

# ABBREVIATIONS

<u> </u>	<u> </u>												
&;	AND	C.I.	CAST IRON	(E)	EXISTING	FRMG.	FRAMING	L.F.	LINEAR FOOT	PL.	PLATE OR	SIM.	SIMILAR
& <u> </u>	ANGLE	C.I.P.	CAST IN PLACE	ÈÁ.	EACH	FT.	FOOT OR FEET	LT.	LIGHT		PROPERTY LINE	SPEC.	SPECIFICATION
Ф	SQUARE			E.J.	EXPANSION JOINT	FTG.	FOOTING	MAX.	MAXIMUM	P.LAM.	PLASTIC LAMINATE	SQ.	SQUARE
Q.	CENTERLINE	C.J.	CONSTRUCTION /	' ELEC.	ELECTRICAL	FURN.	FURNITURE	M.B.	MACHINCE BOLT/	PLAS.	PLASTER	S.S.	STAINLESS STEEL
Ø	DIAMETER		CONTROL JOINT	ELEC. PA	NELECTRICAL	FURR.	FURRING		MODIFIED	PR.	PAIR	STD.	STANDARD
Æ	PLATE /	CLG.	CEILING		PANELBOARD	GA.	GAUGE		BITUMINOUS	P.V.C.	POLYVINYL	STL.	STEEL
	PROPERTY LINE	CLO.	CLOSET	ELEV.	ELEVATION,	GALV.	GALVANIZED	MECH.	MECHANICAL		CHLORIDE	STOR.	STORAGE
A.B.	ANCHOR BOLT	CLR.	CLEAR		ELEVATOR	GL.	GRAB BAR	MED.CAB.		PWD.	PLYWOOD	STRUCT.	STRUCTURAL
A.B.C.	AGGREGATE	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.BM.	GLASS	MEMB.	MEMBRANE		01148874 7115	SUSP.	SUSPENDED
	BASE COURSE		MASONRY UNIT	ENCL.	ENCLOSURE	GR.	GLU-LAM BEAM	MEP	MECH,ELECT, PLUMB	Q.T.	QUARRY TILE	SYM.	SYMMETRICAL
A.C.	AIR CONDITIONING		. COUNTERSINK	EQ.	EQUAL	GRND.	GRADE	MFR.	MANUFACTURER	<b>D</b>	DADILLO /DIOED	<b>T</b>	TDE AD
ACOUS.	ACOUSTICAL		PCOUNTER TOP	EQUIP.	EQUIPMENT	GWB.	GYPSUM	MIR.	MIRROR	R.	RADIUS/RISER	T.	TREAD
A.C.	ASPHALTIC	C.O.	CLEAN OUT	E.W.C.	ELECTRIC	GWB.		MISC.	MISCELLANEOUS	R.A.	RETURN AIR	TEL.	TELEPHONE
PAVII			COLUMN		WATER COOLER	GYP. BD.	WALL BOARD GYPSUM BOARD.	M.O.	MASONRY OPENING	R.D.	ROOF DRAIN	T & G	TONGUE AND GROOVE
ADJ.	ADJUSTABLE	CONC.	CONCRETE	EXIST.	EXISTING	GIP. BD.	GIPSUM BUARD.	M.R.	MOISTURE	REDWD.	REDWOOD	THK.	THICK
A.F.F.	ABOVE FINISH	CONN.	CONNECTION	EXP.	EXPANSION	H.B.	HOSE BIBB		RESISTANT	REF.	REFERENCE	T.O.	TOP OF TOP OF CURB
	FLOOR	CONSTR.	CONSTRUCTION	EXT.	EXTERIOR	п.Б. H.C.	HOLLOW CORE	MTD.	MOUNTED	REFRIG.	REFRIGERATOR	T.O.C.	
AGGR.	AGGREGATE	CONT.	CONTINUOUS			HCP.	HANDICAP	MUL.	MULLION	REINF.	REINFORCED	T.O.W.	TOP OF WALL TUBE STEEL
ALUM.	ALUMINUM	CONTR.	CONTRACTOR	F.D.	FLOOR DRAIN	CDWD.	HARDWOOD	N.	NORTH	REQ'D	REQUIRED	T.S.	
ALT.	ALTERNATE	CORR.	CORRIDOR	FDN.	FOUNDATION	HDWR.	HARDWARE	N.I.C.	NOT IN CONTRACT	RESIL.	RESILIENT	T.T.B.	TELEPHONE TERMINAL BOARD
APPROX.	APPROXIMATE	CTR.	CENTER	FBRGL.	FIBERGLASS	H.M.	HOLLOW METAL		¥ NUMBER	RM.	ROOM	TYP.	TYPICAL
ARCH.	ARCHITECTURAL	C.W.	COLD WATER	F.E.	FIRE	HORZ.	HORIZONTAL	N.T.S.	NOT TO SCALE	R.O.	ROUGH OPENING	U.O.N.	UNLESS OTHERWISE NOTED
ASPH.	ASPHALT		5.01.151.5		EXTINGUISHER	HT.	HEIGHT	O.A.	OVERALL	ROOF'G R.W.C.	ROOFING RAIN WATER	UR.	URINAL
BD.	BOARD	DBL.	DOUBLE	F.E.C.	FIRE EXT-	HW.	HOT WATER	O.C.	ON CENTER	R.W.C.	CONDUCTOR	UK.	URINAL
BLDG.	BUILDING	DEPT.	DEPARTMENT		GUISHER CAB.			O.D.	OUTSIDE DIAMETER	R.W.L.	RAIN WATER	V.C.T.	VINYL COMPOSITION TILE
BLK.	BLOCK	D.F.	DRAINAGE FLOW	FFE.	FINISH FLOOR	I.D.	INSIDE	O.F.C.I.	OWNER FURNISHED/	N.W.L.	LEADER	V.C.T. VERT.	VERTICAL
BLKG.	BLOCKING	DIA.	DIAMETER		ELEVATION	IN OUT	DIAMETER		CONTRACTOR	C	SOUTH	VERT. VTR	VENT-THRU ROOF
BM.	BEAM	DIM.	DIMENSION	F.G.	FINISH GRADE	INSUL.	INSULATION		INSTALLED	S. S.A.	SUPPLY AIR	VIII	VENT-THICO ROOF
B.O.	BOTTOM OF	DISP.	DISPENSER	F.H.C.	FIRE HOSE	INT.	INTERIOR	OFF.	OFFICE	S.A. S.C.	SOLID CORE	W.	WEST
BOT.	BOTTOM	DN.	DOWN	=1.1	CABINET	INV.	INVERT	OPNG.	OPENING	SCHED.	SCHEDULE		/OWITH AND WITHOUT
B.U.	BUILT-UP	DNSPT.	DOWNSPOUT	FIN.	FINISH	JAN.	JANITOR	OPP.	OPPOSITE	SECT.	SECTION	W.C.	WATER CLOSET
		D.O.	DOOR OPENING	FIXT.	FIXTURE	JT.	JOINT	PNLG.	PANELING	S.F.	SQUARE FEET	WD.	WOOD
CAB.	CABINET	DR.	DOOR		FLASHING	KIT.	KITCHEN	PAR.	PARAPET	s.г. S.H.	SINGLE HUNG	WD. WDW	WINDOW
C.B.	CORNER BEAD	DTL. DWG.	DETAIL	FLR.	FLOOR	LAM.	LAMINATE	PART'N	PARTITION	s.п. SHR.	SHOWER	WP.	WEATHERPROOF
C.T.	CERAMIC TILE	DWG. DWR.	DRAWING DRAWER	FLUOR.	FLUORESCENT	LAW.	LAVATORY	PBWL.	PAPER BACKED WIRE LATH	SHT.	SHEET	WR.	WATER RESISTANT
CHAN. (	C) CHANNEL	DWK.	DNAWER	FPRF.	FIREPROOF	LAV.	LAVATONT		WIRE LATH	JIII.	JIILLI	W.S.	WEEP SCREEN
												WT.	WEIGHT
												** 1 *	

# DESCRIPTION OF WORK

-ADDITION OF A MASTER BEDROOM AND BATHROOM -NEW ATTACHED ACCESSORY DWELLING UNIT

# DESIGNER'S STATEMENT

I CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL INFORMATION INDICATED HERE ON.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED

I HEREBY FURTHER STATE THAT ALL PROPOSED GRADES, ELEVATIONS, AND CONTOURS DELINEATED UPON THIS PLOT PLAN ARE BASED UPON A SURVEY BY HENDRIK VAN DE POL RCE<u>LIC. #154</u>72 DATED 02/26/22

# DESIGNER

MAY 10, 2022 DATE DESIGNER TITLE

# PROJECT INFORMATION

LOT SIZE: 3,750 SF CONSTRUCTION: TYPE 5 UNPROTECTED WOOD FRAME BUILDING OCCUPANCY: SINGLE FAMILY RESIDENCE SPRINKLER: NO PARCEL #: 65-2408-25

EXISTING MAIN HOUSE LIVING AREA = 1,098 SF EXISTING ATTACHED GARAGE AREA = 258 SF (TO REMAIN THE SAME)

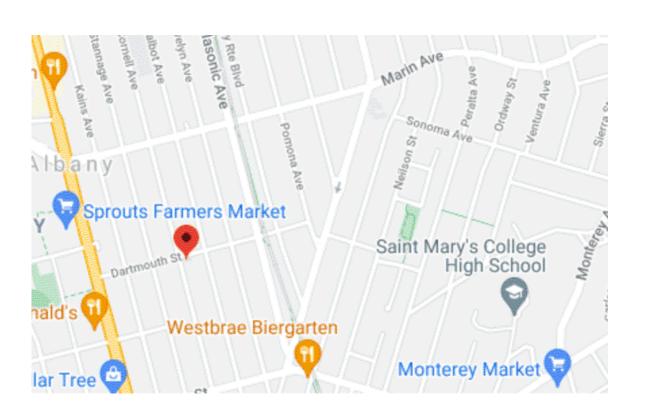
ADDITION = 240 SF.NEW ADU = 381 SF

NEW TOTAL LIVING AREA = 1,719 SF.

