

SITE PLAN
SCALE: 1/8" = 1'

DESCRIPTION OF WORK

-ADDITION OF A MASTER BEDROOM AND BATHROOM
-NEW ATTACHED ACCESSORY DWELLING UNIT

DESIGNER'S STATEMENT

I CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL INFORMATION INDICATED HERE ON.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

I HEREBY FURTHER STATE THAT ALL PROPOSED GRADES, ELEVATIONS, AND CONTOURS DELINEATED UPON THIS PLOT PLAN ARE BASED UPON A SURVEY BY HENDRIK VAN DE POL RCE LIC #8478 DATED 02/16/12

DESIGNER

Hector Orozco *H. Orozco*

DATE MAY 10, 2022

TITLE DESIGNER



VICINITY

PROJECT INFORMATION

LOT SIZE: 3,750 SF
CONSTRUCTION TYPE: 5 UNPROTECTED WOOD FRAME
BUILDING OCCUPANCY: SINGLE FAMILY RESIDENCE
SPRINKLER: NO
PARCEL #: 65-2A08-15

EXISTING MAIN HOUSE LIVING AREA = 1,098 SF
EXISTING ATTACHED GARAGE AREA = 258 SF (TO REMAIN THE SAME)

ADDITION = 240 SF
NEW ADU = 381 SF
NEW TOTAL LIVING AREA = 1,719 SF

FLOOR AREA RATIOS:
EXISTING FAR = 1466 / 3750 = 39.16%
PROPOSED FAR = 1746 / 3750 = 46.56%

IMPERVIOUS SURFACE:
EXISTING = 1630 SF
PROPOSED = 1875 SF

LOT COVERAGE:
EXISTING = 1630/3750 43.46%
PROPOSED = 1875/3750 50.0%

GENERAL NOTES

- THE DESIGN PRESENTED IN THESE DRAWINGS ESTABLISHES THE GENERAL ARCHITECTURAL REQUIREMENTS FOR THE PROJECT. IT DOES NOT PRESENT ALL DETAILS REQUIRED FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO EXERCISE SOUND JUDGMENT IN ACCORDANCE WITH CODE REQUIREMENTS.
- THE CONTRACTOR SHALL ESTABLISH NEW CONSTRUCTION SETBACKS REQUIRED BY THE CITY BY ORDERING A TOPOGRAPHIC SURVEY PRIOR TO START CONSTRUCTION.
- THE DRAWINGS INDICATE LOCATION AND DIMENSIONS, BUT THEY DO NOT ILLUSTRATE EVERY CONDITION. IN THE EVENT THAT CERTAIN FEATURES ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE IN ACCORDANCE WITH CONVENTIONAL PRACTICES OF THE UNIFORM BUILDING CODE.
- ALL CONDITIONS AFFECTING WORK PROGRESS AND CONFORMANCE TO PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK.
- CONTRACTOR SHALL BRING TO THE ATTENTION OF DESIGNER FOR IMMEDIATE RESOLUTION ANY CODE VIOLATIONS, INADEQUATE CONSTRUCTION, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.
- ANY SITE AND BUILDING AREAS UNAFFECTED BY THIS WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY DAMAGE TO EXISTING STRUCTURES AND BUILDING ELEMENTS SO CALLED, SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- ANY WASTE AND REFUSE, CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR PER CITY'S GREEN WASTE STANDARDS. SEE CAL GREEN REQUIREMENTS.
- CONTRACTOR SHALL COMPLY WITH TITLE 24 REQUIREMENTS.
- THESE ITEMS MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER.

-HVAC DUCK LEAKAGE

SYMBOL LEGEND

HEIGHT	+
SECTION	XX XXX
ELEVATION	XX XXX
DETAIL	XX XXX
GRID LINE	X
DOOR/WINDOW	X
NOTE	XX

ABBREVIATIONS

& / Δ	AND	C.I.	CAST IRON	(E)	EXISTING	FRMG.	FRAMING	L.F.	LINEAR FOOT	PL.	PLATE OR	SIM.	SIMILAR
∠	ANGLE	C.I.P.	CAST IN PLACE	E.A.	EACH	FT.	FOOT OR FEET	LT.	LIGHT	PL.	PROPERTY LINE	SQ.	SPECIFICATION
□	SQUARE	C.J.	CONSTRUCTION	E.J.	ELECTRICAL	FTG.	FOOTING	MAX.	MAXIMUM	P.LAM.	PLASTIC LAMINATE	SQ.	SQUARE
⊙	CENTERLINE	C.O.	CONTROL JOINT	ELEC.	ELECTRICAL	FURN.	FURNITURE	M.B.	MACHINE BOLT/	FR.	FUR.	S.S.	STAINLESS STEEL
⌀	DIAMETER	C.C.	CEILING	ELEV.	ELEVATION	FURR.	FURRING	M.F.P.	MODIFIED	P.V.C.	POLYVINYL	STD.	STANDARD
⊞	PLATE /	C.L.O.	CLOSE	ELEC.	ELECTRICAL	GALV.	GALVANIZED	MECH.	MECHANICAL	P.W.D.	POLYWOOD	STOR.	STORAGE
⊞	PROPERTY LINE	CLEAR	CLEAR	ELEV.	ELEVATION	GL.	GLASS	MED.CAB.	MEDICINE CABINET	P.W.D.	PLYWOOD	STRUC.	STRUCTURAL
A.B.	ANCHOR BOLT	CLR.	CLEAR	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	M.E.P.	MEMBRANE	Q.T.	QUARRY TILE	SUSP.	SUSPENDED
A.B.C.	AGGREGATE	C.M.U.	CONCRETE	EMER.	EMERGENCY	GR.	GRASS	M.E.P.	MEMBRANE	R.	RADIUS/RISER	T.	TREAD
A.C.	AIR CONDITIONING	C.NTR.	COUNTERSINK	ENCL.	ENCLOSURE	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.A.	RETURN AIR	TEL.	TELEPHONE
ACOUS.	ACOUSTICAL	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	T & G	TONGUE AND GROOVE
A.C.	ASPHALTIC	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	THK.	THICK
A.P.	PAVING	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	T.O.	TOP OF
ADJ.	ADJUSTABLE	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	T.O.C.	TOP OF CURB
A.F.F.	ABOVE FINISH	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	T.O.W.	TOP OF WALL
AGGR.	AGGREGATE	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	T.S.	TUBE STEEL
ALUM.	ALUMINUM	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	T.T.B.	TELEPHONE TERMINAL BOARD
ALT.	ALTERNATE	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	TYP.	TYPICAL
APPROX.	APPROXIMATE	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	U.O.N.	UNLESS OTHERWISE NOTED
ARCH.	ARCHITECTURAL	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	UR.	URINAL
ASPH.	ASPHALT	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	V.T.R.	VENT-THRU ROOF
BD.	BOARD	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	W.	WEST
BLDG.	BUILDING	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	W/ & W/OMITH	AND WITHOUT
BLK.	BLOCK	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	W.C.	WATER CLOSET
BLK.	BLOCKING	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	WD.	WOOD
BM.	BEAM	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	W.D.	WINDOW
B.O.	BOTTOM OF	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	WP.	WEATHERPROOF
BOT.	BOTTOM	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	WR.	WATER RESISTANT
B.U.	BUILT-UP	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	W.S.	WEIGHT
C.B.	CORNER BEAD	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN	WT.	WEIGHT
C.T.	CERAMIC TILE	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN		
CHAN.	CHANNEL	C.O.	CLEAN OUT	EQ.	EQUAL	GR.	GRASS	M.F.P.	MEDICINE CABINET	R.D.	ROOF DRAIN		

SHEET INDEX

- A-0 SITE PLAN & TITLE
- A-1 EXISTING FLOOR PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 PLAN NOTES
- A-4 EXISTING ELEVATIONS
- A-5 PROPOSED ELEVATIONS
- A-6 CITY OF ALBANY WINDOW REPLACEMENT HANDOUT

