APPLICABLE CODES:

All construction, regardless of details on plans, shall comply with the California Administrative Code 2019, California Mechanical Code 2019, California Plumbing Code 2019, California Electrical Code 2019, California Energy Code 2019, California Fire Code 2019, California Historical Building Code 2019, California Existing Building Code 2019, California Referenced Standards Code 2019, California Green Building Standards Code 2019, 2019 California Residential Code and 2019 California Building Code.
Earthquake loading shall be based upon Seismic Design Catagory D2 unless a Licensed Design Professional (engineer or architect) can demonstrate otherwise.
Analysis for wind loads shall be based upon an 85MPH wind (3 second gust), Exposure B.
It is the obligation of the structural engineer to show the structure complies with the conventional framing requirements by identifying all the braced walls, showing there are no irregular or non-conforming parts must be desinged by licensed engineer as required by CRC R303.1.3

GENERAL NOTES

1. Required window area for light shall be not less than 8 percent of the floor area of the room served; the minimum openable area to the outdoors shall be 4 percent of the floor area being ventilated. The glazed area need not be openable for ventilation when a whole-house ventilation system is installed. (R303.1)
2. Every sleeping room and any basement must have at least one openable window or door approved for emergency rescue with a minimum net clear opening of 5.7 square feet, except the windows at the grade floor shall have a minimum net area of 5.0 square feet. The minimum net vertical opening dimension shall be 24". The minimum net clear opening width dimension shall be 20". The bottom of the clear opening shall be no more than 44" from the floor. (R 310.1)
3. Bathrooms, water closet compartments and similar rooms shall have window at least 3 sq. feet in area, half of which must be openable, or mechanical ventilation must be provided. (R303.3)
4. Each bathroom containing a bathing facility shall be mechanically ventilated for the purposes of humidity control. (R303.3.1)
5. Provide ventilation for products of combustion to outside air. (CMC 802.0)
6. Underfloor space shall have a ventilation opening area of 1/150 square feet of underfloor area. If a Class I vapor retarder is used the ratio may be reduced to 1/1500. One opening shall be placed within 3 feet of each building corner. Openings shall be covered with a covering having openings no greater than 1/4". (R408.2)
7. Heating system is required to maintain 68 degrees at 3 feet above floor level and 2 feet from exterior walls in all habitable room. (R303.9)
8. Air infiltration, insulation, space heating, space cooling, water heating, etc shall meet CA Energy Commission Standards.
9. All habitable rooms except kitchens shall be at least 70 square feet in area and shall have a width of at least 7 feet. In addition there shall be at least one room with a minimum of 120 square feet in each dwelling. Minimum ceiling height shall be 7 feet. See CRC for exceptions. (R304/R305)
10. Required egress door shall be side hinged and have a minimum net clear width of 32" and a minimum height of 78". (R311.2)
11. There shall be a landing at each side of all doors not more than 1 1/2" lower than the threshold at the required egress door, and not more than 7 3/4" for other exterior doors. The landing shall be at least as wide as the door served and 36" minimum length measured in the direction of travel. A landing is not required at doors other than the required egress door where a stairway of two or fewer risers is located on the exterior of the door, and the door does not swing over the stairway. (R311.3)
12. Stairway rise shall be 4" min and 7.75" max. Run shall be 10" min. Headroom shall be 80" minimum. Width shall be 36" minimum. Handrails shall provide graspability and be 34"–38" above tread nosing with openings less than 4 3/8" clear, except openings formed by the riser, tread, and bottom rail of the guard may be 6" maximum diameter. (R 311.7 & R312.1.3 ex. 1 & 2)