FLOOR AREA RATIOS: EXISTING FAR = |266|/3750| = 33.76%PROPOSED FAR = 1746 / 3750= 46.56%

IMPERVIOUS SURFACE: EXISTING = |630 SF|PROPOSED = 1875 SF

LOT COVERAGE: EXISTING = 1630/3750 43.46% PROPOSED = |875/3750 50.0%



### VICINITY

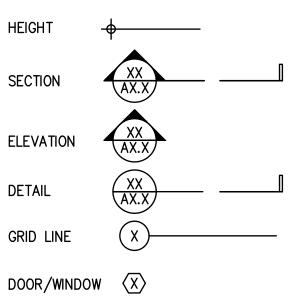
## GENERAL NOTES

- THE DESIGN PRESENTED IN THESE DRAWINGS ESTABLISHES THE GENERAL ARCHITECTURAL REQUIREMENTS FOR THE PROJECT. IT DOES NOT PRESENT ALL DETAILS REQUIRED FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO EXERCISE SOUND JUDGMENT IN ACCORDANCE WITH CODE REQUIREMENTS.
- 2. THE CONTRACTOR SHALL ESTABLISH NEW CONSTRUCTION SETBACKS REQUIRED BY THE CITY BY ORDERING A TOPOGRAPHIC SURVEY PRIOR TO START CONSTRUCTION.
- 3. THE DRAWINGS INDICATE LOCATION AND DIMENSONS, BUT THEY DO NOT ILLUSTRATE EVERY CONDITON. IN THE EVENT THAT CERTAIN FEATURES ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE IN ACCORDANCE WITH CONVENTIONAL PRACTICES OF THE UNIFORM BUILDING *CO*DE.
- 4. ALL CONDITIONS AFFECTING WORK PROGRESS AND CONFORMANCE TO PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK.
- 5. CONTRACTOR SHALL BRING TO THE ATTENTION OF DESIGNER FOR IMMEDIATE RESOLUTION ANY CODE VIOLATIONS, INADEQUATE CONSTRUCTION, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.
- ANY SITE AND BUILDING AREAS UNAFFECTED BY THIS WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY DAMAGE TO EXISTING STRUCTURES AND BUILDING ELEMENTS SO CALLED, SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- 7. ANY WASTE AND REFUSE, CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR PER CITY'S GREEN WASTE STANDARDS . SEE CAL GREEN REQUIREMENTS.
- 8. CONTRACTOR SHALL COMPLY WITH TITLE 24 REQUIREMENTS.

-HVAC DUCK LEAKAGE

9. THESE ITEMS MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER:

# SYMBOL LEGEND



# SHEET INDEX

- A-O SITE PLAN & TITLE
- A-I EXISTING FLOOR PLAN
- A-2 PROPOSED FLOOR PLAN A-3 PLAN NOTES
- A-4 EXISTING ELEVATIONS
- A-5 PROPOSED ELEVATIONS A-6 CITY OF ALBANY WINDOW REPLACEMENT HANDOUT

TOPOGRAPHIC SURVEY

# CODE COMPLIANCE

2019 CALIFORNIA BUILDING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL CODE COUNCIL, ICC)

2019 CALIFORNIA RESIDENTIAL CODE - APPLIES TO ONE AND TWO FAMILY HOUSES AND TOWN HOMES LESS THAN 3 STORIES IN HEIGHT.

2019 CALIFORNIA ENERGY CODE. CHECK THE CALIFORNIA ENERGY

COMMISSION'S WEBSITE AT HTTP://WWW.ENERGY.CA.GOV FOR A DOWNLOADABLE VERSION. (PUBLISHED BY ICC). 2019 CALIFORNIA ELECTRICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE NATIONAL ELECTRICAL CODE WITH CALIFORNIA

AMENDMENTS. PUBLISHED BY THE NATIONAL FIRE PROTECTION AGENCY, NFPA) 2019 CALIFORNIA PLUMBING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND

MECHANICAL OFFICIALS, IAPMO) 2019 CALIFORNIA MECHANICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE UNIFORM MECHANICAL CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)

2019 CALIFORNIA FIRE CODE (INCORPORATES BY ADOPTION AND REPRINTS THE INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY 100)

2019 CALGREEN CODE

CITY OF ALBANY MUNICIPAL CODE



TITLE AND SITE PLAN

1105 CORNELL AVE ALBANY, CA 94706 ADDITION AND AE

Ē

H. , H

signer

ant/Owne

Applic

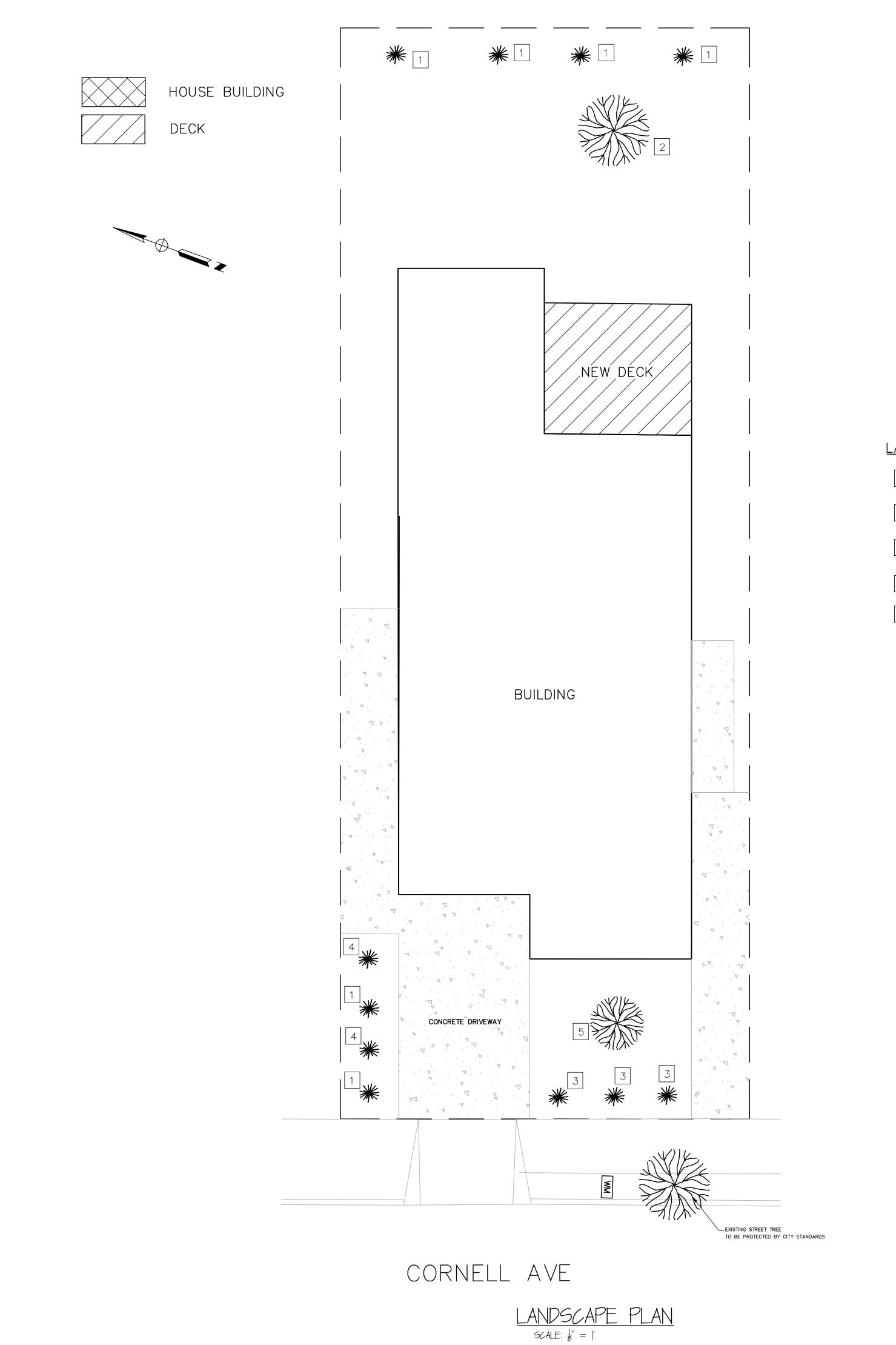
8TH

 $\alpha$ 

 $\alpha$ 

DESIGN BY CHECKED BY

04-26-22 HORIZ: AS SHOWN VERT: AS SHOWN



# LANDSCAPE LEGEND

- 1 DODONAEA VISCOSA PURPUREA
- 2 FRUIT TREE (LEMON)
- 3 LEPTOSPERMUM GAIETY
- 4 GREVILLEA LAN COASTAL GEM
- 5 JAPANESE MAPLE 15 GALLON

