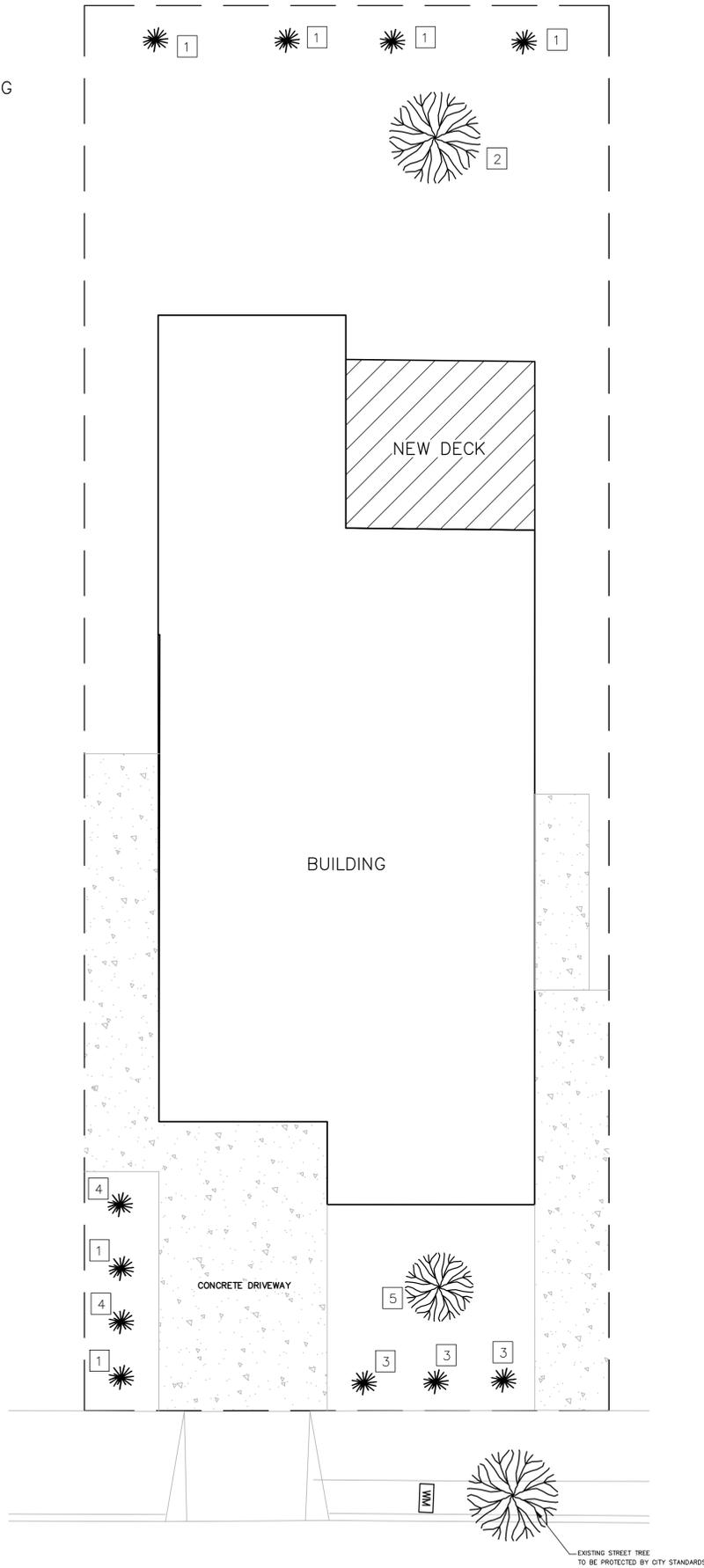


 HOUSE BUILDING
 DECK



LANDSCAPE LEGEND

- 1 DODONAEA VISCOSA PURPUREA
- 2 FRUIT TREE (LEMON)
- 3 LEPTOSPERMUM GAIEY
- 4 GREVILLEA LAN COASTAL GEM
- 5 JAPANESE MAPLE - 15 GALLON

CORNELL AVE

LANDSCAPE PLAN
SCALE: 1/8" = 1'

DATE	MARK	DESCRIPTION

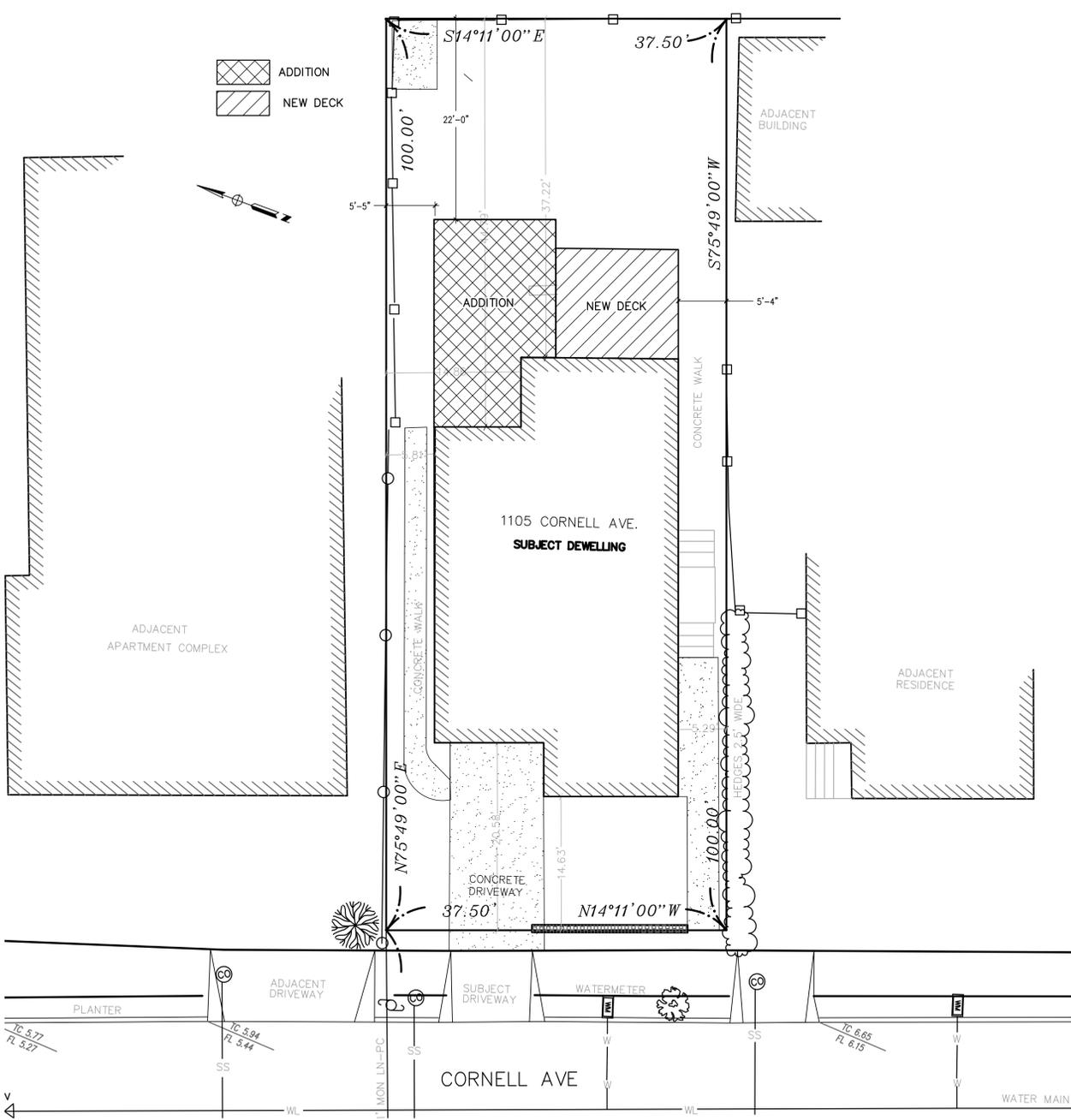
Designer
 H.V. Orozco
 hhorozco@gmail.com
 510-703-1121

Applicant/Owner
 2200 8TH AVE LLE

1105 CORNELL AVE
 ALBANY, CA 94706
 ADDITION AND JADU

DESIGN BY	
DRAWN BY	
CHECKED BY	
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-0.1
OF SHEETS	
DRAWING FILE #	


 LANDSCAPE PLAN



SITE PLAN
SCALE: 1/8" = 1'

DESCRIPTION OF WORK

-ADDITION OF A MASTER BEDROOM AND BATHROOM
-NEW ATTACHED JUNIOR ACCESSORY DWELLING UNIT

DESIGNER'S STATEMENT

I CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL INFORMATION INDICATED HERE ON.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

I HEREBY FURTHER STATE THAT ALL PROPOSED GRADES, ELEVATIONS, AND CONTOURS DELINEATED UPON THIS PLOT PLAN ARE BASED UPON A SURVEY BY HENDRIK VAN DE POL R.C.E. LLC #8478 DATED 02/16/22