TOPOGRAPHIC SURVEY



CODE COMPLIANCE

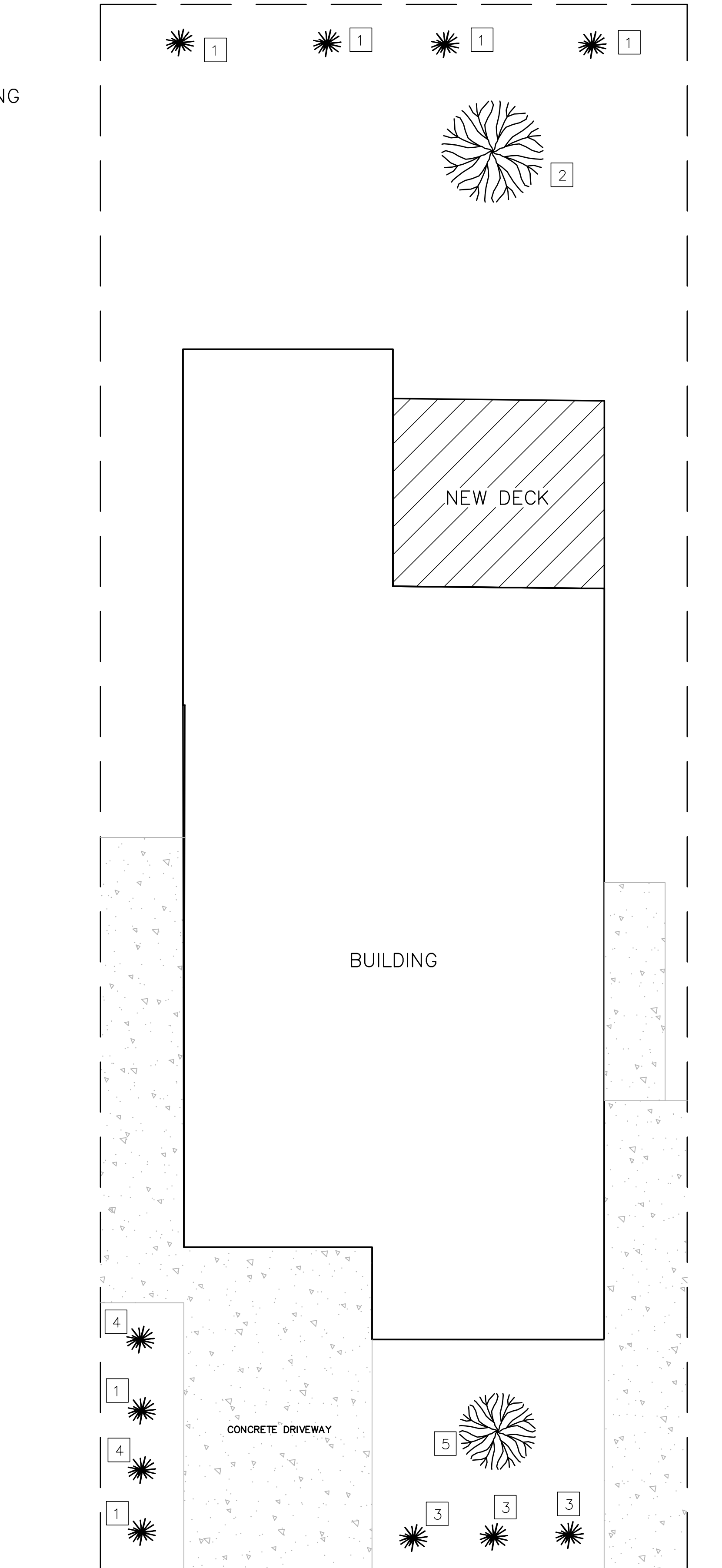
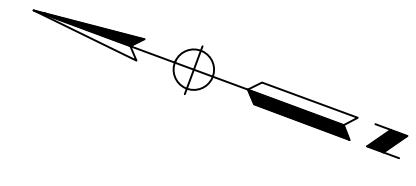
- 2019 CALIFORNIA BUILDING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL, ICC)
- 2019 CALIFORNIA RESIDENTIAL CODE - APPLIES TO ONE AND TWO FAMILY HOUSES AND TOWN HOMES LESS THAN 3 STORES IN HEIGHT.
- 2019 CALIFORNIA ENERGY CODE. CHECK THE CALIFORNIA ENERGY COMMISSIONS WEBSITE AT [HTTP://WWW.ENERGY.CA.GOV](http://www.energy.ca.gov) FOR A DOWNLOADABLE VERSION (PUBLISHED BY ICC)
- 2019 CALIFORNIA ELECTRICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE NATIONAL FIRE PROTECTION AGENCY, NFPA)
- 2019 CALIFORNIA PLUMBING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
- 2019 CALIFORNIA MECHANICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE UNIFORM MECHANICAL CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
- 2019 CALIFORNIA FIRE CODE (INCORPORATES BY ADOPTION AND REPRINTS THE INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY ICC)
- 2019 CALIFORNIA GREEN CODE
- CITY OF ALBANY MUNICIPAL CODE

Hector Orozco

TITLE AND SITE PLAN

DESIGNER	H.V. Orozco
DESIGNER CONTACT	hhorozco@gmail.com
DESIGNER PHONE	510-703-1121
APPLICANT/OWNER	2200 8TH AVE LLE
ADDRESS	1105 CORNELL AVE ALBANY, CA 94706
PROJECT TYPE	ADDITION AND ADU
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-0
OF SHEETS	
DRAWING FILE #	

 HOUSE BUILDING
 DECK



LANDSCAPE LEGEND

- 1 DODONAEA VISCOSA PURPUREA
- 2 FRUIT TREE (LEMON)
- 3 LEPTOSPERMUM GAIETY
- 4 GREVILLEA LAN COASTAL GEM
- 5 JAPANESE MAPLE - 15 GALLON

CORNELL AVE

LANDSCAPE PLAN
SCALE: 1/8" = 1'

EXISTING STREET TREE
TO BE PROTECTED BY CITY STANDARDS

DATE

MARK

DESCRIPTION

Designer
 H.V. Orozco
 hhorozco@gmail.com
 510-703-1121

Applicant/Owner
 2200 8TH AVE LLE

1105 CORNELL AVE
 ALBANY, CA 94706
 ADDITION AND ADU

DESIGN BY

DRAWN BY

CHECKED BY

DATE

04-26-22

SCALE

HORIZ: AS SHOWN

VERT: AS SHOWN

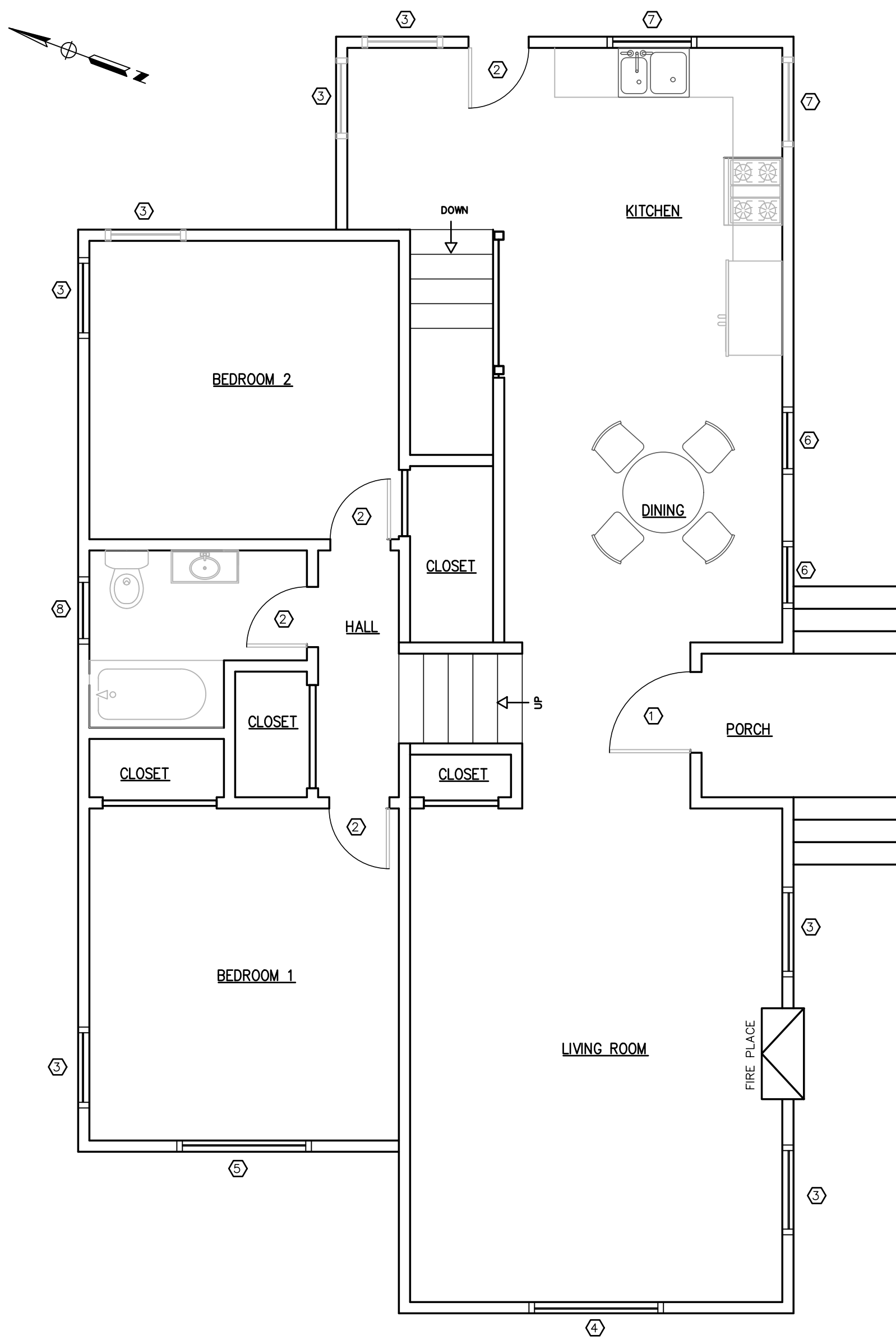
SHEET

A-0.1

OF SHEETS

DRAWING FILE #

LANDSCAPE PLAN



EXISTING UPPER FLOOR PLAN
SCALE: 1/4" = 1'