13. Enclosed useable space under interior stairs shall be finished with 1/2" gypsum board (R302.7)
14. Fireblocking is required in concealed spaces between stair stringers at the top and bottom of the run. (R302.11)
15. There shall be a floor or landing at the top and bottom of each stairway. Width and length of landings shall be not less than the width of the stairway served. A floor or landing is not required at the top of an interior flight of stairs, including stairs in an enclosed garage, provided a door does not swing over the stairs. (R311.7.6)
16. Guards shall be located along open sided walking surfaces, including stairs, ramps, landings, and decks, that are more than 30" above the floor or grade, measured at any point within 36" horizontally. Required guards shall be not less than 42" above the adjacent walking surface. Except that handrails may be considered as guards at stairways. Openings in guards shall not exceed 4". (R312)
17. Exterior deck support posts shall be cross braced in two directions for lateral stability.
18. For posts over 30" in height provide mechanical connection at post base.
19. Provide detail at junction of exterior decking, wall and interior floor framing. Show elevations, flashing, and anchorage. Deck framing shall be positively attached to building framing at a minimum of 2 locations within 24" of each end of the deck with hold-down tension devices having an allowable design capacity of not less than 1500 pounds each, or at a minimum of 4 locations with hold-down tension devices of not less than 750 pounds allowable design capacity. (R507.2.4)
20. Deck framing and support posts to be of preservative treated or naturally durable lumber. (R317.1) Hardware and fasteners shall be hot-dipped galvanized, stainless steel, silicon bronze, or copper. (R317.3.1)
1. Naturally durable wood or preservative treated wood, per AWPA U1, shall be required in the following locations (R317.1): Wood joists and girders closer than 18" or 12", respectively, to the exposed ground.
2. Wood framing members that rest on concrete or masonry and are less than 8" from the exposed ground.
3. Sills and sleepers on a concrete or masonry slab that is in direct contact with the ground unless separated by an impervious moisture barrier.
4. Wood siding, sheathing and wall framing on the exterior of the building having a clearance of less than 6" from the ground or less than 2" from a horizontal concrete surface.
5. All wood in contact with the ground.
6. All wood embedded in concrete that is in direct contact with the ground or exposed to weather and that supports structures intended for human occupancy.
21. Exposed glu-lams shall be preservative treated, applied by the manufacturer, or made from naturally durable wood.
22. Weatherproofing of exterior surfaces above and below grade is required. (R406 & R703)
23. Concrete slabs shall be separated from earth by a minimum 6-mil vapor retarder, with edges lapped a minimum of 6". This may be omitted if the space above is not heated and is not likely to become heated in the future. (R506.2.3)
24. A capillary break shall be installed when concrete slab-on-ground floors are required to have a vapor retarder. This capillary break shall be a 4" thick base of 1/2" or larger clean aggregate with a vapor retarder in direct contact with concrete. The concrete mix design shall address bleeding, shrinkage, and curling, in accordance with ACI 302.2R-06. As an alternative the slab design may be prepared by a licensed design professional. (CalGreen 4.505.2.1)
25. The ground adjacent to the foundation shall be sloped so that the grade shall fall a minimum of 6" within the first 10'. Impervious surfaces may be sloped at 2% minimum. (R401.3)
26. All fasteners used for attachment of siding shall be corrosion-resistant. (R703.3.2)
27. Corrosion resistant flashing shall be provided at openings and intersections/attachments. (R703.4)
28. All roof areas of buildings shall be provided with gutters or roof drains. Provide adequate roof slope for drainage (1/4" per foot, min.) or submit deflection and ponding calculations. Primary roof drains shall be designed based on a 60 minute storm with a 100 year return period, per Table D of the CPC. Secondary roof drains shall be provided not less than 2" above the roof surface. (CPC 1101.12)