DESIGNER

Hector Orozco *H. Orozco*

DATE: FEBRUARY 10, 2022

TITLE: DESIGNER



VICINITY

GENERAL NOTES

- THE DESIGN PRESENTED IN THESE DRAWINGS ESTABLISHES THE GENERAL ARCHITECTURAL REQUIREMENTS FOR THE PROJECT. IT DOES NOT PRESENT ALL DETAILS REQUIRED FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO EXERCISE SOUND JUDGMENT IN ACCORDANCE WITH CODE REQUIREMENTS.
- THE CONTRACTOR SHALL ESTABLISH NEW CONSTRUCTION SETBACKS REQUIRED BY THE CITY BY ORDERING A TOPOGRAPHIC SURVEY PRIOR TO START CONSTRUCTION.
- THE DRAWINGS INDICATE LOCATION AND DIMENSIONS, BUT THEY DO NOT ILLUSTRATE EVERY CONDITION. IN THE EVENT THAT CERTAIN FEATURES ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE IN ACCORDANCE WITH CONVENTIONAL PRACTICES OF THE UNIFORM BUILDING CODE.
- ALL CONDITIONS AFFECTING WORK PROGRESS AND CONFORMANCE TO PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK.
- CONTRACTOR SHALL BRING TO THE ATTENTION OF DESIGNER FOR IMMEDIATE RESOLUTION ANY CODE VIOLATIONS, INADEQUATE CONSTRUCTION, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.
- ANY SITE AND BUILDING AREAS UNAFFECTED BY THIS WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY DAMAGE TO EXISTING STRUCTURES AND BUILDING ELEMENTS SO CALLED, SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- ANY WASTE AND REFUSE, CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR PER CITY'S GREEN WASTE STANDARDS. SEE CAL GREEN REQUIREMENTS.
- CONTRACTOR SHALL COMPLY WITH TITLE 24 REQUIREMENTS.
- THESE ITEMS MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER.

PROJECT INFORMATION

LOT SIZE: 3800 SF
CONSTRUCTION: TYPE 5 UNPROTECTED WOOD FRAME
BUILDING OCCUPANCY: SINGLE FAMILY RESIDENCE
SPRINKLER: NO
PARCEL #: 65-2408-15

EXISTING MAIN HOUSE LIVING AREA = 1098 SF
EXISTING ATTACHED GARAGE AREA = 258 SF (TO REMAIN THE SAME)

ADDITION = 240 SF
NEW JADU = 381 SF
NEW TOTAL LIVING AREA = 1,719 SF.

FLOOR AREA RATIOS:
EXISTING FAR = 1466 / 3800 = 38.6%
PROPOSED FAR = 1807 / 3800 = 47.6%

IMPERVIOUS SURFACE:
EXISTING = 1630 SF
PROPOSED = 1906 SF

LOT COVERAGE:
EXISTING = 1630/3800 43%
PROPOSED = 1906/3800 50%

SYMBOL LEGEND

- HEIGHT:
- SECTION:
- ELEVATION:
- DETAIL:
- GRID LINE:
- DOOR/WINDOW:
- NOTE:

ABBREVIATIONS

&	AND	C.I.	CAST IRON	(E)	EXISTING	FRMG.	FRAMING	L.F.	LINEAR FOOT	PL.	PLATE OR	SIM.	SIMILAR
∠	ANGLE	C.I.P.	CAST IN PLACE	E.A.	EACH	FT.	FOOT OR FEET	L.T.	LIGHT	PL.	PROPERTY LINE	SPEC.	SPECIFICATION
□	SQUARE	E.A.	ELECTRICAL	E.J.	EXPANSION JOINT	FTG.	FOOTING	MUL.	MAXIMUM	P.LAM.	PLASTIC LAMINATE	SQ.	SQUARE
⊙	CENTERLINE	C.J.	CONSTRUCTION	E.E.C.	ELECTRICAL	FURN.	FURNITURE	M.B.	MACHINE BOLT/	FR.	FR. PLASTER	S.S.	STAINLESS STEEL
⌀	DIAMETER	C.O.	CONTROL JOINT	ELEV.	ELEVATION	FURR.	FURRING	M.F.P.	MODIFIED	P.V.C.	POLYVINYL	STD.	STANDARD
⊞	PLATE /	C.L.C.	CLOSE	ELEV.	ELEVATION	GRD.	GRADE	M.F.R.	METAL FINISH	P.W.C.	POLYURETHANE	STL.	STEEL
⊞	PROPERTY LINE	C.L.C.	CLEAR	ELEV.	ELEVATION	GRND.	GRADE	M.F.R.	METAL FINISH	P.W.C.	POLYURETHANE	STL.	STEEL
A.B.	ANCHOR BOLT	CLR.	CLEAR	EMER.	EMERGENCY	G.L.	GALVANIZED	MECH.	MECHANICAL	P.W.D.	PLYWOOD	STRUC.	STRUCTURAL
A.B.C.	AGGREGATE	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
A.C.	AIR CONDITIONING	C.O.	CLEAN OUT	EMER.	EMERGENCY	GR.	GRASS	M.F.P.	MODIFIED	P.W.C.	POLYVINYL	STL.	STEEL
ACOUS.	ACOUSTICAL	C.O.	CLEAN OUT	EMER.	EMERGENCY	GR.	GRASS	M.F.P.	MODIFIED	P.W.C.	POLYVINYL	STL.	STEEL
A.C.	ASPHALTIC	C.O.	CLEAN OUT	EMER.	EMERGENCY	GR.	GRASS	M.F.P.	MODIFIED	P.W.C.	POLYVINYL	STL.	STEEL
A.F.F.	ADJUSTABLE	C.O.	CLEAN OUT	EMER.	EMERGENCY	GR.	GRASS	M.F.P.	MODIFIED	P.W.C.	POLYVINYL	STL.	STEEL
AGGR.	AGGREGATE	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
ALUM.	ALUMINUM	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
ALT.	ALTERNATE	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
APPROX.	APPROXIMATE	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
ARCH.	ARCHITECTURAL	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
ASPH.	ASPHALT	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
BD.	BOARD	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
BLDG.	BUILDING	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
BLK.	BLOCK	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
BLK.	BLOCKING	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
BM.	BEAM	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
B.O.	BOTTOM OF	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
BOT.	BOTTOM	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
B.U.	BUILT-UP	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
C.B.	CABINET	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
C.B.	CORNER BEAD	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
C.T.	CERAMIC TILE	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED
CHAN.	(C) CHANNEL	C.M.U.	CONCRETE	EMER.	EMERGENCY	G.L.B.M.	GLASS LAM BEAM	MEMB.	MEMBRANE	O.T.	QUARRY TILE	SUSP.	SUSPENDED

SHEET INDEX

- A-0 SITE PLAN & TITLE
- A-1 EXISTING FLOOR PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 PLAN NOTES
- A-4 EXISTING ELEVATIONS
- A-5 PROPOSED ELEVATIONS
- A-6 CITY OF ALBANY WINDOW REPLACEMENT HANDOUT