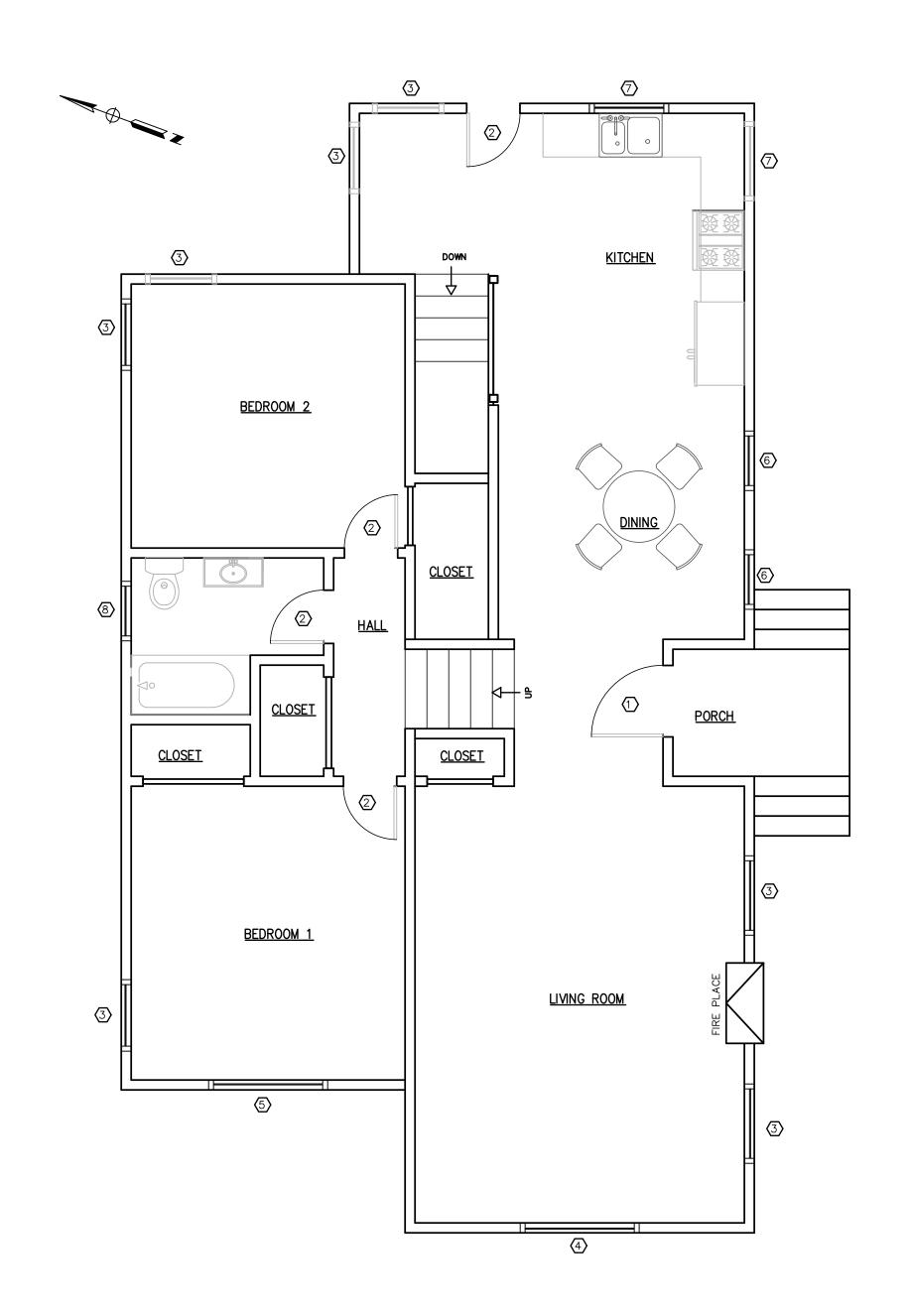
A - 0.1

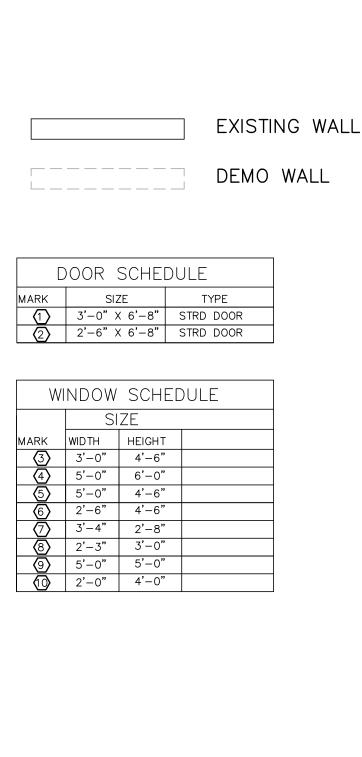
Applicant/Owner 2200 8TH AVE LL

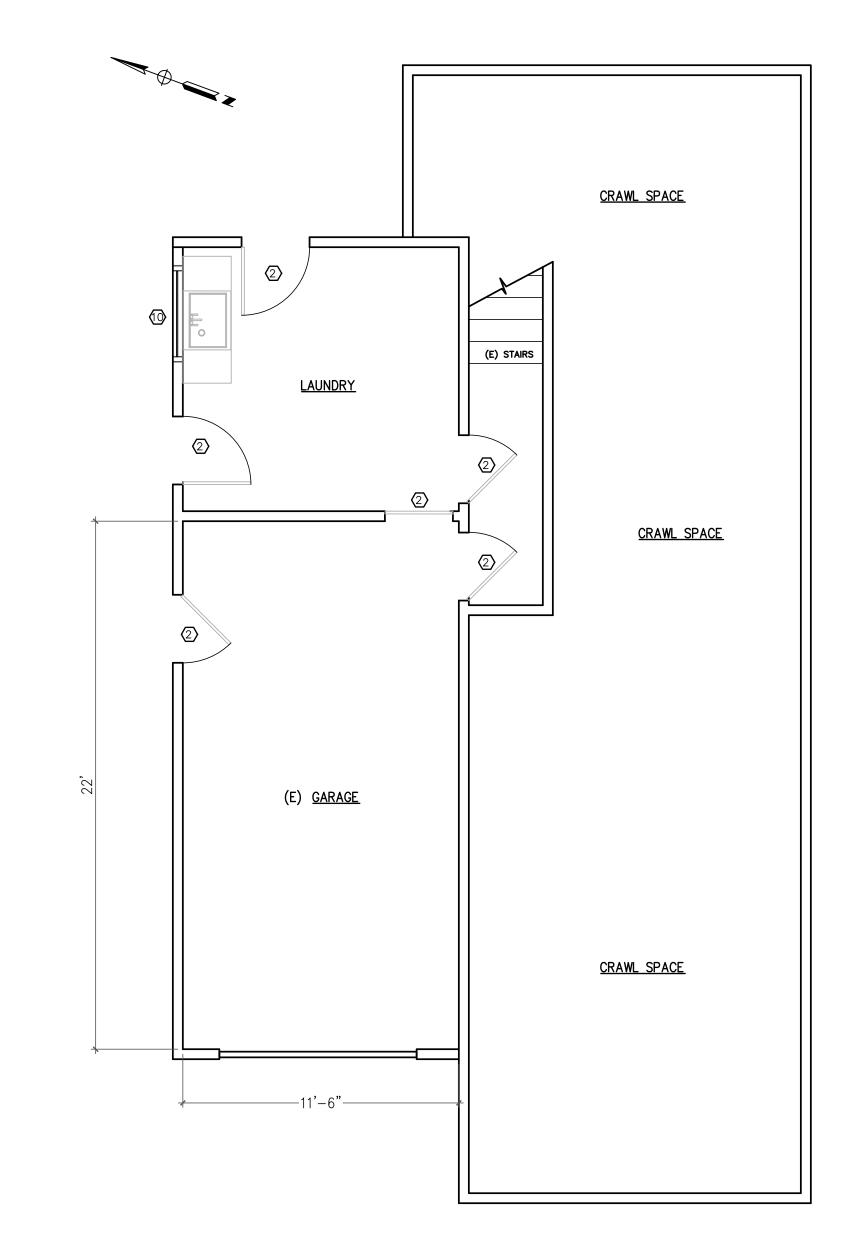
1105 CORNELL AVE ALBANY, CA 94706 ADDITION AND ADU

DATE 04-26-22 SCALE HORIZ: AS SHOWN VERT: AS SHOWN

LANDSCAPE PLAN







EXISTING UPPER FLOOR PLAN SCALE: 1/4" = 1'

EXISTING LOWER FLOOR PLAN - GARAGE/LAUNDRY

SCALE: 1/4" = 1'



