

Date: _____

WEBER / WELTMAN RESIDENCE

WEBER & WELTMAN RESIDENCE

Project Address:
922 VENTURA AVE.
ALBANY, CA 94707

Owners:
JOEL WEBER AND ANNA WELTMAN

Address:
922 VENTURA AVE.
ALBANY, CA 94707
CELL:
EMAILS: JMW654@GMAIL.COM



DESIGN ■ CONSTRUCTION
79 Arlington Avenue
Kensington, CA 94707
Tel: 510. 812-1039
GEHLDESIGNBUILD@GMAIL.COM

Sheet Contents:
SITE PLAN, VICINITY MAP
RESIDENTIAL DEVELOPMENT
STANDARDS, PROJECT DATA
LEGEND, SHEET INDEX

Design:
GEHL DESIGN/BUILD

Structural Engineer:

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Project No: 12292021

Date: January 31, 2022

Drawn By: P.P.

Checked By: MP

Revisions:
1. _____
2. _____
3. _____
4. _____

Sheet
A-1 of **5**

DESIGN REVIEW SET

PROJECT DATA:

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EMAILS: JMW654@GMAIL.COM

PROJECT ADDRESS:
922 VENTURA AVE.
ALBANY, CA 94707

ZONING:
RESIDENTIAL SINGLE FAMILY

PROJECT TEAM :

STRUCTURAL ENGINEER **ENERGY CALCULATION** **DESIGN / BUILD**

Nick Blackburn
n.blackburn.pe@gmail.com
(415) 509-9931

GEHL DESIGN/BUILD
79 ARLINGTON AVE.
KENSINGTON CA. 94707
TEL: (510) 812 - 1039

SHEET INDEX:

- A-1. SITE PLAN, VICINITY MAP RESIDENTIAL DEVELOPMENT STANDARDS, PROJECT DATA LEGEND, SHEET INDEX.
- A-2. EXISTING FLOOR PLANS.
- A-3. EXISTING EXTERIOR ELEVATIONS.
- A-4. PROPOSED FLOOR PLANS.
- A-5. PROPOSED EXTERIOR ELEVATIONS.
- A-6.
- A-7.
- A-8.
- A-9.
- A-10.

BUILDING INFORMATION:

PARCEL NO: 65-2625-12
Lot Size: 4,110 Sq. Ft.
OCCUPANCY: R-3
BUILT: 1922
TYPE OF CONSTRUCTION: TYPE VB
SPRINKLERS: NO
STORIES: 2

APPROVALS:

SCOPE OF WORK:

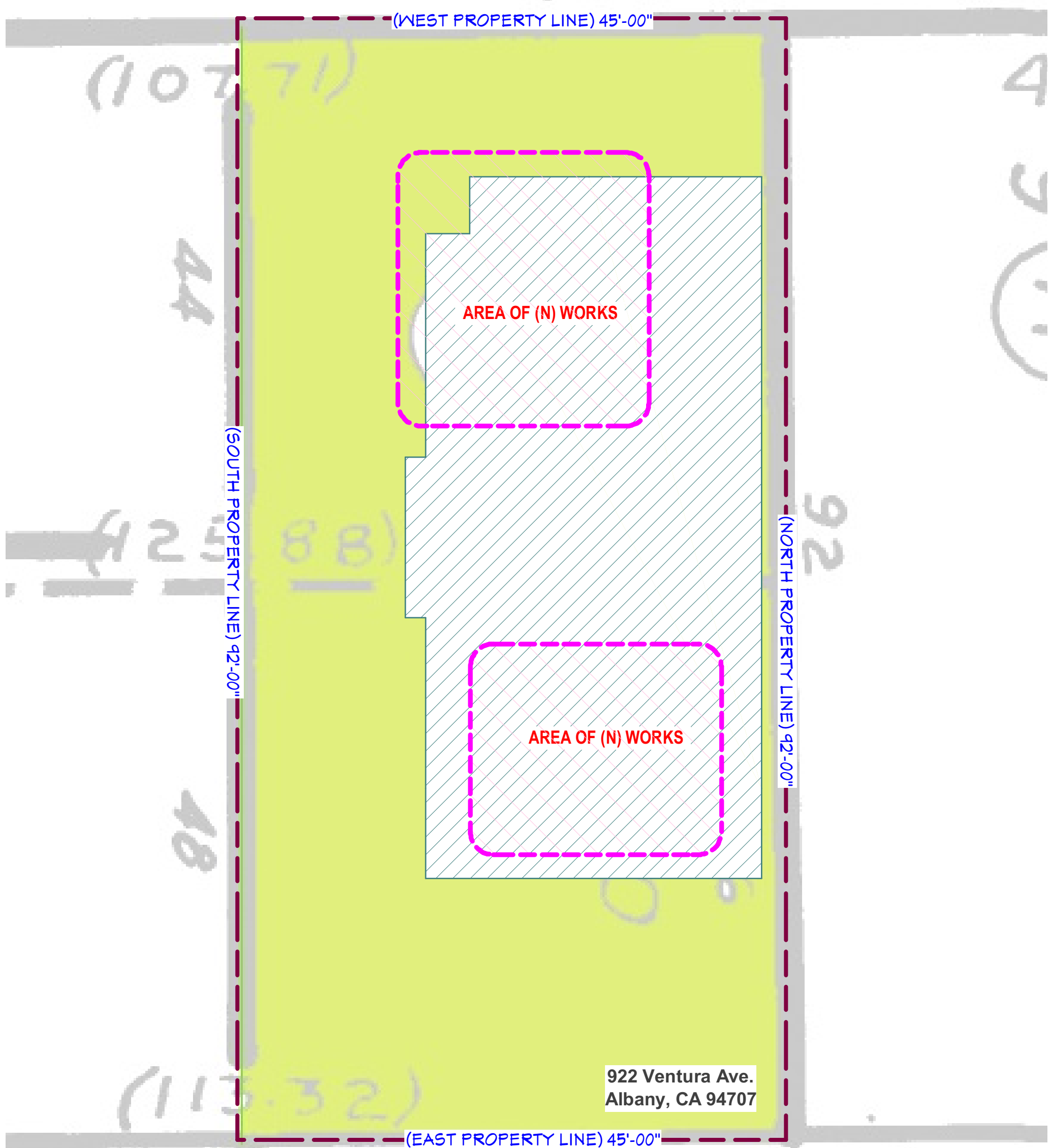
INCREASE THE SIZE OF EXISTING DORMER, RENOVATE MASTER BEDROOM, RENOVATE MASTER BATH, RENOVATE THE KITCHEN, REBUILD THE REAR DECK, RENOVATE EXISTING BATHROOM AT MAIN FLOOR.

