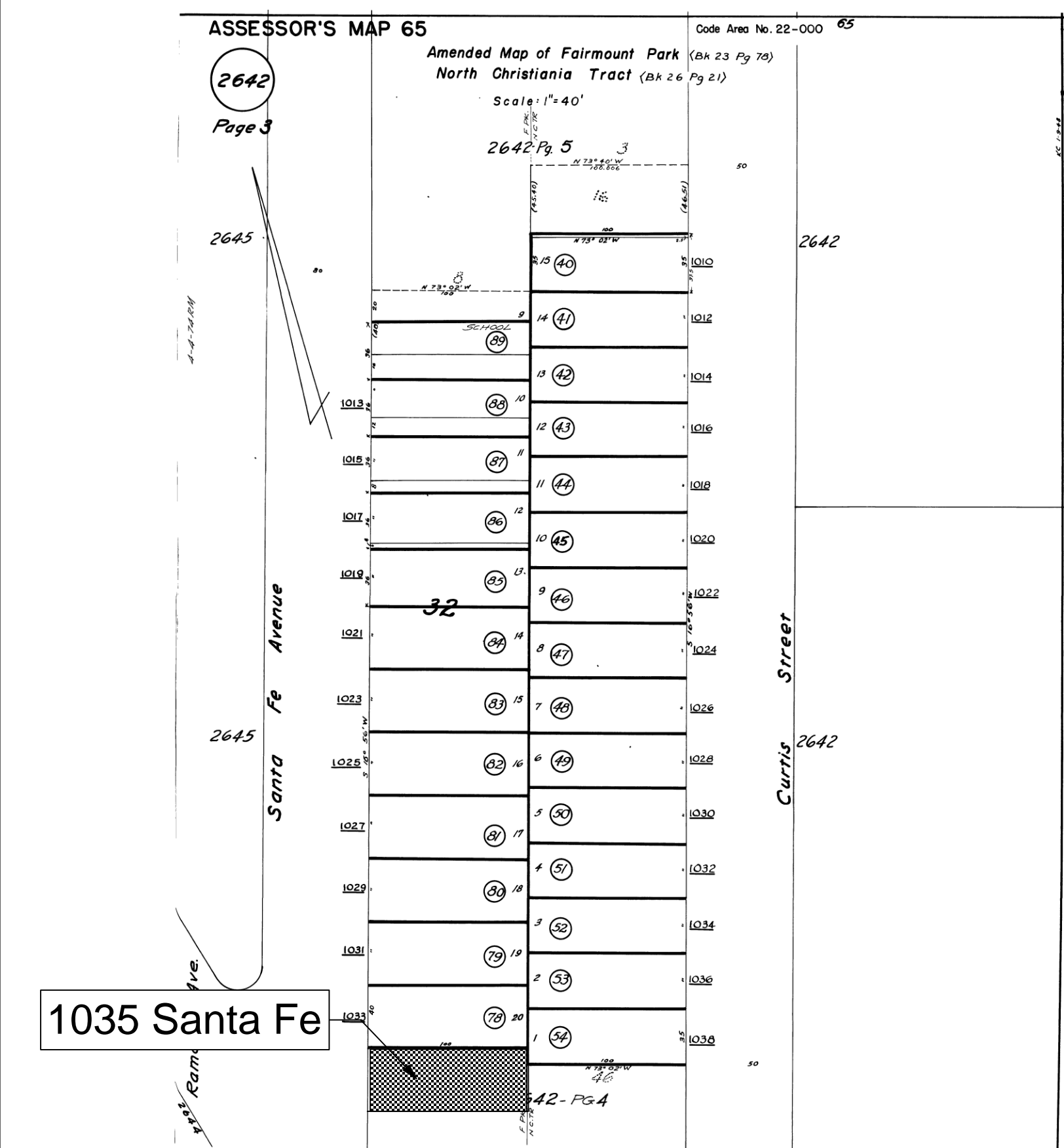




### Parcel Map

For Assessment Use Only



# Second Floor Addition 1035 Santa Fe Ave. Albany, CA

## Project Data

**Zoning Information**

Assessors Parcel Number: 65-2642-77  
 Zoning District: R-1  
 Site Area: 4,000 s.f.  
 High Fire Hazard Zone: No  
 FEMA Flood Zone: No  
 Type of Construction: Type VB (sprinklered)  
 Occupancy Type: R

**Setbacks:**  
 Front: 15'  
 Side: 4' (10% of property width)  
 Rear: 20'

**FAR Calculations:**

FAR allowable:	55.0%
(4,000 x 0.55 = 2,200 s.f.)	
FAR existing:	32.5%
Main Level:	1,247 s.f.
Turret:	15 s.f.
Garage (260 s.f. less 220 s.f.):	40 s.f.
	1,302 s.f.

Note: Basement not included in FAR calculation.

FAR proposed:	45.0%
Main Level:	1,247 s.f.
2nd Level Addition:	498 s.f.
Turret:	15 s.f.
Garage (260 s.f. less 220 s.f.):	40 s.f.
	1,800 s.f.

**Lot Coverage Calculations:**

Lot coverage allowed:	50.0%
Lot coverage (existing):	
House:	1,247 s.f.
Garage:	260 s.f.
	1,507 s.f. (37.6%)

Proposed Lot Coverage: No Change

**Impervious Area Calculations:**

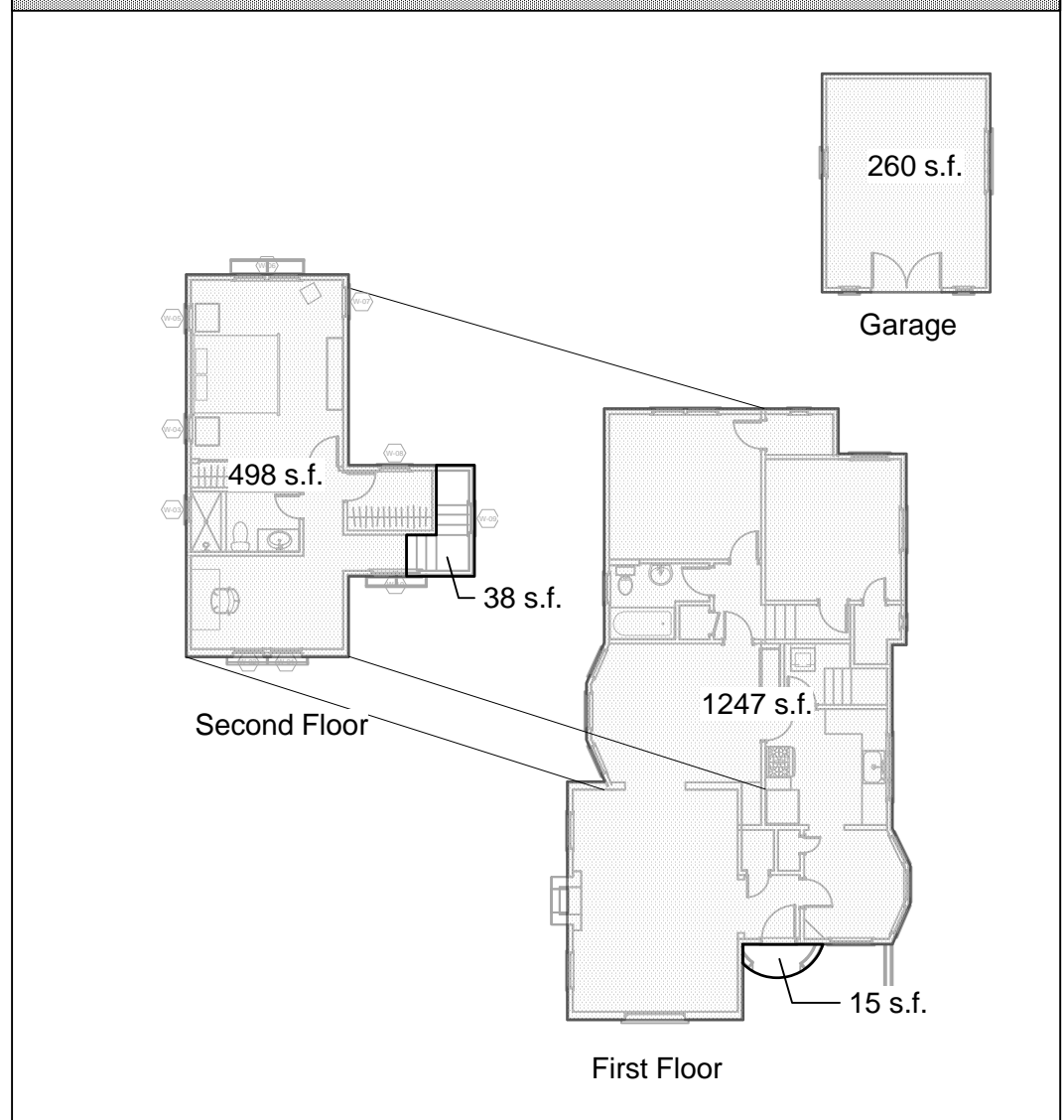
Existing Impervious Area:	
House:	1,247 s.f.
Garage:	260 s.f.
Front Porch:	117 s.f.
Pavement:	630 s.f.
	2,254 s.f. (56.4%)

Proposed Impervious Area: 56.4%

## Project Description

Second story addition to an existing split level house. Entire addition will be over existing house, with no resulting change in building footprint. Upgrades to existing include electrical wiring, as well as structural upgrades, including foundation upgrades.