Applica 2200

SCALE HORIZ: AS SHOWN VERT: AS SHOWN

A-1

PROPOSED FLOOR PLANS

#### PLAN NOTES

- SAFETY (TEMPERED) GLAZING: at: (1) hazardous locations-windows adjacent to: tubs, showers, and tub/showers (2) adjacent to and within 24 inches of either edge of doors (3) glazing less than 60" above walking surface at stairways or landings (4) for projects in Oakland, windows within 3' horiz. from tub/sñower unless btm of glazing >60" àbv. standing surface of
- SHOWER/TUB: showerhead 1.8 gal. per min. max. at 80 psi.
  a. shower stalls shall be a minimum finished interior of 1,024 square inches, be capable of encompassing a 30" diameter circle, and any doors shall swing out of the enclosure have a clear opening of 22" minimum. (cpc 411.6 and 411.7)
  b. glazing in any portion of the shower, bathtub, or hydro-massage tub enclosure shall be safety glazing (i.e. tempered glass) when the bottom edge of the glazing is less than 50" above the standing surface of the unit. (cbc 2406.3 and crc r308.4) c. shower stalls and bathtubs with shower heads installed, shall have walls finished with a non-absorbent surface for a minimum of 6' above the floor.
  d. any new or replaced mixing valve in a shower (including over a tub) shall be pressure balancing set at a maximum 120° f. any new or replaced water-filler valve in bathtubs/whirlpools shall have a temperature limiting device set at a maximum of 120° e. the water heater thermostat cannot be used to meet the these provisions. (cpc 414.0 and 418.0) f. hydro-massage tubs (i.e. jacuzzi tubs) shall have motor access, a gfci protected dedicated circuit, and be ul listed. all metal cables, fittings, piping, or other metal surfaces, within 5' of the inside wall of the hyrdo-massage tub shall be properly bonded. hydro-massage tubs shall be
- **TOILET:** max.1.28 gal. per flush; min. 30" width clearance; min 24" front clearance; fixture centered min 15" from side; caulk & seal fixture where it meets floor.
- BATHROOM:
- a. all receptacles shall be gfci protected & tamper resistant. new/additional outlets shall have a dedicated 20-amp circuit. (cec 406.11, 210.8, 210.11) b. provide mechanical ventilation system capable of providing 5 air changes/hr-mechanical subcontractor to specify acceptable fan unit for each space; exhaust fans are required in all bathrooms, even if an operable window is installed, exhaust fans and lighting shall have separate control switches (even if a combination unit is installed). the exhaust fan may need to be supplied by a gfi protected circuit based on the manufacturer's requirements. (california energy efficiency stanďards section 150)
- c. termination of all environmental air ducts shall be a minimum of 3 feet from property lines or openings into the building (i.e. dryers, bath and utility fans etc. must be 3 feet away from doors, windows, opening skylights or attic vents)
  d. lighting fixtures located within 3' horizontally and 8' vertically of the bathtub rim or shower stall threshold shall be listed for a damp location, or listed for wet locations where subject to shower
- spray. (cec 410.10) e. All lighting shall be high efficiency fixtures (e.g. fluorescent) and at least one new luminire shall be controlled by a vavancy sensor or manual-on occupancy sensor.

  f. maximum flow for bathroom faucet to be 1.2 gallon/minute at 60 psi
- ) KITCHEN:
- a. conductor wires with an installed neutral and a four-prong outlet are required for dryers and b. provide two separate 20amp circuits for kitchen small appliances, with no other outlets on the
- c. termination of all environmental air ducts shall be a minimum of 3 feet from property lines or openings into the building (i.e. dryers, bath and utility fans etc. must be 3 feet away from doors, windows, opening skylights or attic vents)
  d. All newly installed lighting shall be high efficacy per CEnC Table 150.0-A.
  e. inspection instructions for all listed equipment shall be provided to the field inspector at time of
- f. gfci protection at all receptacles serving kitchen counter tops; receptacles within 6 feet of a
- wet bar sink; at each kitchen and dining area counter space wider than 12 inches. locate so that no point along the counter wall is over 24" from a receptacle. all receptacles to be tamper
- g. maximum flow for kitchen faucet to be 1.8 gallon/minute h.Maximum 6.5 gallons per cycle or be Energy Star Qualified for new dishwashers (DCMC 15.20.080). Dishwasher must be protected by an GFCI receptable. Kitchen hoods shall be minimum 100 CFM and a mexicum of 3 sones (CENC 150.0(o)1 (G). j. A smooth rigid ducted vent shall be installed for the kitchen hood, and it shall not be directed onto walkways (CMC 504.3). Termination shall be to the Roof. k. Kitchen hood to vent to the exterior per ASHRAE 62.2 standard.

- a. conductor wires with an installed neutral and a four-prong outlet are required for dryers and
- b. provide one minimum seperate 20 amp circuit to laundry appliances.
- c. vent dryer w/smooth metal duct to ext. w/backdraft damper. duct to be 4" min. dia.; 14' max length w/2 elbows provide one minimum seperate 20 amp circuit to laundry appliances.
- d. termination of all environmental air ducts shall be a minimum of 3 feet from property lines or openings into the building (i.e. dryers, bath and utility fans etc. must be 3 feet away from doors, windows, opening skylights or attic vents) e. ľaundry room lighting: all néwly installed lights shall be high efficacy per CEnC Table 150.0-A
- installation instuctions for all listed equipment shall be provided to the field g. Laundry closet door shall have a minimum opening area of 100 square inches for make—up air clothes dryer (CMC Section 504.4.1)
- GUARD RAILS: guardrail req'd at walking surface 30" or more above grade. guardrail height shall be min. 42" high with intermediate rails such that 4" sphere shall not pass through. guardrail & connection shall be capable of resisting 20 plf horiz. load perpendicular to top rail and intermediate rails, panel filters and their connections shall be capable of withstanding a load of at least 25 pounds per square foot applied horizontally at right angles ofver the entire tributary area, including openings and spaces between rails.
- 8 STAIRS: conform to a. 1/4"-2" diameter handrail mounted 34 to 38in. above the tread nosing. required at all stairs with 4 or more risers)-return at ends b. handrails shall be mounted so that the completed rail and supporting structure are capable of withstanding a load of at least 200 pounds applied in any direction at any point on the rail.
- cbc-table 16-b, foot note 9. c. headroom min. 6'8" abv stair treads
  d. handrail projection max. 3.5" into req'd stair width. stringers and other
  projections are limited to 1-1/2" projection each side.
  e. rise & run of stairs (max. rise 7-3/4"; min. run 10")
- f. handrail required at stairs with two or more risers; handrail both sides required at ext stairs; handrail at one side allowed at int. stairs g. at ext. stairs; handrails to extend 12" horiz at top and extend one tread
- ´length at bottom of run & return to adj. wall or post Discrete Landing State | Landing outside all exterior doors (not more than 7-3/4" lower than threshold for in-swinging doors and not more than 1/2" lower than threshold for outswinging doors; min. 1/4" slope for weather exposed landings; balconies and roof decks sealed underneath
- PRESSURE TREATED WOOD: to be used for wood in contact w/earth or embedded in
- concrete or masonry, 6" min, clear from grade to framing HOSE BIBS: provide a non-removable backflow prevention device on all new exterior hose bibs, and lawn sprinkler/irrigation systems. All hose bibs must have approved anti-siphon device
- (13) **SLOPE OF GRADE:** 1. Away from building at a minimum of 2% for 4' for impervious surfaces 2. Away from building at a minimum of 5% for pervious surfaces from foundation area.
- WATERPROOF/GFCI PROTECTED OUTLETS: at exterior at front and rear of dwelling having access to grade and at all balconies; decks; and porches greater than 20 SF
- ADDRESS NUMBERS: Show location of address numbers on building elevations clearly visible from adjacent access street or road. numbers to be min. 4" high with min. stroke with of 1/2" and shall contrast with the background
- (16) WATER HEATER: (gas storage—tank type)
  a. seismic anchorage of water heater include 3 anchors or straps at points within the to upper and lower one-third of its vertical dimension-the lower anchor/strap located to maintain a minimum distance of 4 inches above the controls
- b. pressure relief valve with drain a minimum distance of 4 inches above the controls c provide 24 inch minimum wide door to water heater compartment; min 30" x 30" workspace by d. dwh location prohibited in bdrm; bathrm; clothes clst; or area open to same except direct vent
- e. if located over framing; requires watertight pan w/1" drain f. externally wrapped with min. R-12 insulation

- (7) FORCED AIR FURNACE:
- a. fau located on conc. slab min 3" abv grade; b. attic access 22x30" min.;
- c.switch at entrance for light at appliance; d. not open to bdrm or bathrm;

- e. 30" clr workspace at front;
  f. total clearance 12" greater than fau width;
  g. furnace room passageway 24" min width;
  h. combustion chamber 6" min. to closed door
  j. receptacle within 25' & not on appl. circuit;
  k. HVAC subcontractor to verify all applicable installation requirements & install per manuf. m. FAU Combustion Air (see UMC & UPC for more options & req'ts): Opt1: provide 100 sq.in. ext. openings within upper & lower 12" of mech. clst; Opt 2: one ext. opening within upper 12" with min 1 sq in. per 3kBtu & >=cross sectional area of all vent connectors (High Efficiency FAUs or FAUs
- 1-HR WALL BETWEEN GARAGE & HOUSE: 5/8" type x gyp. bd garage side; 2x4 wd studs @ 16" o.c. w/R-13 batt insul; 1/2" gyp bd @ house side. 1-hr clg btween garage & house: 2 layers g" type X gyp. bd. garage side (fasten per CBC Table 7-C item 21-1.1) Fire separation shall extend through ceiling to the underside of roof sheathing.

in ventilated cralwlspace, garage or attic have specific allowances`& reg'ts per UMC)