APPLICABLE CODES :

- 2019 EDITION OF THE CALIFORNIA BUILDING, RESIDENTIAL, MECHANICAL, ELECTRICAL, ENERGY PLUMBING & GREEN BUILDING STANDARD CODES, WHICH ARE EFFECTIVE JANUARY 1, 2020.**
- **2019 California Building Code (CBC) Volume 1 :** The 2019 CBC incorporates the 2018 International Building Code with State of California amendments. The CBC applies to all structures, except one and two family dwellings and townhomes not more than 3 stories in height which are covered under the 2019 California Residential Code.
 - **2019 California Building Code (CBC) Volume 2 :** The 2019 CBC incorporates the 2018 International Building Code with State of California amendments. The CBC applies to all structures, except one and two family dwellings and townhomes not more than 3 stories in height which are covered under the 2019 California Residential Code.
 - **2019 California Residential Code (CRC):** The 2019 CRC incorporates the 2018 International Residential Code with State of California amendments. The CRC applies to one and two family dwellings and townhomes not more than 3 stories in height.
 - **2019 California Energy Code (CBEES, California Building Energy Efficiency Standards):** The CBEES is a state specific code Man shoveling developed by the California Energy Commission and applies to all new residential and non-residential buildings, alterations or additions. For forms and information about meeting the requirements of the Energy Code, go to <http://energycode.ca.gov/tools>
 - **2019 California Green Building Standards Code (CALGreen):** The 2019 CALGreen is a state specific code that was developed by the California Building Standards Commission (CBSC). CALGreen applies to all residential and commercial buildings including additions and alterations to existing buildings and single family homes. For residential projects; if the project increases the building's conditioned area or volume, the project must comply with CALGreen. For non-residential projects; if the project has a valuation of \$200,000 or more or if the projects increases the building area by 1,000 square feet or more, the project must comply with CALGreen.
 - **2019 California Electrical Code (CEC):** The 2019 CEC incorporates the 2017 National Electrical Code with State of California amendments. The CEC shall apply to the installation of electrical systems, including alterations, repairs, replacement, equipment, appliances, fixtures, fittings and appurtenances thereto.
 - **2019 California Plumbing Code (CPC):** The 2019 CPC incorporates the 2018 Uniform Plumbing Code with State of California amendments. The CPC shall apply to the installation, alteration, repair and replacement of plumbing systems, including equipment, appliances, fixtures, fittings and appurtenances thereto.
 - **2019 California Mechanical Code (CMC):** The 2019 CMC incorporates the 2018 Uniform Mechanical Code with State of California amendments. The CMC shall apply to the installation, alterations, repairs and replacement of mechanical systems, including equipment, appliances, fixtures, fittings and/or appurtenances thereto.
 - **2019 California Fire Code (CFC):** The 2019 CFC incorporates the 2018 International Fire Code with State of California amendments. The CFC applies to all structures in the State of California.
 - **2019 California Historical Building Code (CHBC):** The 2019 CHBC is a state specific code that was developed by the California Building Standards Commission. The CHBC applies to qualified historical buildings.
 - **2019 California Existing Building Code (CEBC):** The 2019 CEBC is based on provisions of the 2018 International Existing Building Code.

DEFERRED SUBMITTALS :

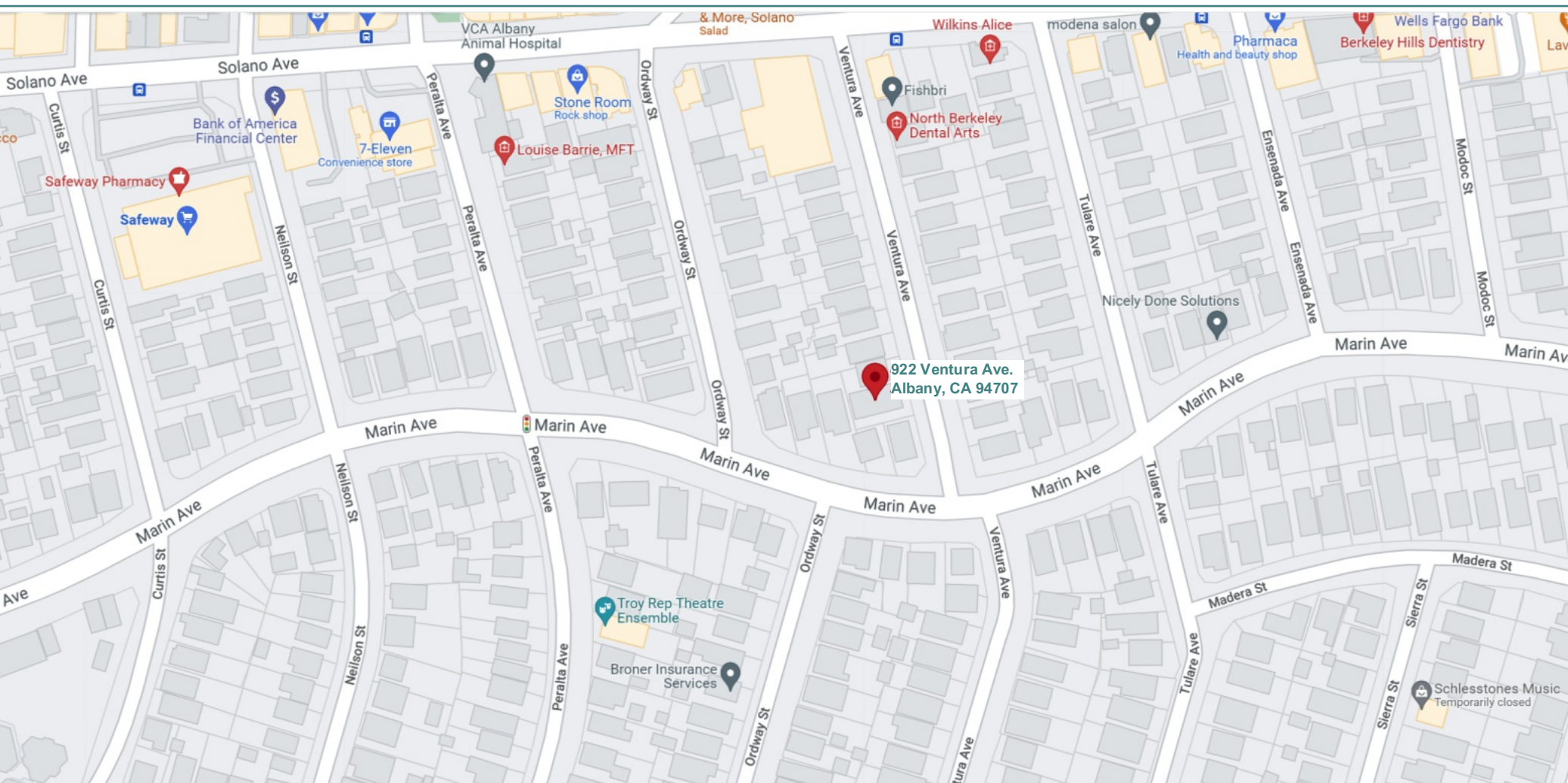
AN ENGINEERING PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY.



PROPOSED SITE PLAN
SCALE = 1/8" = 1'-0"



VICINITY MAP:



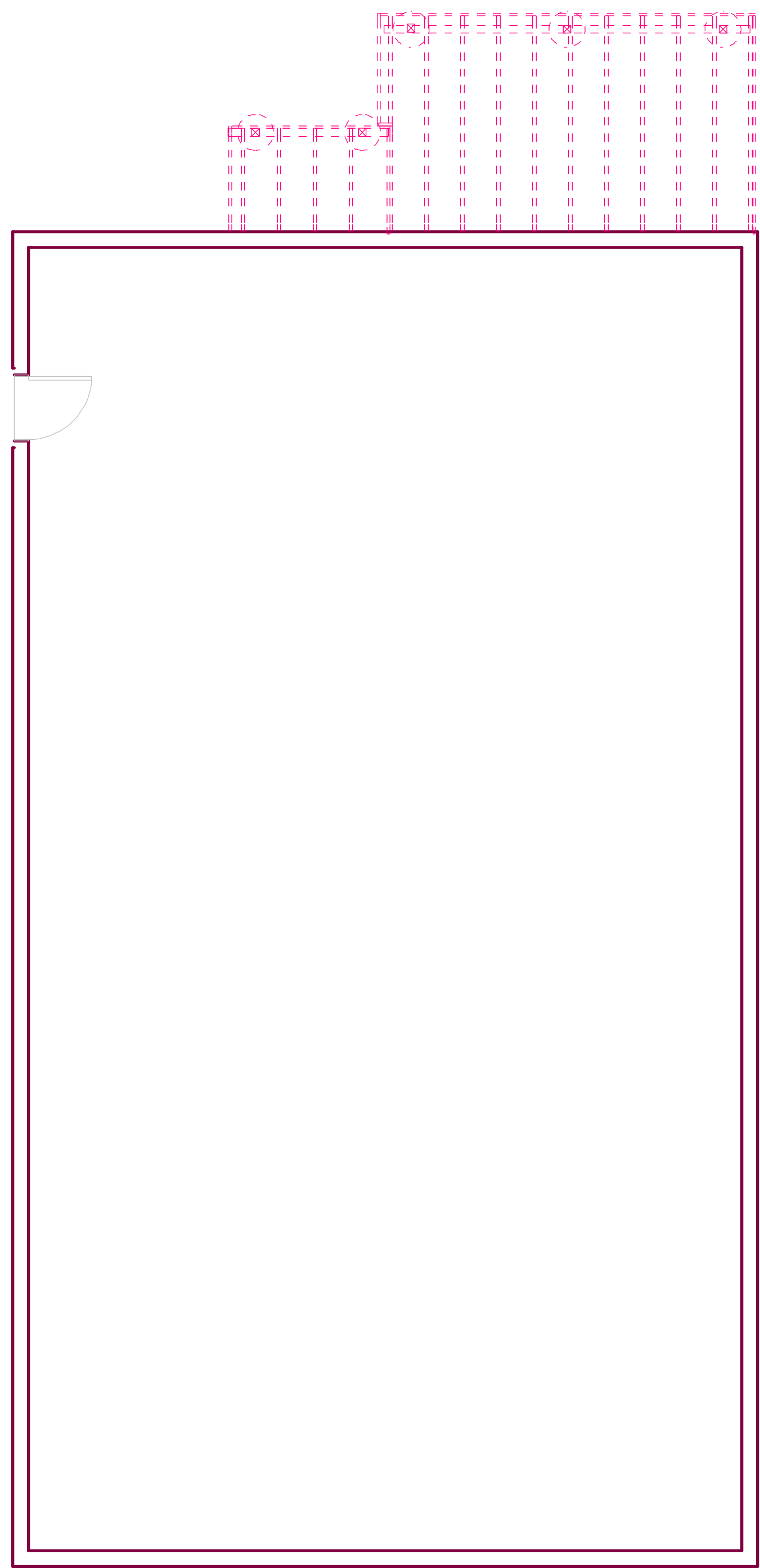
4 A 3	DETAIL/SECTION/ ELEVATION #	FINISH WOOD	110-V GROUND FAULT CIRCUIT INTERRUPTER	HEAT LAMP/LIGHT/FAN
SHEET #	PLYWOOD	GFCI	DUPLEX CONVENIENCE OUTLET	SMOKE DETECTOR, @ NEW CONSTRUCTION DETECTORS SHALL BE HARDWIRED W/ BATTERY BACK UP
INTERIOR ELEVATION	GYPSUM BOARD	WP	WEATHER PROOF GFCI	TELEPHONE JACK
WINDOW TYPE	CONCRETE	220	220-V SINGLE CONVENIENCE OUTLET	TELEVISION JACK
DOOR TYPE	BATT. INSULATION	220	SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE	THERMOSTAT
SHEAR WALL TYPE	RIGID INSULATION	220	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	FLUORESCENT LIGHT FIXTURE
WOOD FRAMING	TILE OR CARPET	220	RECESSED LIGHT FIXTURE	COLD AIR RETURN
METAL FRAMING	SOIL	220	FLUORESCENT LIGHT FIXTURE	WARM AIR RETURN
WOOD BLOCKING	GRAVEL	220	EXTERIOR LIGHT FIXTURE	RECESSED FLUORESCENT LIGHT FIXTURE
EXISTING WALL	SWITCH	220	EXHAUST FAN	RECESSED LIGHT FIXTURE
WALL TO BE REMOVED	3-WAY SWITCH	220	LIGHT/FAN UNIT	
NEW WALL	110-V DUPLEX CONVENIENCE OUTLET	220		

(E)	EXISTING	FDN.	FOUNDATION	P.S.	PLUMBING STACK
(N)	NEW	FIN.	FINISH	P.T.	PRESSURE TREATED
A.F.F.	ABOVE FINISHED FLOOR	FLUOR.	FLUORESCENT	P.T.D.	PAINTED TREATED
ADJ.	ADJACENT/ADJUSTABLE	FT.	FOOT OR FEET	R.A.	RETURN AIR
ALUM.	ALUMINUM	FTG.	FOOTING	REF.	REFERENCE
APPROX.	APPROXIMATE	FURN.	FURNACE	REFR.	REFRIGERATOR
ARCH.	ARCHITECTURAL	GL.	GLASS	RGTR.	REGISTER
ASPH.	ASPHALT	GR.	GRADE	REINF.	REINFORCED
BD.	BOARD	GYP. BD.	GYPSUM BOARD	REQ.	REQUIRED
BLDG.	BUILDING	H.B.	HOSE BIBB	R.O.	ROUGH OPENING
BLK.	BLOCK	HORIZ.	HORIZONTAL	RWD.	REDWOOD
BLKG.	BLOCKING	HGT.	HEIGHT	SCHED.	SCHEDULE
BM.	BEAM	INSUL.	INSULATION	SH.	SHELF
B/W	BETWEEN	INT.	INTERIOR	SHR.	SHOWER
CAB.	CABINET	LT.	LIGHT	S.MECH.	SEE MECHANICAL DRAWINGS
CEM.	CEMENT	MAX.	MAXIMUM	SPEC.	SPECIFICATION
CER.	CERAMIC	M.C.	MEDICINE CABINET	S.S.D.	SEE STRUCTURAL DRAWINGS
CL.	CENTER LINE	MEMB.	MEMBRANE	SST.	STAINLESS STEEL
CLG.	CEILING	MIN.	MINIMUM	STD.	STANDARD
CLR.	CLEAR	MIR.	MIRROR	STL.	STEEL
COL.	COLUMN	MISC.	MISCELLANEOUS	STOR.	STORAGE
CONC.	CONCRETE	MTL.	METAL	SYM.	SYMMETRICAL
D.F.	DOUGLAS FIR	NAT.	NATURAL	TEL.	TELEPHONE
DIA.	DIAMETER	NEC.	NECESSARY	T. & G.	TONGUE & GROOVE
D.W.	DISHWASHER	N.I.C.	NOT IN CONTRACT	T.B.R.	TO BE REMOVED
DRG.	DRAWING	NO.	NUMBER	TYP.	TYPICAL
EACH.	EACH	O.C.	ON CENTER	U.O.N.	UNLESS OTHERWISE NOTED
EL.	ELEVATION	OPNG.	OPENING	V.I.F.	VERIFY IN FIELD
ELEC.	ELECTRICAL	PL.	PROPERTY LINE	W.H.	WATER HEATER
EXT.	EXTERIOR	PLYWD.	PLYWOOD	WP.	WATERPROOF