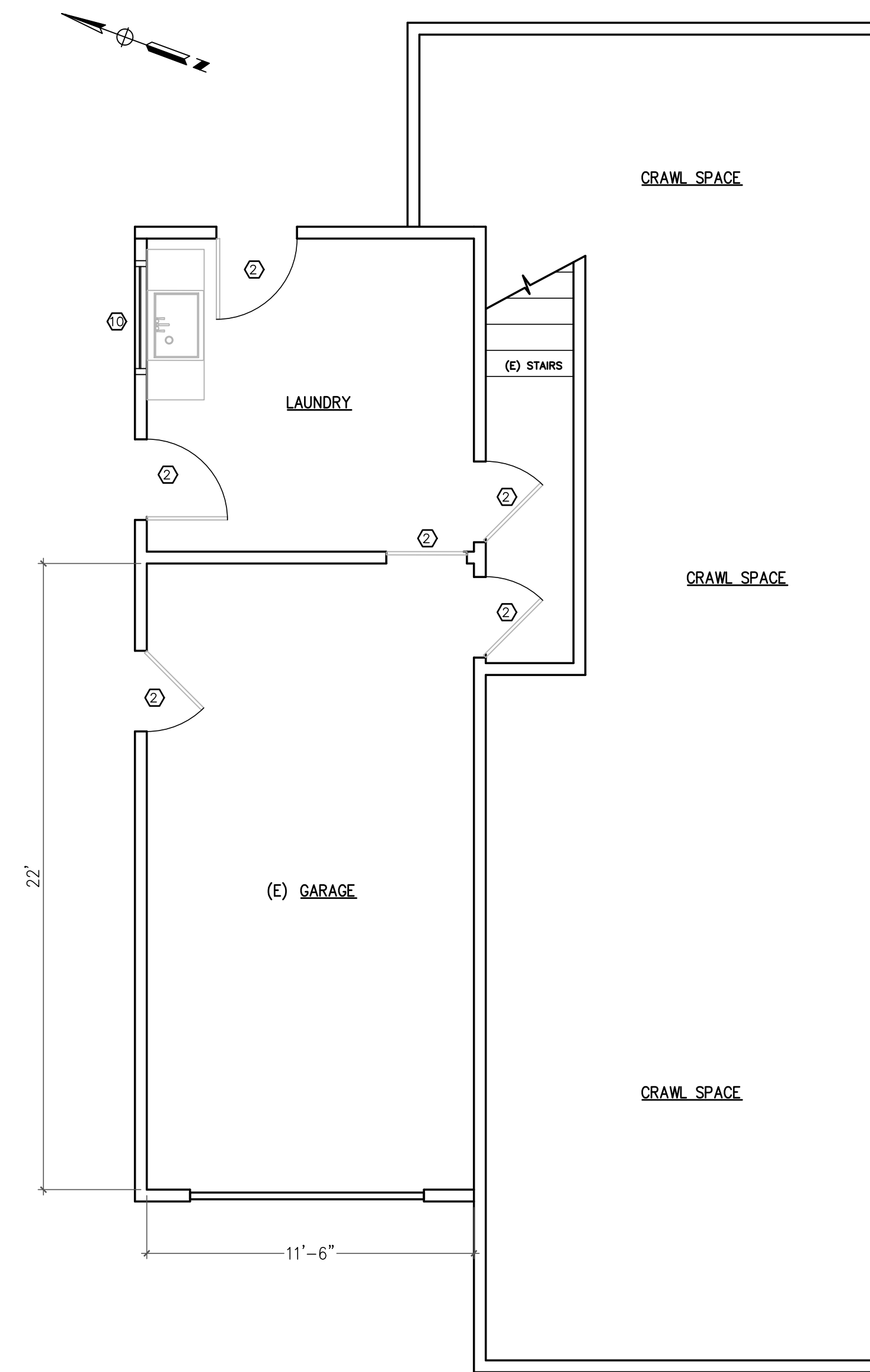
EXISTING WALL
 DEMO WALL

DOOR SCHEDULE

MARK	SIZE	TYPE
①	3'-0" X 6'-8"	STRD DOOR
②	2'-6" X 6'-8"	STRD DOOR

WINDOW SCHEDULE

SIZE		
MARK	WIDTH	HEIGHT
③	3'-0"	4'-6"
④	5'-0"	6'-0"
⑤	5'-0"	4'-6"
⑥	2'-6"	4'-6"
⑦	3'-4"	2'-8"
⑧	2'-3"	3'-0"
⑨	5'-0"	5'-0"
⑩	2'-0"	4'-0"



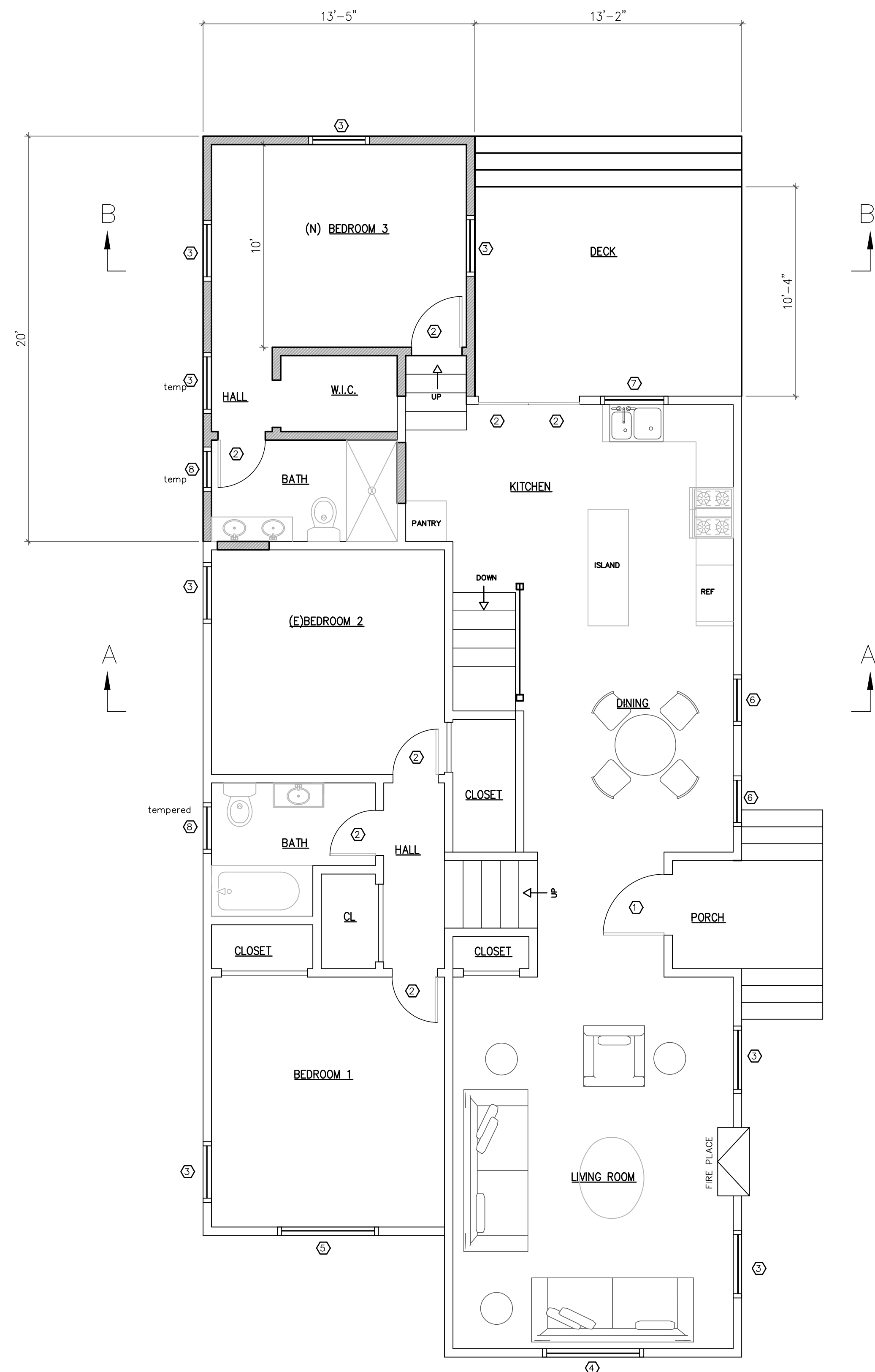
EXISTING LOWER FLOOR PLAN - GARAGE/LAUNDRY
SCALE: 1/4" = 1'

DATE	MARK	DESCRIPTION

Applicant/Owner	Designer
2200 8TH AVE LLE	H.V. Orozco
ALBANY, CA 94706	hhorozco@gmail.com
ADDITION AND ADU	510-703-1121

1105 CORNELL AVE
ALBANY, CA 94706
ADDITION AND ADU

DESIGN BY	
DRAWN BY	
CHECKED BY	
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-1
OF SHEETS	
DRAWING FILE #	



PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'

WATER EFFICIENT PLUMBING FIXTURES

TYPE OF FIXTURE	REQUIRED WATER-CONSERVING PLUMBING FIXTURE (MAXIMUM FLOW-RATES)
WATER CLOSET (TOILET)	1.28 GALLONS/FLUSH
SHOWERHEAD	1.8 GALLONS/MINUTE AT 80PSI
FAUCET BATHROOM	1.2 GALLONS/MINUTE AT 60 PSI
FAUCET KITCHEN	1.8 GALLONS/MINUTE AT 60 PSI (AVERAGE)

ALL FIXTURES SHALL COMPLY WITH THE ABOVE REQUIREMENTS

- ELECTRICAL LEGEND:**
- ⊕ DUPLEX OUTLET
 - ⊕⊖ DUPLEX OUTLET W/ GROUND FAULT
 - Ⓕ SWITCH
 - Ⓕ_{UC} SWITCH FOR UNDER CABINET
 - WIRING
 - CEILING LIGHT W/ FAN
 - FAN
 - RECESS LIGHT

ELECTRICAL NOTES:

- ELECTRICAL ITEMS SHOWN ARE SCHEMATIC AND THE INSTALLATION SHALL BE REVIEWED BY THE BUILDING INSPECTOR IN THE FIELD.
- ALL OUTLET SPACING, 6FT REQUIREMENTS, PANEL LOCATIONS AND LOAD DEMANDS SHALL MEET PERTAINING/LOCAL CODE REQUIREMENTS.