29. Do not install electrical panels larger than 16 square inches in rated fire walls. Garage to dwelling unit separation is not a rated fire wall. (R302.4.2) Never install electrical panels in closet. Maintain a clearance of 36" in front of the panels. (CEC 110.26)
30. Provide a minimum of one 20 Amp receptacle in areas designated for laundry equipment. (CEC 210.52F)
31. Kitchens and dining areas must have a minimum of two 20 Amp circuits. Kitchen counter outlets must be installed in every counter space 12" or wider, not greater than 4' o.c. and within 24" of the end of any counter space. (CEC 210.52)
32. GFCI outlets are required for all kitchen receptacles that are designed to serve countertop surfaces, in bathrooms, in underfloor spaces at or below grade level, in exterior outlets, in laundry areas, and in all garage outlets not dedicated to a single device or appliance. (CEC 210.8) All dwellings must have at least one exterior outlet at the front and the back of the dwelling. (CEC 210.52E)
33. Receptacles must be installed at 12' o.c. maximum in walls. Walls longer than 2 feet and halls longer than 10' must have a receptacle. A receptacle must be provided within 3' of bathroom sinks. (CEC 210.52)
34. Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of an approved type. (CEC 250.104)
35. New dwellings must have a 120V powered smoke alarm in every sleeping room, outside each sleeping room, on every story of the dwelling, including basements and habitable attics, but not including crawl spaces or uninhabitable attics. (R314.3)
36. When more than one smoke alarm or carbon monoxide alarm is required the alarm devices shall be interconnected. If the proposed scope of work does not result in the removal of wall and ceiling finishes exposing areas requiring installation, in buildings built prior to January 1, 2011, devices may be battery operated. (R314.4 & R315.7)
37. When alterations, repairs, or additions require a permit or sleeping rooms are added or created, smoke alarms shall be installed where required in new dwellings. (R314.2.2)
38. For new construction and work in an existing dwelling, where an addition is made to an existing dwelling or a fuel-burning appliance is added, carbon monoxide alarms shall be installed in sleeping rooms within which fuel- burning appliances are installed, outside of each sleeping area, and on each occupiable level. Carbon monoxide alarms are not required in dwellings where there is no fuel-fired appliance or attached garage. (R315.1; R315.2)
39. All 120-volt 15 and 20 amp branch circuits in dwelling units except those in bathrooms, unfinished basements, garages and outdoors shall have AFCI protection. (CEC 210.12)
40. Receptacles on 120-volt 15 and 20 amp circuits shall be tamper resistant. Except when located more than 5.5' above the floor or when part of a luminaire or appliance. (CEC 406.12)
41. Provide pressure relief valve with drain to outside for water heater. (CPC 608.3) Provide seismic strapping or anchorage resisting overturning of water heater. (CPC 507.2, CRC R301.2.2.3.7)
42. Provide combustion air for all gas fired appliances. (CMC Chapter 7)
43. Fuel burning water heater is not allowed in bedroom or bathroom unless direct vent type or complying with CPC 504.1.
44. Vent clothes dryer to outside of building (not to underfloor area). Vent length shall be 14' maximum and the vent diameter shall not be less than 4". (CMC 504.4.2)
45. Water closet shall be located in a space not less than 30" in width with 24" minimum clearance in front. (CPC 402.5)
46. Showers and tubs with showers require a non-absorbent surface up to 72" above the floor. (R307.2). Provide curtain rod or approved enclosure material.
47. Provide backflow preventers on all hose bibs. (CPC 603.5.7)
48. Safety glazing shall be required within 24" of a door edge or within 36" of a stairway, landing or ramp when the bottom edge of the glazing is less than 60" from the floor or walking surface. (R308.4.2 & R308.4.3)