TOPOGRAPHIC SURVEY

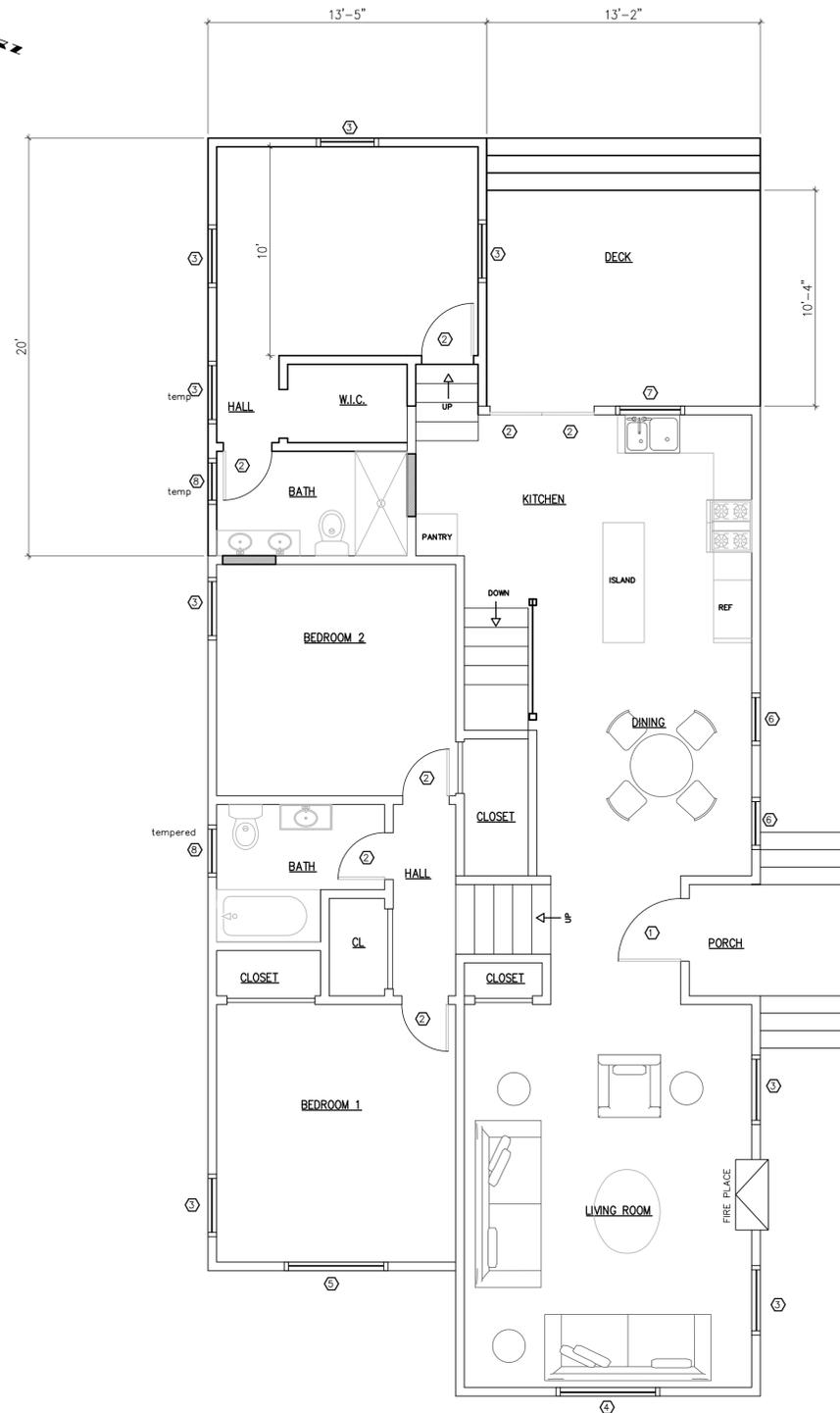
CODE COMPLIANCE

- 2019 CALIFORNIA BUILDING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL, ICC)
- 2019 CALIFORNIA RESIDENTIAL CODE - APPLIES TO ONE AND TWO FAMILY HOUSES AND TOWN HOMES LESS THAN 3 STORES IN HEIGHT.
- 2019 CALIFORNIA ENERGY CODE. CHECK THE CALIFORNIA ENERGY COMMISSIONS WEBSITE AT [HTTP://WWW.ENERGY.CA.GOV](http://www.energy.ca.gov) FOR A DOWNLOADABLE VERSION (PUBLISHED BY ICC)
- 2019 CALIFORNIA ELECTRICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE NATIONAL FIRE PROTECTION AGENCY, NFPA)
- 2019 CALIFORNIA PLUMBING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
- 2019 CALIFORNIA MECHANICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE UNIFORM MECHANICAL CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)
- 2019 CALIFORNIA FIRE CODE (INCORPORATES BY ADOPTION AND REPRINTS THE INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS PUBLISHED BY ICC)
- 2019 CALIFORNIA GREEN CODE
- CITY OF ALBANY MUNICIPAL CODE

Hector Orozco

TITLE AND SITE PLAN

DESIGNER	H.V. Orozco
APPLICANT/OWNER	2200 8TH AVE LLE
DATE	04-26-22
SCALE	HORIZ: AS SHOWN
	VERT: AS SHOWN
SHEET	A-0
OF SHEETS	1
DRAWING FILE #	



PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'

WATER EFFICIENT PLUMBING FIXTURES

TYPE OF FIXTURE	REQUIRED WATER-CONSERVING PLUMBING FIXTURE (MAXIMUM FLOW-RATES)
WATER CLOSET (TOILET)	1.28 GALLONS/FLUSH
SHOWERHEAD	1.8 GALLONS/MINUTE AT 80PSI
FAUCET BATHROOM	1.2 GALLONS/MINUTE AT 60 PSI
FAUCET KITCHEN	1.8 GALLONS/MINUTE AT 60 PSI (AVERAGE)

ALL FIXTURES SHALL COMPLY WITH THE ABOVE REQUIREMENTS



ELECTRICAL LEGEND:

- Ⓛ DUPLEX OUTLET
- Ⓛ_{GF} DUPLEX OUTLET W/ GROUND FAULT
- Ⓢ SWITCH
- Ⓢ_{UC} SWITCH FOR UNDER CABINET
- WIRING
- CEILING LIGHT W/ FAN
- FAN
- RECESS LIGHT

ELECTRICAL NOTES:

- ELECTRICAL ITEMS SHOWN ARE SCHEMATIC AND THE INSTALLATION SHALL BE REVIEWED BY THE BUILDING INSPECTOR IN THE FIELD.
- ALL OUTLET SPACING, GF REQUIREMENTS, PANEL LOCATIONS AND LOAD DEMANDS SHALL MEET PERTAINING/LOCAL CODE REQUIREMENTS.

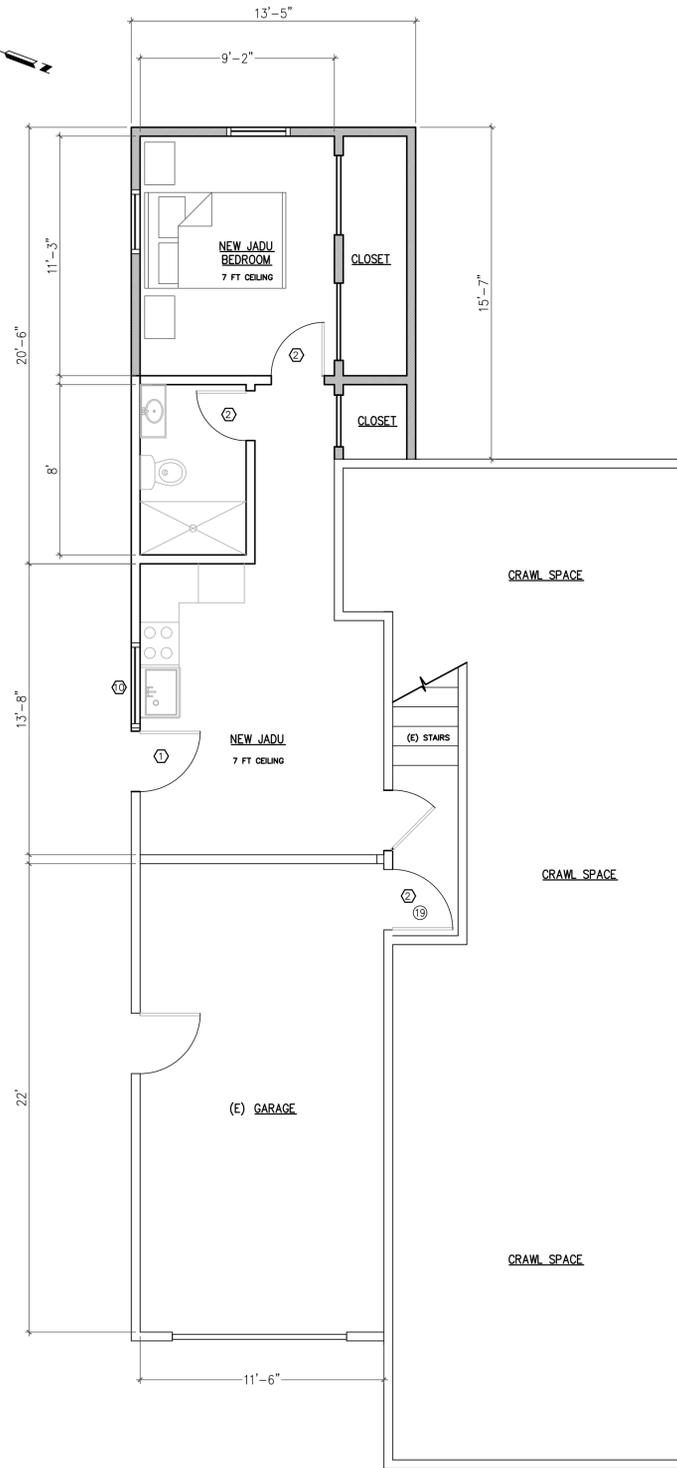
- █ NEW WALL
- ▭ EXISTING WALL

MARK	SIZE	TYPE
1	3'-0" X 6'-8"	STRD DOOR
2	2'-6" X 6'-8"	STRD DOOR

MARK	NEW WINDOW SCHEDULE	
	WIDTH	HEIGHT
1	3'-0"	4'-6"
2	5'-0"	6'-0"
3	5'-0"	4'-6"
4	2'-6"	4'-6"
5	3'-4"	2'-8"
6	2'-3"	3'-0"
7	5'-0"	5'-0"
8	3'-0"	4'-0"

HEADER SCHEDULE:

- 4 X 6 UP TO 1' OPENING
- 4 X 8 UP TO 4' OPENING
- 4 X 12 UP TO 8' OPENING



PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'