- NEW WALL
- EXISTING WALL

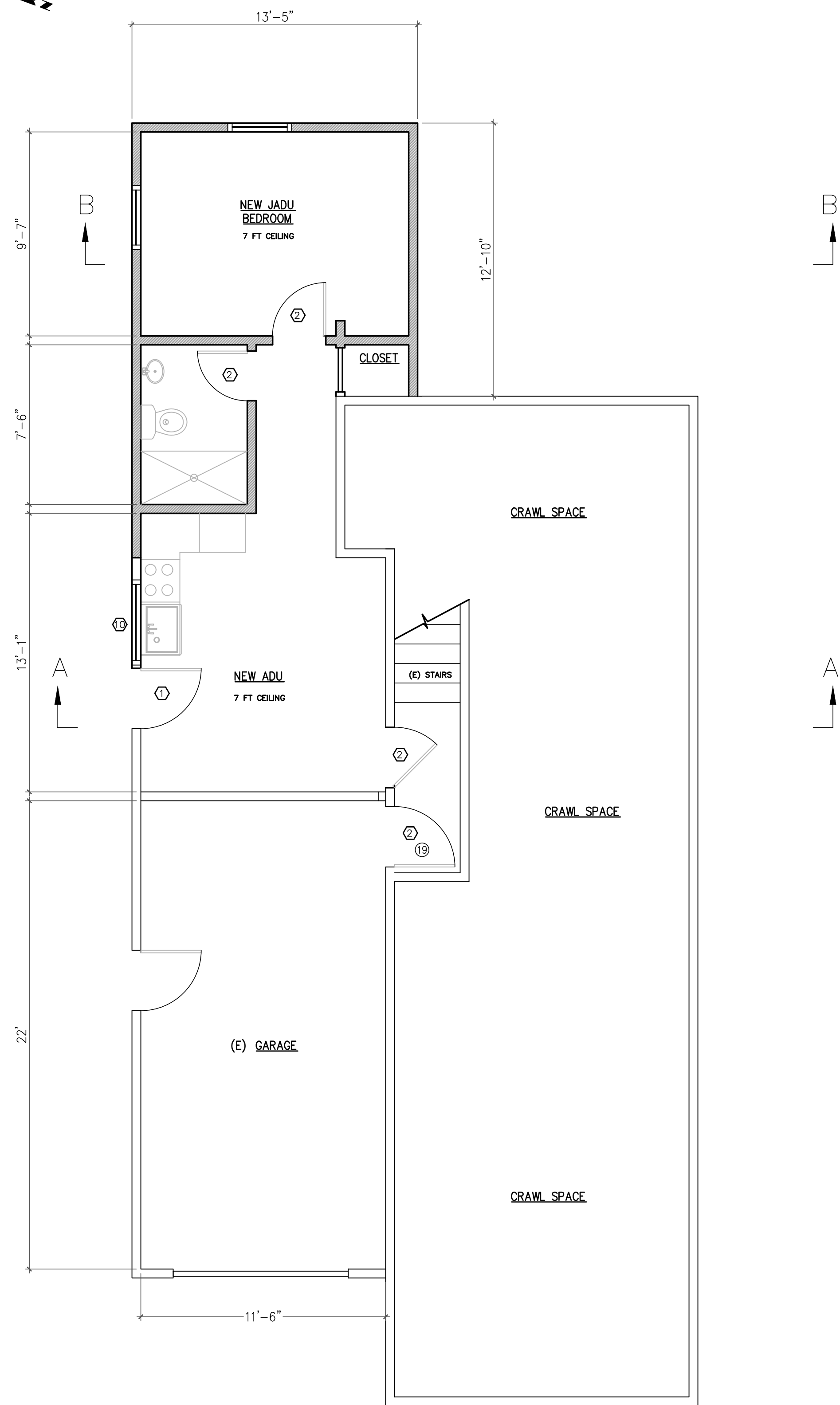
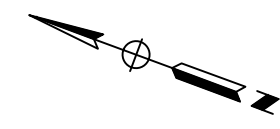
DOOR SCHEDULE

MARK	SIZE	TYPE
1	3'-0" X 6'-8"	STRD DOOR
2	2'-6" X 6'-8"	STRD DOOR

NEW WINDOW SCHEDULE

MARK	SIZE	
	WIDTH	HEIGHT
1	3'-0"	4'-6"
2	5'-0"	6'-0"
3	5'-0"	4'-6"
4	2'-6"	4'-6"
5	3'-4"	2'-8"
6	2'-3"	3'-0"
7	5'-0"	5'-0"
8	3'-0"	4'-0"

- HEADER SCHEDULE:**
- 4 X 6 UP TO 1' OPENING
 - 4 X 8 UP TO 4' OPENING
 - 4 X 12 UP TO 8' OPENING

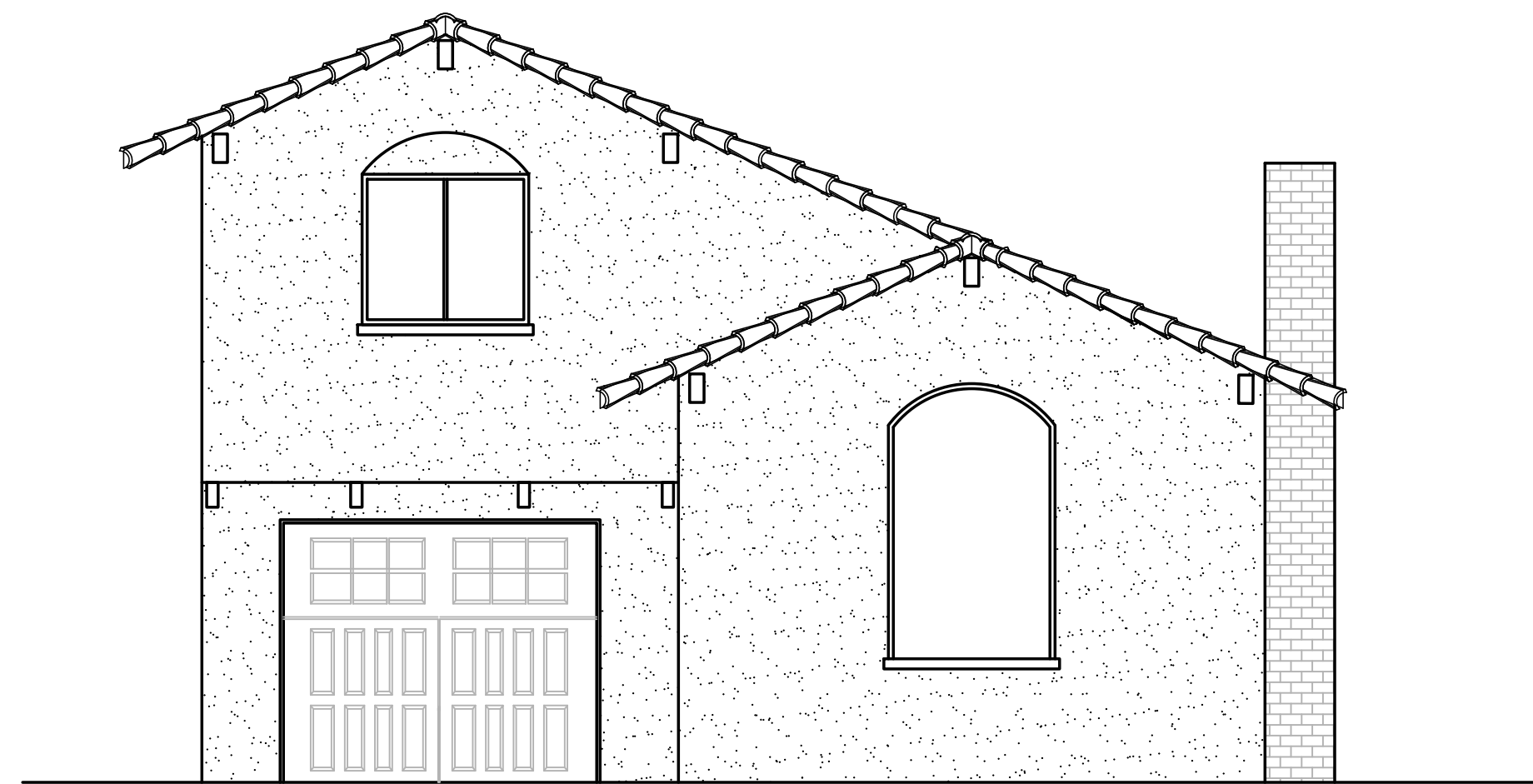


PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'

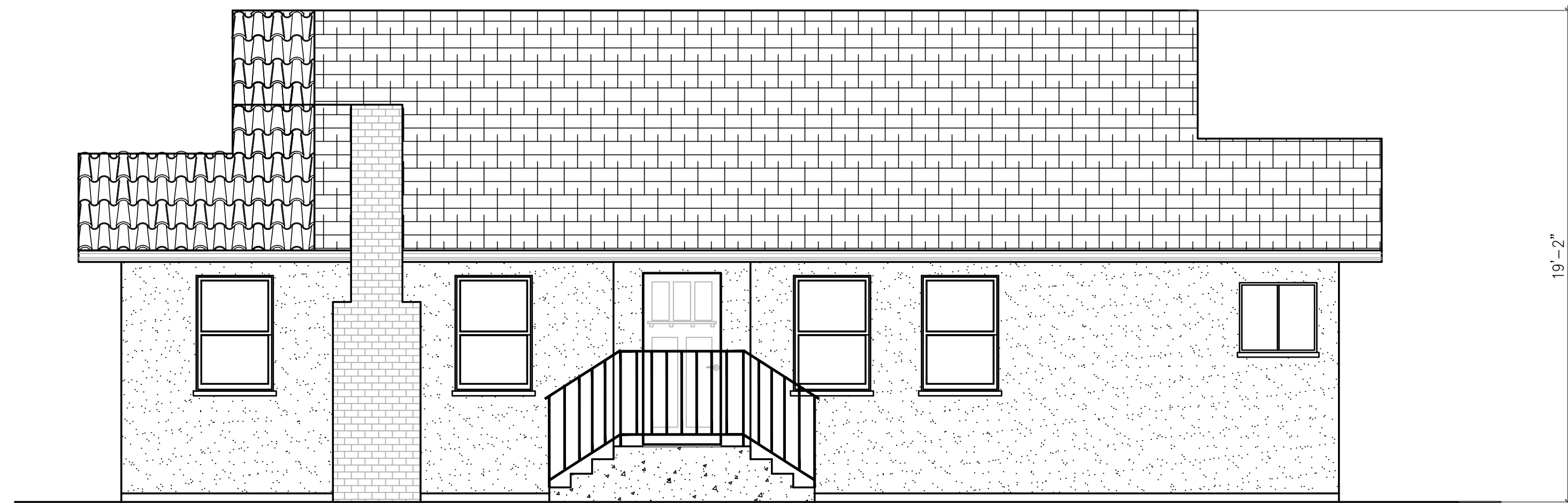
DATE	MARK	DESCRIPTION

Designer	H. V. Orozco hhorozco@gmail.com 510-703-1121
Applicant/Owner	2200 8TH AVE LLE ADDITION AND ADU
1105 CORNELL AVE ALBANY, CA 94706	ADDITION AND ADU