## Area Diagram



## Applicable Codes

All Construction to Comply with the following Codes:

- 2019 California Building Code (CBC), Title 24, Part 2
- 2019 California Residential Building Code (CRC), Title 24, Part 2.5
- 2019 California Electrical Code (CEC), Title 24, Part 3
- 2019 California Mechanical Code (CMC), Title 24, Part 4
- 2019 California Plumbing Code (CPC), Title 24, Part 5
- 2019 California Energy Code (CEnc), Title 24, Part 6
- 2019 California Fire Code (CFC), Title 24, Part 9
- 2019 California Existing Building Code, Title 24, Part 10
- 2019 California Green Building Standards Code, Title 24, Part 11

## Symbols and Abbreviations

AB	Anchor Bolt	Lin	Linen
A.D.	Area Drain	MC	Medicine Cabinet
AFF	Above Finished Floor	Min	Minimum
Bldg	Building	Mtl	Metal
BR	Bedroom	(N)	New
Cab	Cabinet	NIC	Not in Contract
Cam	Cement	O.C.	On Center
CI	Cast Iron	OSB	Oriented Strand Board
CIP	Cast in Place	Part	Partial
Cing	Ceiling	PL	Property Line
CMU	Concrete Masonry Unit	Plas	Plaster
C.O.	Cleanout	Plywd	Plywood
Conc	Concrete	PT	Paint
Cont	Continuous	RA	Return Air
Cpt	Carpet	R&S	Rod and Shelf
CT	Ceramic Tile	SA	Supply Air
CTG	Cleanout to grade	SD	Storm Drain
CW	Cold Water	Sim	Similar
Det	Detail	PT	Paint
DN	Down	TB	Towel Bar
DS	Downspout	T.O.W.	Top of Wall
(E)	Existing	TPH	Toilet Paper Holder
EI	Elevation	Typ	Typical
EO	Equal	U.O.N.	Unless Otherwise Noted
F.D.	Floor Drain	RH	Robe Hook
GSM	Galvanized Sheet Metal	VIF	Verify in Field
GWB	Gypsum Wallboard	w	With
H	Height	WD	Wood
HW	Hot Water	WP	Weatherproof
HWH	Hot Water Heater		
Lav.	Lavatory		

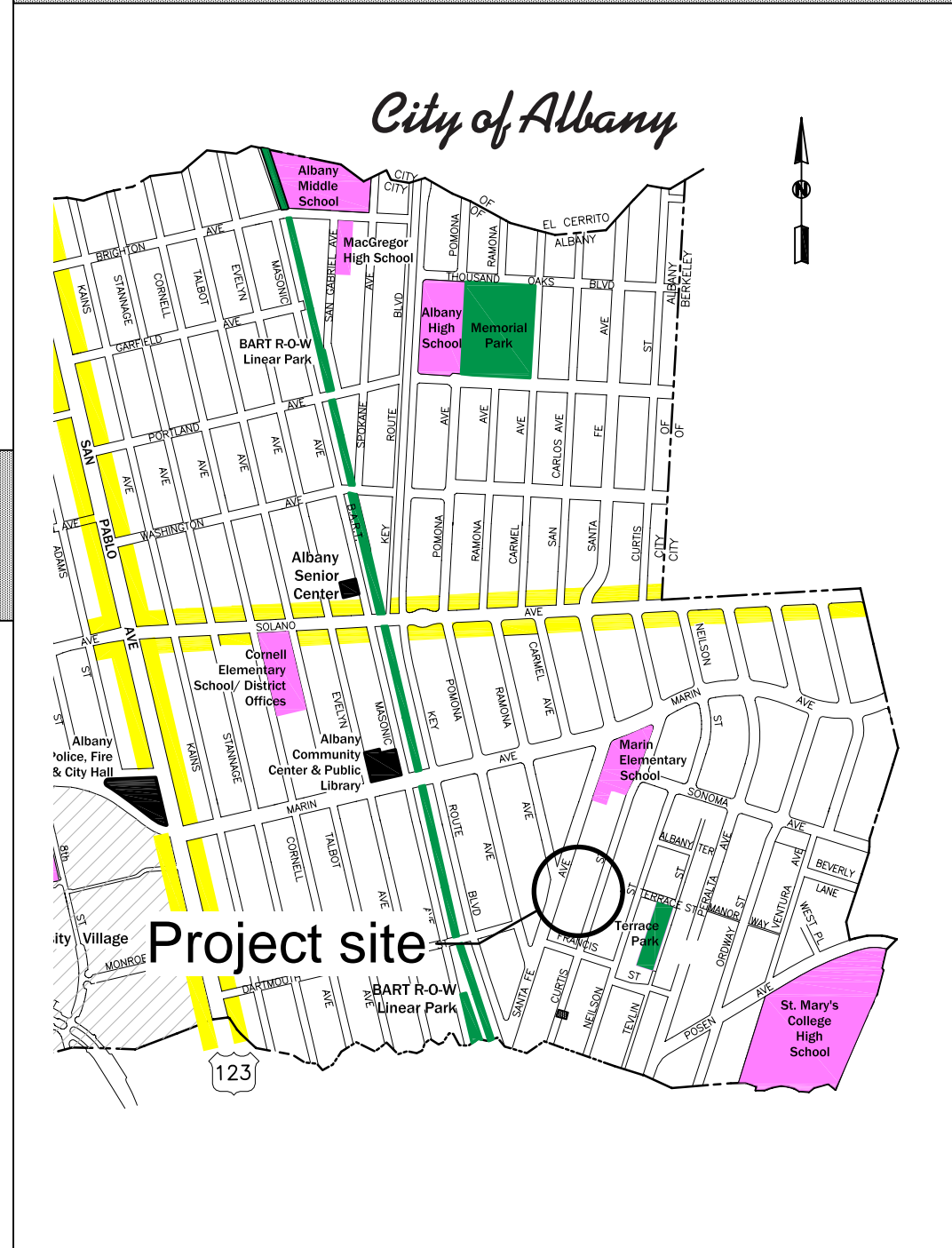
  

6.5	Grid Lines	D-01	Door Number	W-22	Window Number
0	Floor Reference Elevation	6	Section No./Sheet No.	X	Interior Elevation Key
1	Revision Key	A-3.1		A-4.1	
		8	Wall Type Key		

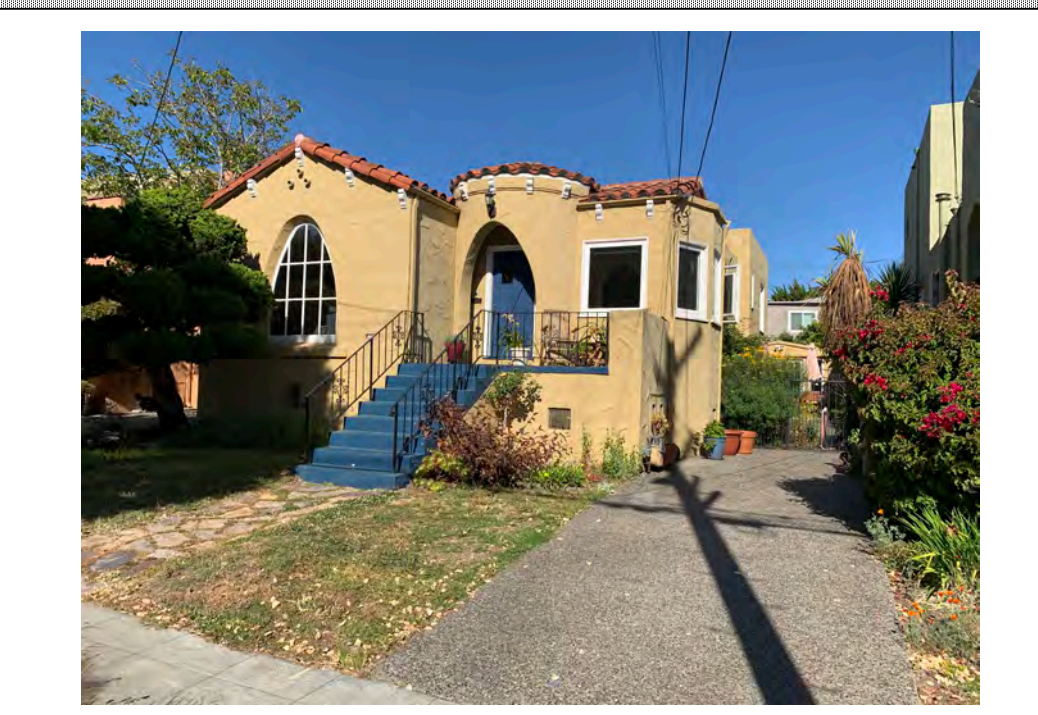
## Index of Drawings

- T0.1 Cover Sheet
- C0.1 Site Survey
- C1.1 Site Plan
- A1.1 Floor Plans--Existing
- A1.2 Floor Plans--Proposed
- A1.3 Roof Plan
- A2.2 Elevations--Existing
- A2.2A Elevations--Proposed
- A2.2A Rendered Elevations
- A3.1 Cross Sections
- A8.1 Schedules and Details
- A9.1 Perspective

## Vicinity Map



## Exterior Photo



## Project Directory

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 Albany, CA 94706  
 Tel: (202) 258-9234  
 kemmons@gmail.com

**Architect:** Howard McNenny, AIA, LEED AP  
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## Composite Street Elevation



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sheet title  
 Cover Sheet

issue date  
 08/24/22

revisions

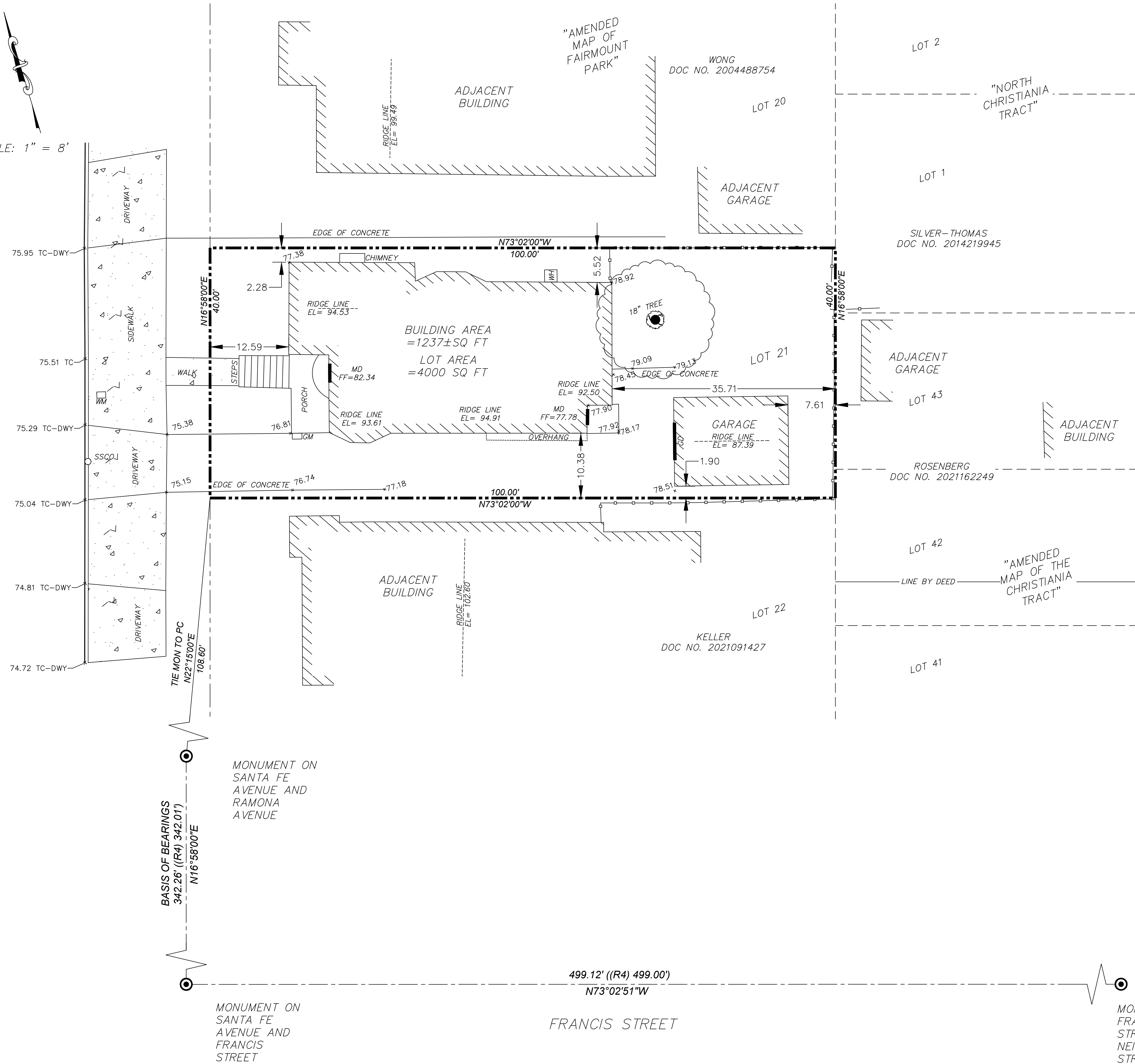
scale

sheet number

# T0.1

SANTA FE AVENUE  
80' WIDE

SCALE: 1" = 8'