49. Safety glazing is required in all fixed and operable panels of swinging, sliding and bi-fold doors. (R308.4.1)
50. Safety glazing is required in enclosures and walls facing hot tubs, saunas, steam rooms, showers and tubs where the bottom edge of the glazing is less than 60" from any standing or walking surface. (R308.4.5)
51. Provide 18" x 24" foundation access within 5' of all plumbing cleanouts. (R408.4; CPC 707.9)
52. Fireblocking shall be provided in concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs; vertically at floor and ceiling levels, horizontally at intervals not to exceed 10'. (R302.11)
53. Storage use or placement of a fuel burning appliance in an underfloor area may trigger the requirement for a 1/2 inch gypsum wallboard or 5/8 inch wood panel membrane on the underside of the floor framing member. See Section R302.13 of the CRC for exceptions.
54. Concrete shall be 3000 psi minimum for foundation and retaining walls (including stem walls), garage floor slabs, and porches or steps exposed to weather and 2500 psi minimum for all other concrete. (R402.2; Table R402.2; R608.5.1.5) Conventional Residential Foundation Requirements (R404.1.4.2; Table R403.1(1)
55. Horizontal reinforcing at footing and stem wall: one number 4 rebar within top 12" of stem wall and one number 4 rebar 3–4 inches from bottom of footing (R403.1.3.1)
56. When the stem wall and footing are not poured monolithically a number 4 rebar shall be installed vertically at not more than 4' o.c. The vertical bar shall extend to 3" clear from the bottom of the footing, have a standard hook, and extend a minimum of 14 inches into the stem wall. (R403.1.3.1)
57. Stepped footings shall be used when slope of footing bottom is greater than 10:1 (H:V). Step footing detail shall be shown on building elevations and foundation plan. (R403.1.5)
58. Concrete slabs shall be 3.5" thick minimum. (R506.1)
59. Provide adequate setbacks from slopes greater than 33% gradient equal to half the height of the slope (need not exceed 15 feet) for an adjacent ascending slope surface, and one third the height of the slope (need not exceed 40 feet) for an adjacent descending slope surface. If these setbacks cannot be met a geotechnical report justifying soil characteristics and suitability of the proposed building site shall be provided. (R403.1.7)
60. Anchor bolts shall be minimum 1/2" x 10" placed at 6' o.c. maximum. Embed bolts 7" min. Locate end bolts neither less than 3.5" nor more than 12" from ends of sill members. (R 403.1.6) Provide 3" x 3" x 0.229" plate washers on each bolt. (R602.11.1)
61. Floor joist size, spacing and grade shall conform to Table R502.3.1; or shall be designed by a licensed professional.
62. Joists under and parallel to bearing partitions shall be doubled. (R502.4)
63. Bearing partitions perpendicular to joists shall not be offset from supporting girders, walls or partitions more than the joist depth. (R502.4)
64. Girders for single-story construction or supporting one floor shall be 4" x 6" for spans 6' or less, with girders spaced at 8' o.c. For other sizes and spans see Table R602.7 (1, 2, & 3).
65. Nail spacing for floor plywood sheathing: 6" o.c. at edges, 12" o.c. in field (unless closer nailing is specified). Table R602.3(1)
66. Provide detail of connection of floor girder at foundation wall.
67. Solid block all joists at ends and intermediate supports with full-depth solid blocking not less than 2" nominal thickness. (R502.7)
68. At floor openings where header joist span exceeds 4' show double trimmer joists and headers. Approved hangers shall be used for the header joist to trimmer joist connections when the header joist span exceeds 6'. (R502.10)
69. Show stud size, height, grade and spacing. (Table R602.3(5)) Exterior and interior studs shall be continuous floor to roof unless braced at ceiling.
70. Balloon frame gable end walls or provide softwall bracing detail.
71. Minimum header sizes shall be according to Table R602.7(1,2,&3).