DATE	MARK	DESCRIPTION

Designer
H.V. Orozco
hhorozco@gmail.com
510-703-1121

Applicant/Owner
2200 8TH AVE LLE

1105 CORNELL AVE
ALBANY, CA 94706
ADDITION AND JADU

DESIGN BY	
DRAWN BY	
CHECKED BY	
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-2
OF SHEETS	
DRAWING FILE #	

PLAN NOTES

- ① **SAFETY (TEMPERED) GLAZING:** at: (1) hazardous locations-windows adjacent to tubs, showers, and tub/showers (2) adjacent to and within 24 inches of either edge of doors (3) glazing less than 60" above walking surface at stairways or landings (4) for projects in Oakland, windows within 3' horiz. from tub/shower unless btm of glazing >60" abv. standing surface of tub/shower.
- ② **SHOWER/TUB:** • showerhead 1.8 gal. per min. max. at 80 psi.
a. shower stalls shall be a minimum finished interior of 1,024 square inches, be capable of encompassing a 30" diameter circle, and any doors shall swing out of the enclosure have a clear opening of 22" minimum. (cpc 411.6 and 411.7)
b. glazing in any portion of the shower, bathtub, or hydro-massage tub enclosure shall be safety glazing (i.e. tempered glass) when the bottom edge of the glazing is less than 50" above the standing surface of the unit (cpc 2408.3 and cpc 2408.4)
c. shower stalls and bathtubs with shower heads installed, shall have walls finished with a non-absorbent surface for a minimum of 6' above the floor.
d. any new or replaced mixing valve in a shower (including over a tub) shall be pressure balancing set at a maximum 120" f. any new or replaced water-filler valve in bathtubs/whirlpools shall have a temperature limiting device set at a maximum of 120" e. the water heater thermostat cannot be used to meet the these provisions. (cpc 414.0 and 418.0)
f. hydro-massage tubs (i.e. jacuzzi tubs) shall have motor access, a gfci protected dedicated circuit, and be ul listed. all metal cables, fittings, piping, or other metal surfaces, within 5' of the inside wall of the hydro-massage tub shall be properly bonded. hydro-massage tubs shall be bonded.
③ **TOILET:** max. 1.28 gal. per flush; min. 30" width clearance; min 24" front clearance; fixture centered min 15" from side; caulk & seal fixture where it meets floor.
④ **BATHROOM:**
a. all receptacles shall be gfci protected & tamper resistant. new/additional outlets shall have a dedicated 20-amp circuit. (cec 406.11, 210.8, 210.11)
b. provide mechanical ventilation system capable of providing 5 air changes/hr-mechanical subcontractor to specify acceptable fan unit for each space, exhaust fans are required in all bathrooms, even if an operable window is installed. exhaust fans and lighting shall have separate control switches (even if a combination unit is installed). the exhaust fan may need to be supplied by a gfci protected circuit based on the manufacturer's requirements. (california energy efficiency standards section 150)
c. termination of all environmental air ducts shall be a minimum of 3 feet from property lines or openings into the building (i.e. dryers, bath and utility fans etc. must be 3 feet away from doors, windows, opening skylights or attic vents)
d. lighting fixtures within 3' horizontally and 8' vertically of the bathtub rim or shower stall threshold shall be listed for a damp location, or listed for wet locations where subject to shower spray. (cec 410.10)
e. All lighting shall be high efficiency fixtures (e.g. fluorescent) and at least one new luminire shall be controlled by a occupancy sensor or motion sensor.
f. maximum flow for bathroom faucet to be 1.2 gallon/minute at 60 psi
⑤ **KITCHEN:**
a. conductor wires with an installed neutral and a four-prong outlet are required for dryers and cooking units.
b. provide two separate 20amp circuits for kitchen small appliances, with no other outlets on the circuits.
c. termination of all environmental air ducts shall be a minimum of 3 feet from property lines or openings into the building (i.e. dryers, bath and utility fans etc. must be 3 feet away from doors, windows, opening skylights or attic vents)
d. All newly installed lighting shall be high efficacy per CENc Table 150.0-A
e. installation instructions for all listed equipment shall be provided to the field inspector at time of inspection.
f. gfci protection at all receptacles serving kitchen counter tops; receptacles within 6 feet of a wet bar sink; at each kitchen and dining area counter space wider than 12 inches. locate so that no point along the counter wall is over 24" from a receptacle. all receptacles to be tamper resistant
g. maximum flow for kitchen faucet to be 1.8 gallon/minute
h. Maximum 6.5 gallons per cycle or be Energy Star Qualified for new dishwashers (D/C/MC 15.20.080). Dishwasher must be protected by an GFCI receptacle.
i. Kitchen hoods shall be minimum 100 CFM and a maximum of 3 sones (CENc 150.0)(1) (G).
j. A smooth rigid ducted vent shall be installed for the kitchen hood, and it shall not be directed onto walkways (CMC 504.3). Termination shall be to the Roof.
k. Kitchen hood to vent to the exterior per ASHRAE 62.2 standard.

- ⑥ **LAUNDRY:**
a. conductor wires with an installed neutral and a four-prong outlet are required for dryers and cooking units.
b. provide one minimum separate 20 amp circuit to laundry appliances.
c. vent dryer w/smooth metal duct to ext. w/backdraft damper. duct to be 4" min. dia.; 14' max length w/2 elbows provide one minimum separate 20 amp circuit to laundry appliances.
d. termination of all environmental air ducts shall be a minimum of 3 feet from property lines or openings into the building (i.e. dryers, bath and utility fans etc. must be 3 feet away from doors, windows, opening skylights or attic vents)
e. laundry room lighting: all newly installed lights shall be high efficacy per CENc Table 150.0-A.
f. installation instructions for all listed equipment shall be provided to the field inspector at time of inspection.
g. Laundry closet door shall have a minimum opening area of 100 square inches for make-up air clothes dryer (CMC Section 504.4.1)

- ⑦ **GUARD RAILS:** guardrail req'd at walking surface 30" or more above grade. guardrail height shall be min. 42" high with intermediate rails such that 4" sphere shall not pass through. guardrail & connection shall be capable of resisting 20 plf horiz. load perpendicular to top rail and intermediate rails, panel filters and their connections shall be capable of withstanding a load of at least 25 pounds per square foot applied horizontally at right angles over the entire tributary area, including openings and spaces between rails.

- ⑧ **STAIRS:** conform to
a. 1/4"-2" diameter handrail mounted 34 to 38in. above the tread nosing. required at all stairs with 4 or more risers -return at ends
b. handrails shall be mounted so that the completed rail and supporting structure are capable of withstanding a load of at least 200 pounds applied in any direction at any point on the rail. cbc-table 16-b, foot note 9.
c. headroom min. 6'8" abv stair treads
d. handrail projection max. 3.5" into req'd stair width. stringers and other projections are limited to 1"-1 1/2" projection each side.
e. rise & run of stairs (max. rise 7'-3/4"; min. run 10")
f. handrail required at stairs with two or more risers; handrail both sides required at ext stairs; handrail at one side allowed at int. stairs
g. at ext. stairs; handrails to extend 12" horiz at top and extend one tread length at bottom of run & return to adj. wall or post

- ⑨ **LANDINGS:** Provide 36" deep landing outside all exterior doors (not more than 7-3/4" lower than threshold for in-swinging doors and not more than 1/2" lower than threshold for outswinging doors; min. 1/4" slope for weather exposed landings; balconies and roof decks sealed underneath

- ⑩ **PRESSURE TREATED WOOD:** to be used for wood in contact w/earth or embedded in concrete or masonry, 6" min. clear from grade to framing

- ⑪ **HOSE BIBS:** provide a non-removable backflow prevention device on all new exterior hose bibs, and lawn sprinkler/irrigation systems. All hose bibs must have approved anti-siphon device

- ⑫ **SLOPE OF GRADE:** 1. Away from building at a minimum of 2% for 4' for impervious surfaces 2. Away from building at a minimum of 5% for pervious surfaces from foundation area.

- ⑬ **WATERPROOF/GFCI PROTECTED OUTLETS:** at exterior at front and rear of dwelling having access to grade and at all balconies; decks; and porches greater than 20 SF

- ⑭ **ADDRESS NUMBERS:** Show location of address numbers on building elevations clearly visible from adjacent access street or road, numbers to be min. 4" high with min. stroke with of 1/2" and shall contrast with the background

- ⑮ **WATER HEATER:** (gas storage-tank type)
a. seismic anchorage of water heater include 3 anchors or straps at points within the to upper and lower one-third of its vertical dimension-the lower anchor/strap located to maintain a minimum distance of 4 inches above the controls
b. pressure relief valve with drain a minimum distance of 4 inches above the controls
c. provide 24 inch minimum wide door to water heater compartment; min 30" x 30" workspace by firebox
d. dwh location prohibited in bdrm; bathrm; clothes clst; or area open to same except direct vent appliance
e. if located over framing; requires watertight pan w/1" drain
f. externally wrapped with min. R-12 insulation

- ⑯ **FORCED AIR FURNACE:**
a. fau located on conc. slab min 3" abv grade;
b. attic access 22x30" min.;
c. switch at entrance for light at appliance;
d. not open to bdrm or bathrm;
e. 30" of workspace at front;
f. total clearance 12" greater than fau width;
g. furnace room passageway 24" min width;
h. combustion chamber 6" min. to closed door
i. receptacle within 25' & not on appl. circuit.
k. HVAC subcontractor to verify all applicable installation requirements & install per manuf. specifications typical.
m. FAU Combustion Air (see UMC & UPC for more options & req'ts): Opt1: provide 100 sq.in. ext. openings within upper & lower 12" of mech. clst. Opt 2: one ext. opening within upper 12" with min 1 sq in. per 3KBTU & =>cross sectional area of all vent connectors (High Efficiency FAUs or FAUs in ventilated crawl/pspace, garage or attic have specific allowances & req'ts per UMC)

- ⑰ **1-HR WALL BETWEEN GARAGE & HOUSE:** 5/8" type x gyp. bd garage side; 2x4 wd studs @ 16" o.c. w/R-13 batt insul; 1/2" gyp bd @ house side. 1-hr clg btween garage & house: 2 layers @ type X gyp. bd. garage side (fasten per CBC Table 7-C item 21-1.1)
Fire separation shall extend through ceiling to the underside of roof sheathing.