**SURVEYOR'S STATEMENT:**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AT THE REQUEST OF: MARK AND KRISTEN D'ARRIGO ON JUNE 22, 2022.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

I HEREBY FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON: THAT CERTAIN DEED SERIES NO. 2020369946, RECORDED DECEMBER 30, 2020, ALAMEDA COUNTY RECORDER'S OFFICE, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO.: APN 065-2642-077

THAT CERTAIN MAP TITLED "AMENDED MAP OF FAIRMOUNT PARK", FILED ON MARCH 25, 1908, IN BOOK 23, PAGE 78, ALAMEDA COUNTY RECORDER'S OFFICE.

DATE: 08/22/2022

JOSEPH M BRAJKOVICH, PLS 5254



Joseph Brajkovich

**BASIS OF SURVEY:**

- (R1) "AMENDED MAP OF FAIRMOUNT PARK" 23MB78
- (R2) "AMENDED MAP OF CHRISTIANA TRACT" 17MB86
- (R3) "NORTH CHRISTIANA TRACT" 26MB21
- (R4) CITY OF ALBANY MONUMENTATION MAP #1
- (R5) DEED NO. 2020369946
- (R6) DEED NO. 2021162251
- (R7) DEED NO. 2021091427
- (R8) DEED NO. 2004488754
- (R9) DEED NO. 2014219945

**BASIS OF BEARING:**

THAT LINE BETWEEN MONUMENTS ON SANTA FE AVENUE TAKEN AS N16°58'00"E PER (R3)

**BASIS OF DATUM:**

NAVD88, GPS DERIVED

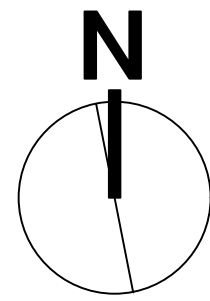
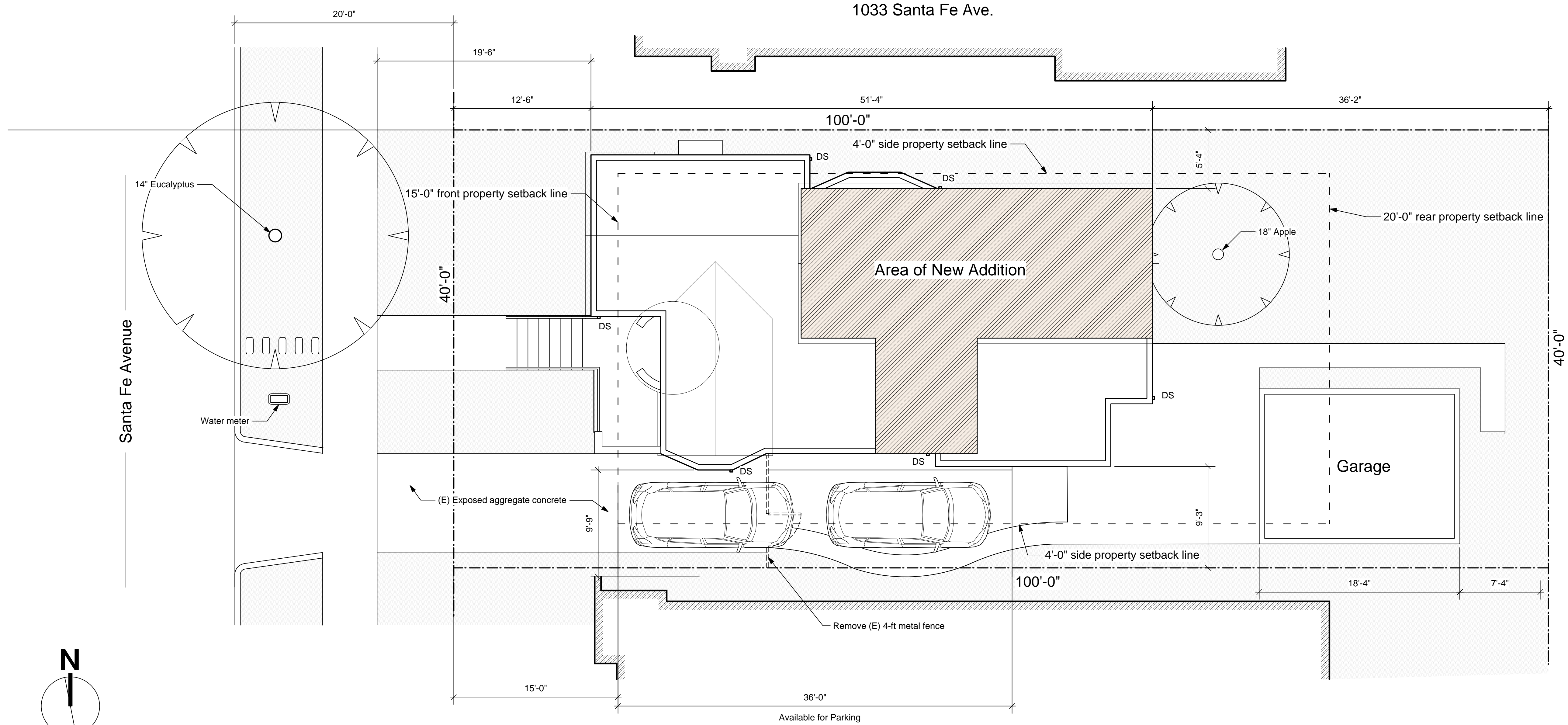
**UNDERGROUND UTILITY NOTE:**

THE TYPES, LOCATIONS AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY, ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE SURVEYOR CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOW SHOWN ON THIS SURVEY.

**LEGEND**

- WATER HEATER
- SANITARY SEWER CLEANOUT
- GAS METER
- WATER METER
- TREE
- MAN DOOR
- GARAGE DOOR
- FENCE WOOD
- PROPERTY LINE
- MONUMENT LINE
- CONCRETE

BY	
REVISION	
NO.	
BOUNDARY AND HOUSE FOOTPRINT SURVEY OF 1035 SANTA FE AVENUE LOT 21	
"AMENDED MAP OF FAIRMOUNT PARK"	
BOOK 23, PAGE 78	
A.P.N. 065-2642-077	
ALBANY CALIFORNIA	
<p>PLS Surveys, Inc. LAND SURVEYORS 2350 Saratoga Street, Unit 255 Alameda, California 94501 510.261.0900 e-mail: jmb.pls2@gmail.com</p>	
DATE	08/22/22
SCALE	1" = 8'
DESIGNER	STB
JOB NO.	22255
SHEET	1
OF	1 SHEET