72. Double top plates shall have a minimum lap of 24". Nail with eight 16d common nails on each side of the joint, unless additional nailing is specified. Plates at intersections with bearing walls and corners shall also be overlapped. (Table R602.3)
73. Sole plate to joist or blocking shall be 16d common nails at 16" o.c. and 2-16d common nails at 16" at braced wall panels. (Table R602.3 item 14)
74. Foundation cripple walls shall be framed of studs not less in size than the studs of the wall above. Cripple walls exceeding 4' in height shall be framed of studs as required for an additional story. Cripple walls shall be sheathed per R602.10.9 & R602.10.9.1. Cripple walls less than 14" in height shall be continuosly sheathed or constructed of solid blocking. (R602.9)
75. Minimum wood structural panel sheathing nailing: 6" o.c. at edges and 12" o.c. in field. (Table R602.3) Nailing shall be inspected prior to covering.
76. Provide one layer of No. 15 asphalt felt or other approved material under exterior siding. Material shall have upper layer lapped 2" min over lower layer with 6" min laps at joints. (R703.2) Provide 2 layers of Grade D paper, or equivalent, between wood sheathing and stucco lath. (R703.7.3)
77. Braced wall lines shall be sized and configured in accordance with section R602.10 in its entirety. Provide and label a layout of all braced wall lines complete with required values for wind and seismic for the specified wall type.
78. Spacing of braced wall lines shall not exceed 25' (interior & exterior) unless length of required bracing, per Table R602.10.3(3) is adjusted in accordance with Table R602.10.3(4). (R602.10.1.3)
79. Show roof rafters and ceiling joists. Spans shall be per Tables R802.4(1) & (2) for ceiling joists and Tables R802.5.1(1) & (2) for rafters. Include the size, spacing and grade of all members.
80. Nail rafters to adjacent parallel ceiling joists. Where not parallel, use rafter ties at 4' o.c. max. (R802.3.1) Connect ties per Table R802.5.1(9). Rafter ties shall use adjustment factor in footnote h., for the height above supporting wall and the location of the connection must be in lower third of attic space.
81. Where ceiling joists or rafter ties are not provided trusses shall be used or engineering shall be provided. (R802.3.1 & R802.10)
82. Solid block all rafters and trusses at exterior walls. (R802.8) Nail blocking to top plate with (3) 8d toe nails per block or provide clips.
83. For roofs shallower than 3:12 ridges, hips and valleys shall require engineering. (R802.2)
84. Wood structural panel sheathing when designed to be permanently exposed in outdoor applications, shall be of an exterior exposure durability. Wood structural panel roof sheathing exposed to the underside may be identified as Exposure 1. (R803.2) Minimum nailing per Table R602.3(1) is 6" at edges and 12" in the field, 8d common, box or casing. Nail panels to blocking between rafters.
85. New construction and additions/alterations increasing a building's conditioned floor area shall comply with applicable provisions of CalGreen. (CalGreen 301.1) Mandatory provisions shall apply only to the specific area of the addition or alteration. (CalGreen 301.1.1)
86. Residential buildings undergoing permitted alterations, additions or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. (CalGreen 301.1.1)
87. Energy code documentation shall be provided for any additions and alterations to the conditioned envelope, space-conditioning systems, or lighting systems. Energy code documentation shall be registered with the California Energy Commission prior to permit issuance. (California Energy Code Section 100(b))
88. Exterior walls within 5' (or 3' when the structure is equipped with an automatic fire sprinkler system) of an adjacent property line (or an assumed property line between structures) shall be 1 hour rated.
89. The exposed underside of projections from exterior walls from 2' to less than 5' from an adjacent property line, or from 2' to less than 3' when the structure is equipped with an automatic fire sprinkler system, shall be 1 hour rated. Exterior wall projections less than 2' from an adjacent property line are not allowed.