- 19 **DOOR TO GARAGE:** door between garage & house to be self-closing; tight-fitting solid wood door 1-3/8" thick or approved 20 min. fire-rated door
- © **CRAWLSPACE VENTILATION:** vent 1 s.f./150 s.f. of underfloor area: U.O.N., provide painted 6"x16" G.S.M. vents as close to corners as possible and allowing cross-ventilation. Vents shall be covered with ¼" wire mesh
- 2) **UNDER-FLOOR CLEARANCE:** provide min. 18" clear to exposed ground in crawlspaces from joists or structural wood floors or 12" to wood girders. Otherwise, such wood framing shall be pressure-treated or have natural resistance to decay.
- CRAWLSPACE ACCESS: Provide min. 18"x24" crawlspace access panel. Ventilation 1 s.f./150 s.f. of crawl space area.
- 23 **ATTIC VENTILATION:** vent 1 s.f./150 s.f. of attic area or 1 s.f./300 s.f. if >50% of venting is located above mid-point of attic
- 24 ATTIC ACCESS PANEL: R807.1: 22"x30" min. panel (size larger to accomodate fau as req'd) located in hallway or other readily accessible location. if FAU in attic, provide 30" min deep platform in front of firebox & lighting outlet switched at access door near furnace.
- 25 **EGRESS WINDOW:** 5.7 sq. ft. min. (5 sq. ft. min. allowable at ground level); 20" wide by 24" high; max. 44" to finished sill opens directly to public way; yard or court that opens to a public
- 26 ARC-FAULT CIRCUIT INTERRUPTER: at all branch circuits that supply 120 volt, single-phase, 15 and 20 ampere receptacle outlets installed in all dwelling unit rooms and kitchens, except bathrooms and garages.
- SMOKE DETECTORS: new 110v smoke detectors (with battery backup) which are audible in all sleeping areas & at the following locations: 1. hallways leading to bedrooms; 2. above tops of stairs; 3. at least one every level and any area where ceiling height is more than 24" above hallway ceiling leading to sleeping room, and shall be at least 3 feet away from room entrance. all smoke detectors are to be interconnected per 2019 CRC (activation of one alarm will activate all of the alarms in the individual unit & alarm will be clearly audible in all bedrooms over background noise levels with all intervening doors closed)
- (Sec:R315) new 110v carbon monoxide alarm (with battery backup) installed in each bedroom, and outside each area adjacent to a sleeping area; each story of the building; and in any basement. All carbon monoxide alarms detectors are to be interconnected activation of one alarm will activate all of the alarms).
- ② WATER HEATER COMBUSTION AIR: Provide combustion air as required by CMC Chapter 7 or CPC §506. Installer shall furnish calculations to the Building Official/Inspector that show how the proposed combustion air system provides at least the minimum required combustion air openings and shall locate the openings as required by the calculation method

- 3 CLOSETS: Lighting in clothes closet shall be fully glass enclosed or flourescent fixture.
- **EXTERIOR WALL GAPS:** annular spaces around pipes, electric cables, conduits or openinings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.
- 3 HOT WATER PIPING: Minimum 1" thick pipe insulation shall be installed on all accesible hot water piping.
- 3 OUTDOOR LIGHTING: Outdoor lighting permanently mounted to a dwelling or other buildings on the same parcel shall be high efficacy and be controlled by a manual on off switch with a motion sensor and photo control, or a time switch and photo control, or an astronomical time clock programmed to run off the lighting during daylight hours.
- MEMBRANE PENETRATIONS: Membrane penetrations of fire-resistance assemblies shall comply with 2016 CBC section 714.3.2

Membrane penetrations of fire resistance rated assemblies shall be protected by and approved penetration firestop system.

A. Membrane penetration of fire resistance rated walls by steel electrical boxes that do not exceed 16 square inches in area provided that the aggregate area of the openings through the membrane does not exceed 100 square inches in any 100 square feet of wall area. such boxes on opposite sides of the wall shall be separated by on of the following:
-By a horizontal distance of not less than 24" where the wall is constructed with individual non communicating stud cavities.
-By solid fireblocking

-By protecting both boxes with approved listed putty pads.

B. Membrane penetrations of fire resistance rated walls by listed electrical boxes provided that the boxes have been tested for use in fire resistance rated assemblies and are installed in accordance with the instruction included in the listing. Such boxes on opposite sides of the wall

shall be separated by on of the following:

-By the horizontal distance specified in the listing of the electrical boxes.

v solid fireblocking. By protecting both boxes with listed putty pads.

# $\sim$

4706 D A

0

 $\circ$ 

ai.

 $\circ$ 

00,000

 $\oplus$ 

·<u>~</u>

 $\oplus$ 

#### **FURNACE NOTES**

- 1. DISTANCE FROM THE ACCESS OPENING TO THE FURNACE SHALL NOT EXCEED 20'-0". THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL
- 2. A LEVEL PLATFORM NOT LESS THAN 30"X30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE UNLESS THE FURNACE IS CAPABLE OF BEING SERVICED FROM THE REQUIRED ACCESS OPENING WITH THE SERVICE SIDE NOT MORE THAN 12" FROM THE ACCESS OPENING.
- 3. A PERMANENT 120 VOLT RECEPTACLE OUTLET AND LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE MOTION OCCUPANCY SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

#### ELECTRICAL / MECHANICAL NOTES

HAVE SOLID FLOORING NOT LESS THAN 24" WIDE.

- 1. ALL MECHANICAL AND ELECTRICAL WORK TO BE DESIGNED BUILD, INFORMATION PROVIDED FOR REFERENCE ONLY.
- 2. PROVIDE GROUND-FAULT CIRCUIT INTERRUPTERS FOR RECEPTACLES INSTALLED AT BATHROOM AND KITCHEN COUNTERTOP SURFACES.
- 3. AT THE KITCHEN, PROVIDE 2-20 AMP CIRCUITS FOR SMALL APPLIANCES AND A 15 AMP DEDICATED CIRCUIT FOR THE REFRIGERATOR. INDEPENDENTLY, PROVIDE SEPARATE CIRCUITS FOR LIGHTING, APPLIANCE RECEPTACLES, HOOD FANS, DISHWASHERS AND DISPOSALS.
- 4. ALL PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES, AS SPECIFIED IN §150.0(k)1
- 5. LIGHT FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT.
- 6. SMOKE DETECTORS SHALL BE INSTALLED IN EXISTING BEDROOMS, IN HALLWAYS, AND WITHIN EACH STORY. WHEN DWELLING HAS FUEL-BURNING APPLIANCES OR ATTACHED GARAGE: INSTALL CARBON MONOXIDE ALARM IN HALLWAYS ADJOINING SLEEPING AREAS AT EACH LEVEL. SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BATTERY BACKUP.
- 7. ALL PERMANENTLY INSTALLED LUMINAIRES IN BATHROOM SHALL BE HIGH EFFICACY LUMINAIRES, AS SPECIFIED IN §150.0(k)1
- 8. BATHROOM RECEPTACLES SHALL BE INSTALLED ON A DEDICATED 20-AMPERE BRANCH CIRCUIT THAT IS:
- DEDICATED TO ONLY BATHROOM RECEPTACLES OR, - DEDICATED TO THE RECEPTACLES AND LIGHTING WITHIN A SINGLE BATHROOM ONLY.
- 9. SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS SHALL BE 18" FROM STORAGE AREAS. FLUSH MOUNTED SHALL BE 6" AWAY.
- 10. ALL RECEPTACLES, LIGHTING CIRCUITS, SWITCHES AND HARD WIRED SMOKE DETECTORS INSTALLED. IN ROOMS OTHER THAN KITCHEN, SHALL BE PROTECTED WITH AN ARC FAULT CIRCUIT INTERRUPTER.
- 11. ALL RECEPTACLES SHALL BE TAMPER RESISTANCE IN ACCORDANCE TO 2016 CEC
- 12. EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHES SEPARATELY FROM LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME. LIGHTING INTEGRAL TO AN EXHAUST FAN MUST BE HIGH-EFFICACY.
- 13. EACH BATHROOM IS REQUIRED TO HAVE A 50 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. BATHROOM IS ANY ROOM WITH A BATHTUB, SHOWER, SPA OR SIMILAR SOURCES OF MOISTURE. TOILET ROOM IS NOT CONSIDERED A BATHROOM.
- 14. EACH KITCHEN IS REQUIRED TO HAVE A 100 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. THE RANGE HOOD OVER THE STOVE MAY BE USED TO MEET THIS REQUIREMENT, BUT THE RANGE HOOD MUST BE VENTED TO THE OUTSIDE.
- 15. LOCAL EXHAUST FANS ARE REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 3 SONES, UNLESS THEIR MAXIMUM RATED AIRFLOW EXCEEDS
- 16. PROVIDE ONE 20A DEDICATED CIRCUIT FOR THE RECEPTACLE OUTLETS FOR THE LAUNDRY ROOM. THE 20A LAUNDRY ROOM RECEPTACLE CIRCUIT CAN SUPPLY MORE THAN ONE RECEPTACLE IN THE LAUNDRY ROOM. THIS RECEPTACLE CAN NOT SUPPLY OTHER OUTLETS, SUCH AS THE LAUNDRY ROOM LIGHTING OR RECEPTACLES IN OTHER ROOMS. GFCI PROTECTION IS NOT REQUIRED FOR 15A AND 20A, 125V RECEPTACLES IN A LAUNDRY ROOM, UNLESS THEY ARE WITHIN 6 FT OF A SINK.
- 17. EXHAUST DUCTS FOR DRYER SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. DUCT TERMINATION SHALL BE EQUIPED WITH A BACKDRAFT DAMPER
- 18. LIGHTING CONTROL FOR KITCHEN, DINING, FAMILY, LIVING, AND BEDROOMS SHALL BE ON DIMMERS.
- 19. LIGHTING CONTROL FOR GARAGE, LAUNDRY, BATHROOMS, AND STORAGE SHALL BE ON VACANCY SENSORS.
- 20. EXTERIOR LIGHTS SHALL BE ON TIMERS OR PHOTO SENSORS.
- 21. GFI RECEPTACLE FOR EACH PARKING SPACE.

## WINDOWS REQUIREMENTS & SAFETY GLAZING.

#### EMERGENCY ESCAPE WINDOWS

- IN BEDROOMS PROVIDE OPERABLE ESCAPE WINDOWS (AT LEAST ONE IN EACH BEDROOM) MEETING ALL OF THE FOLLOWING:
- A NET CLEAR OPENABLE AREA NOT LESS THAN 5.7 SF
- A MINIMUM CLEAR OPENING HEIGHT OF 24".
- A MINIMUM CLEAR OPENING WIDTH OF 20"
- A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR.

#### NATURAL LIGHT AND VENTILATION REQUIREMENTS

- EACH HABITABLE ROOM (EXCLUDES HALLWAYS, BATHROOMS, AND LAUNDRY ROOMS) IS REQUIRED TO HAVE:
- NATURAL LIGHT (WINDOWS OR SKYLIGHTS) SIZED TO A MINIMUM OF 8% OF THE FLOOR AREA OF THE ROOM
- VENTILATION (OPENABLE PORTION OF WINDOW OR SKYLIGHT) SIZED TO A MINIMUM OF 4% OF THE FLOOR AREA.