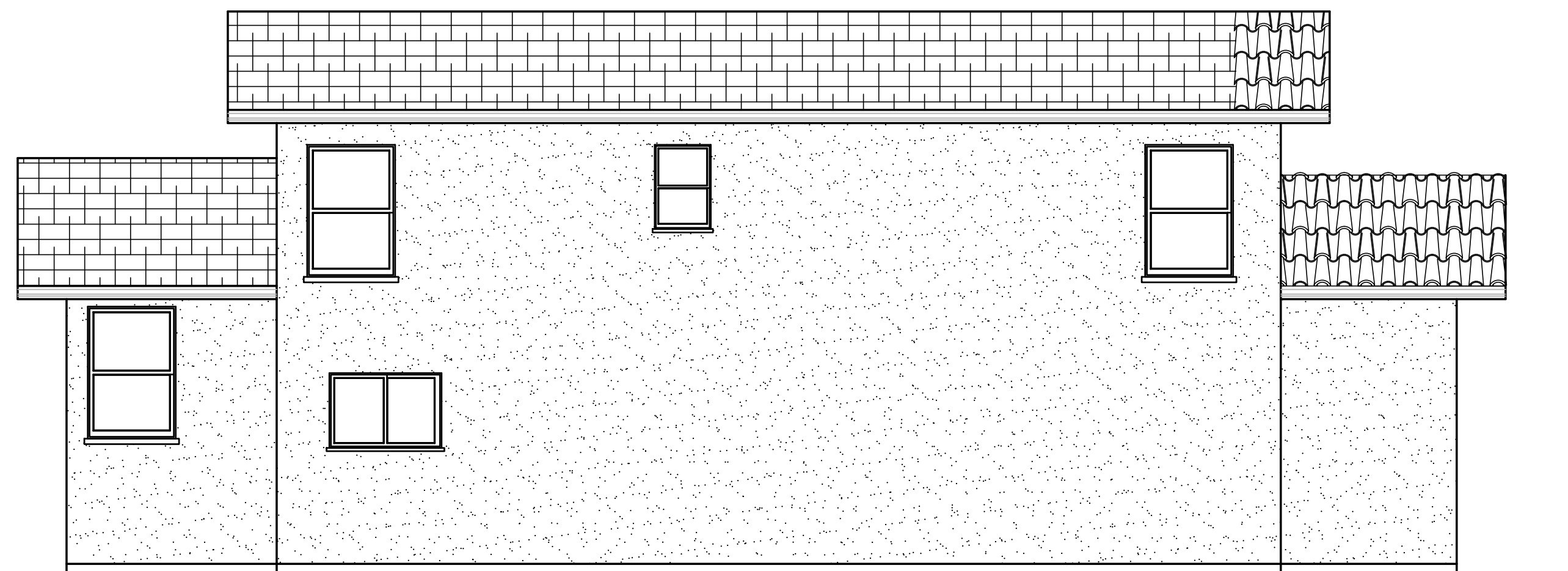
DESIGN BY	
DRAWN BY	
CHECKED BY	
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-2
OF SHEETS	
DRAWING FILE #	



EXISTING FRONT ELEVATION (WEST) TO REMAIN THE SAME
SCALE: 1/4" = 1'



EXISTING RIGHT ELEVATION (SOUTH)
SCALE: 1/4" = 1'



EXISTING LEFT ELEVATION (NORTH)
SCALE: 1/4" = 1'



EXISTING REAR ELEVATION (EAST)
SCALE: 1/4" = 1'

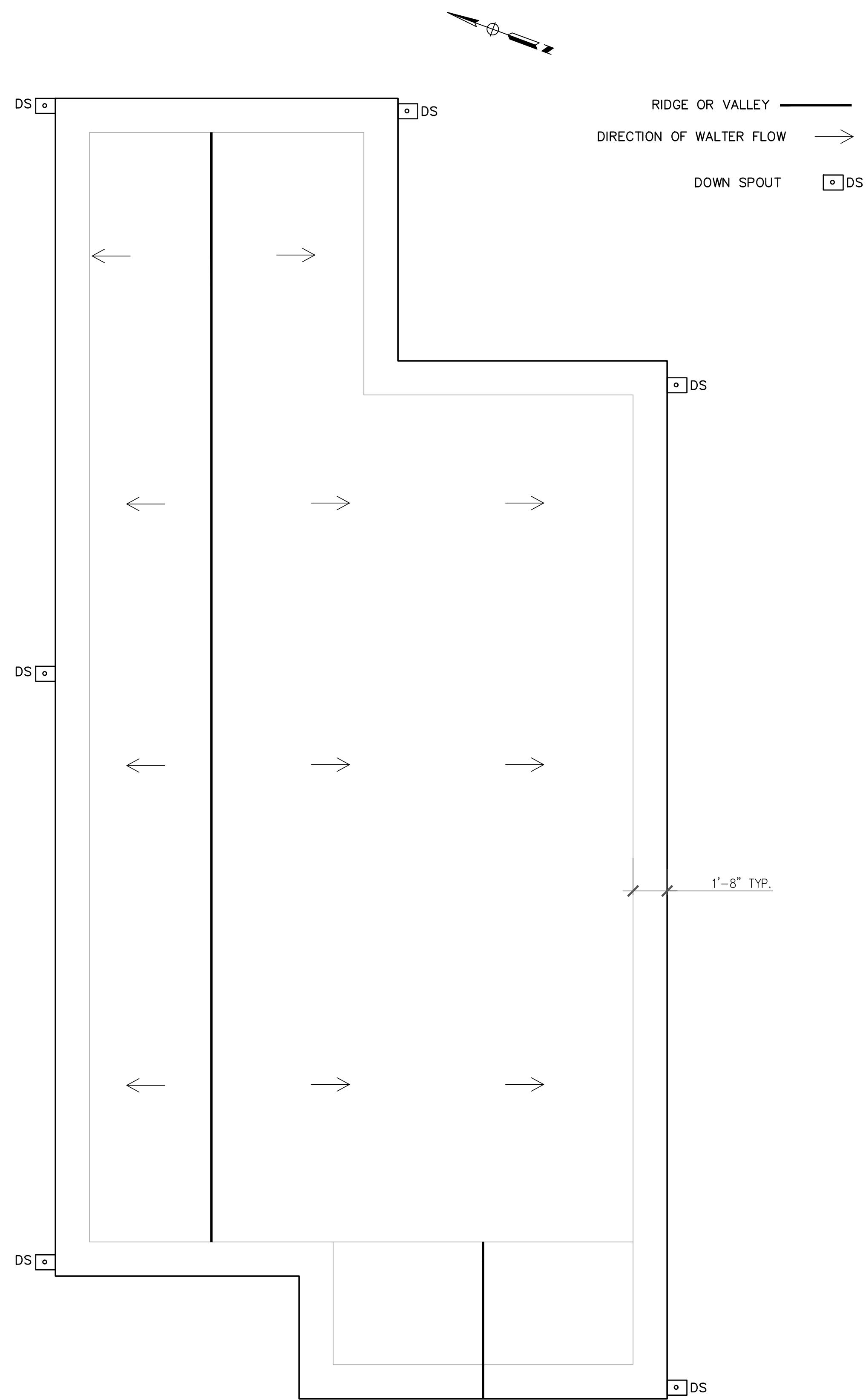
DATE	MARK	DESCRIPTION

Designer	H. V. Orozco hhorozco@gmail.com 510-703-1121
Applicant/Owner	2200 8TH AVE LLE

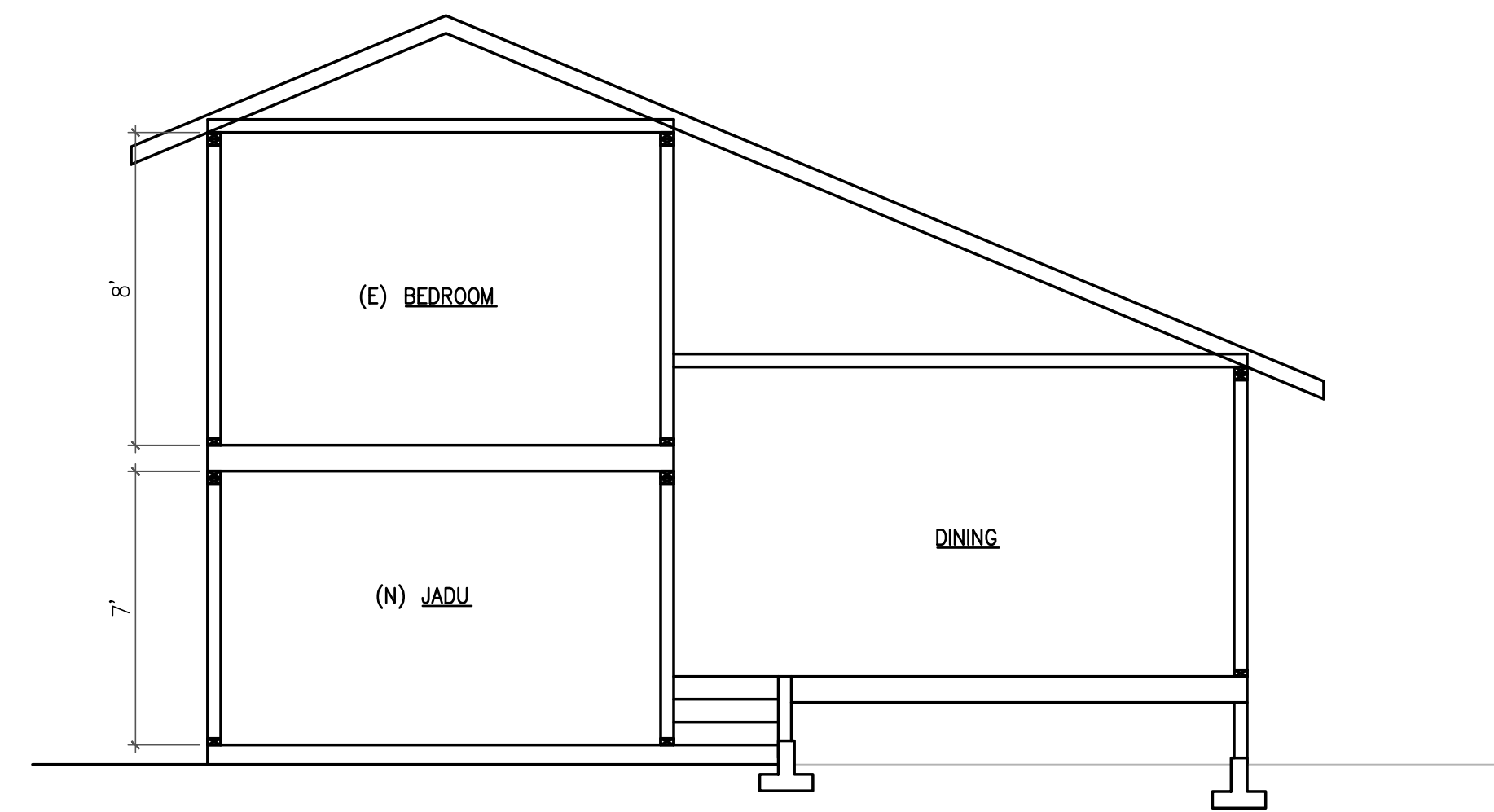
1105 CORNELL AVE ALBANY, CA 94706 ADDITION AND ADU
--