GREEN BUILDING INFORMATION

As per Table A, Green Building Standards for residential remodels, RR5, $300,000+ valuation and 1,000+ sq.ft. project, GPR Existing Home-Whole House rating system, the minimum compliance threshold is 50 points + 20% improvement in HERSII. The following items have been addressed on this project:

a. Install insulation on exposed hot water pipes in unconditioned areas
b. Install radiant barrier when reroofing and removing/replacing more than 50% of the sheathing
c. Install R-8 insulation wrap on heating and/or cooling ducts
d. Install duct work under attic insulation
e. Install R-36 or greater insulation in attic space of project area where possible
f. Install low-e or low-e2 windows
g. Install one or more Energy Star appliances
h. Install one or more low flow water fixtures
i. Install one or more bathroom fans with a timer or humidistat
j. Install vapor barrier or foundation drainage system to control crawl space moisture
k. Install a high efficiency furnace
l. Install at least one Carbon Monoxide Alarm
m. Apply low VOC or no VOC paints and stains for interior walls and ceilings.
n. Install environmentally preferable materials for interior finishes (i.e. cabinets, shelving, doors, etc.)

PROJECT DATA

PROJECT ADDRESS	631 CARMEL AVE
PARCEL NUMBER	67 28572300
ZONING NUMBER	R-1 RESIDENTAL SINGLE FAMILY
LOT AREA	3789 SQFT
YEAR BUILT	1934
CONSTRUCTION TYPE	VB, WOOD FRAMING

SITE DATA

	EXISTING (SQFT)	PROPOSED (SQFT)	MAXIMUM
GARAGE	231	231	
COVERED PORCH	55.8	55.8	
INTERIOR STAIRS	25.2	45.2	
LOWER LEVEL/BASEMENT	345.6		
MAIN LEVEL	926.1	1254.8	
SECOND FLOOR	355.0	650.8	
TOTAL AREA	2030.4	2327.6	
DEDUCTIONS	245.2	265.2	
TOTAL COUNTED	1785.2	2062.4	2062.5
LOT SIZE	3750		
FLOOR AREA RATIO	47.6%	54.9%	55%
SETBACKS			
FRONT	15.5'	15.5'	
SIDE	.7'	.7'	
SIDE	7.9'	7.9'	
REAR	32'	32'	
AREA			
LOT COVERAGE	44.6%	44.6%	50%
HEIGHT	16'4"	21'6"	28'

DIRECTORY OF CONSULTANTS/DESIGNERS

ARCHITECT	JULIE DRUMMOND C-24317 510.409.9310 1348 EAST MACARTHUR ST, SONOMA CA 94576
ARCHITECTURAL DESIGNER	JESSICA WILLEMSEN 2326 WELSCH CT, WALNUT CREEK CA 94598 925.285.0275
GENERAL CONTRACTOR	DEREK WILSON, WILSON REMODELING LICENSE #624-819B 50 DEER HOLLOW RD, SAN ANSELMO CA CA 94960 415.497.4635
STRUCTURAL ENGINEER	JEFFERSON CHEN, ENERTIA DESIGNS LICENSE #C057898 1167 MISSION ST, FL 1 SAN FRANCISCO, CA 94103 415.626.8300

VICINITY MAP

SHEET INDEX

DESCRIPTION OF WORK

Full interior remodel and 298.9 sqft second floor addition. New doors and windows and utilities. Keep front roof section.

GENERAL NOTES

1. FIRE SPRINKLERS ON SEPARATE PERMIT
2. SEE STRUCTURAL DRAWINGS/CALCULATIONS FOR FLOOR & ROOF LOADS; BASIC WIND SPEED & EXPOSURE; EARTHQUAKE DESIGN DATA INCLUDING SEISMIC DESIGN CATEGORY.

NORTH

- - - - - PROPERTY LINE

TITLE SHEET

N.T.A.S

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Shed & Co.
ARCHITECTURE AND DESIGN