1 Site Plan  
Scale: 3/16" = 1'-0"

architect

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sheet title

Site Plan

issue date

08/24/22

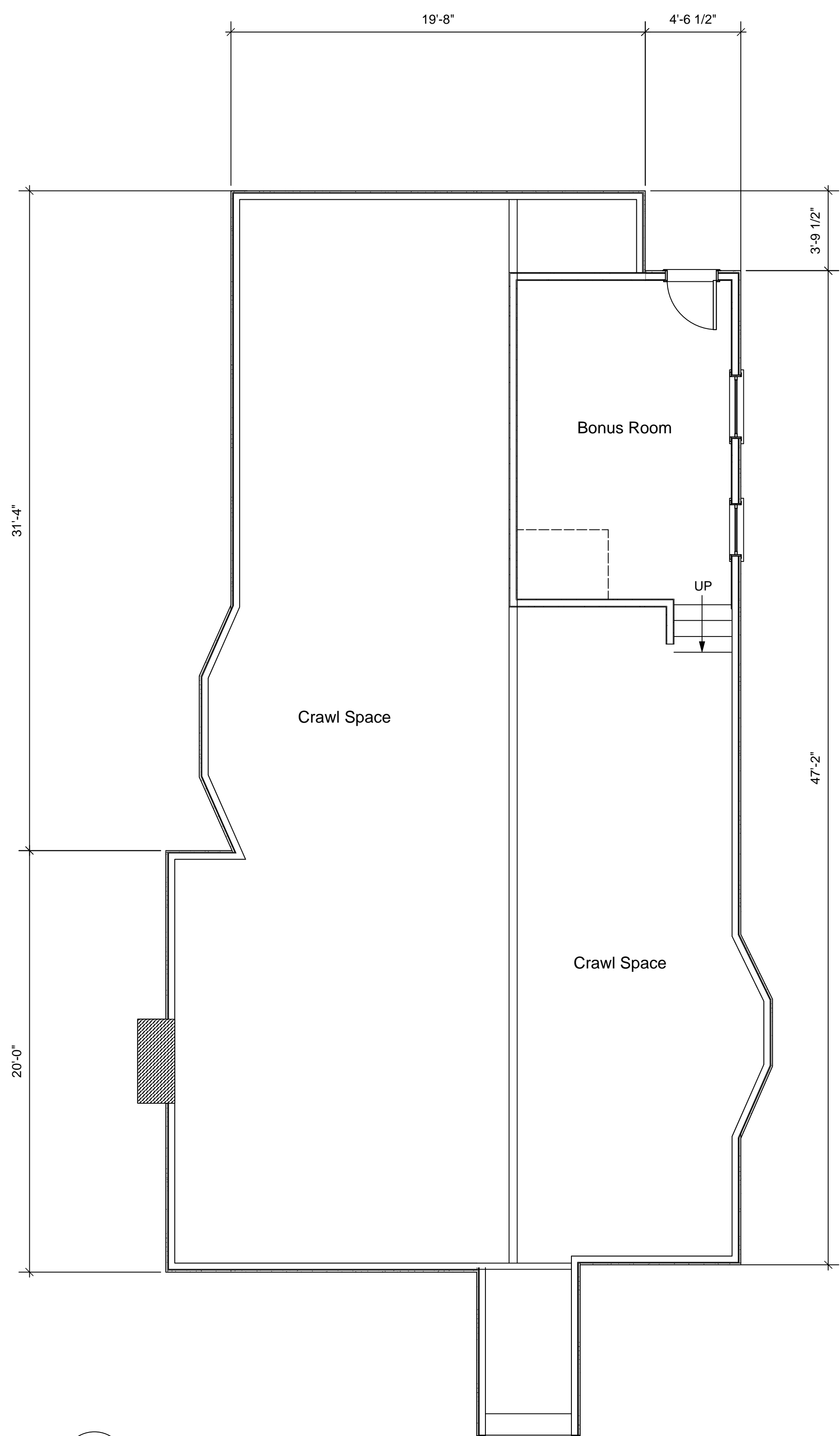
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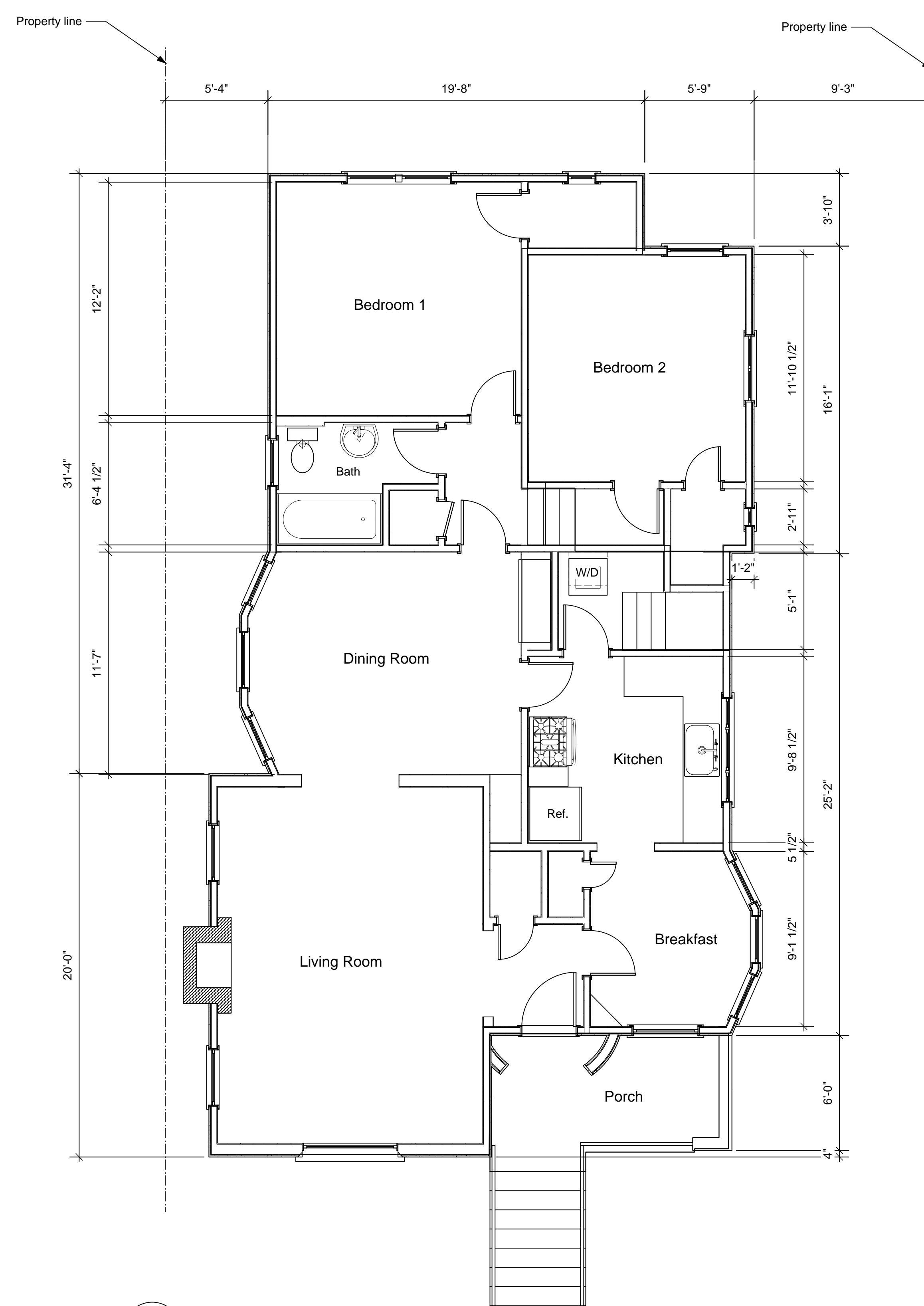
scale

sheet number

**CI.1**



**2** Basement Level Plan  
Scale: 1/4" = 1'-0"



**1** Floor Plan--Existing  
Scale: 1/4" = 1'-0"

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 Howard McNenny

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sheet title  
 Floor Plans--Existing

issue date  
 08/24/22





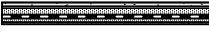
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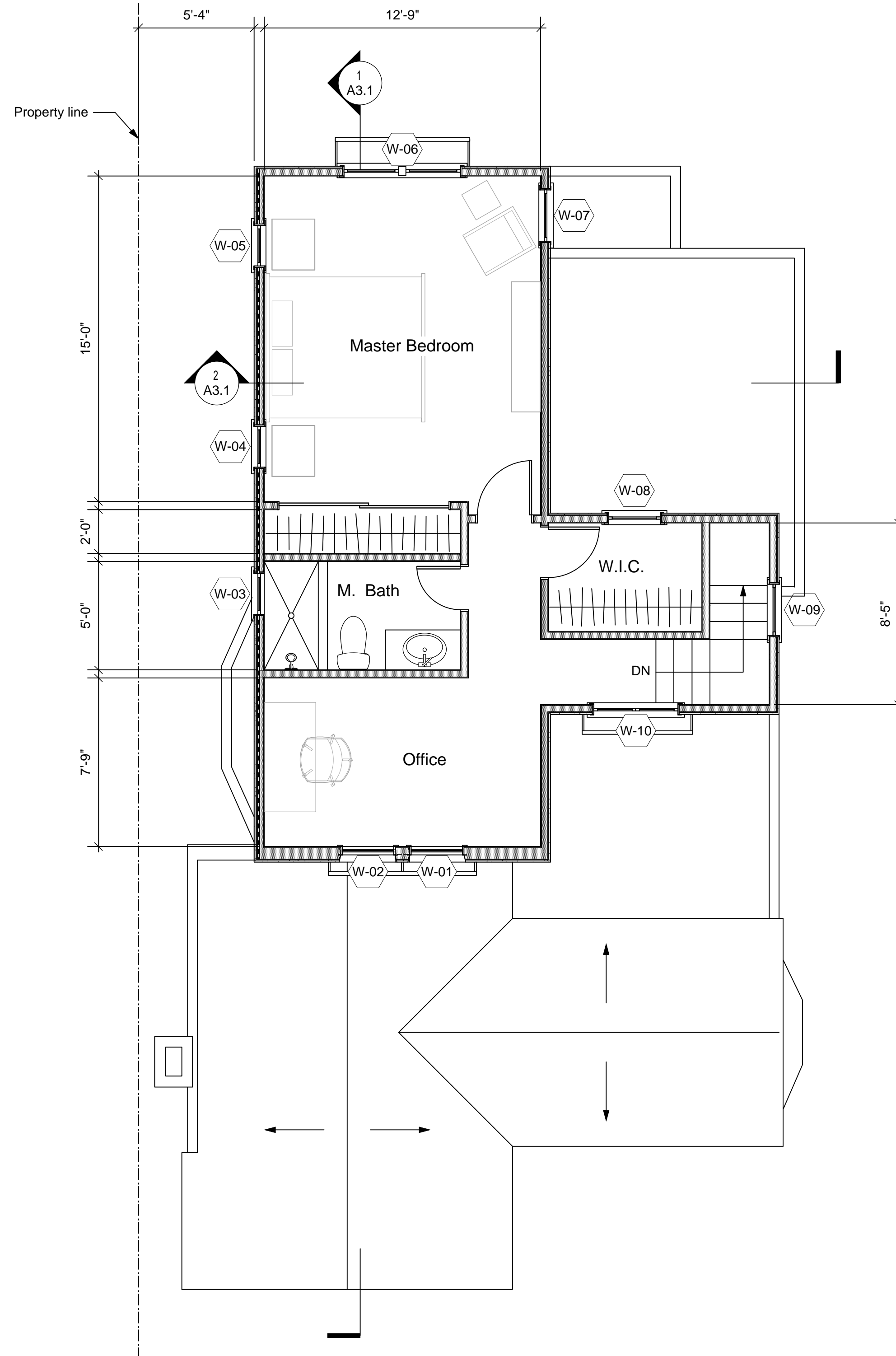
**AI.I**

### Legend

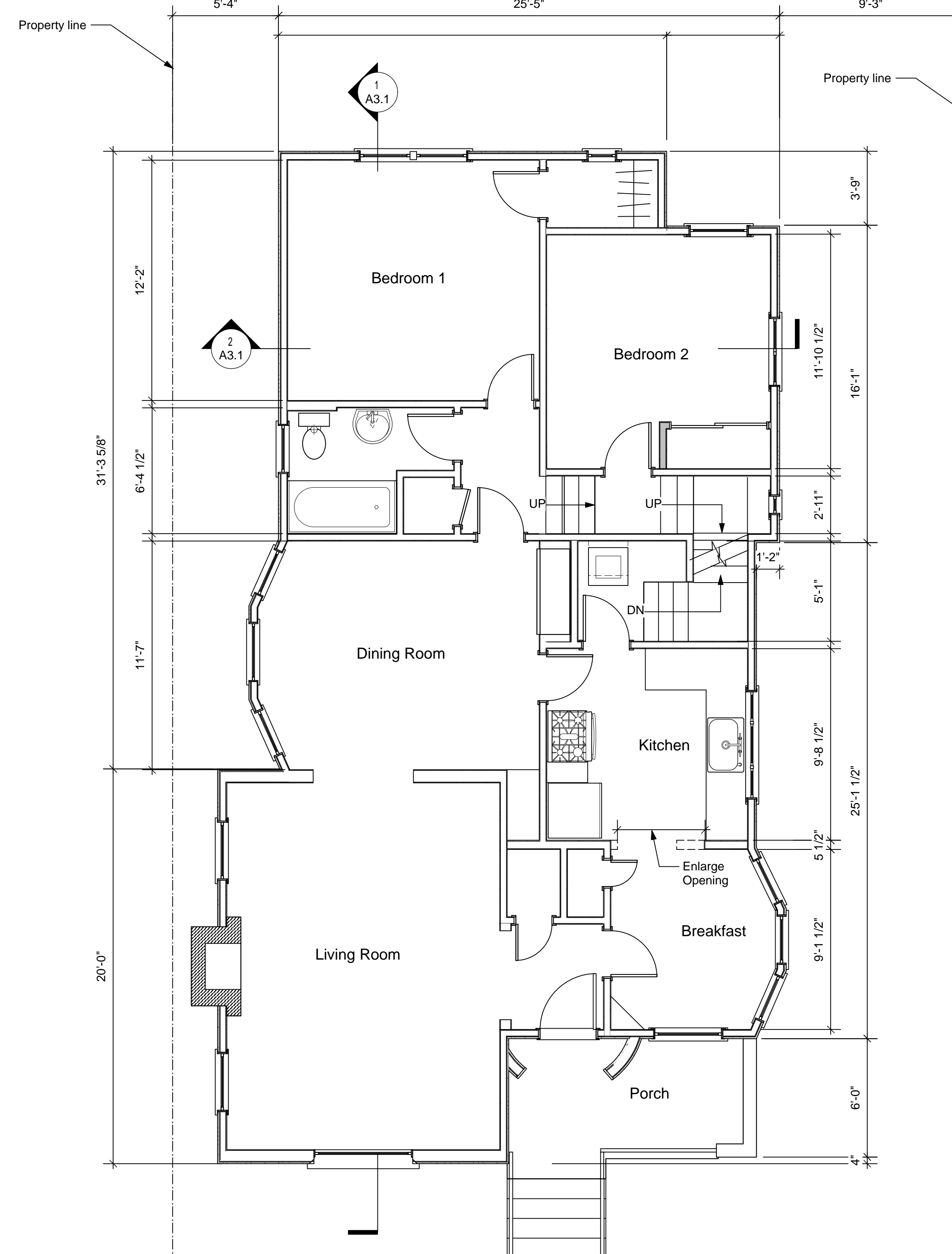
-  Existing wood stud exterior wall
-  Existing wood stud interior wall
-  New wood stud exterior wall: stucco exterior; gwb interior
-  New wood stud interior wall: gwb both sides
-  Indicates 1-hr rated wall