DESIGN BY	
DRAWN BY	
CHECKED BY	
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-4
OF SHEETS	
DRAWING FILE #	

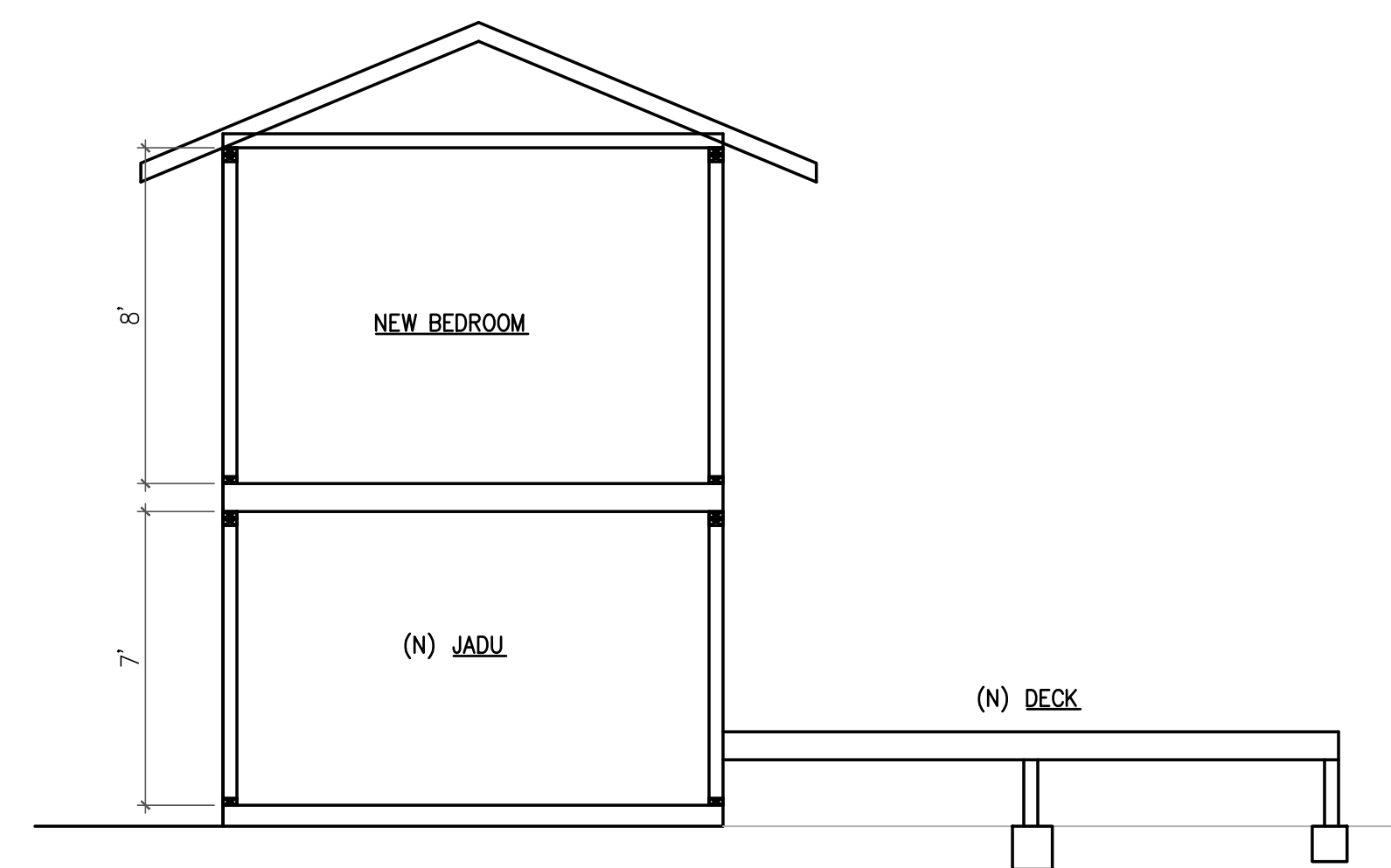
Handwritten signature



ROOF PLAN
SCALE: 1/4" = 1'



SECTION A-A
SCALE: 1/4" = 1'



SECTION B-B
SCALE: 1/4" = 1'

Handwritten signature

DATE	MARK	DESCRIPTION

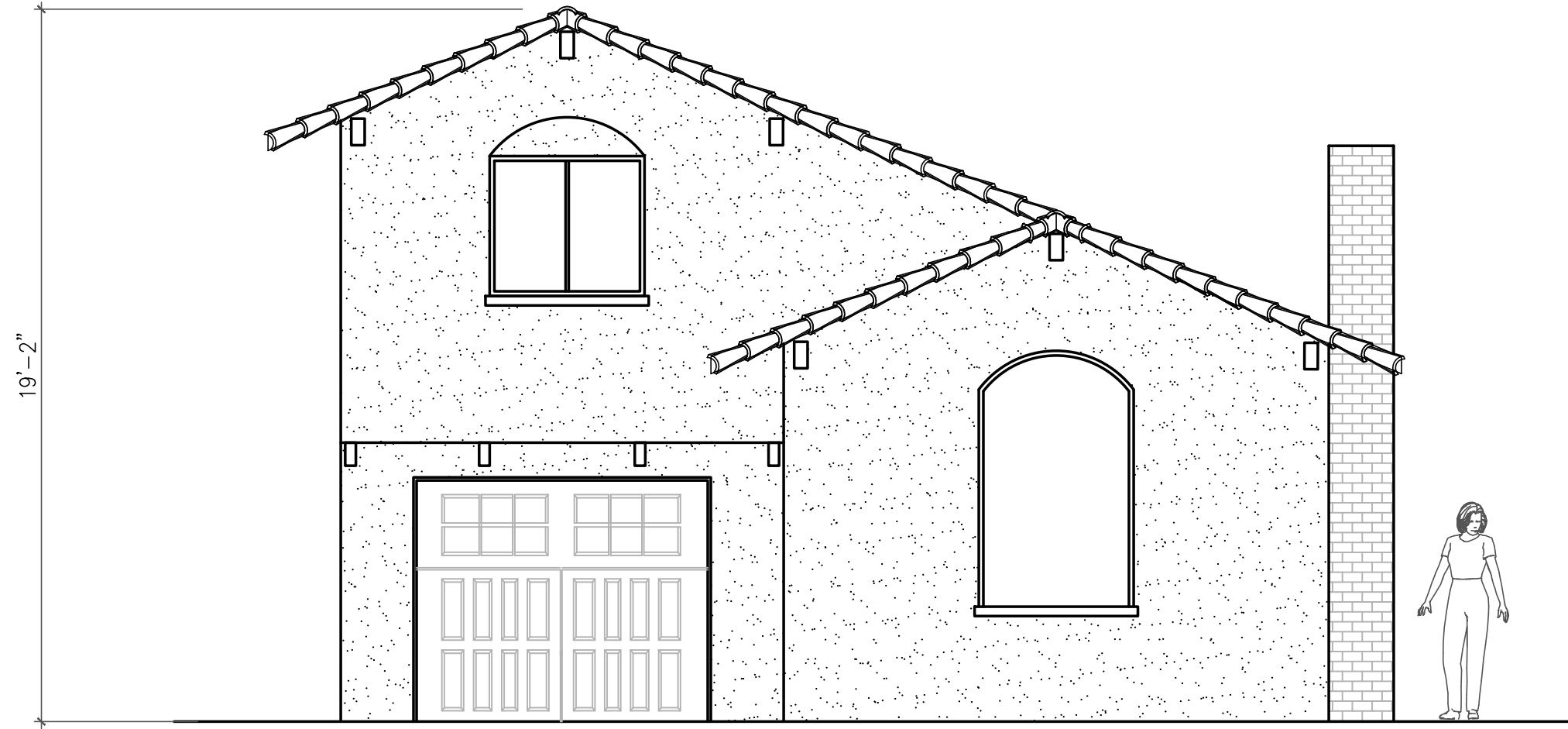
Designer	H.V. Orozco hhorozco@gmail.com 510-703-1121
Applicant/Owner	2200 8TH AVE LLE
1105 CORNELL AVE ALBANY, CA 94706 ADDITION AND ADU	

