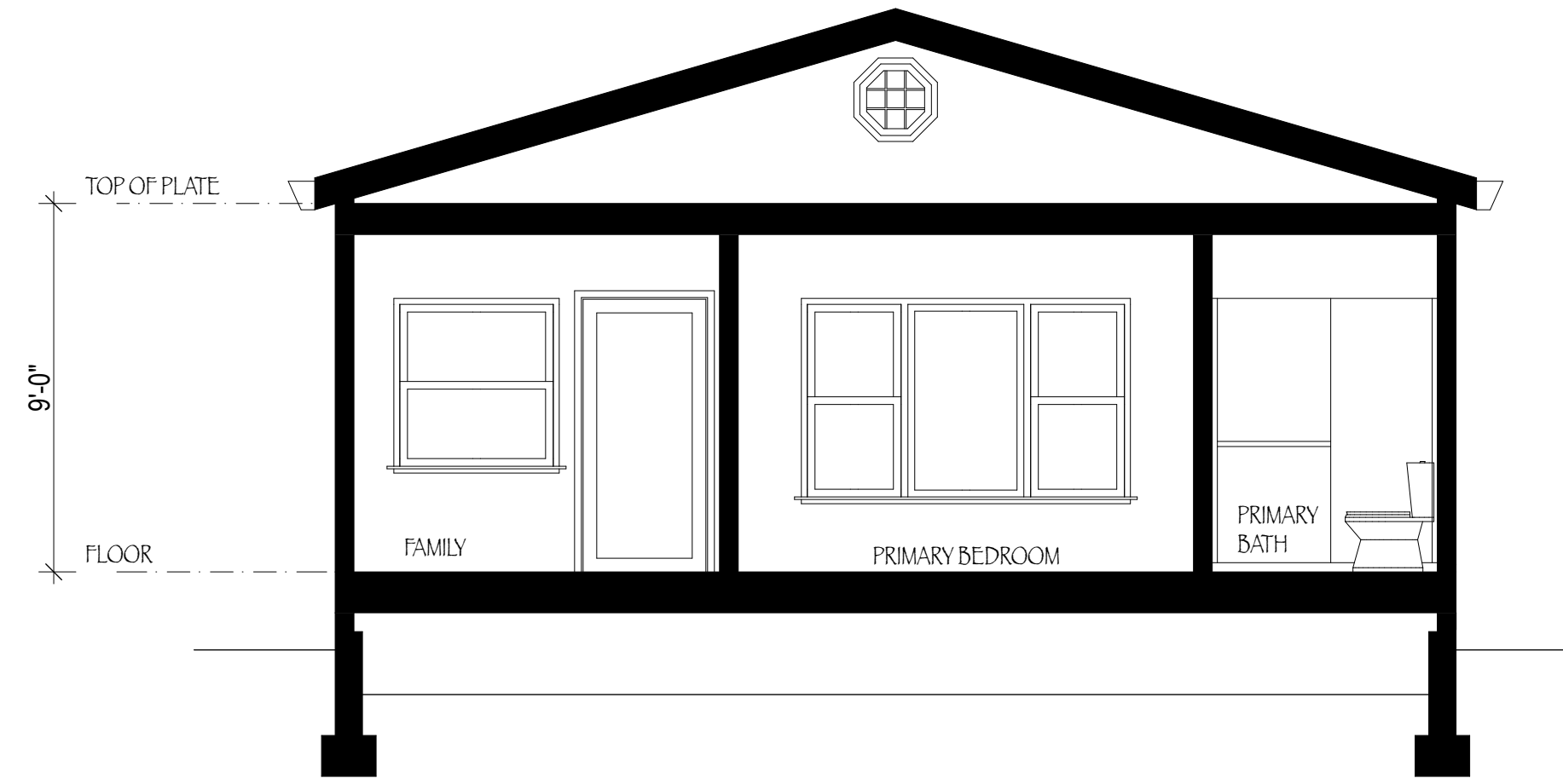
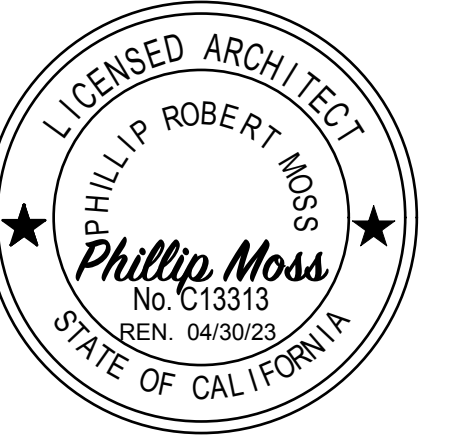
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A3.2