1-Hour rated walls: 7/8" cement plaster on structural sheathing on 2 x 4 wood studs @ 16" o.c.; Interior face: 5/8" Type X gypsum wallboard on 2 x 4 wood studs @ 16" o.c. nailed with 6d wallboard nails @ 7" o.c. with end joints on nailing members.

Rating from CBC Table 721.1(2). Item number 15-1.3 for exterior face; Item 14-1.3 for interior face.

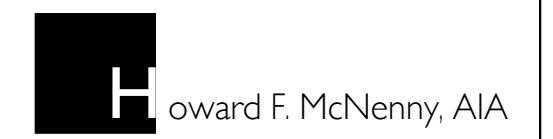


**2** Second Floor Plan--Proposed  
Scale: 1/4" = 1'-0"



**1** Lower Floor Plan--Proposed  
Scale: 1/4" = 1'-0"

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sheet title

Floor Plans--Proposed

issue date

08/24/22

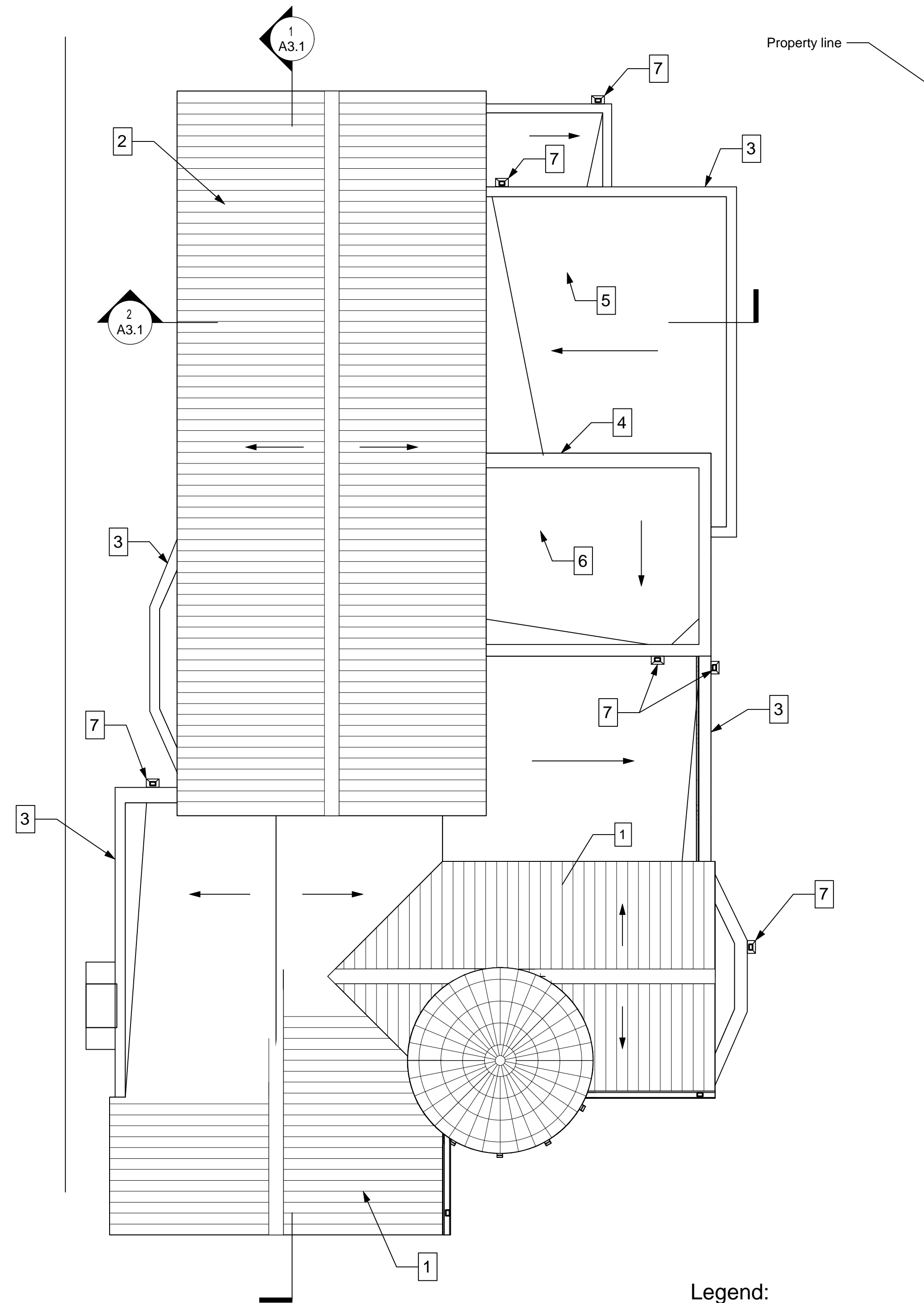
revisions

NO.	DESCRIPTION

scale

sheet number

# A1.2



**1 Lower Floor Plan--Proposed**  
 Scale: 1/4" = 1'-0"

**Legend:**

- 1 Existing Mission clay tile roof
- 2 New composite tile roof
- 3 Existing parapet
- 4 New parapet
- 5 Existing built-up roof membrane
- 6 New built-up roof membrane
- 7 Conductor head and rain water leader

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sheet title

Roof Plan

issue date

08/24/22

revisions

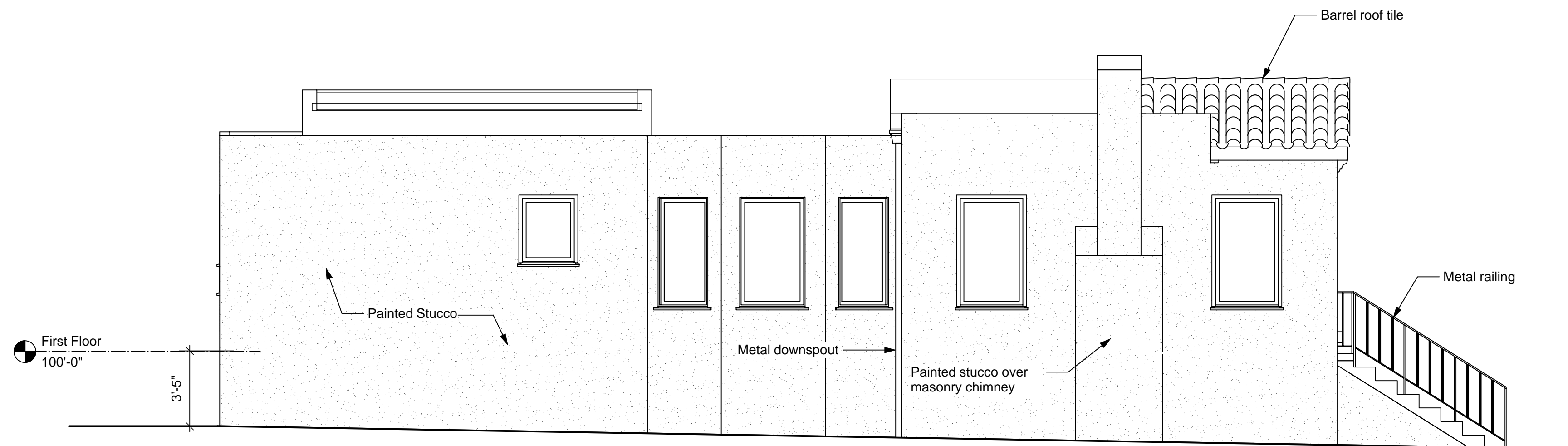
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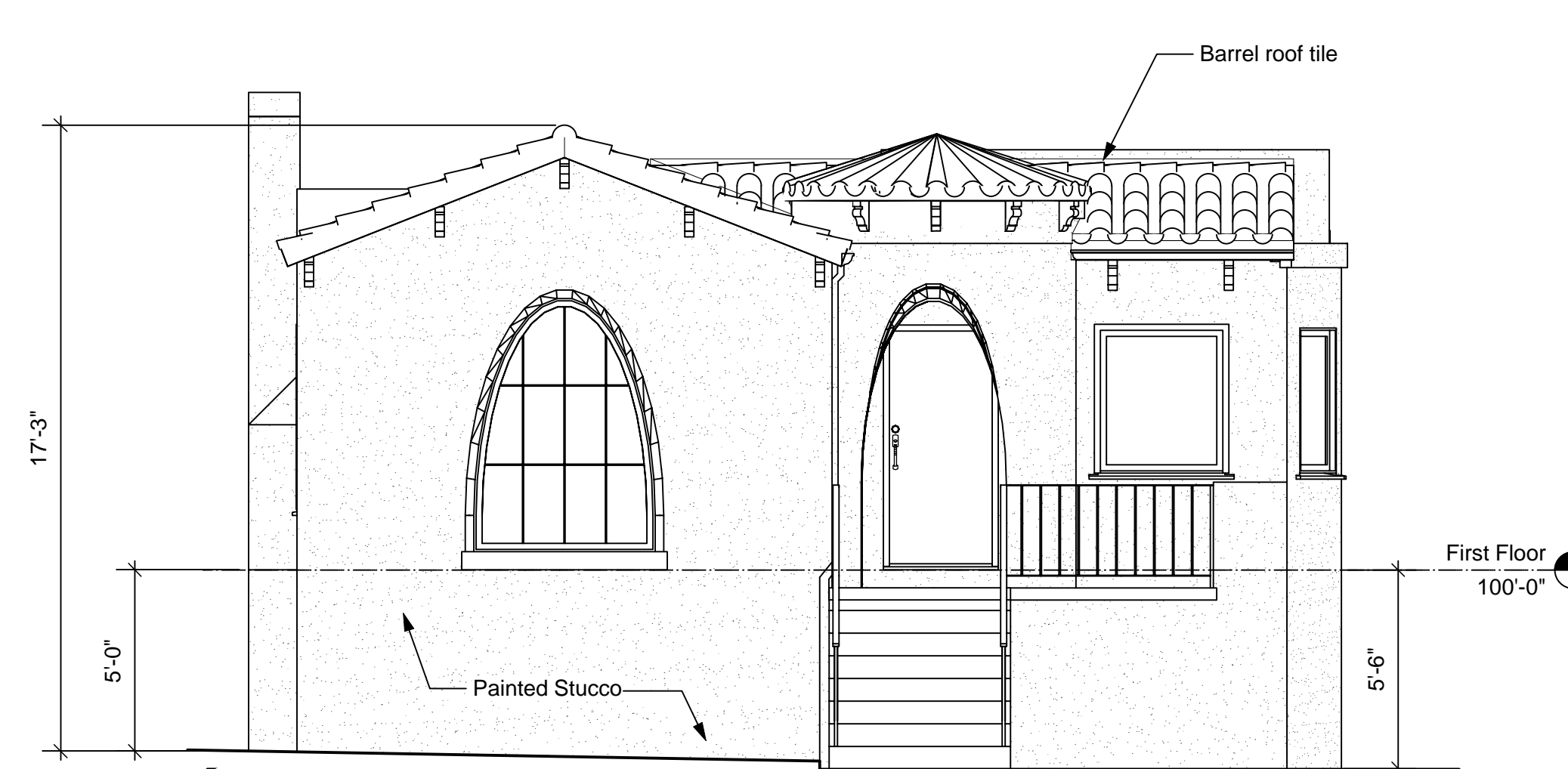
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**A1.3**