DESIGN BY	
DRAWN BY	
CHECKED BY	
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-5
OF SHEETS	
DRAWING FILE #	

- NOTES:
1. PROVIDE 2 LAYERS OF KRAFT PAPER GRADE "D" OVER PLYWOOD UNDER STUCCO
 2. PROVIDE TTIC VENTILATION AT THE RATE OF 1 SF FOR EACH 150 SF.
 3. PROVIDE WEEP SCREED FOR STUCCO
 4. MAINTAIN AT LEAST 4 INCHES BETWEEN THE WEEP SCREED AND DIRT.
 5. MAINTAIN AT LEAST 2 INCHES BETWEEN THE WEEP SCREED AND PAVED AREA.
 6. GRADE TO DRAIN AWAY FROM FOUNDATIONS A MINIMUM OF 2%.
 7. PROVIDE SPLASH BLOCKS FOR DOWN SPOUTS

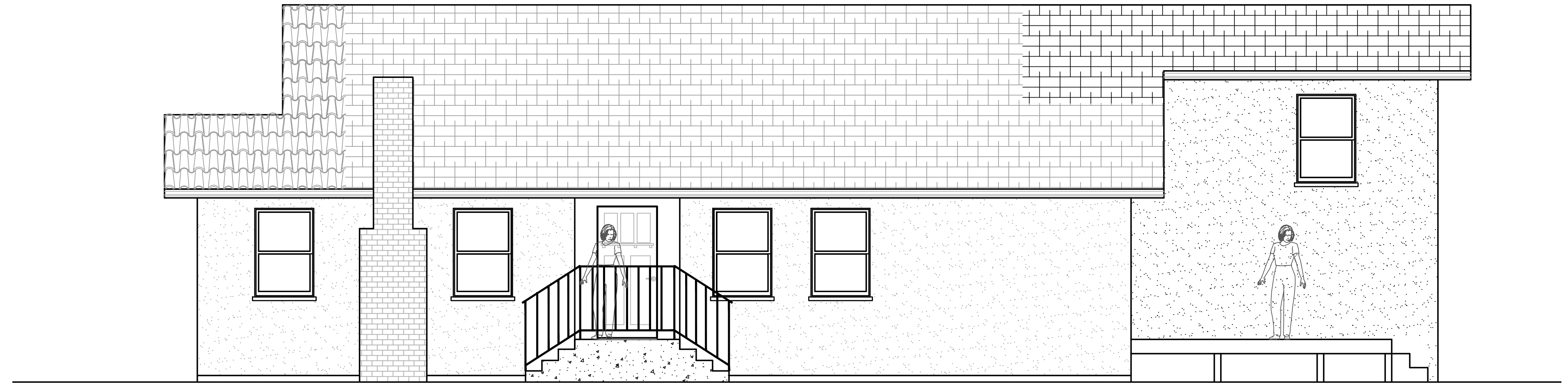
TYPICAL MATERIALS:

ROOF: CLASS "A" COMP SHINGLES (TO MATCH EXISTING)
STUCCO: 1" 3-COAT STUCCO (TO MATCH EXISTING)
WINDOWS: DUAL-PANE WINDOWS. MATCH EXISTING STYLE. SEE SHEET A-6



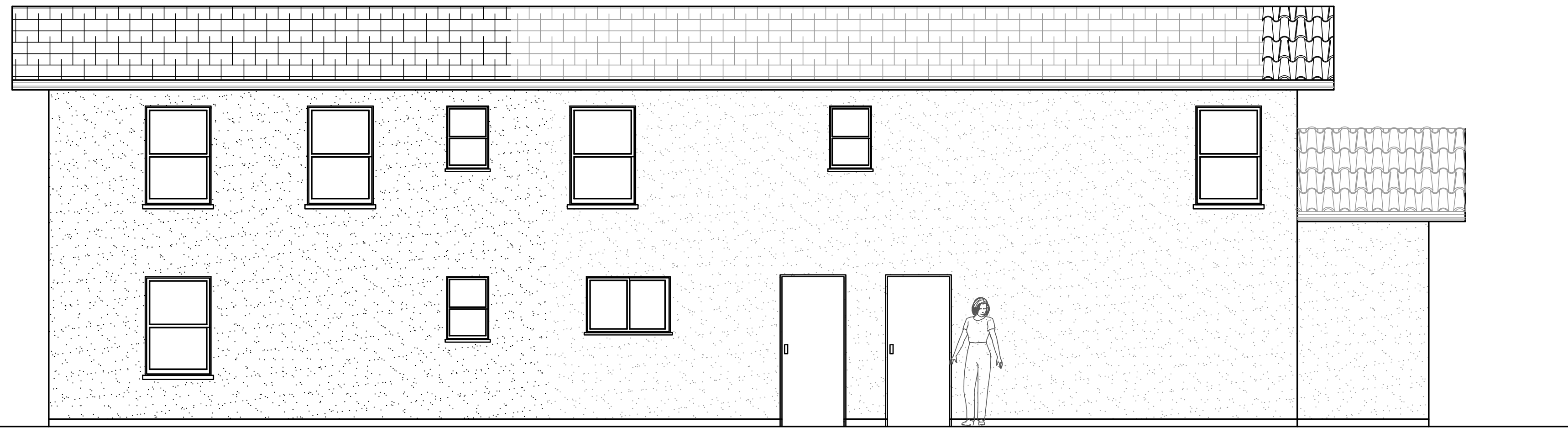
PROPOSED FRONT ELEVATION (WEST)

SCALE: 1/4" = 1'



PROPOSED RIGHT ELEVATION (SOUTH)

SCALE: 1/4" = 1'



PROPOSED LEFT ELEVATION (NORTH)

SCALE: 1/4" = 1'



PROPOSED REAR ELEVATION (EAST)

SCALE: 1/4" = 1'

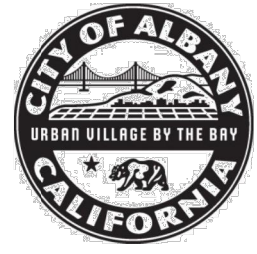
ATTIC SPACE VENTILATION CALCULATION
 AREA TO BE VENTILATED = 1188 SF
 REQUIRED VENTILATION AREA = 1188 SF / 150 SF = 7.92 SF
 PROVIDED CRAWL SPACE VENTILATION AREA:
 EACH VENT (10"X12") = 0.83 SF
 10 VENTS X 0.5 = 8.3
 THEREFORE TOTAL PROVIDED VENTILATION AREA IS MORE THAN REQUIRED

- NOTES:
1. OPENINGS ARE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH OPENINGS NOT EXCEEDING 1/4" OR SPECIFY ANY OF THE OTHER MATERIALS LISTED UNDER §R408.2
 2. AT LEAST 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING SHALL BE PROVIDED IF RAFTER SPACE IS INSULATED.

Handwritten signature

PROPOSED ELEVATIONS

DATE	MARK	DESCRIPTION
Designer		H. V. Orozco hhorozco@gmail.com 510-703-1121
Applicant/Owner		2200 8TH AVE LLE
1105 CORNELL AVE ALBANY, CA 94706		ADDITION AND ADU
DESIGN BY		
DRAWN BY		
CHECKED BY		
DATE	04-26-22	
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN	
SHEET	A-5	
OF SHEETS		
DRAWING FILE #		



Urban Village by the Bay

ALBANY CALIFORNIA

Window Replacements

Permit Required

The City of Albany requires a Building Permit for all window replacements. This includes replacement of windows exactly as existing, with no changes to the location or size of the openings (also known as "changeouts" or "like for like replacement"). This is to ensure that egress Codes (fire safety access and exiting) are met, to encourage a minimum quality of construction to discourage moisture leakage, and to discourage the installation of poor-quality window products.

Planning & Zoning Approval Required

Any change to the exterior appearance of windows requires planning approval. Minor changes can typically be approved at staff level. Significant changes to windows, particularly those facing a street or other public right-of-way, can trigger Design Review. This requirement comes from Albany's Zoning Ordinance (Section 20.100.050(B)2 - Design Review Exemptions). This policy is to ensure that replacement windows maintain the architectural integrity of the building and are consistent with the architectural style of the existing windows. Special attention is given to maintaining the window trim and recess of glazing from the exterior wall of the building, and to maintaining or upgrading the quality of window sash materials. **Note that simulated divided lights--windows with dividers between panes of glass --are generally disallowed.**

Submittals for Planning & Building Approval

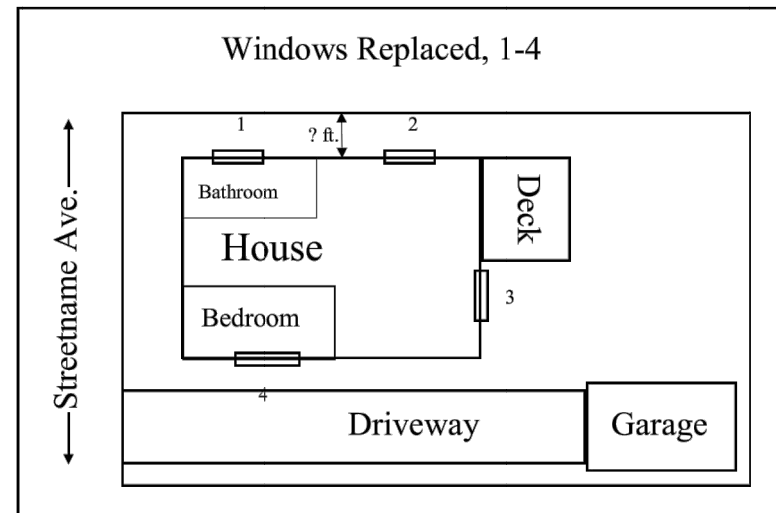
For windows replacements, typical submittal requirements are: 1) A photo of the existing window style; 2) An illustration showing the appearance of the new window; and 3) A site plan showing the location of windows to be replaced; show location of any bedrooms/sleeping rooms and bathrooms where windows are to be replaced. Examples shown below.



Sample digital exterior photo of window to be replaced



Sample new window exterior or photo from manufacturer web page



Sample Site Plan showing window replacement locations & any affected bedrooms, bathrooms, and property lines closer than 5 ft.