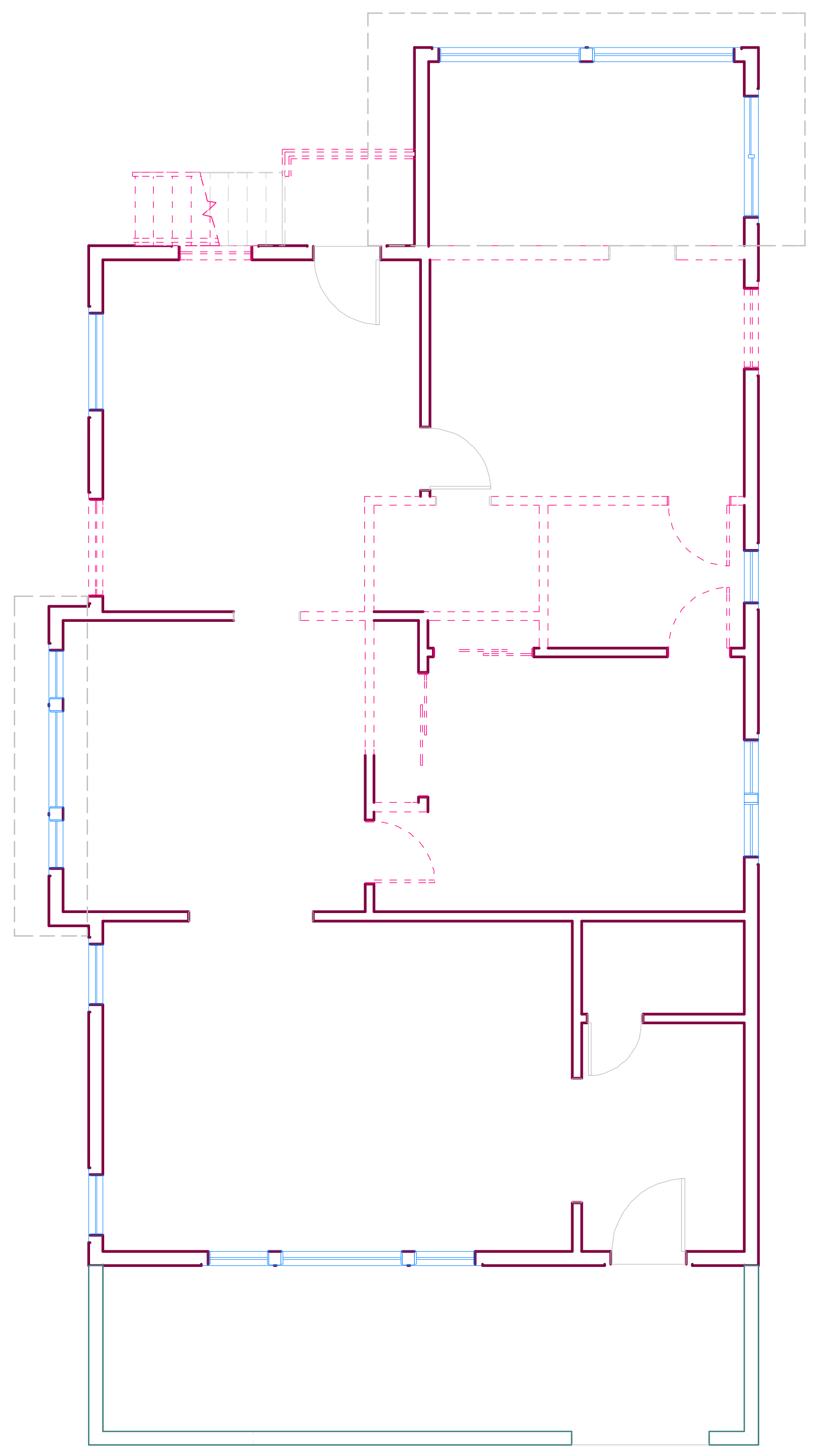
Date: _____

NOTE:
EXISTING FLOOR PLANS (AS-BUILD) HAS BEEN PROVIDED BY THE OWNER

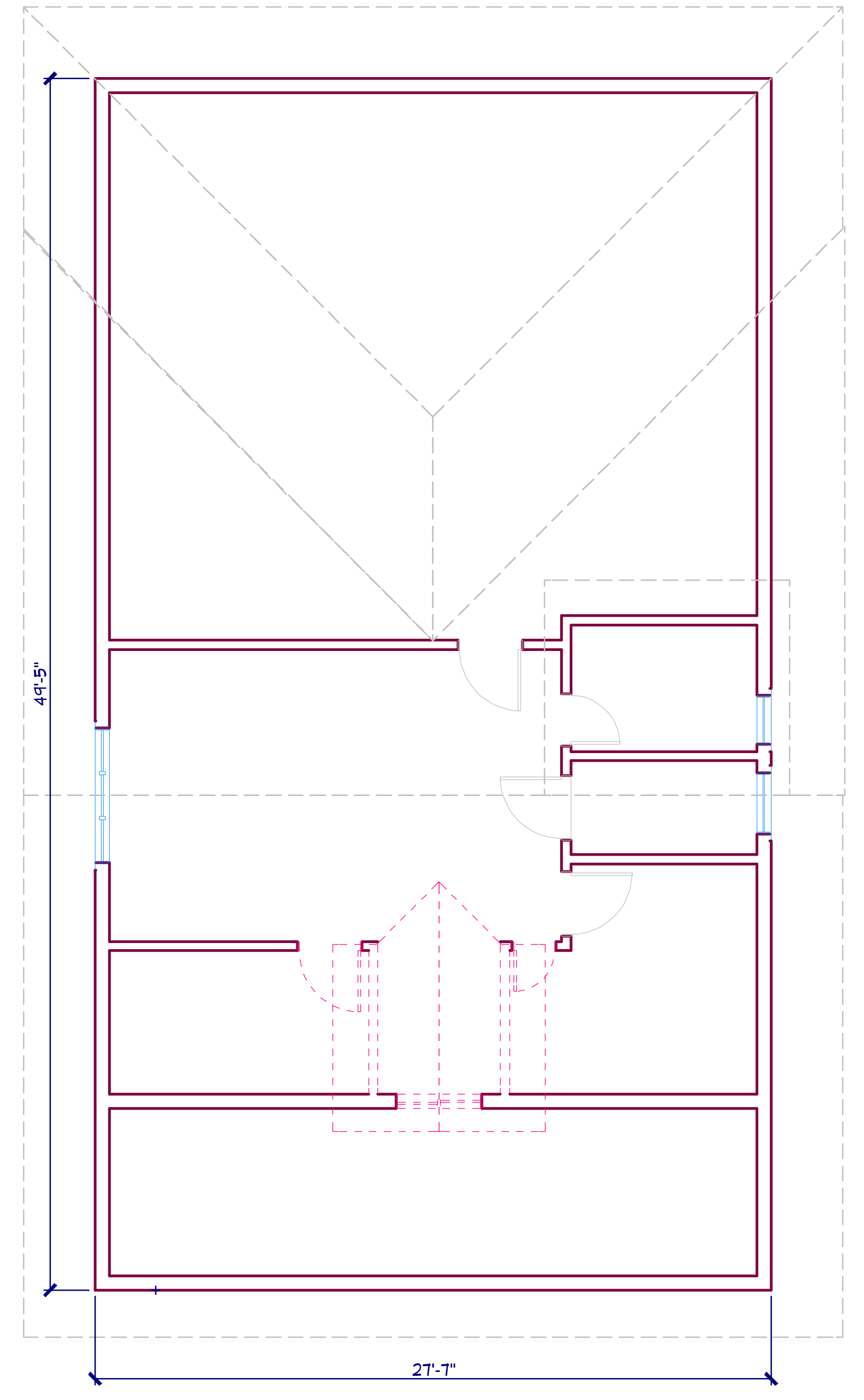
EXISTING WALLS
DEMO WALLS
NEW WALLS



CRAWL SPACE PLAN



MAIN FLOOR PLAN



UPPER FLOOR PLAN

EXISTING FLOOR PLANS

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Sheet Contents:
EXISTING FLOOR PLAN

Design:
GEHL DESIGN/BUILD

Structural Engineer:

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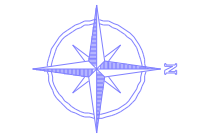
Project No: 12292021

Date: January 31, 2022

Drawn By: P.P.