- ⑱ **DOOR TO GARAGE:** door between garage & house to be self-closing; tight-fitting solid wood door 1-3/8" thick or approved 20 min. fire-rated door

- ⑲ **CRAWLSPACE VENTILATION:** vent 1 s.f./150 s.f. of underfloor area: U.O.N. provide painted 6"x16" G.S.M. vents as close to corners as possible and allowing cross-ventilation. Vents shall be covered with 1/4" wire mesh

- ⑲ **UNDER-FLOOR CLEARANCE:** provide min. 18" clear to exposed ground in crawlspaces from joists or structural wood floors or 12" to wood girders. Otherwise, such wood framing shall be pressure-treated or have natural resistance to decay.

- ⑳ **CRAWLSPACE ACCESS:** Provide min. 18"x24" crawlspace access panel. Ventilation 1 s.f./150 s.f. of crawl space area.

- ㉑ **ATTIC VENTILATION:** vent 1 s.f./150 s.f. of attic area or 1 s.f./300 s.f. if >50% of venting is located above mid-point of attic

- ㉒ **ATTIC ACCESS PANEL:** R807.1: 22"x30" min. panel (size larger to accomodate fau as req'd) located in hallway or other readily accessible location. if FAU in attic, provide 30" min deep platform in front of firebox & lighting outlet switched at access door near furnace.

- ㉓ **EGRESS WINDOW:** 5.7 sq. ft. min. (5 sq. ft. min. allowable at ground level); 20" wide by 24" high; max. 44" to finished sill' opens directly to public way, yard or court that opens to a public way

- ㉔ **ARC-FAULT CIRCUIT INTERRUPTER:** at all branch circuits that supply 120 volt, single-phase, 15 and 20 ampere receptacle outlets installed in all dwelling unit rooms and kitchens, except bathrooms and garages.

- ㉕ **SMOKE DETECTORS:** new 110v smoke detectors (with battery backup) which are audible in all sleeping areas & at the following locations: 1. hallways leading to bedrooms; 2. above tops of stairs; 3. at least one every level and any area where ceiling height is more than 24" above hallway ceiling leading to sleeping room, and shall be at least 3 feet away from room entrance. all smoke detectors are to be interconnected per 2019 CRC (activation of one alarm will activate all of the alarms in the individual unit & alarm will be clearly audible in all bedrooms over background noise levels with all intervening doors closed)

- ㉖ **CARBON MONOXIDE ALARMS:** (Sec:R315) new 110v carbon monoxide alarm (with battery backup) installed in each bedroom, and outside each area adjacent to a sleeping area; each story of the building; and in any basement. All carbon monoxide alarms detectors are to be interconnected activation of one alarm will activate all of the alarms).

- ㉗ **WATER HEATER COMBUSTION AIR:** Provide combustion air as required by CMC Chapter 7 or CFC §506. Installer shall furnish calculations to the Building Official/Inspector that show how the proposed combustion air system provides at least the minimum required combustion air openings and shall locate the openings as required by the calculation method used.

WINDOWS REQUIREMENTS & SAFETY GLAZING.

EMERGENCY ESCAPE WINDOWS

IN BEDROOMS PROVIDE OPERABLE ESCAPE WINDOWS (AT LEAST ONE IN EACH BEDROOM) MEETING ALL OF THE FOLLOWING:

- A NET CLEAR OPENABLE AREA NOT LESS THAN 5.7 SF
- A MINIMUM CLEAR OPENING HEIGHT OF 24".
- A MINIMUM CLEAR OPENING WIDTH OF 20"
- A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR.

NATURAL LIGHT AND VENTILATION REQUIREMENTS

EACH HABITABLE ROOM (EXCLUDES HALLWAYS, BATHROOMS, AND LAUNDRY ROOMS) IS REQUIRED TO HAVE:

- NATURAL LIGHT (WINDOWS OR SKYLIGHTS) SIZED TO A MINIMUM OF 8% OF THE FLOOR AREA OF THE ROOM
- VENTILATION (OPENABLE PORTION OF WINDOW OR SKYLIGHT) SIZED TO A MINIMUM OF 4% OF THE FLOOR AREA.

SAFETY GLAZING WINDOWS AND DOORS

- SAFETY GLAZING SHALL BE PROVIDED IN ALL DOORS
- GLAZING LESS THAN 60" ABOVE THE DRAIN INLET IN HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS SHALL BE TEMPERED.
- GLAZING IN FIXED OR OPENABLE PANELS ADJACENT TO A DOOR, WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE, SHALL BE TEMPERED.
- GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE SHALL TEMPERED.
- GLAZING IN INDIVIDUAL FIXED OR OPERABLE WINDOWS SHALL BE SAFETY TYPE IF THE WINDOW IN QUESTION MEETS ALL OF THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF THE INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
 - THE EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
 - THE EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR.
 - THERE ARE ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

WATER EFFICIENT PLUMBING FIXTURES

TYPE OF FIXTURE	REQUIRED WATER-CONSERVING PLUMBING FIXTURE (MAXIMUM FLOW-RATES)
WATER CLOSET (TOILET)	1.28 GALLONS/FLUSH
SHOWERHEAD	1.8 GALLONS/MINUTE AT 80PSI
FAUCET BATHROOM	1.2 GALLONS/MINUTE AT 60 PSI
FAUCET KITCHEN	1.8 GALLONS/MINUTE AT 60 PSI (AVERAGE)

ALL FIXTURES SHALL COMPLY WITH THE ABOVE REQUIREMENTS

- ㉘ **CLOSETS:** Lighting in clothes closet shall be fully glass enclosed or fluorescent fixture.

- ㉙ **EXTERIOR WALL GAPS:** annular spaces around pipes, electric cables, conduits or openings in sole/bottom plates of exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.

- ㉚ **HOT WATER PIPING:** Minimum 1" thick pipe insulation shall be installed on all accessible hot water piping.

- ㉛ **OUTDOOR LIGHTING:** Outdoor lighting permanently mounted to a dwelling or other buildings on the same parcel shall be high efficacy and be controlled by a manual on off switch with a motion sensor and photo control, or a time switch and photo control, or an astronomical time clock programmed to run off the lighting during daylight hours.

- ㉜ **MEMBRANE PENETRATIONS:** Membrane penetrations of fire-resistance assemblies shall comply with 2016 CBC section 714.3.2

Membrane penetrations of fire resistance rated assemblies shall be protected by and approved penetration firestop system.
Exceptions.
A. Membrane penetration of fire resistance rated walls by steel electrical boxes that do not exceed 16 square inches in area provided that the aggregate area of the openings through the membrane does not exceed 100 square inches in any 100 square feet of wall area. Such boxes on opposite sides of the wall shall be separated by on of the following:
-By a horizontal distance of not less than 24" where the wall is constructed with individual non communicating stud cavities.
-By solid fireblocking
-By protecting both boxes with approved listed putty pads.
B. Membrane penetrations of fire resistance rated walls by listed electrical boxes provided that the boxes have been tested for use in fire resistance rated assemblies and are installed in accordance with the instruction included in the listing. Such boxes on opposite sides of the wall shall be separated by on of the following:
-By the horizontal distance specified in the listing of the electrical boxes.
-By solid fireblocking
-By protecting both boxes with listed putty pads.