#### SAFETY GLAZING WINDOWS AND DOORS

- SAFETY GLAZING SHALL BE PROVIDED IN ALL DOORS
- GLAZING LESS THAN 60" ABOVE THE DRAIN INLET IN HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS SHALL BE TEMPERED.
- GLAZING IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR, WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IN WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE, SHALL BE TEMPERED.
- GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE SHALL TEMPERED.
- GLAZING IN INDIVIDUAL FIXED OR OPERABLE WINDOWS SHALL BE SAFETY TYPE IF THE WINDOW IN QUESTION MEETS ALL OF THE FOLLOWING CONDITIONS:
- THE EXPOSED AREA OF THE INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
- THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR. - THE EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR.
- THERE ARE ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

#### WATER EFFICIENT PLUMBING FIXTURES

TYPE OF FIXTURE	REQUIRED WATER-CONSERVING PLUMBING FIXTURE (MAXIMUM FLOW-RATES)						
WATER CLOSET (TOILET)	1.28 GALLONS/FLUSH						
SHOWERHEAD	1.8 GALLONS/MINUTE AT 80PSI						
FAUCET BATHROOM	1.2 GALLONS/MINUTE AT 60 PSI						
FAUCET KITCHEN	1.8 GALLONS/MINUTE AT 60 PSI (AVERAGE)						

ALL FIXTURES SHALL COMPLY WITH THE ABOVE REQUIREMENTS



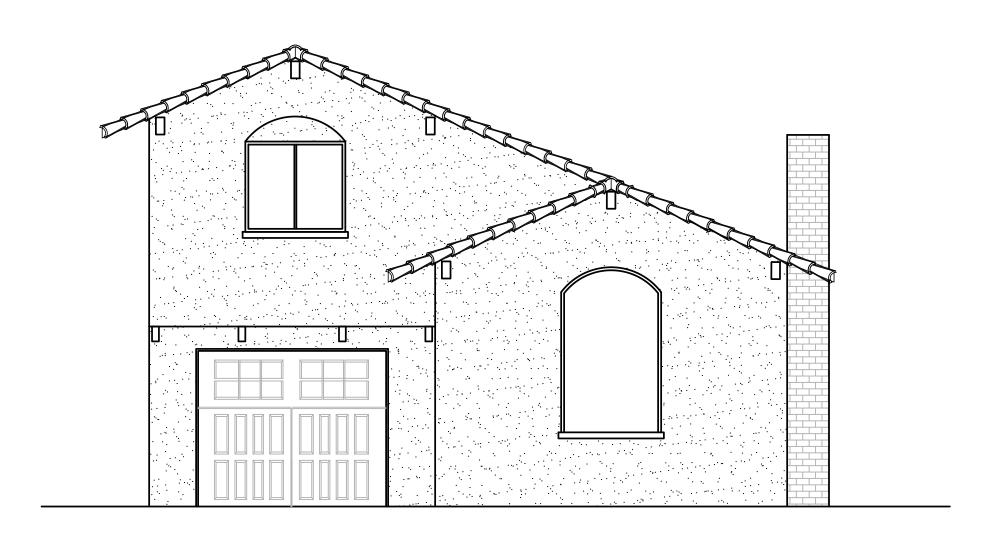
HORIZ: AS SHOWN VERT: AS SHOWN

DESIGN BY

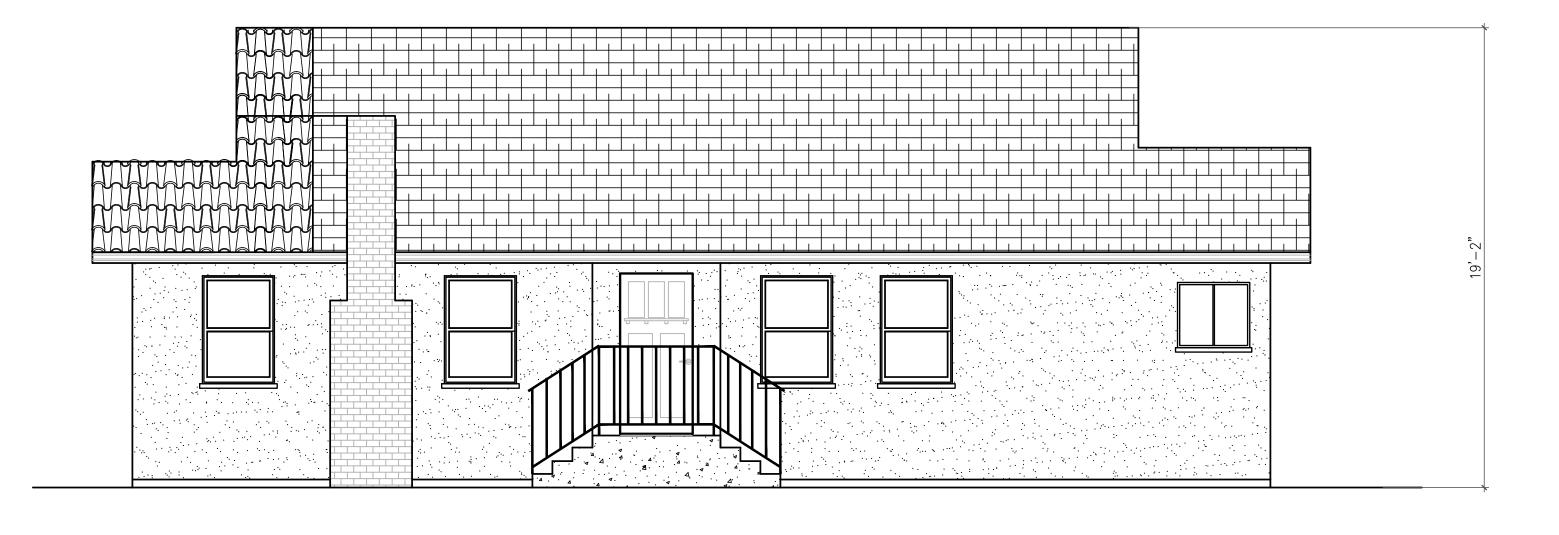
DRAWN BY

CHECKED BY

04-26-22

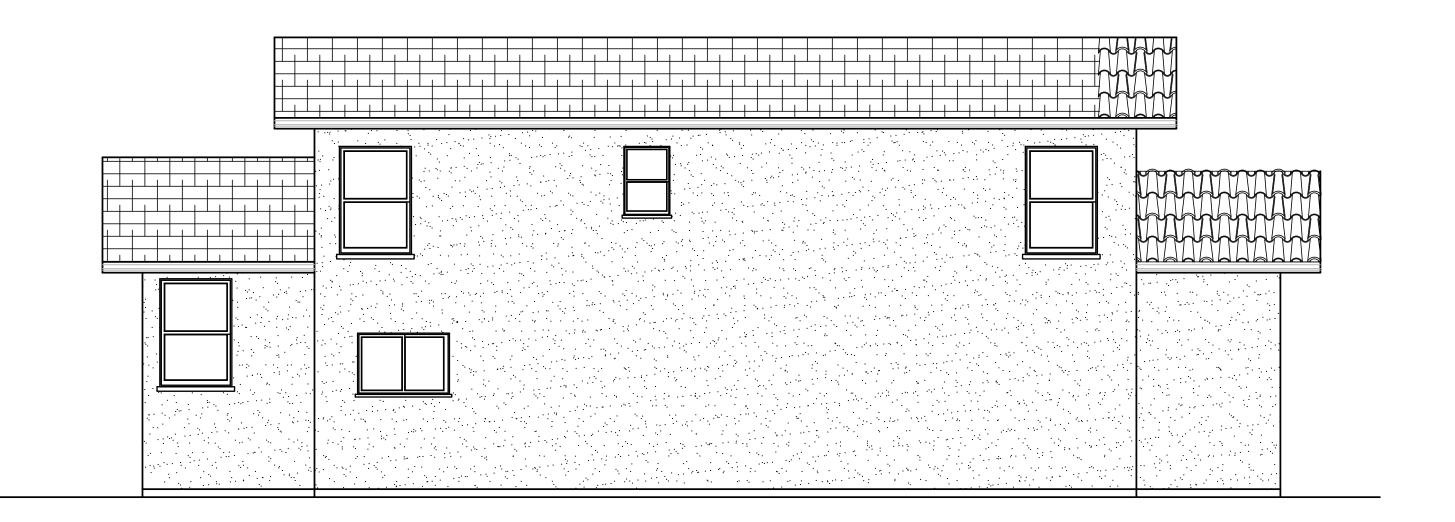


EXISTING FRONT ELEVATION (WEST) TO REMAIN THE SAME SCALE: 1/4" = 1'