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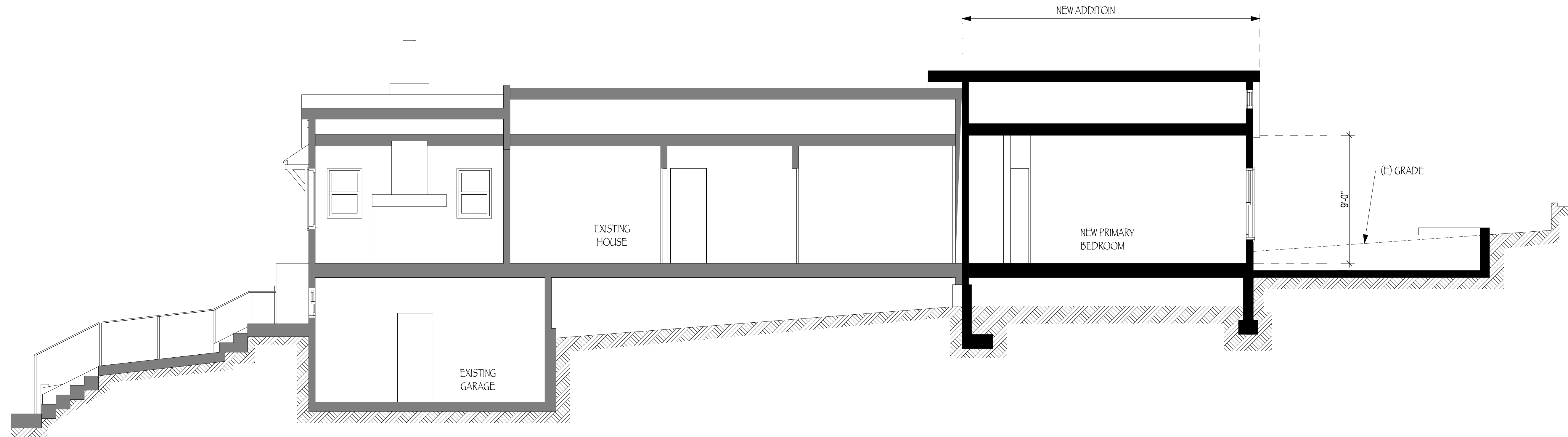
**N.C.A.R.B.
ARCHITECT**

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912 SANTA FE AVE
ALBANY, CA 94706-2021
PHONE: 510.282.5404
FAX: 510.526.4326