Checked By: MP

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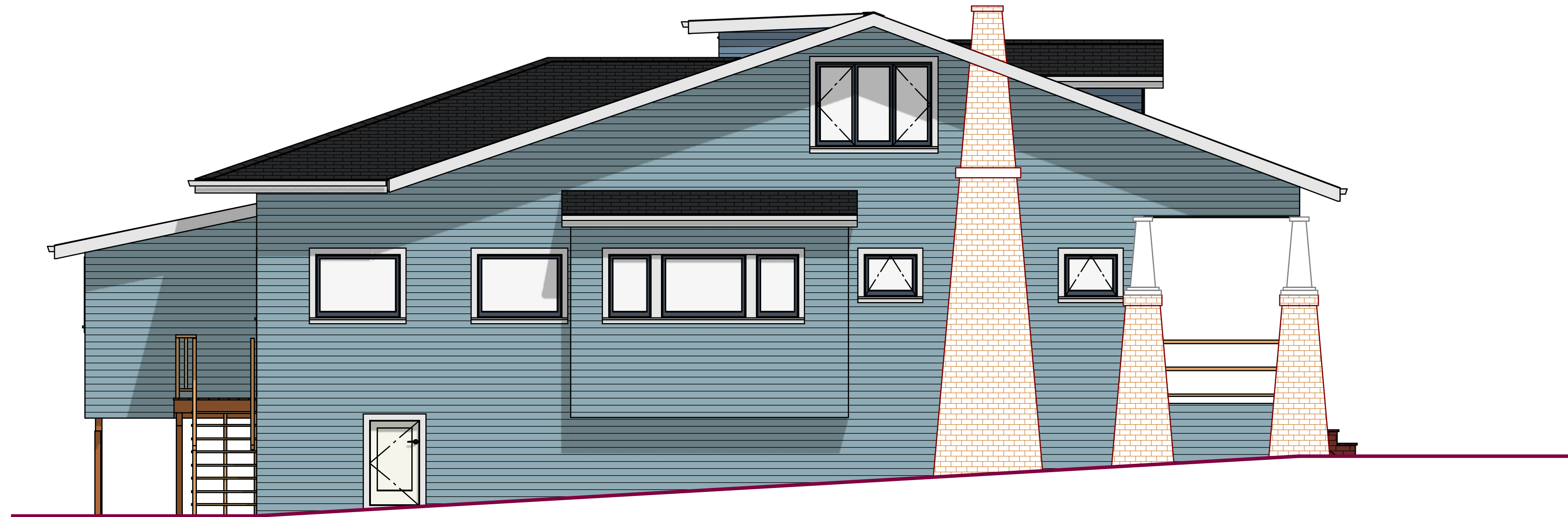


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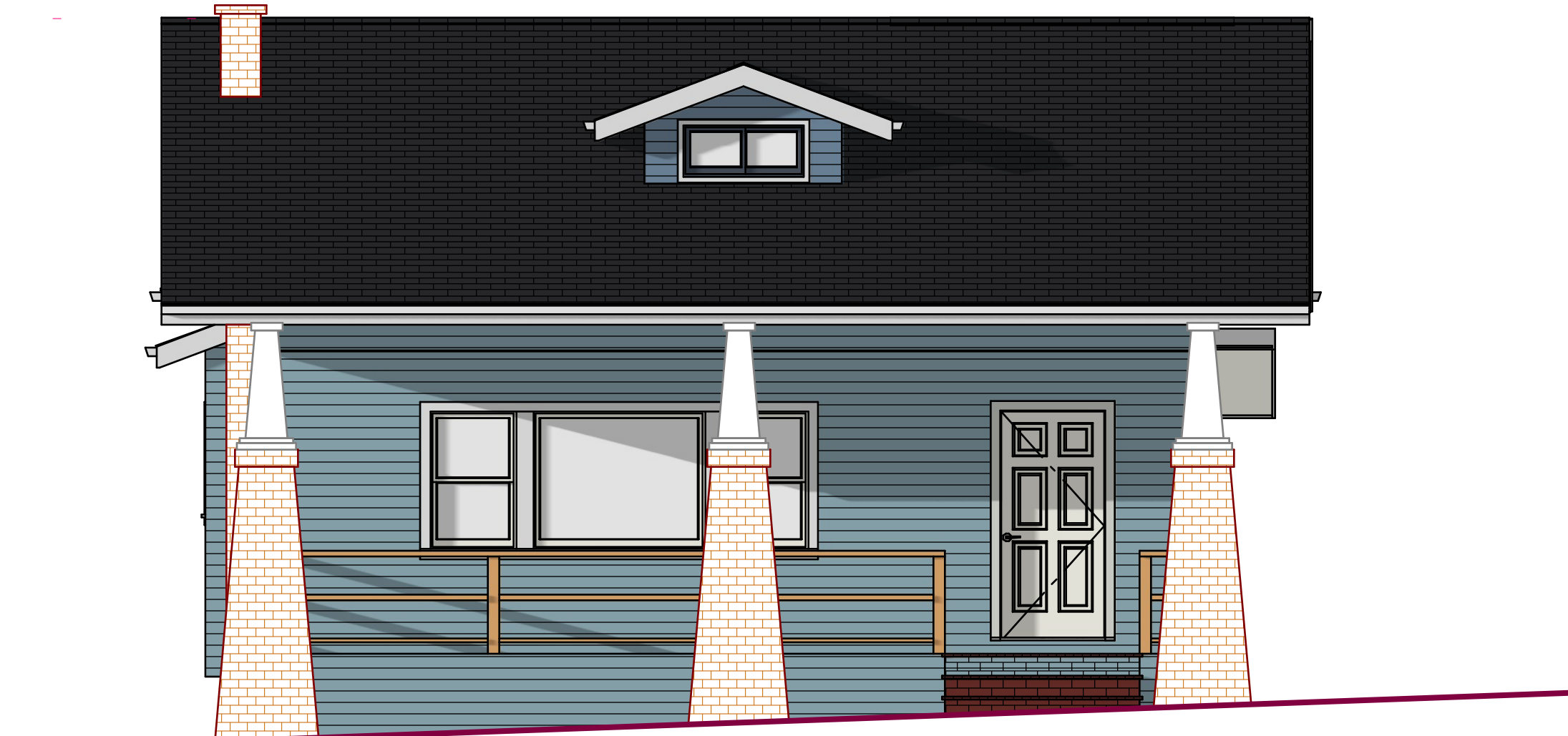
REAR EXISTING EXTERIOR ELEVATIONS