A

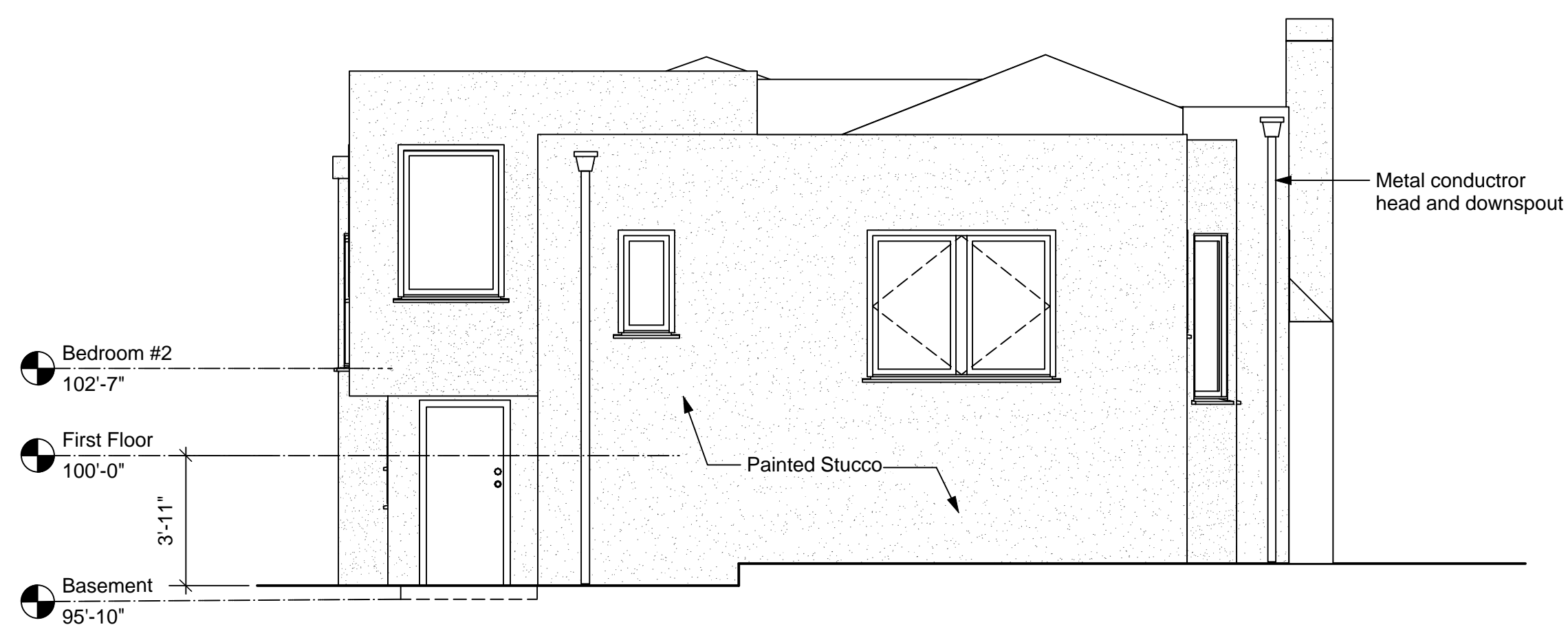


**2 North Elevation--Existing**  
Scale: 1/4" = 1'-0"

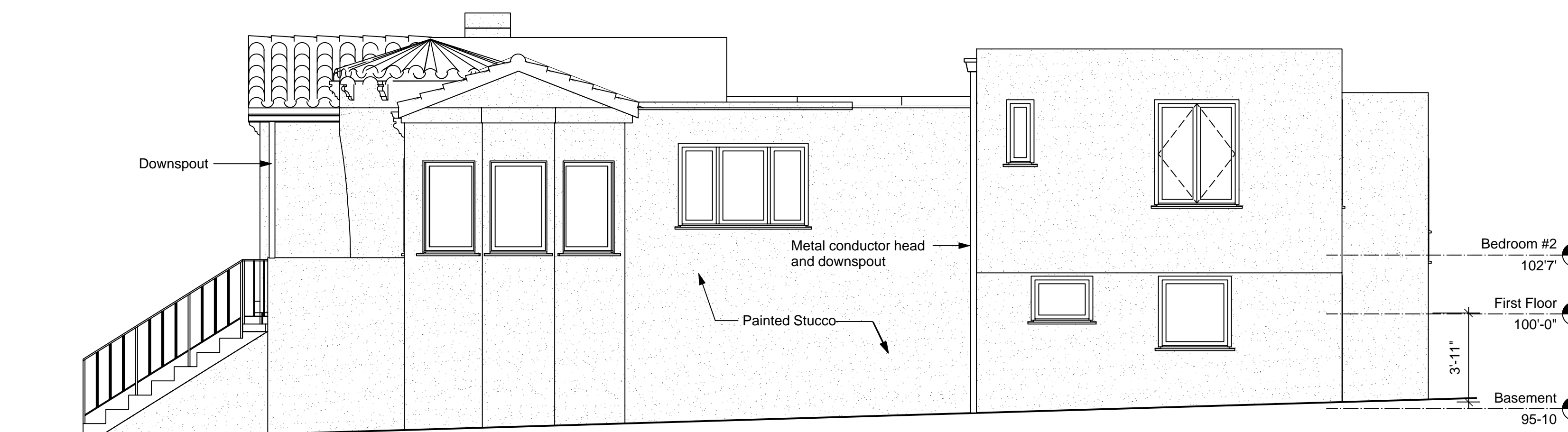


**1 West Elevation--Existing**  
Scale: 1/4" = 1'-0"

B



**3 East Elevation--Existing**  
Scale: 1/4" = 1'-0"



**4 South Elevation--Existing**  
Scale: 1/4" = 1'-0"

**Height Calculations (First Floor above Grade)**

Southwest Corner: 5'-6"  
 Southeast Corner: 3'-11"  
 Northwest Corner: 5'-0"  
 Northeast Corner: 3'-5"  
 18'-8"

Average Height = 17'-10" ÷ 4 = 4'-6"