Peskin Residence
631 CARMEL AVE
ALBANY CA 94706

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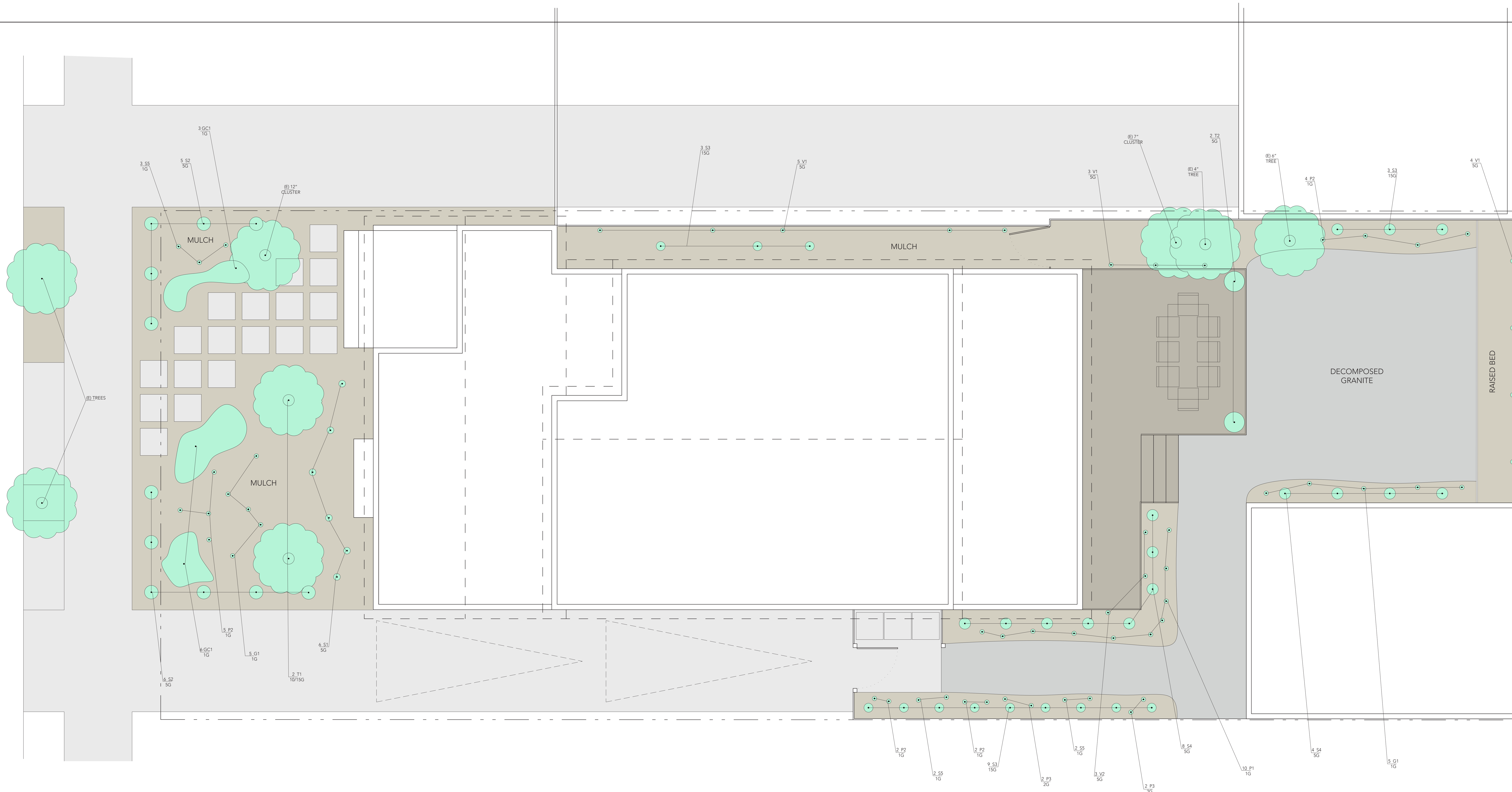
NEVA PESKIN
480-528-0919
VICTOR PESKIN
480-528-0939

APN 67 28572300

REVISIONS	DATE
JLW	09/29/21
JLW	01/11/22

T1.0



(P) LANDSCAPE PLAN
1': 1/4"