LEFT EXISTING EXTERIOR ELEVATIONS



RIGHT EXISTING EXTERIOR ELEVATIONS



FRONT EXISTING EXTERIOR ELEVATIONS

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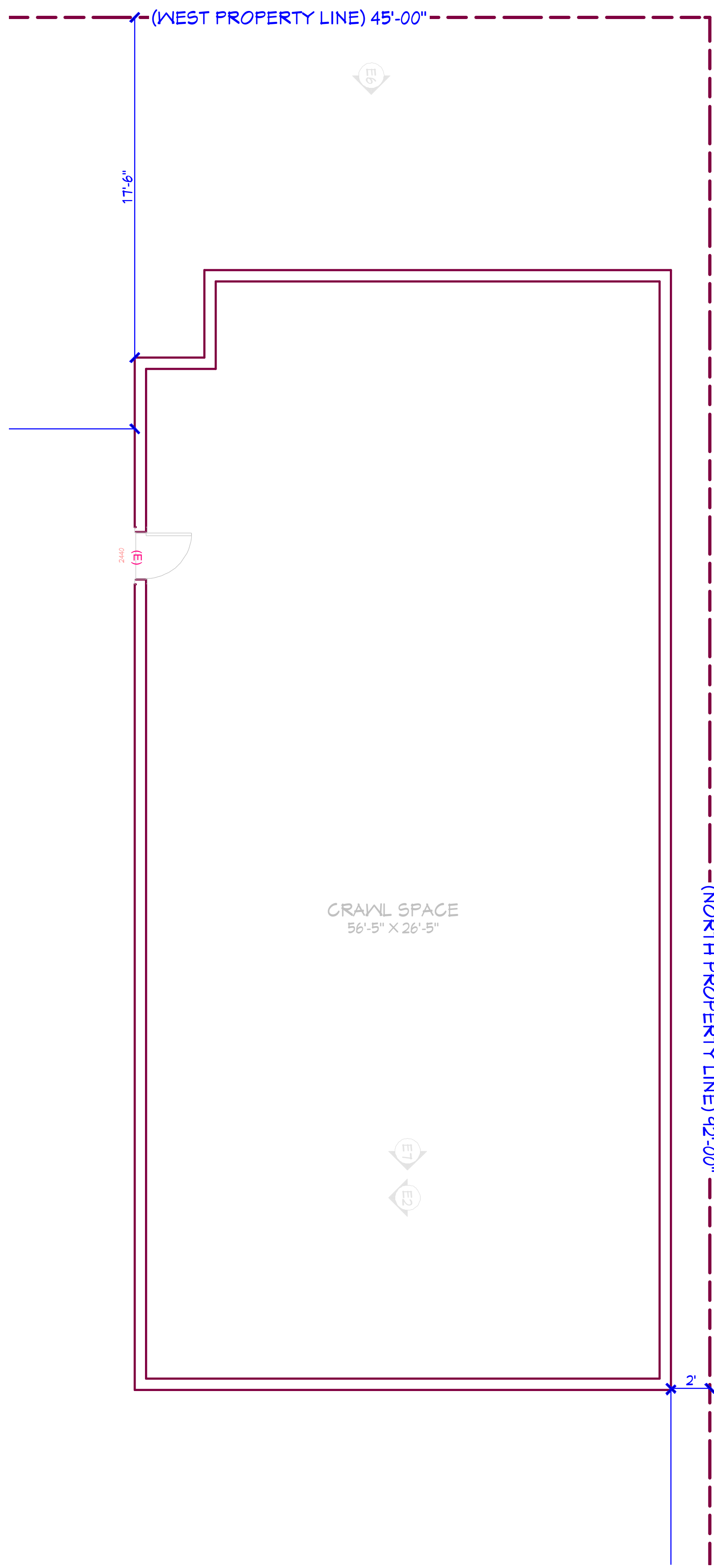
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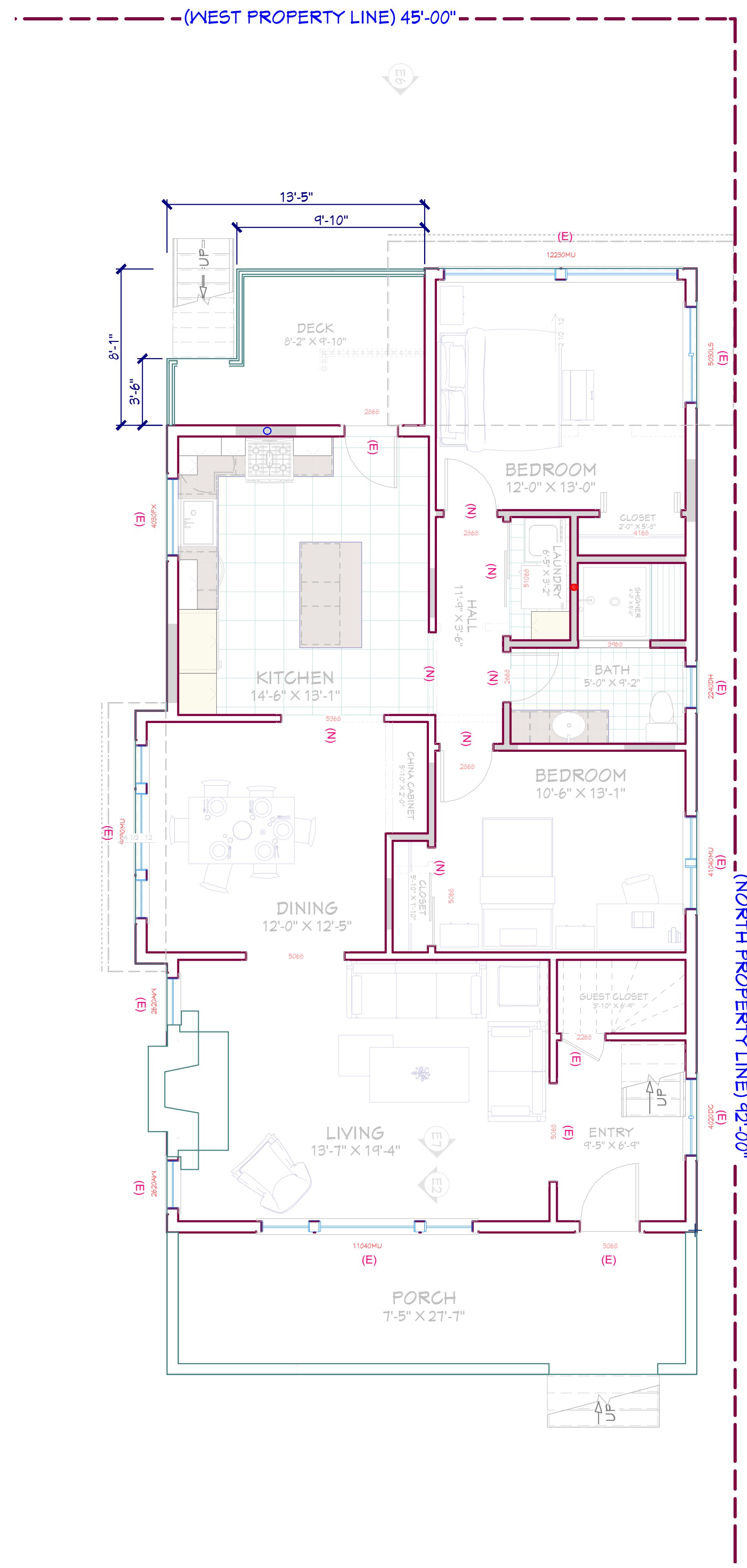
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A-3 of **5**