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sheet title

Elevations--Existing

issue date

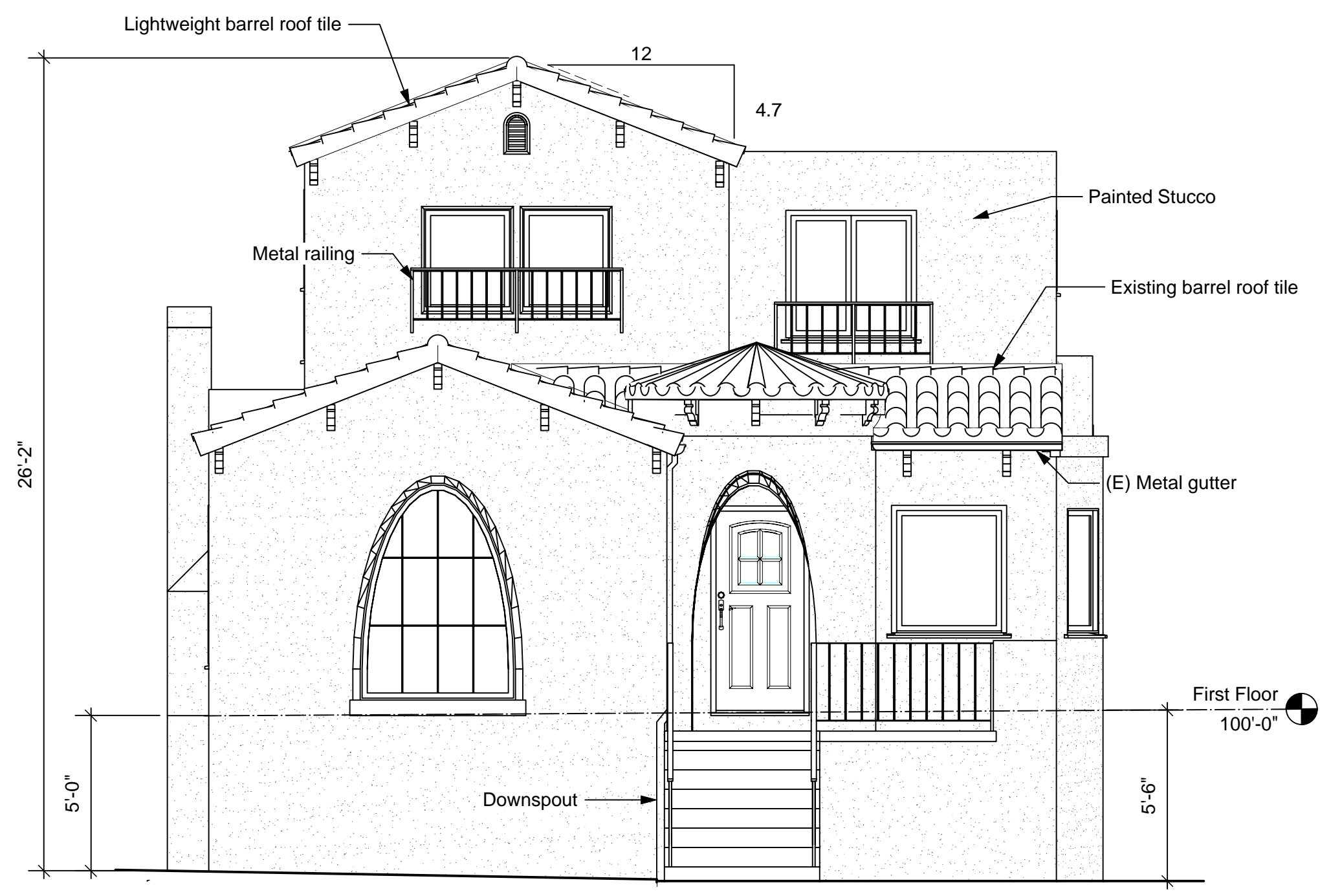
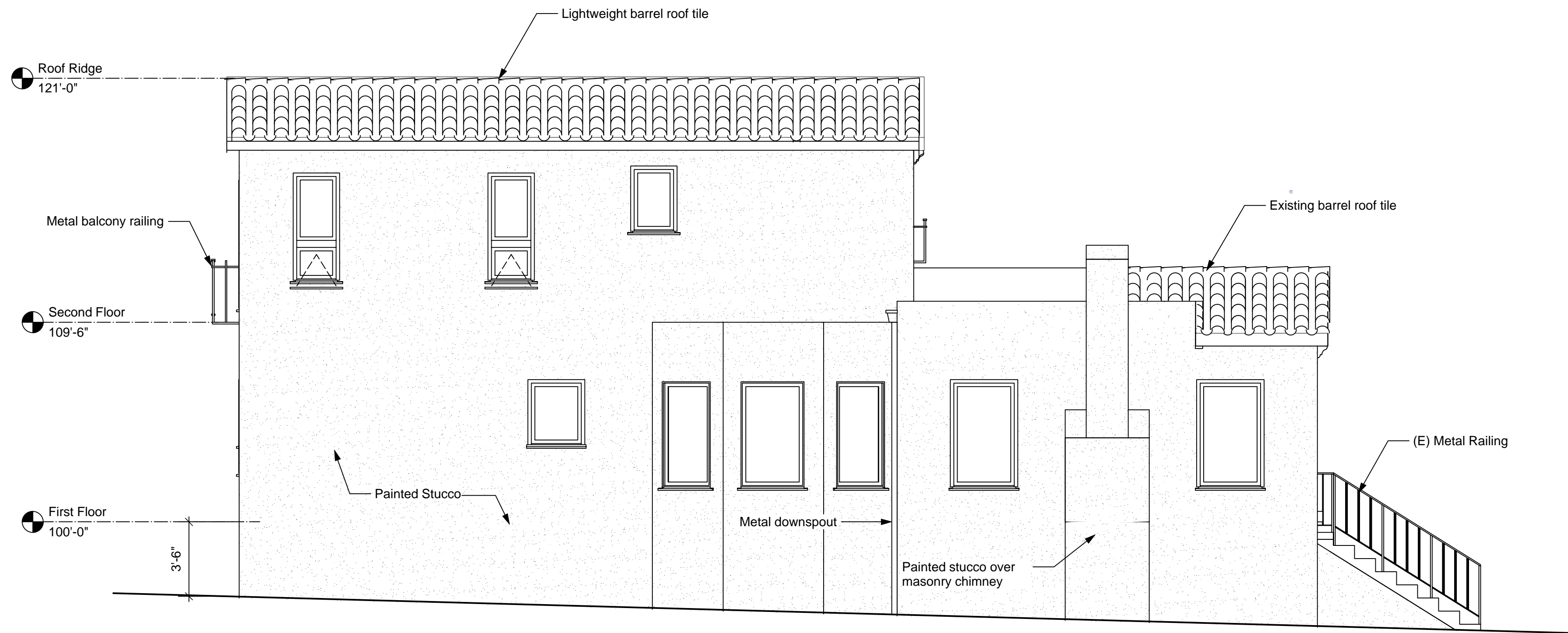
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revisions

scale

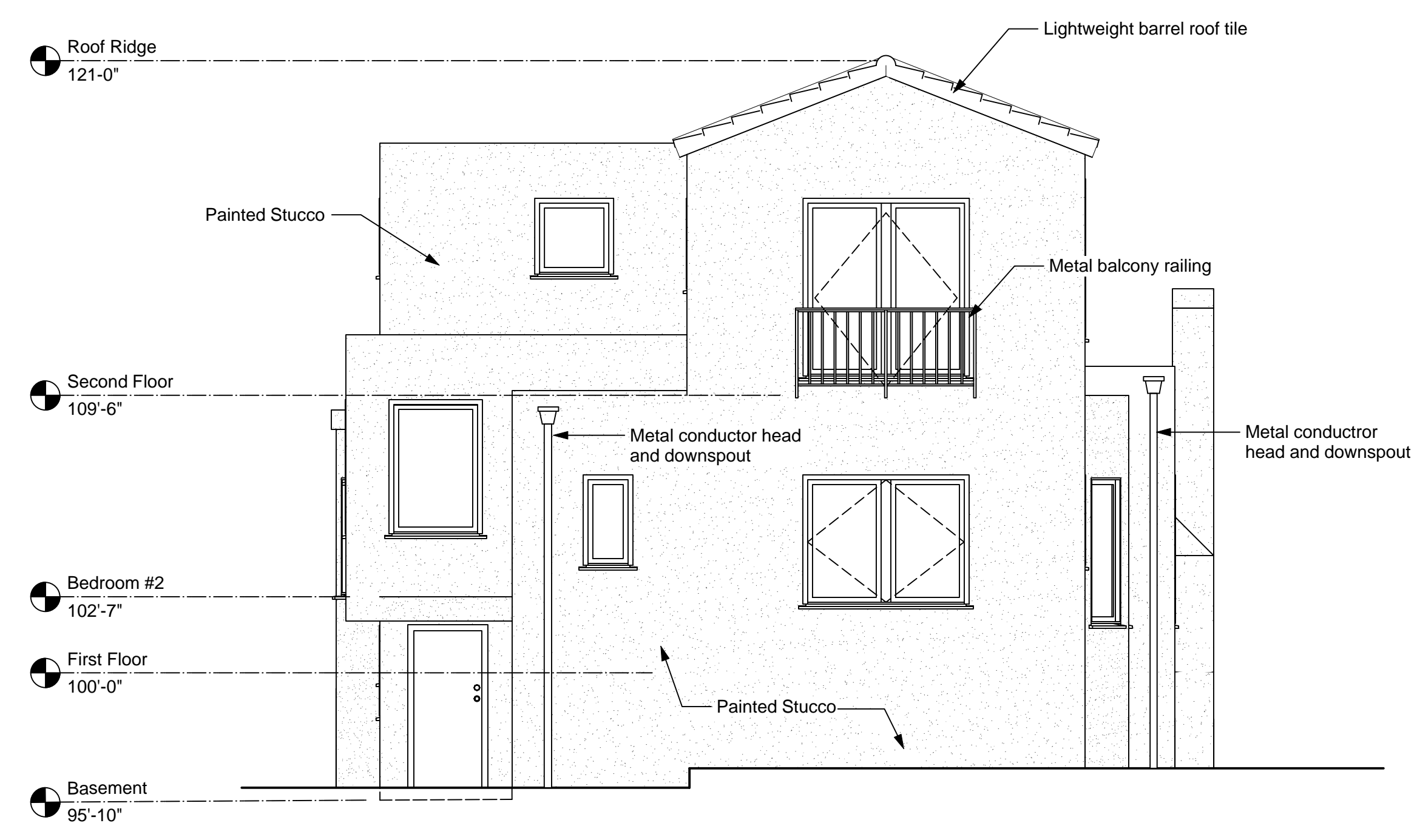
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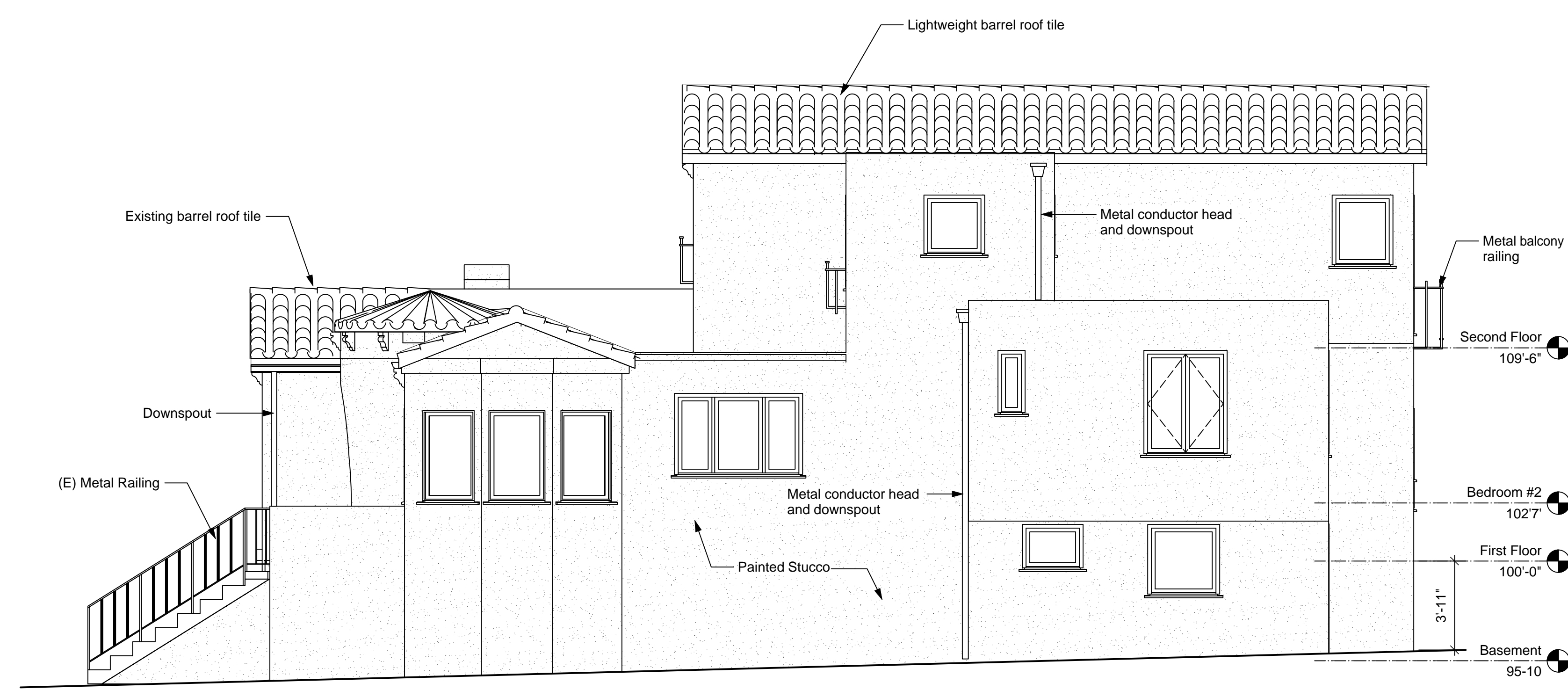