FURNACE NOTES

- DISTANCE FROM THE ACCESS OPENING TO THE FURNACE SHALL NOT EXCEED 20'-0". THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE.
- A LEVEL PLATFORM NOT LESS THAN 30"x30" SHALL BE PROVIDED IN FRONT OF THE APPLIANCE UNLESS THE FURNACE IS CAPABLE OF BEING SERVICED FROM THE REQUIRED ACCESS OPENING WITH THE SERVICE SIDE NOT MORE THAN 12" FROM THE ACCESS OPENING.
- A PERMANENT 120 VOLT RECEPTACLE OUTLET AND LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE MOTION OCCUPANCY SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

ELECTRICAL / MECHANICAL NOTES

- ALL MECHANICAL AND ELECTRICAL WORK TO BE DESIGNED BUILD, INFORMATION PROVIDED FOR REFERENCE ONLY.
- PROVIDE GROUND-FAULT CIRCUIT INTERRUPTERS FOR RECEPTACLES INSTALLED AT BATHROOM AND KITCHEN COUNTERTOP SURFACES.
- AT THE KITCHEN, PROVIDE 2-20 AMP CIRCUITS FOR SMALL APPLIANCES AND A 15 AMP DEDICATED CIRCUIT FOR THE REFRIGERATOR. INDEPENDENTLY, PROVIDE SEPARATE CIRCUITS FOR LIGHTING, APPLIANCE RECEPTACLES, HOOD FANS, DISHWASHERS AND DISPOSALS.
- ALL PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES, AS SPECIFIED IN §150.0(k)1
- LIGHT FIXTURES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT.
- SMOKE DETECTORS SHALL BE INSTALLED IN EXISTING BEDROOMS, IN HALLWAYS, AND WITHIN EACH STORY. WHEN DWELLING HAS FUEL-BURNING APPLIANCES OR ATTACHED GARAGE; INSTALL CARBON MONOXIDE ALARM IN HALLWAYS ADJOINING SLEEPING AREAS AT EACH LEVEL. SMOKE DETECTORS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BATTERY BACKUP.
- ALL PERMANENTLY INSTALLED LUMINAIRES IN BATHROOM SHALL BE HIGH EFFICACY LUMINAIRES, AS SPECIFIED IN §150.0(k)1
- BATHROOM RECEPTACLES SHALL BE INSTALLED ON A DEDICATED 20-AMPERE BRANCH CIRCUIT THAT IS:
 - DEDICATED TO ONLY BATHROOM RECEPTACLES OR,
 - DEDICATED TO THE RECEPTACLES AND LIGHTING WITHIN A SINGLE BATHROOM ONLY.
- SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS SHALL BE 18" FROM STORAGE AREAS. FLUSH MOUNTED SHALL BE 6" AWAY.
- ALL RECEPTACLES, LIGHTING CIRCUITS, SWITCHES AND HARD WIRED SMOKE DETECTORS INSTALLED IN ROOMS OTHER THAN KITCHEN, SHALL BE PROTECTED WITH AN ARC FAULT CIRCUIT INTERRUPTER.
- ALL RECEPTACLES SHALL BE TAMPER RESISTANCE IN ACCORDANCE TO 2016 CEC
- EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHES SEPARATELY FROM LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME. LIGHTING INTEGRAL TO AN EXHAUST FAN MUST BE HIGH-EFFICACY.
- EACH BATHROOM IS REQUIRED TO HAVE A 50 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. BATHROOM IS ANY ROOM WITH A BATHTUB, SHOWER, SPA OR SIMILAR SOURCES OF MOISTURE. TOILET ROOM IS NOT CONSIDERED A BATHROOM.
- EACH KITCHEN IS REQUIRED TO HAVE A 100 CFM MINIMUM EXHAUST FAN DUCTED TO THE OUTSIDE. THE RANGE HOOD OVER THE STOVE MAY BE USED TO MEET THIS REQUIREMENT, BUT THE RANGE HOOD MUST BE VENTED TO THE OUTSIDE.
- LOCAL EXHAUST FANS ARE REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 3 SONES, UNLESS THEIR MAXIMUM RATED AIRFLOW EXCEEDS 400 CFM.
- PROVIDE ONE 20A DEDICATED CIRCUIT FOR THE RECEPTACLE OUTLETS FOR THE LAUNDRY ROOM. THE 20A LAUNDRY ROOM RECEPTACLE CIRCUIT CAN SUPPLY MORE THAN ONE RECEPTACLE IN THE LAUNDRY ROOM. THIS RECEPTACLE CAN NOT SUPPLY OTHER OUTLETS, SUCH AS THE LAUNDRY ROOM LIGHTING OR RECEPTACLES IN OTHER ROOMS. GFCI PROTECTION IS NOT REQUIRED FOR 15A AND 20A, 125V RECEPTACLES IN A LAUNDRY ROOM, UNLESS THEY ARE WITHIN 6 FT OF A SINK.
- EXHAUST DUCTS FOR DRYER SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. DUCT TERMINATION SHALL BE EQUIPED WITH A BACKDRAFT DAMPER
- LIGHTING CONTROL FOR KITCHEN, DINING, FAMILY, LIVING, AND BEDROOMS SHALL BE ON DIMMERS.
- LIGHTING CONTROL FOR GARAGE, LAUNDRY, BATHROOMS, AND STORAGE SHALL BE ON VACANCY SENSORS.
- EXTERIOR LIGHTS SHALL BE ON TIMERS OR PHOTO SENSORS.
- GFI RECEPTACLE FOR EACH PARKING SPACE.

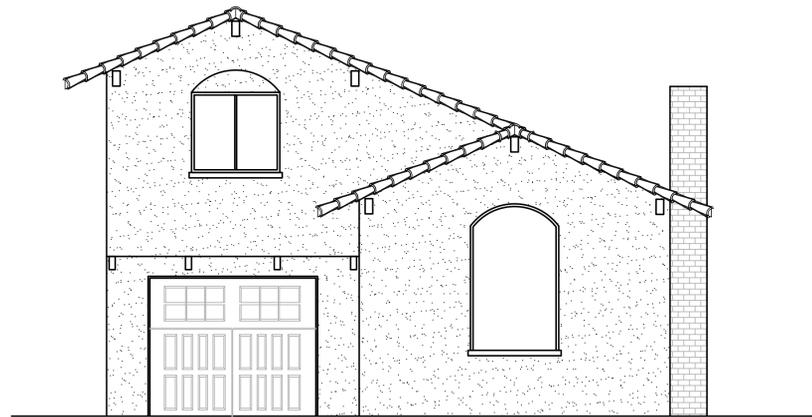
DATE	MARK	DESCRIPTION

Applicant/Owner	Designer
2200 8TH AVE LLE	H. V. Orozco hhorozco@gmail.com
	510-703-1121

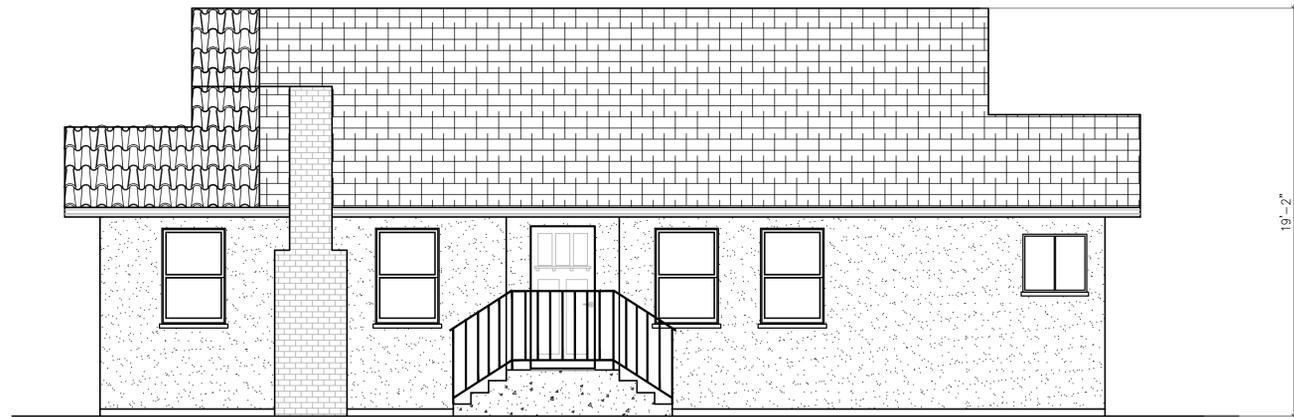
1105 CORNELL AVE ALBANY, CA 94706	ADDITION AND JADU
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DRAWN BY	
CHECKED BY	
DATE	04-26-22
SCALE	HORIZ: AS SHOWN VERT: AS SHOWN
SHEET	A-3
OF SHEETS	
DRAWING FILE #	

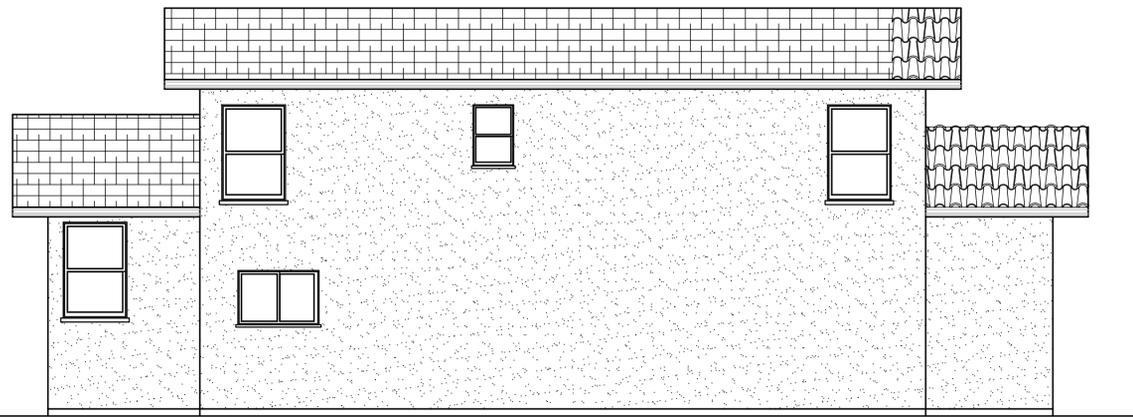
PLAN NOTES



EXISTING FRONT ELEVATION (WEST) TO REMAIN THE SAME
SCALE: 1/4" = 1'