Date: _____

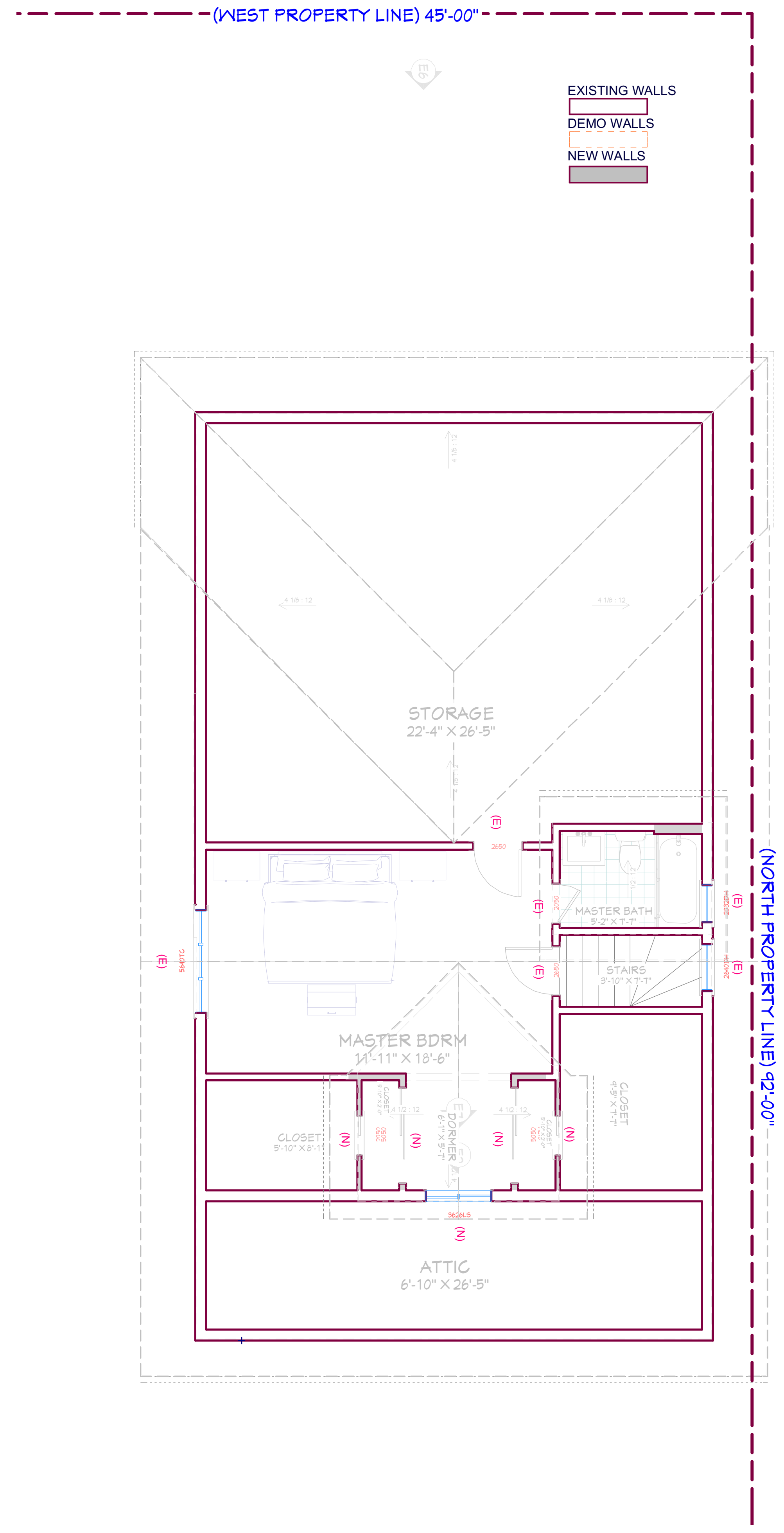
NOTE:
PROPOSED DESIGN HAS BEEN PROVIDED BY THE OWNER



CRAWL SPACE PLAN



MAIN FLOOR PLAN



UPPER FLOOR PLAN

PROPOSED FLOOR PLANS

EXISTING WALLS
 DEMO WALLS
 NEW WALLS

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Sheet Contents:
PROPOSED FLOOR PLANS
PLAN (SCHEME-3)

Design:
GEHL DESIGN/BUILD

Structural Engineer:

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Project No: 12292021

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Sheet
A-4 of **5**

SCALE = 1'-0" = 1/16"

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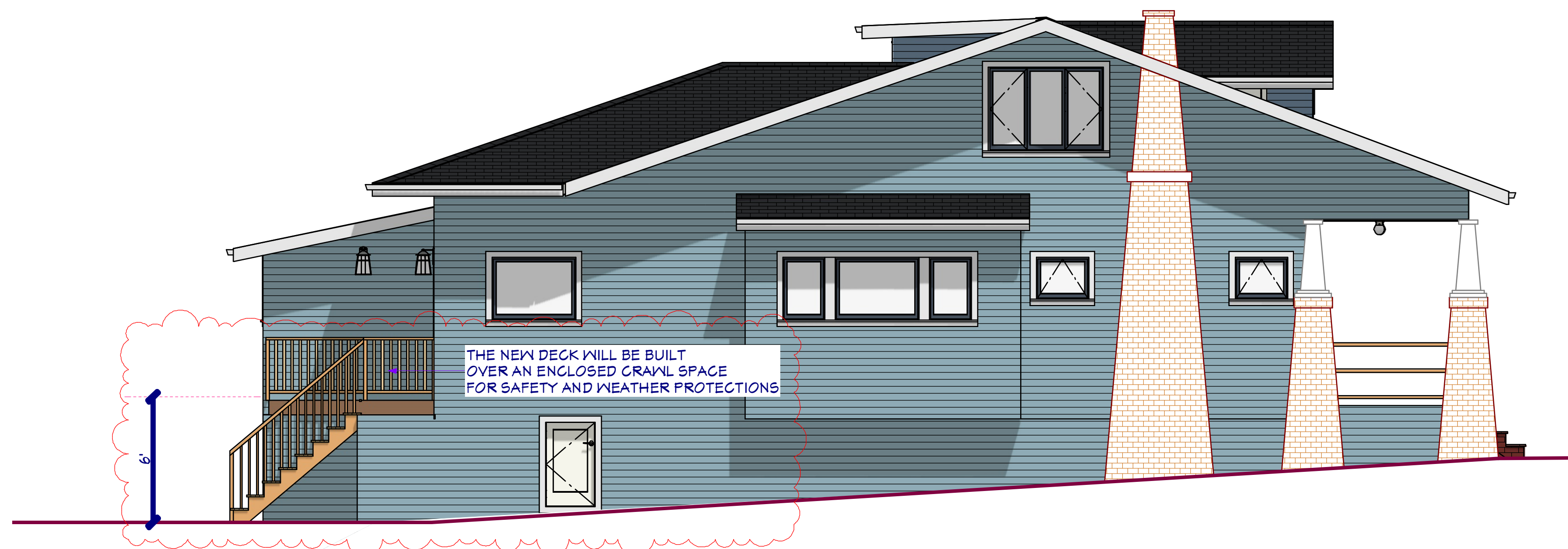
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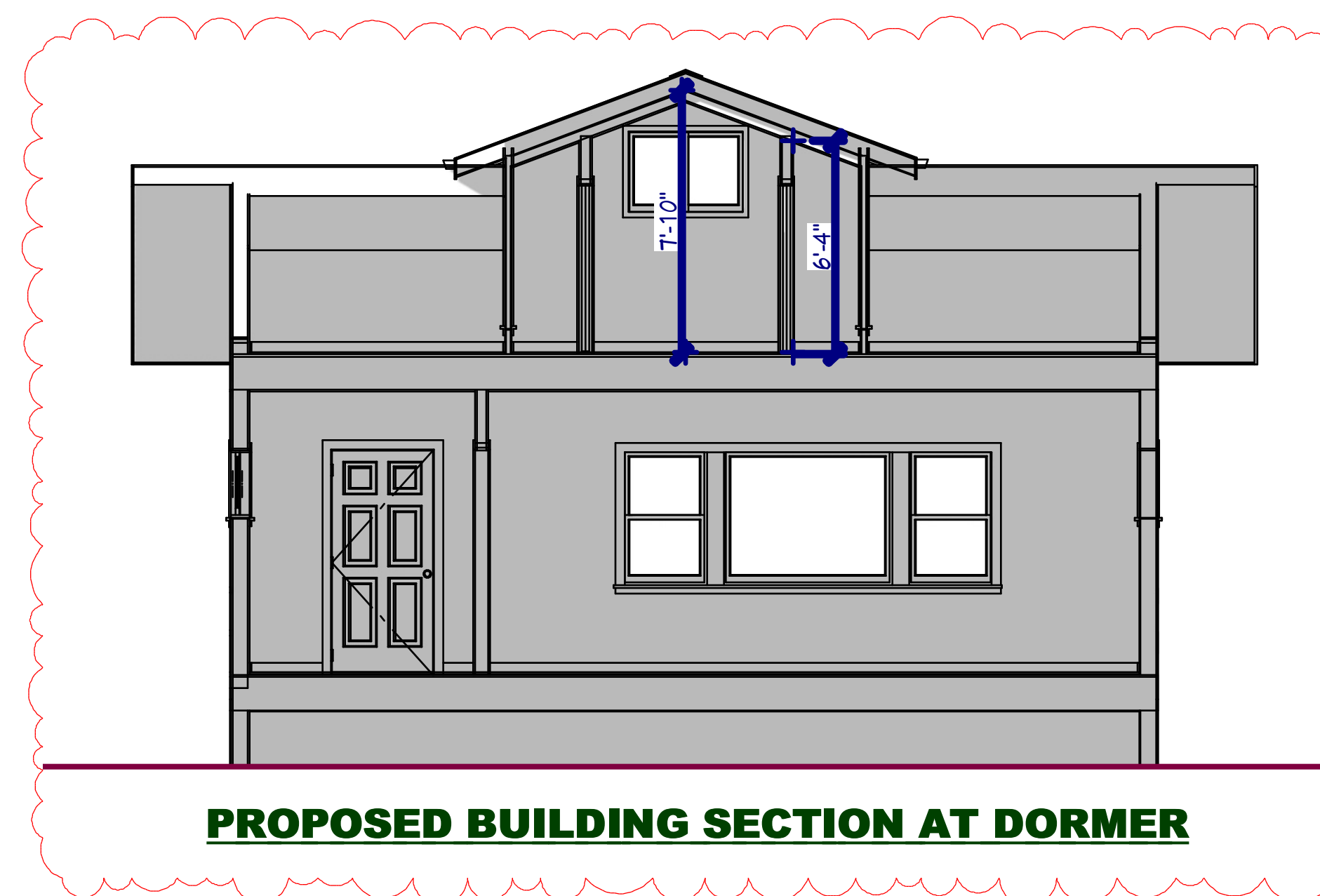
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A-5 of **5**