2 North Elevation--Proposed  
Scale: 1/4" = 1'-0"

1 West Elevation--Proposed  
Scale: 1/4" = 1'-0"



3 East Elevation--Proposed  
Scale: 1/4" = 1'-0"



4 South Elevation--Proposed  
Scale: 1/4" = 1'-0"

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sheet title

Elevations--Proposed

issue date

08/24/22

revisions

NO.	DATE	DESCRIPTION

scale

sheet number

**A2.2**





2 North Elevation--Proposed  
Scale: 1/4" = 1'-0"



1 West Elevation--Proposed  
Scale: 1/4" = 1'-0"



3 East Elevation--Proposed  
Scale: 1/4" = 1'-0"



4 South Elevation--Proposed  
Scale: 1/4" = 1'-0"

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sheet title

Rendered Elevations

issue date

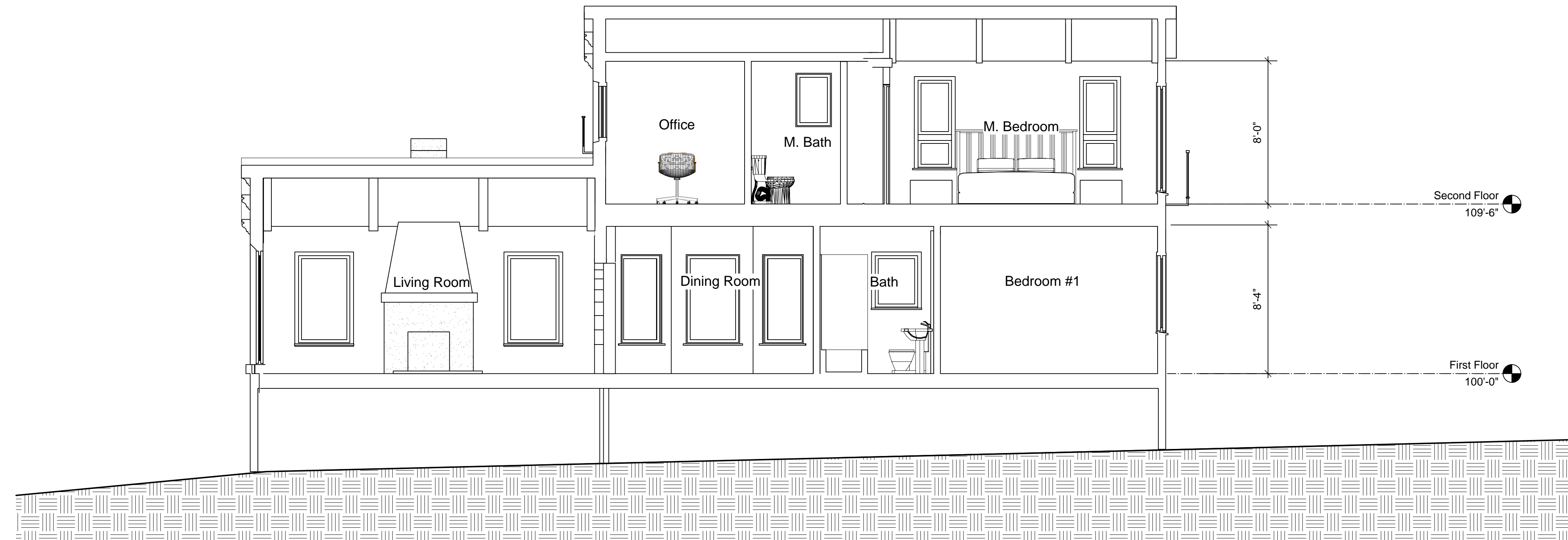
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revisions

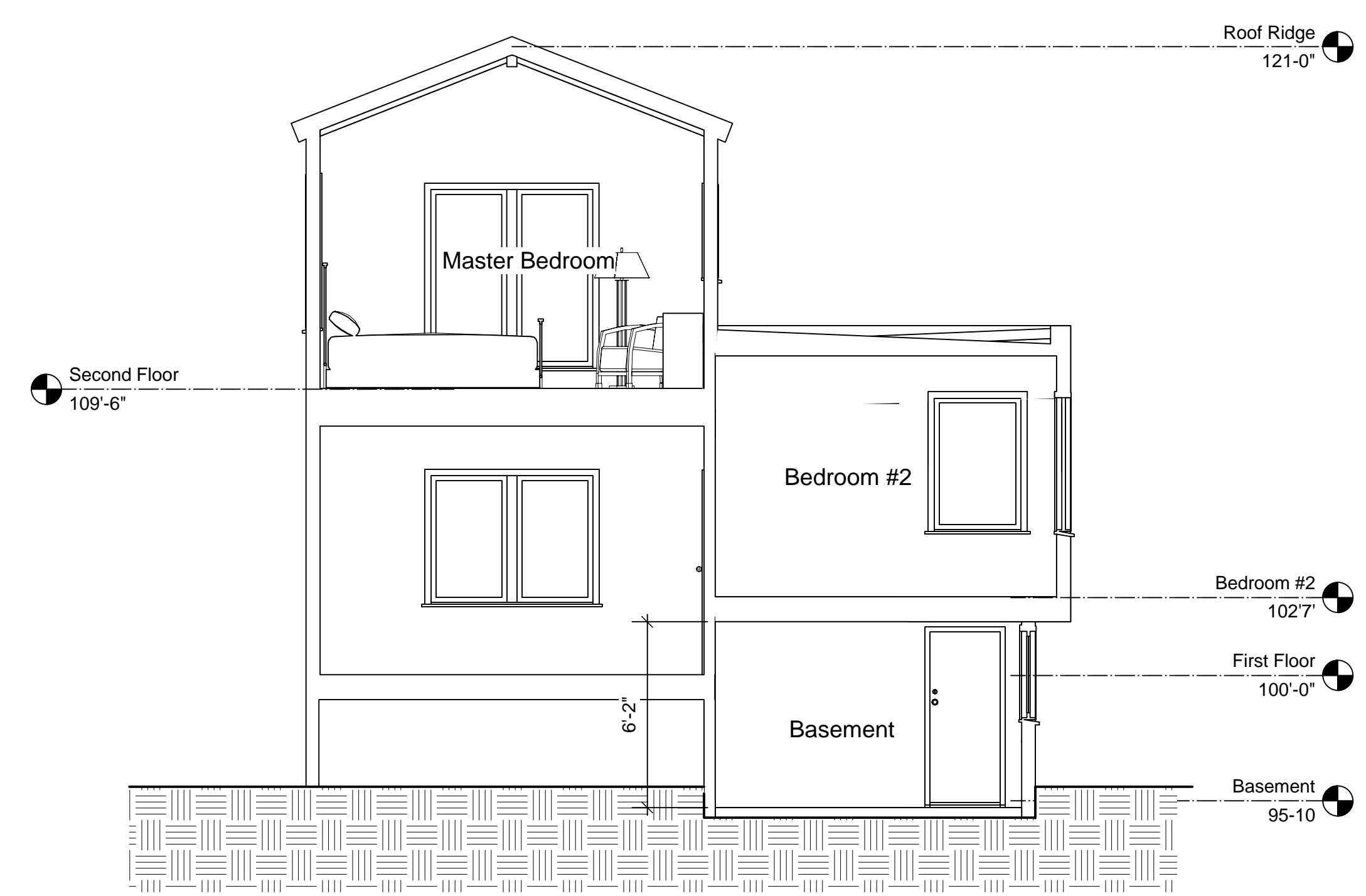

scale

sheet number

**A2.2A**



1 Section A-A  
Scale: 1/4" = 1'-0"



2 Section B-B  
Scale: 1/4" = 1'-0"

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sheet title

Cross Sections

issue date

08/24/22

revisions


scale

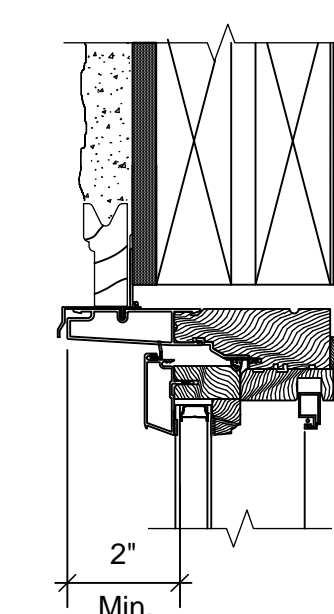
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**A3.1**

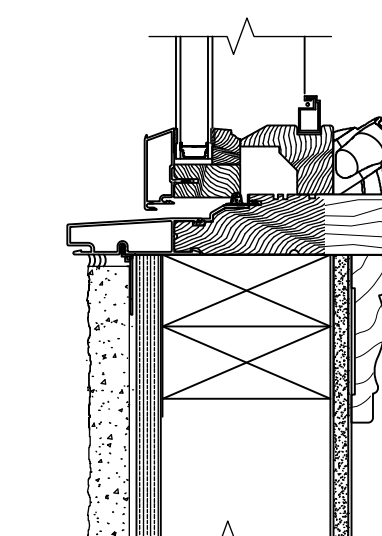
### Window Schedule

Mark	Nominal Size		Window Style	Frame Details			pening	Comments
	O.A. Width	O.A. Height		Head Detail	Jamb Detail	Sill Detail		
W-01	2'6"	3'0"	Casement				FALSE	
W-02	2'6"	3'0"	Casement				FALSE	
W-03	2'0"	3'0"	Casement				FALSE	
W-04	2'0"	5'0"	Custom				FALSE	
W-05	2'0"	5'0"	Custom				FALSE	
W-06	5'6"	6'0"	Custom				FALSE	
W-07	2'6"	3'0"	Casement				FALSE	
W-08	2'6"	2'6"	Casement				FALSE	
W-09	2'6"	2'6"	Casement				FALSE	
W-10	4'0"	4'0"	Bi-parting Casement				FALSE	

Note: Windows are Marvin Ultimate series, Windsor Plinnacle, or equal.



Head



Sill

1 Typical Window Details  
Scale: 3" = 1'-0"

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sheet title

Schedules and Details

issue date

08/24/22

revisions


scale

sheet number

# A8.1



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