EXISTING RIGHT ELEVATION (SOUTH)
SCALE: 1/4" = 1'



EXISTING LEFT ELEVATION (NORTH)
SCALE: 1/4" = 1'



EXISTING REAR ELEVATION (EAST)
SCALE: 1/4" = 1'

DATE	MARK	DESCRIPTION

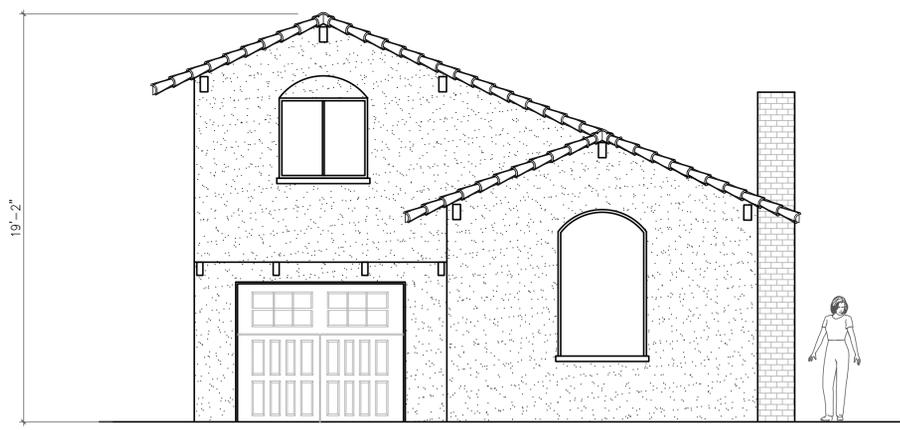
Designer	H. V. Orozco hhorozco@gmail.com 510-703-1121
Applicant/Owner	2200 8TH AVE LLE
1105 CORNELL AVE ALBANY, CA 94706 ADDITION AND JADU	

DESIGN BY	
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DATE	04-26-22
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SHEET	A-4
OF SHEETS	
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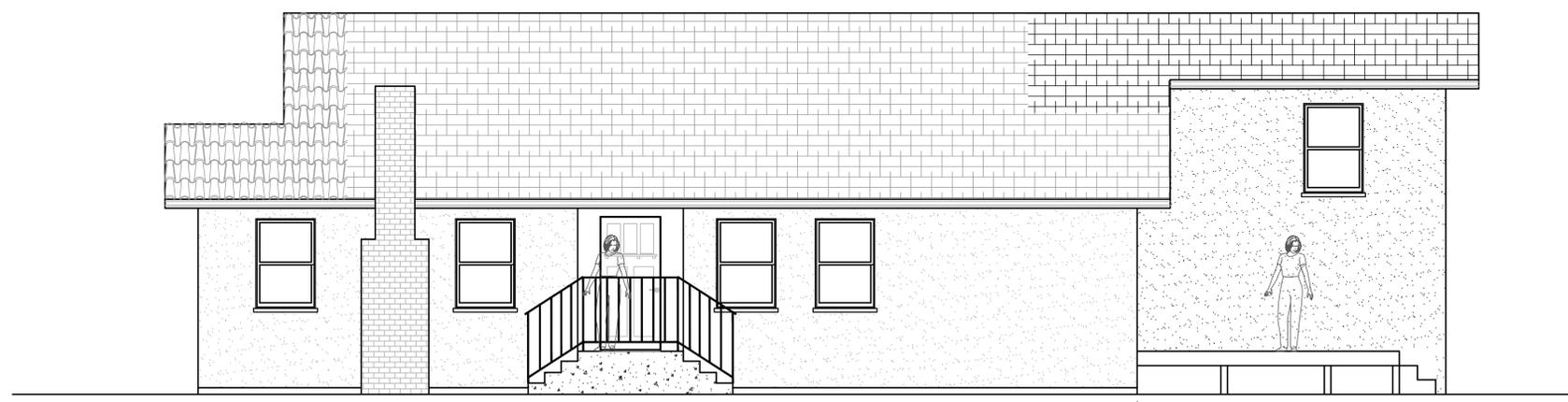
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- NOTES:
1. PROVIDE 2 LAYERS OF KRAFT PAPER GRADE "D" OVER PLYWOOD UNDER STUCCO
 2. PROVIDE TTIC VENTILATION AT THE RATE OF 1 SF FOR EACH 150 SF.
 3. PROVIDE WEEP SCREED FOR STUCCO
 4. MAINTAIN AT LEAST 4 INCHES BETWEEN THE WEEP SCREED AND DIRT.
 5. MAINTAIN AT LEAST 2 INCHES BETWEEN THE WEEP SCREED AND PAVED AREA.
 6. GRADE TO DRAIN AWAY FROM FOUNDATIONS A MINIMUM OF 2%.
 7. PROVIDE SPLASH BLOCKS FOR DOWN SPOUTS

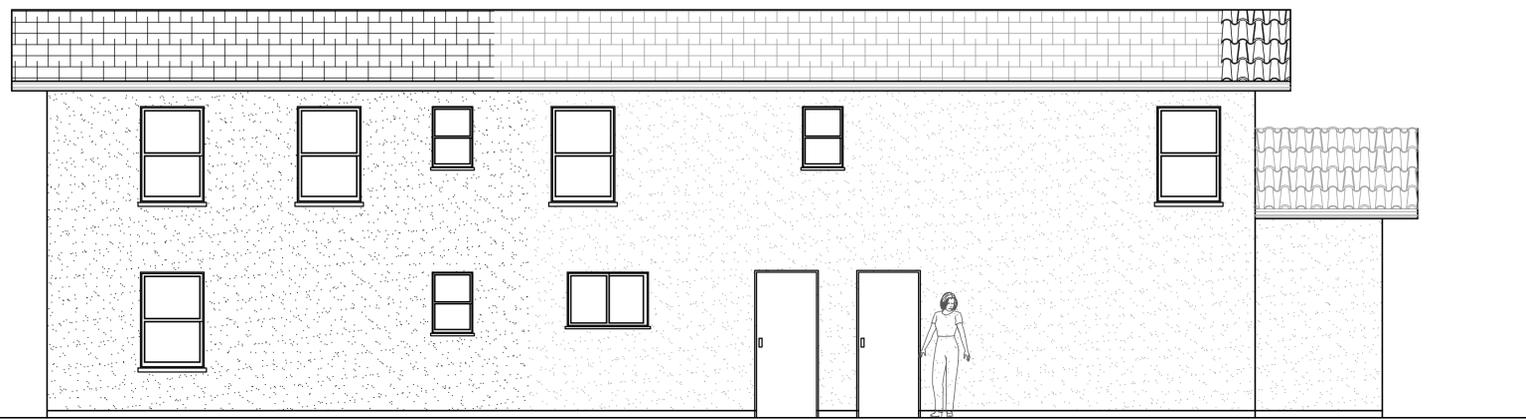
TYPICAL MATERIALS:
ROOF: CLASS "A" COMP SHINGLES (TO MATCH EXISTING)
STUCCO: 1" 3-COAT STUCCO (TO MATCH EXISTING)
WINDOWS: DUAL-PANE WINDOWS. MATCH EXISTING STYLE. SEE SHEET A-6



PROPOSED FRONT ELEVATION (WEST)
 SCALE: 1/4" = 1'



PROPOSED RIGHT ELEVATION (SOUTH)
 SCALE: 1/4" = 1'



PROPOSED LEFT ELEVATION (NORTH)
 SCALE: 1/4" = 1'



PROPOSED REAR ELEVATION (EAST)
 SCALE: 1/4" = 1'

ATTIC SPACE VENTILATION CALCULATION
 AREA TO BE VENTILATED = 1188 SF
 REQUIRED VENTILATION AREA = 1188 SF / 150 SF = 7.92 SF
 PROVIDED CRAWL SPACE VENTILATION AREA:
 EACH VENT (10"X12") = 0.83 SF
 10 VENTS X 0.5 = 8.3
 THEREFORE TOTAL PROVIDED VENTILATION AREA IS MORE THAN REQUIRED

- NOTES:
1. OPENINGS ARE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH OPENINGS NOT EXCEEDING 1/4" OR SPECIFY ANY OF THE OTHER MATERIALS LISTED UNDER §408.2
 2. AT LEAST 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING SHALL BE PROVIDED IF RAFTER SPACE IS INSULATED.