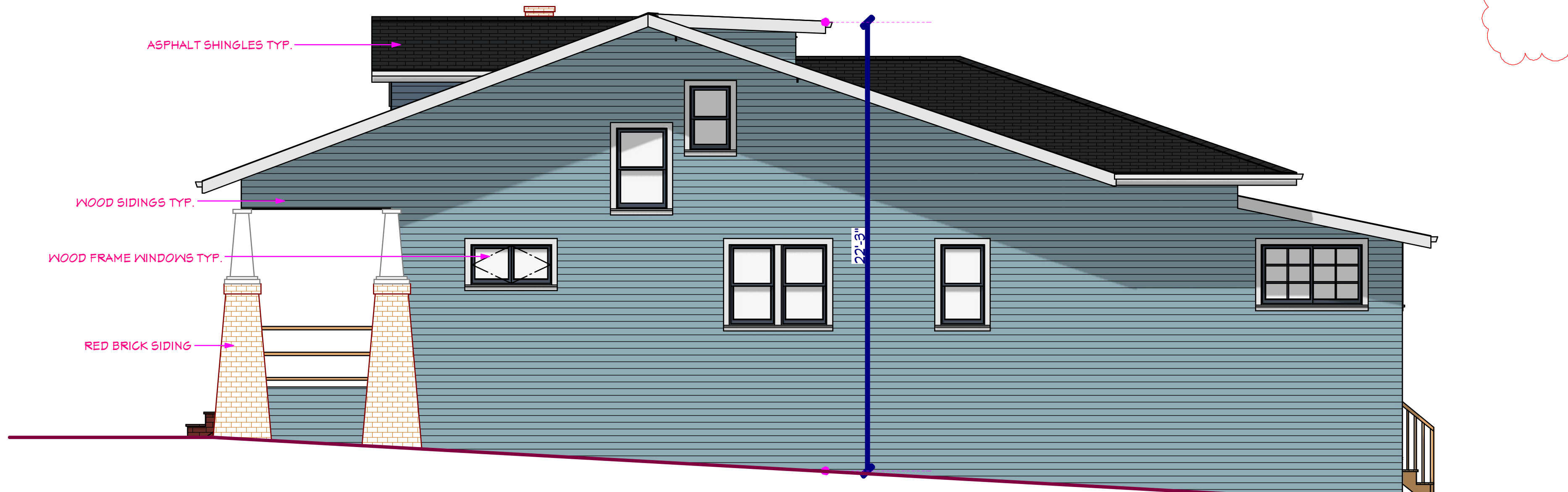
REAR EXTERIOR ELEVATIONS



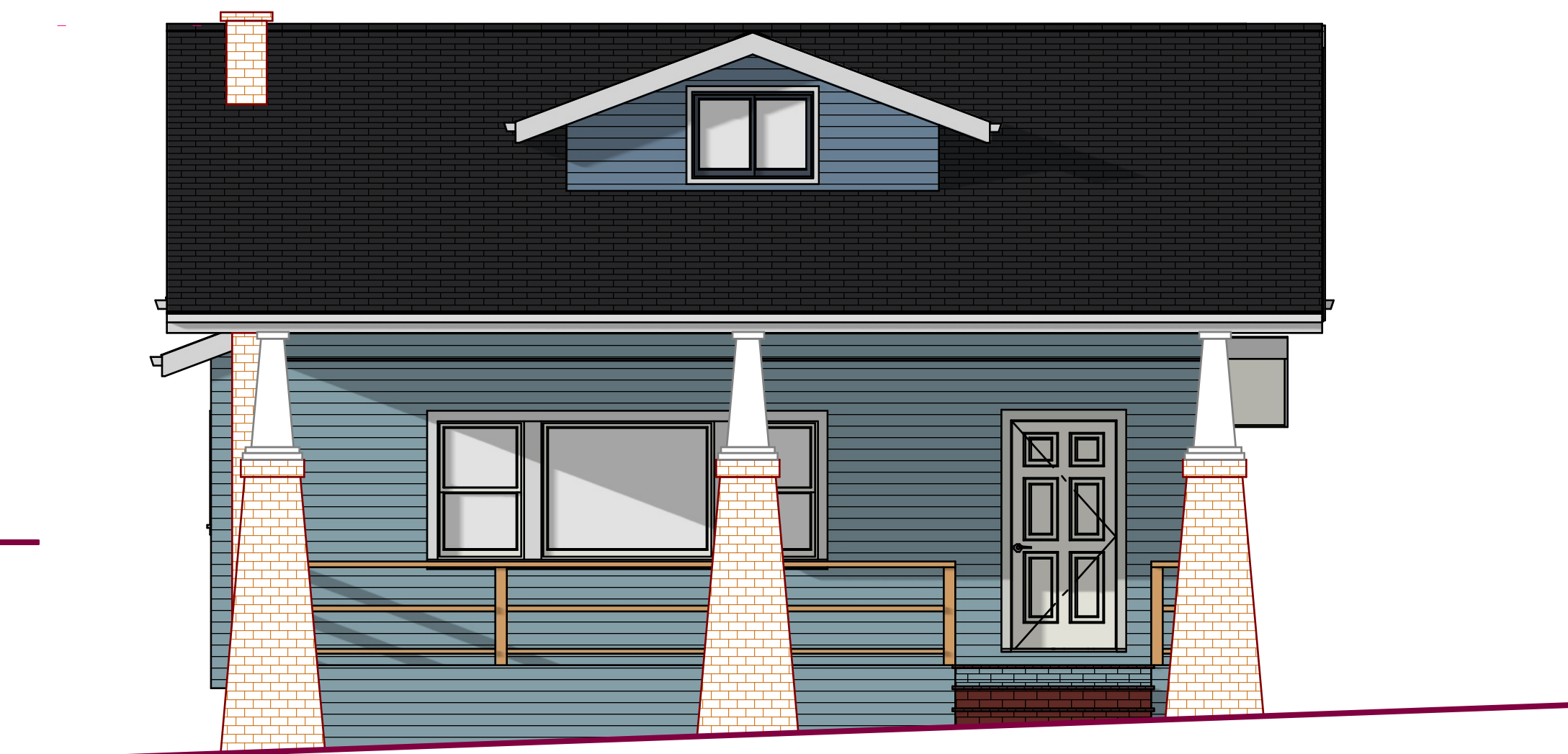
LEFT EXTERIOR ELEVATIONS



PROPOSED BUILDING SECTION AT DORMER



RIGHT EXTERIOR ELEVATIONS



FRONT EXTERIOR ELEVATIONS