SECTION B-B SCALE: 1/4" = 1'-0" 1

A



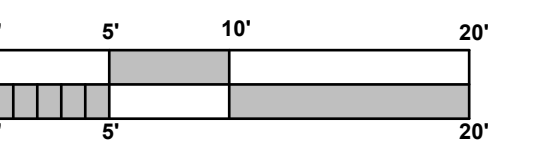
SECTION A-A SCALE: 1/4" = 1'-0" 2

**ADDITION TO:
T.J. AND KRISTIN WARRNER
1019 Ordway Ave
Albany, CA 94706
APN 065-2644-027**

SHEET
• SECTIONS

Date 10-3-2022
Revisions 1 -

Scale



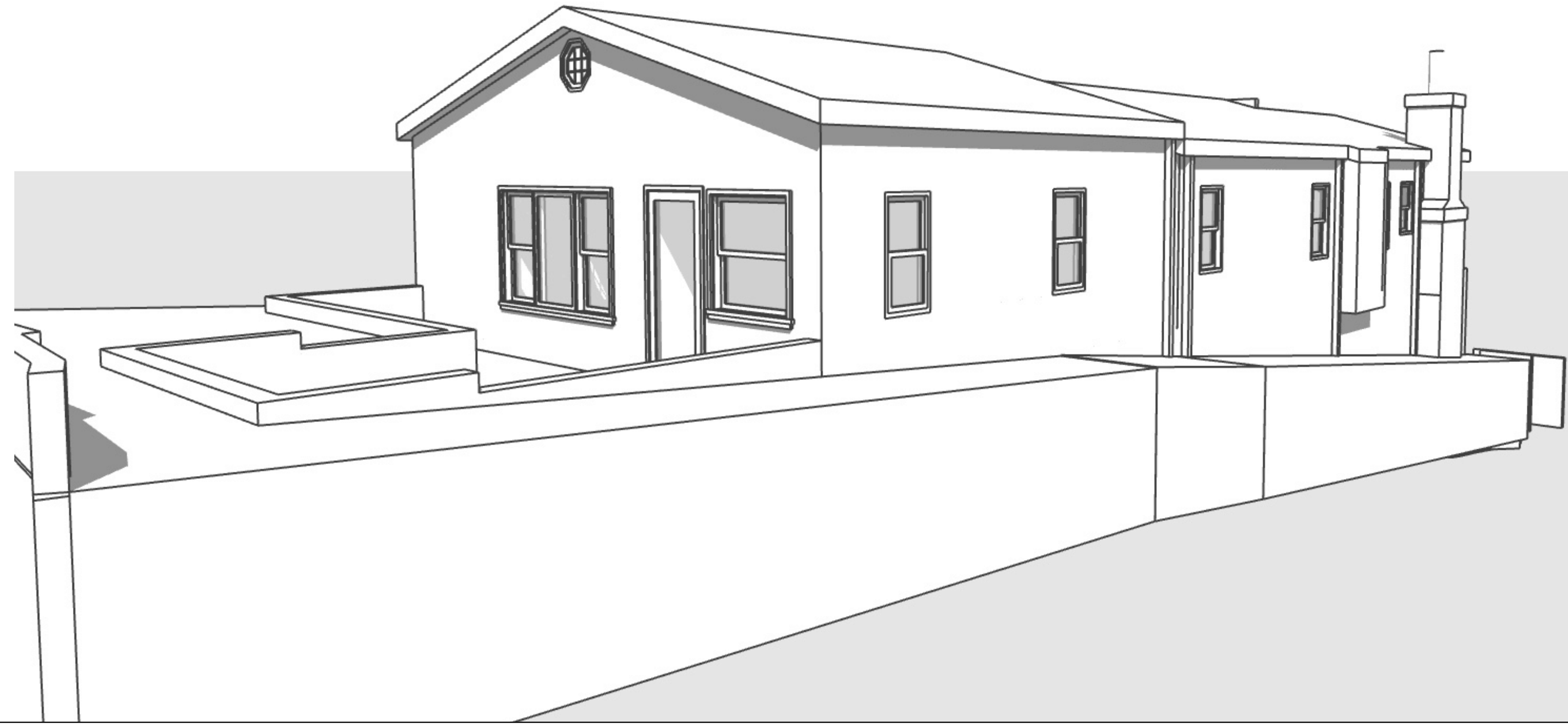
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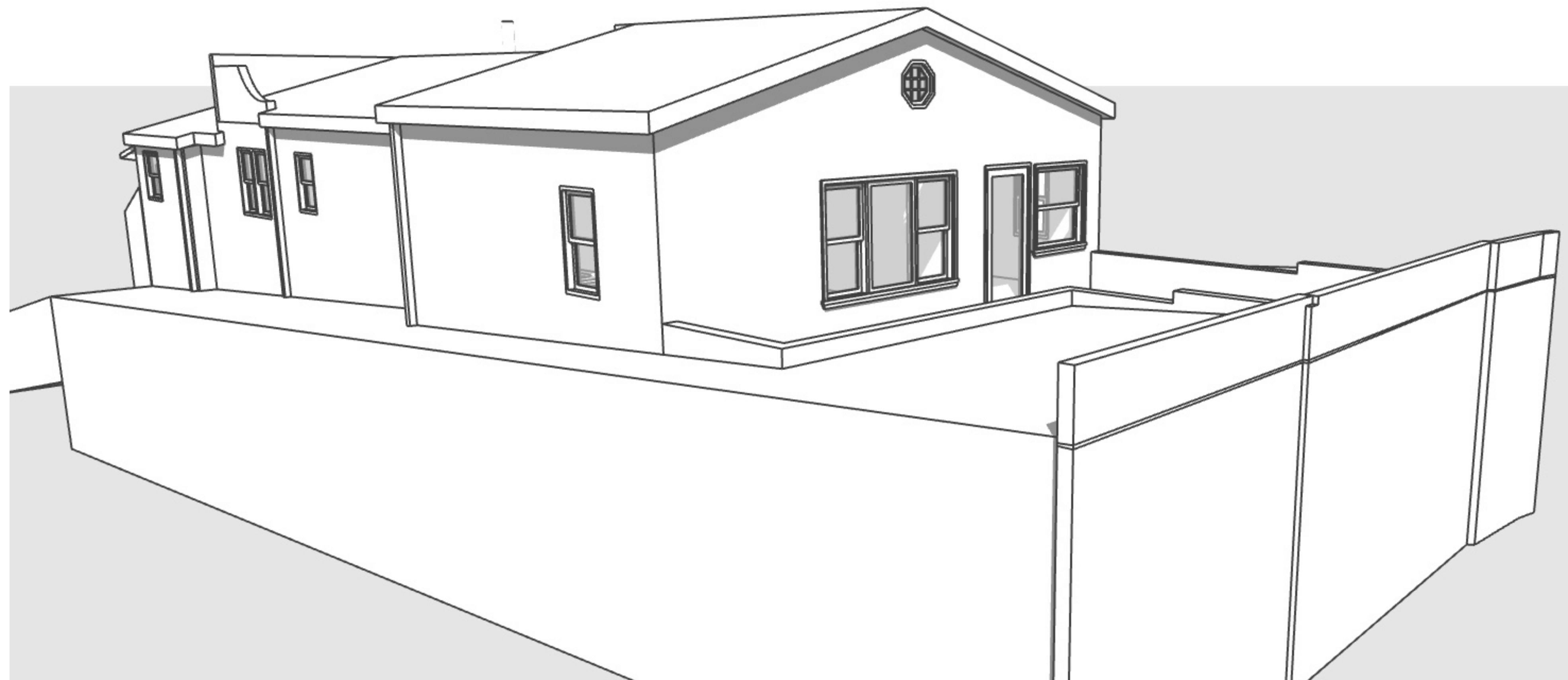
**PHILLIP
MOSS**