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PROPOSED ELEVATIONS

DATE	MARK	DESCRIPTION
Applicant/Owner		Designer
2200 8TH AVE LLE		H. V. Orozco
1105 CORNELL AVE		hhorozco@gmail.com
ALBANY, CA 94706		510-703-1121
ADDITION AND JADU		
DESIGN BY		
DRAWN BY		
CHECKED BY		
DATE	04-26-22	
SCALE	HORIZ: AS SHOWN	
	VERT: AS SHOWN	
SHEET	A-5	
OF SHEETS		
DRAWING FILE #		



Urban Village by the Bay

ALBANY CALIFORNIA

Window Replacements

Permit Required

The City of Albany requires a Building Permit for all window replacements. This includes replacement of windows exactly as existing, with no changes to the location or size of the openings (also known as "changeouts" or "like for like replacement"). This is to ensure that egress Codes (fire safety access and exiting) are met, to encourage a minimum quality of construction to discourage moisture leakage, and to discourage the installation of poor-quality window products.

Planning & Zoning Approval Required

Any change to the exterior appearance of windows requires planning approval. Minor changes can typically be approved at staff level. Significant changes to windows, particularly those facing a street or other public right-of-way, can trigger Design Review. This requirement comes from Albany's Zoning Ordinance (Section 20.100.050(B)2 - Design Review Exemptions). This policy is to ensure that replacement windows maintain the architectural integrity of the building and are consistent with the architectural style of the existing windows. Special attention is given to maintaining the window trim and recess of glazing from the exterior wall of the building, and to maintaining or upgrading the quality of window sash materials. **Note that simulated divided lights--windows with dividers between panes of glass --are generally disallowed.**

Submittals for Planning & Building Approval

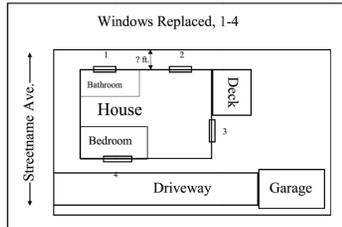
For windows replacements, typical submittal requirements are: 1) A photo of the existing window style; 2) An illustration showing the appearance of the new window; and 3) A site plan showing the location of windows to be replaced; show location of any bedrooms/sleeping rooms and bathrooms where windows are to be replaced. Examples shown below.



Sample digital exterior photo of window to be replaced



Sample new window exterior or photo from manufacturer web page



Sample Site Plan showing window replacement locations & any affected bedrooms, bathrooms, and property lines closer than 5 ft.

Community Development Dept.
City of Albany
1000 San Pablo Ave.
Albany, CA 94706
(510) 528-5760
com-dev@albanyca.org

J:\Forms\Building\Window Replacements Handout Oct 2018 Update Form created 9/26/07

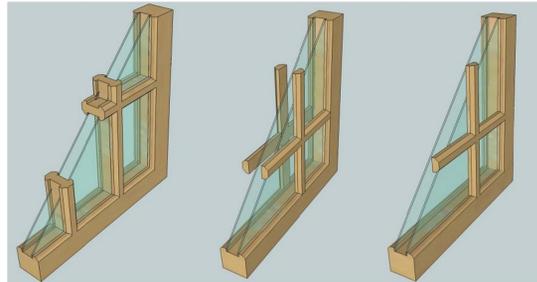
Installation Instructions for Replacement Windows:

- Inspection required:
 - ▶ Direct replacement/insert windows: 1 Inspection: Final
 - ▶ Installations requiring replacement/repair/alteration/addition to exterior finishes (weatherproofing, siding, stucco, etc.) will require additional Inspections prior to Final Inspection: Flashing; Stucco lath/paper; Stucco scratch coat.
- Manufacturer's energy documentation stickers are not to be removed from windows until after Final Building Inspection approval.
- Tempered glass/safety glazing is required in certain locations. See 2019 California Residential Code Section R308.4 (single-family homes & duplexes) or 2019 California Building Code Section 2406.4 (buildings with 3 or more units).
- In cases of window replacements in bedrooms/sleeping rooms, Code-mandated egress requirements **must** be met (2019 CRC §R310.2; 2019 CBC §1030.2). **Exception:** Enlargement of windows closer than 3 ft. to a property line to meet egress may be disallowed.
- Final Inspections for replacement windows include an inspection of the interior of the residential unit(s) to check smoke alarms and carbon monoxide detectors.

Window Dividers

- Window products without dividers are generally acceptable.
- Window products with dividers:

Acceptable:



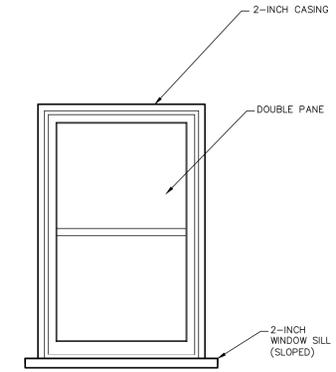
True divided light

Simulated divided light

Prohibited:



Dividers between panes



EXISTING TYPICAL WINDOW TRIM DETAIL

SCALE: NTS

DESCRIPTION

MARK

DATE

Designer
H. V. Orozco
hhorozco@gmail.com
510-703-1121

Applicant/Owner
2200 8TH AVE LLE

1105 CORNELL AVE
ALBANY, CA 94706
ADDITION AND JADU

DESIGN BY

DRAWN BY

CHECKED BY

DATE

SCALE

HORIZ: AS SHOWN
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SHEET

A-6

OF SHEETS

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SITE SURVEY

ALL OF LOT 3 AND 1/2 OF LOT 4 IN BLOCK "16"
 AS SHOWN ON "MAP No.4 OF REGENTS PARK",
 FILED AUGUST 26, 1906. IN MAP BOOK 21, PAGE 31
 OAKLAND TOWNSHIP, ALAMEDA COUNTY RECORDS
 KNOWN AS 1105 CORNELL AVENUE, ALBANY, CA.

FEBRUARY 2022

REFERENCE DATA

- 1) MAP OF No.4 REGENTS PARK (BK 21 PG 31)
- 2) OWNER'S DEED, LEGAL DESCRIPTION
- 3) ALAMEDA COUNTY ASSESSOR'S MAP 065 2408

PUBLIC ADVISORY

THE MAP WAS BASED ON PRIVATE SURVEYS PERFORMED BY LICENSED PROFESSIONALS AND WILL NOT BE UPDATED OR CORRECTED BY THE CITY OF ALBANY AFTER ITS FILING. NO WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE BY THE CITY OF ALBANY STAFF THIS MAP AND THE SURVEY INFORMATION ON WHICH IS BASED IS CORRECT, ACCURATE, AND CURRENT, NOR THAT THE CITY WILL RETAIN FOR PUBLIC INSPECTION ANY RELATED INFORMATION WHICH MAY BE SUBSEQUENTLY SUBMITTED TO THE CITY, INCLUDING ALLEGED OR ACTUAL DISCREPANCIES, INACCURACIES, DEFICIENCIES, AND ERRORS.

ABBREVIATIONS

PL	PROPERTY LINE
PC	PROPERTY CORNER
LN	LINE
MON	MONUMENT
EXT	EXTENSION
FND	FOUND
AC	ASPHALT CURB
TC	TOP OF CURB
TAC	TOP ASPHALT CURB
FL	FLOW LINE
SS	SANITARY SEWER
SD	STORM DRAIN
WL	WATERLINE
WS	WATER SERVICE
MH	MANHOLE

LEGEND

	SUBDIVISION BOUNDARY		STORM DRAIN MANHOLE
	EXISTING WOOD FENCE		CATCH BASIN
	EXISTING CYCLONE FENCE		SUBDIV. LOT NO.
	ASSESSOR'S LOT NO.		SIGN
	RECORD DATA (25 LSM 44)		ASPHALT
	CONCRETE		SEWER MANHOLE
	WATERMETER BOX		FIRE HYDRANT
	JOINT POLE		

BASIS OF BEARINGS:

THE MONUMENT LINE ALONG CORNELL AVENUE BETWEEN SHOWN CITY OF BERKELEY MONUMENTS ON THIS PLAT AND CITY OF BERKELEY RECORDS TAKEN AS N74°11'00"E A DISTANCE OF 655.40'.

NOTES

- 1) UTILITY INFORMATION IS COMPILED FROM SURFACE FEATURES AND RECORD DATA, ACCURACY AND COMPLETENESS IS NOT GUARANTEED.
- 2) THERE ARE NO KNOWN CRUVES WITHIN 300' OF SUBJECT PROPERTY.
- 3) CONTOURS BASED ON AN ASSUMED DATUM AT 0.5 INTERVALS MAJOR LINES ARE AT ONE FOOT INTERVALS.

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF **VAN BEEK ASSOC.** ON NOVEMBER 16, 2021.

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH AND THAT THE GRADES SHOWN HEREON ARE BASED ON AN ASSUMED DATUM.

I FURTHER STATE ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE LAND SURVEYORS ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A RECORD OF SURVEY BE FILED.

Hendrik Van De Pol
 HENDRIK VAN DE POL, R.C.E. 15472
 EXPIRATION DATE: MARCH 31, 2023

DATE: 2/26/2022