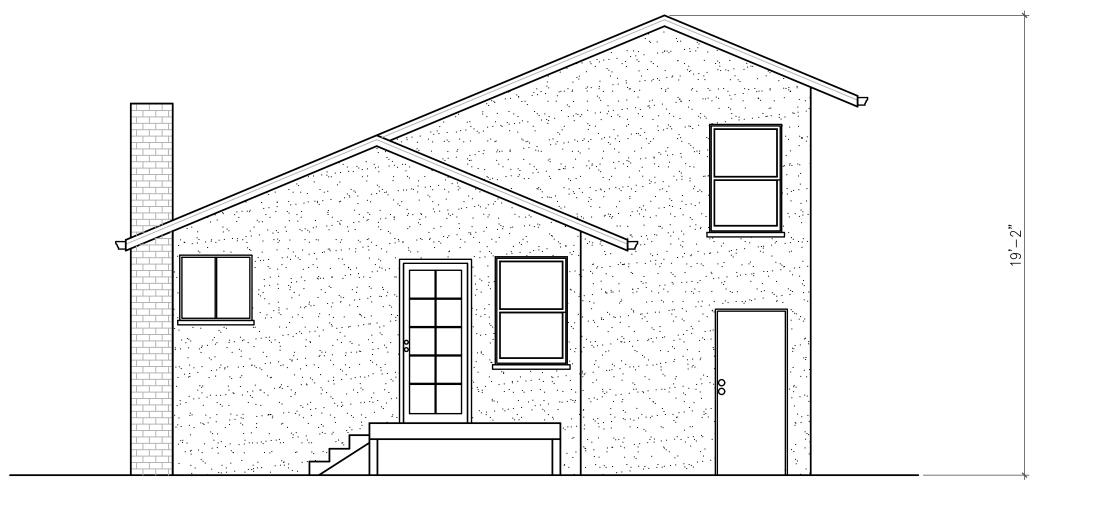
EXISTING RIGHT ELEVATION (SOUTH)

SCALE: 1/4" = 1'



EXISTING LEFT ELEVATION (NORTH)

SCALE: 1/4" = 1'



EXISTING REAR ELEVATION (EAST)

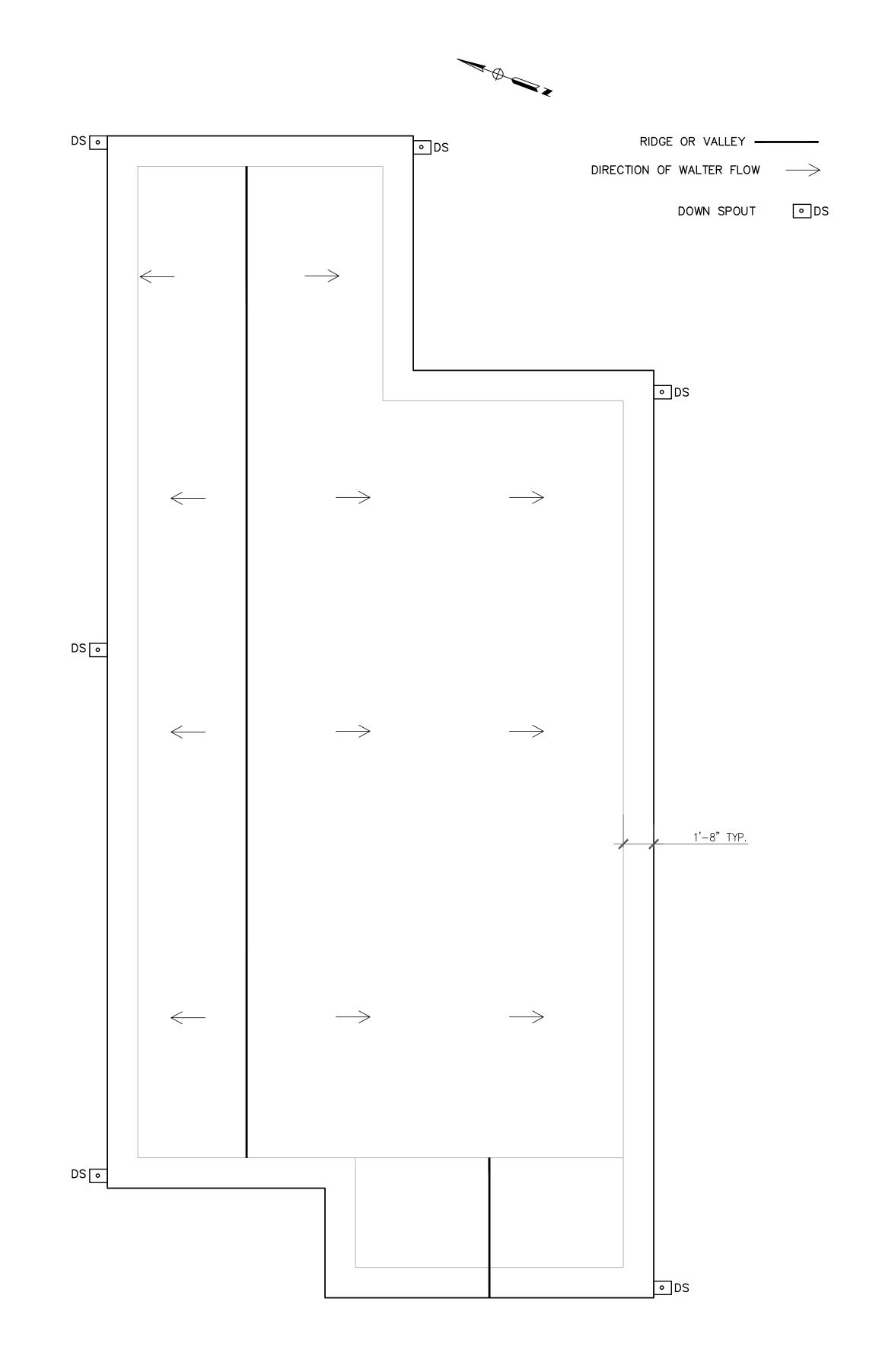
SCALE: 1/4" = 1'

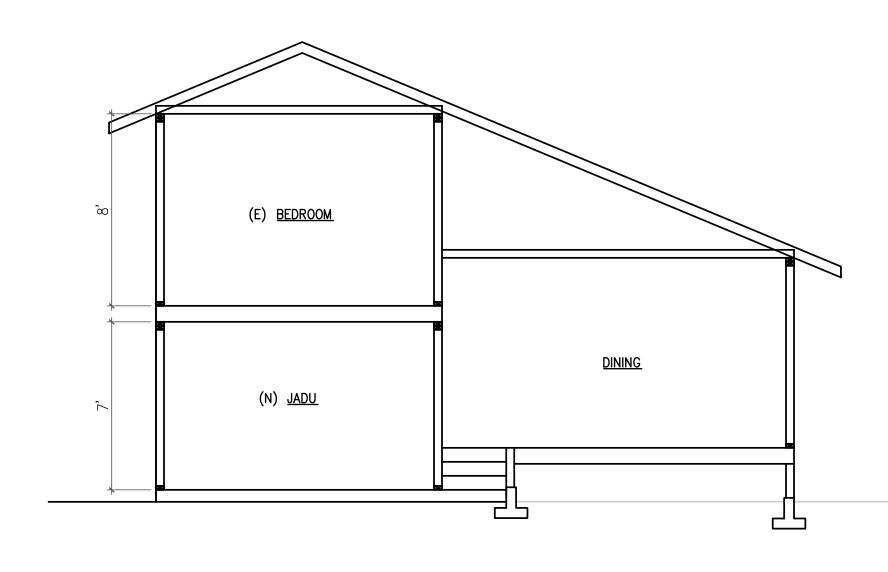


App 220

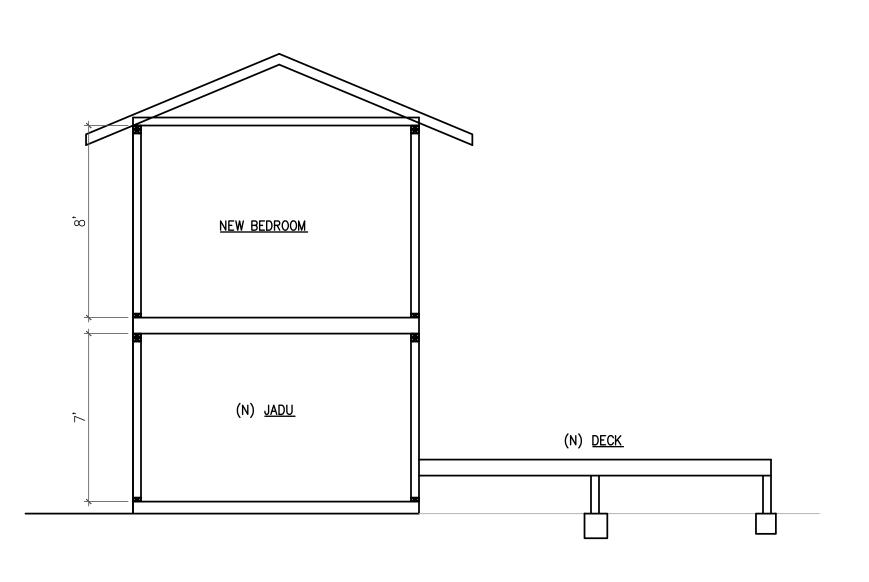
SCALE
HORIZ: AS SHOWN
VERT: AS SHOWN
SHEET

**A-4** 





<u>SECTION</u> A-A scale: 1/4" = 1'



<u>SECTION B-B</u> scale: 1/4" = 1'

<u>ROOF PLAN</u> scale: 1/4" = 1'