Community Development Dept.
City of Albany
1000 San Pablo Ave.
Albany, CA 94706
(510) 528-5760
com-dev@albanyca.org

J:\Forms\Building\Window Replacements Handout Oct 2018 Update Form created 9/26/07

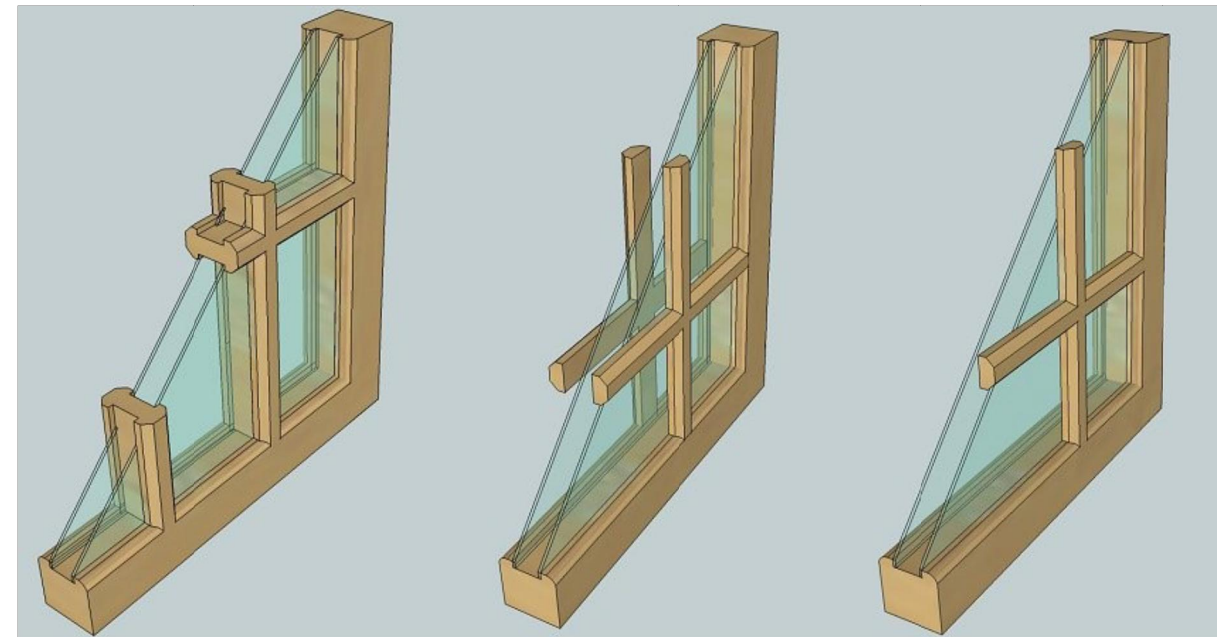
Installation Instructions for Replacement Windows:

- Inspection required:
 - ▶ Direct replacement/insert windows: 1 Inspection: Final
 - ▶ Installations requiring replacement/repair/alteration/addition to exterior finishes (weatherproofing, siding, stucco, etc.) will require additional Inspections prior to Final Inspection: Flashing; Stucco lath/paper; Stucco scratch coat.
- Manufacturer's energy documentation stickers are not to be removed from windows until after Final Building Inspection approval.
- Tempered glass/safety glazing is required in certain locations. See 2019 California Residential Code Section R308.4 (single-family homes & duplexes) or 2019 California Building Code Section 2406.4 (buildings with 3 or more units).
- In cases of window replacements in bedrooms/sleeping rooms, Code-mandated egress requirements **must** be met (2019 CRC §R310.2; 2019 CBC §1030.2). **Exception:** Enlargement of windows closer than 3 ft. to a property line to meet egress may be disallowed.
- Final Inspections for replacement windows include an inspection of the interior of the residential unit(s) to check smoke alarms and carbon monoxide detectors.

Window Dividers

- Window products without dividers are generally acceptable.
- Window products with dividers:

Acceptable:



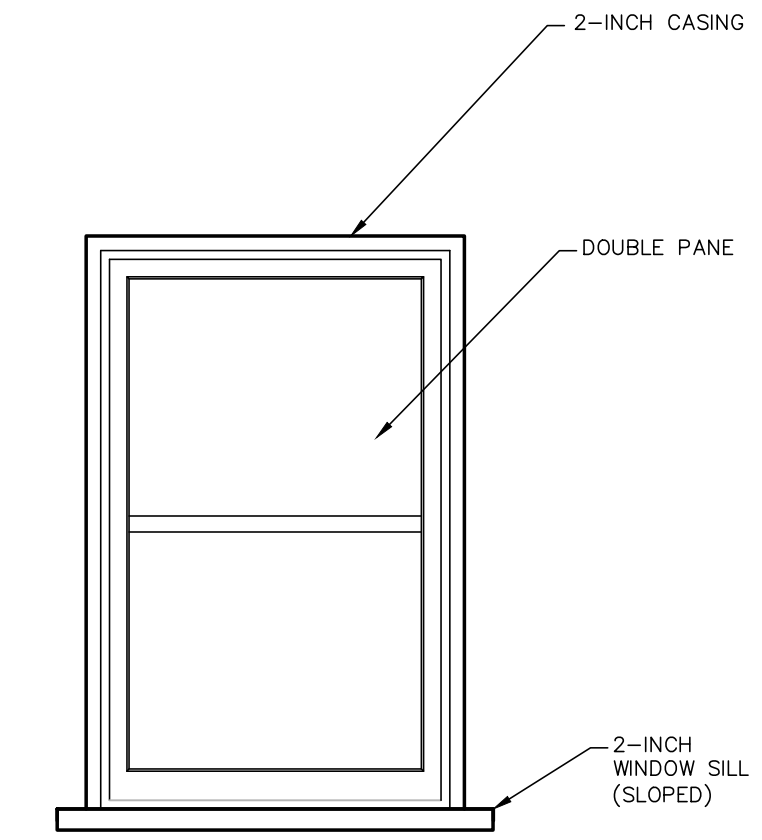
True divided light

Simulated divided light

Prohibited:



Dividers between panes



EXISTING TYPICAL WINDOW TRIM DETAIL

SCALE: NTS

DESCRIPTION

MARK

DATE

Designer
H. V. Orozco
hhorozco@gmail.com
510-703-1121

Applicant/Owner
2200 8TH AVE LLE

1105 CORNELL AVE
ALBANY, CA 94706
ADDITION AND ADU

DESIGN BY
DRAWN BY
CHECKED BY
DATE
04-26-22
SCALE
HORIZ: AS SHOWN
VERT: AS SHOWN
SHEET
A-6
OF SHEETS
DRAWING FILE #

SITE SURVEY

ALL OF LOT 3 AND 1/2 OF LOT 4 IN BLOCK "16"
 AS SHOWN ON "MAP No.4 OF REGENTS PARK",
 FILED AUGUST 26, 1906. IN MAP BOOK 21, PAGE 31
 OAKLAND TOWNSHIP, ALAMEDA COUNTY RECORDS
 KNOWN AS 1105 CORNELL AVENUE, ALBANY, CA.

FEBRUARY 2022

REFERENCE DATA

- 1) MAP OF No.4 REGENTS PARK (BK 21 PG 31)
- 2) OWNER'S DEED, LEGAL DESCRIPTION
- 3) ALAMEDA COUNTY ASSESSOR'S MAP 065 2408

PUBLIC ADVISORY

THE MAP WAS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE CITY OF ALBANY AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE CITY OF ALBANY STAFF THIS MAP AND THE SURVEY INFORMATION ON WHICH IS BASED IS CORRECT, ACCURATE, AND CURRENT, NOR THAT THE CITY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE CITY, INCLUDING ALLEGED OR ACTUAL DISCREPANCIES, INACCURACIES, DEFICIENCIES, AND ERRORS.

ABBREVIATIONS

PL PROPERTY LINE
 PC PROPERTY CORNER
 LN LINE
 MON MONUMENT
 EXT EXTENSION
 FND FOUND
 AC ASPHALT CURB
 TC TOP OF CURB
 TAC TOP ASPHALT CURB
 FL FLOW LINE
 SS SANITARY SEWER
 SD STORM DRAIN
 WL WATERLINE
 WS WATER SERVICE
 MH MANHOLE

LEGEND

--- SUBDIVISION BOUNDARY
 [Symbol] EXISTING WOOD FENCE
 [Symbol] EXISTING CYCLONE FENCE
 (21) ASSESSOR'S LOT NO.
 () RECORD DATA (25 LSM 44)
 [Symbol] CONCRETE
 [Symbol] WATERMETER BOX
 [Symbol] JOINT POLE
 [Symbol] STORM DRAIN MANHOLE
 [Symbol] CATCH BASIN
 [Symbol] SUBDIV. LOT NO.
 [Symbol] SIGN
 [Symbol] ASPHALT
 [Symbol] SEWER MANHOLE
 [Symbol] FIRE HYDRANT

BASIS OF BEARINGS:

THE MONUMENT LINE ALONG CORNELL AVENUE BETWEEN SHOWN CITY OF BERKELEY MONUMENTS ON THIS PLAT AND CITY OF BERKELEY RECORDS TAKEN AS N74°11'00"E A DISTANCE OF 655.40'.

NOTES

- 1) UTILITY INFORMATION IS COMPILED FROM SURFACE FEATURES AND RECORD DATA, ACCURACY AND COMPLETENESS IS NOT GUARANTEED.
- 2) THERE ARE NO KNOWN CRUVES WITHIN 300' OF SUBJECT PROPERTY.
- 3) CONTOURS BASED ON AN ASSUMED DATUM AT 0.5 INTERVALS MAJOR LINES ARE AT ONE FOOT INTERVALS.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF **VAN BEEK ASSOC.** ON NOVEMBER 16, 2021.

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH AND THAT THE GRADES SHOWN HEREON ARE BASED ON AN ASSUMED DATUM.

I FURTHER STATE ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE LAND SURVEYORS ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A RECORD OF SURVEY BE FILED.

Hendrik Van De Pol
 HENDRIK VAN DE POL, R.C.E. 15472
 EXPIRATION DATE: MARCH 31, 2023

DATE: 2/26/2022