**N.C.A.R.B.
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912 SANTA FE AVE
ALBANY, CA 94706-2021
PHONE: 510.282.5404
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REAR VIEW 1 SCALE: 1/4" = 1'-0" 1



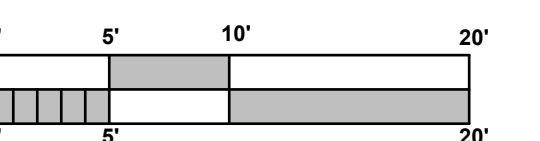
REAR VIEW 2 SCALE: 1/4" = 1'-0" 2

**ADDITION TO:
T.J. AND KRISTIN WARRNER
1019 Ordway Ave
Albany, CA 94706
APN 065-2644-027**

SHEET
• PERSPECTIVES

Date	10-3-2022
Revisions	1 -

Scale
24x36 = 1/4" = 1'-0"
11x17 = 1/8" = 1'-0"



Sheet Number

A5.0



**PHILLIP
MOSS**

**N.C.A.R.B.
ARCHITECT**

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**ADDITION TO:
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APN 065-2644-027**

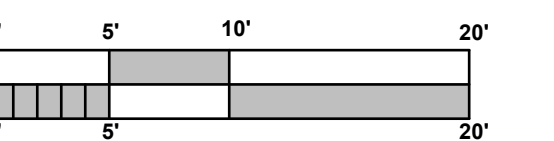
STREET VIEW 1



SHEET
• PHOTOS

Date	10-3-2022
Revisions	1 -

Scale
24x36 = 1/4" = 1'-0"
11x17 = 1/8" = 1'-0"



Sheet Number

A5.0

REAR VIEW 2