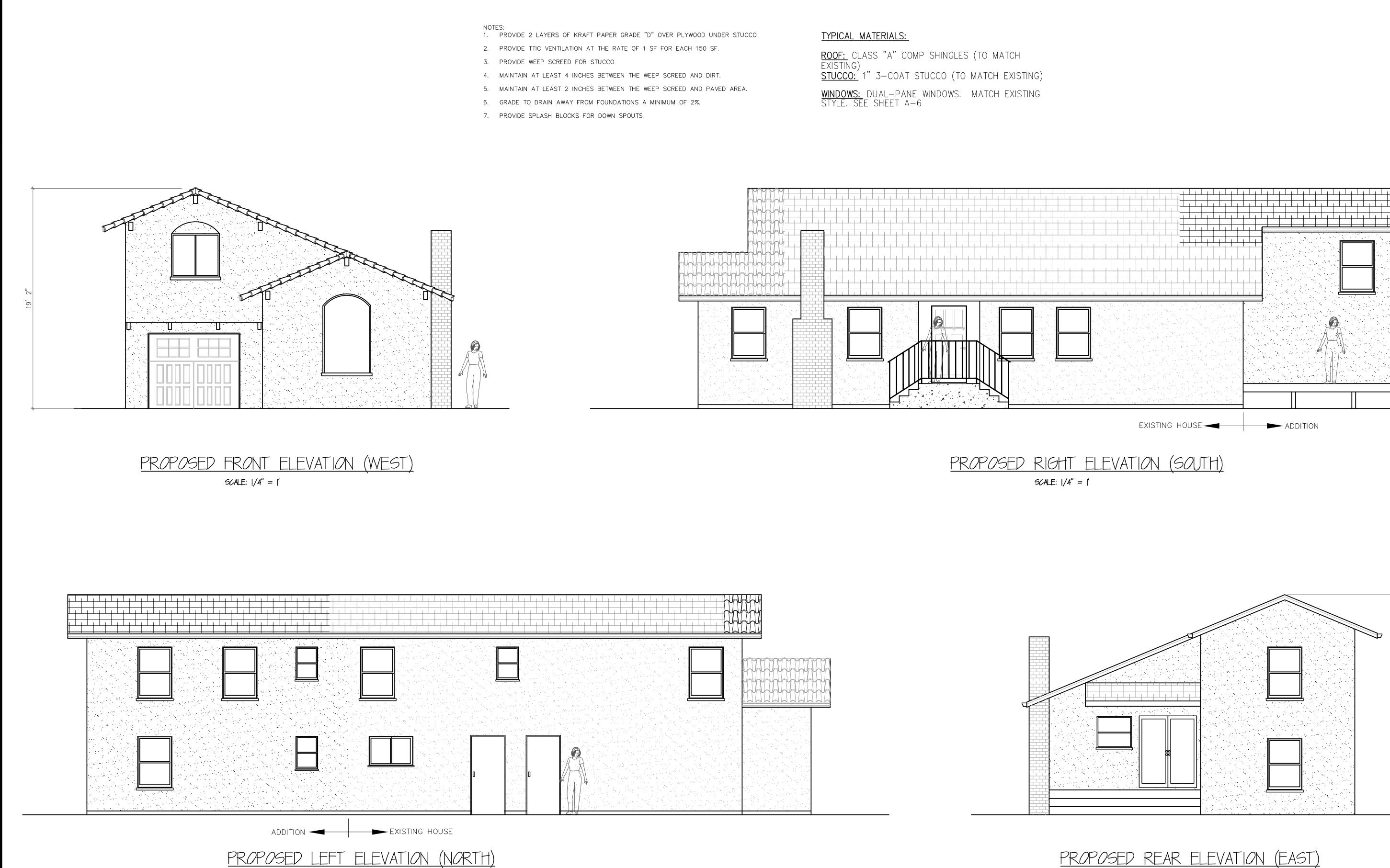


ROOF PLAN AND SECTIONS

Applicant/ 2200 8TH 1105 CORNELL AVE ALBANY, CA 94706 ADDITION AND ADU DESIGN BY DATE
04-26-22

SCALE
HORIZ: AS SHOWN
VERT: AS SHOWN
SHEET

A-5



SCALE: 1/4" = 1'

PROPOSED REAR ELEVATION (EAST)

SCALE: 1/4" = 1'

ATTIC SPACE VENTILATION CALCULATION

AREA TO BE VENTILATED = 1188 SF

REQUIRED VENTILATION AREA = 1188 SF / 150 SF = 7.92 SF

PROVIDED CRAWL SPACE VENTILATION AREA:

EACH VENT (10"X12") = 0.83 SF

10 VENTS X 0.5 = 8.3

THEREFORE TOTAL PROVIDED VENTILATION AREA IS MORE THAN REQUIRED

1. OPENINGS ARE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH OPENINGS NOT EXCEEDING 1/4" OR SPECIFY ANY OF THE OTHER MATERIALS 2. AT LEAST 1"AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING SHALL BE PROVIDED IF RAFTER SPACE IS INSULATED.



PROPOSED ELEVATIONS

SCALE HORIZ: AS SHOWN VERT: AS SHOWN A-5

Urban Village by the Bay



# LBANYCALIFORNIA

# Window Replacements

#### **Permit Required**

The City of Albany requires a Building Permit for all window replacements. This includes replacement of windows exactly as existing, with no changes to the location or size of the openings (also known as "changeouts" or "like for like replacement"). This is to ensure that egress Codes (fire safety access and exiting) are met, to encourage a minimum quality of construction to discourage moisture leakage, and to discourage the installation of poorquality window products.

#### Planning & Zoning Approval Required

Any change to the exterior appearance of windows requires planning approval. Minor changes can typically be approved at staff level. Significant changes to windows, particularly those facing a street or other public right-of-way, can trigger Design Review. This requirement comes from Albany's Zoning Ordinance (Section 20.100.050(B)2 - Design Review Exemptions). This policy is to ensure that replacement windows maintain the architectural integrity of the building and are consistent with the architectural style of the existing windows. Special attention is given to maintaining the window trim and recess of glazing from the exterior wall of the building, and to maintaining or upgrading the quality of window sash materials. Note that simulated divided lights--windows with dividers between panes of glass --are generally disallowed.

#### Submittals for Planning & Building Approval

For windows replacements, typical submittal requirements are: 1) A photo of the existing window style; 2) An illustration showing the appearance of the new window; and 3) A site plan showing the location of windows to be replaced; show location of any bedrooms/ sleeping rooms and bathrooms where windows are to be replaced. Examples shown below.



Sample digital exterior photo of window to be replaced

Community Development Dept. City of Albany 1000 San Pablo Ave. Albany, CA 94706 (510) 528-5760 com-dev@albanyca.org



Sample new window exterior photo from manufacturer web page

Windows Replaced, 1-4

1 ? ft. 2

Bathroom

House

Bedroom

4

Driveway

Garage

Sample Site Plan showing window replacement locations & any affected bedrooms, bathrooms, and property lines closer than 5 ft.

J:/Forms/Building/Window Replacements Handout Oct 2018 Update Form created 9/26/07

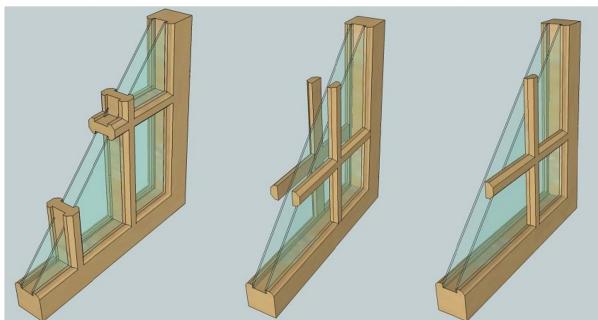
#### **Installation Instructions for Replacement Windows:**

- Inspection required:
- ▶ Direct replacement/insert windows: 1 Inspection: Final
- ▶ Installations requiring replacement/repair/alteration/addition to exterior finishes (weatherproofing, siding, stucco, etc.) will require additional Inspections prior to Final Inspection: Flashing; Stucco lath/paper; Stucco scratch coat.
- Manufacturer's energy documentation stickers are not to be removed from windows until <u>after</u> Final Building Inspection approval.
- Tempered glass/safety glazing is required in certain locations. See 2019 California Residential Code Section R308.4 (single-family homes & duplexes) or 2019 California Building Code Section 2406.4 (buildings with 3 or more units).
- In cases of window replacements in bedrooms/sleeping rooms, Codemandated egress requirements **must** be met (2019 CRC §R310.2; 2019 CBC §1030.2). Exception: Enlargement of windows closer than 3 ft. to a property line to meet egress may be disallowed.
- Final Inspections for replacement windows include an inspection of the interior of the residential unit(s) to check smoke alarms and carbon monoxide detectors.

#### **Window Dividers**

- Window products without dividers are generally acceptable.
- Window products with dividers:

#### Acceptable:



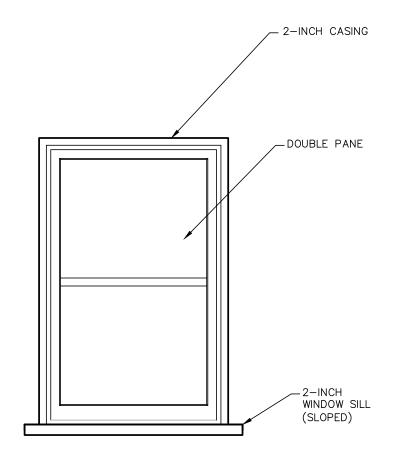
True divided light



# Prohibited:



Dividers between panes



EXISTING TYPICAL WINDOW TRIM DETAIL SCALE: NTS



WINDOWS REPLACEMENT HANDOUT

esigner.V. Orozco horozco@g App 220 1105 CORNELL AVE ALBANY, CA 94706 ADDITION AND AD DESIGN BY CHECKED BY HORIZ: AS SHOWN VERT: AS SHOWN

A-6

# SITE SURVEY

ALL OF LOT 3 AND 1/2 OF LOT 4 IN BLOCK "16" AS SHOWN ON "MAP No.4 OF REGENTS PARK", FILED AUGUST 26, 1906. IN MAP BOOK 21, PAGE 31 OAKLAND TOWNSHIP, ALAMEDA COUNTY RECORDS KNOWN AS 1105 CORNELL AVENUE, ALBANY, CA.

FEBRUARY 2022