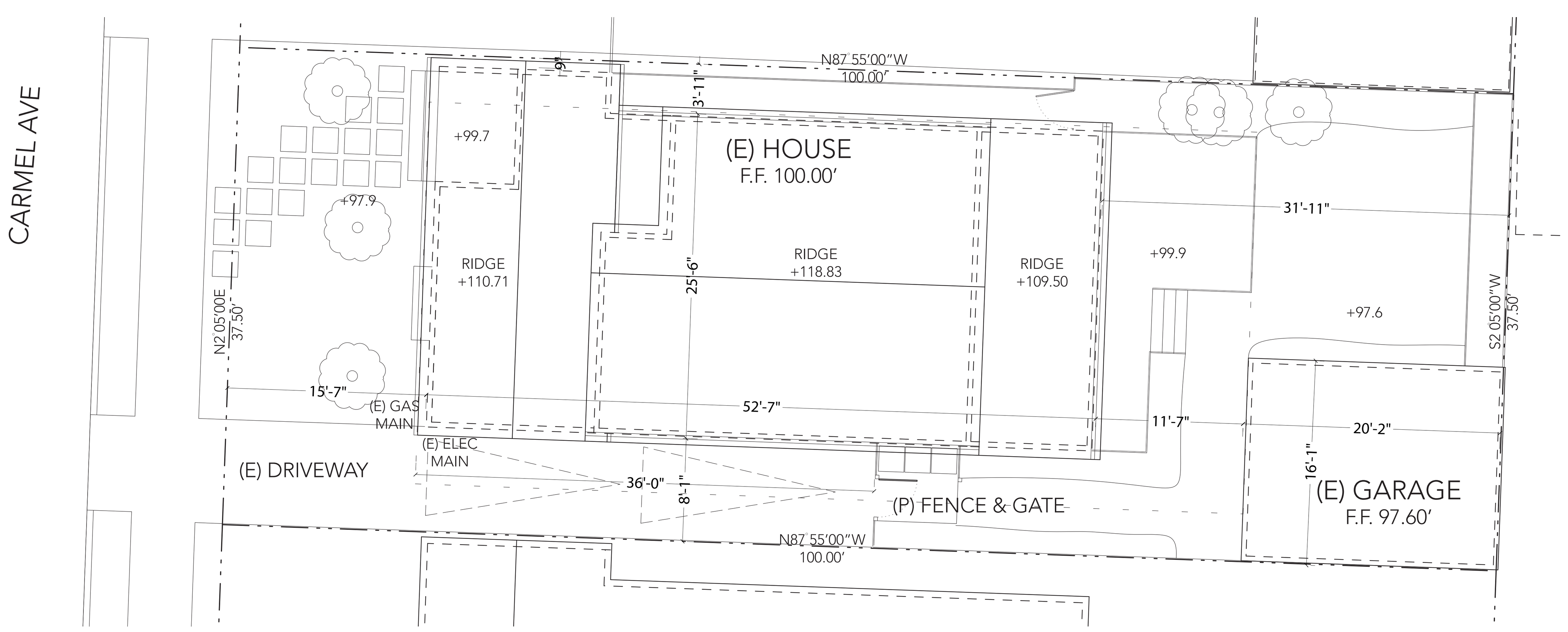
NORTH
PROJECT NORTH

GENERAL NOTES

1 ZONING R-1.

CONSTRUCTION NOTES

1 (P) FLAT ROOF 1/4" PER 1' SLOPE, WITH INTEGRATED GUTTER AND DRAIN SYSTEM



PLANT LIST

TREES			
T1	2 - 10/15G	ACER P HOGYOKU	JAPANESE MAPLE
T2	1 - 5G	CITRUS "IMPROVED MEYER"	LEMON TREE
SHRUBS			
S1		CAMELLIA SASANQUA PINK-A-BOO	PINK-A-BOO CAMELLIA
S2		OLEA EUROPAEA	DWARF OLIVE
S3		PRUNUS LAUROCERASUS	ENGLISH LAUREL
S4		BUXUS "GREEN BEAUTY"	BOXWOOD
SHRUBS CONT.			
S5		HEBE VERIGATED	VERIGATED HEBE
PERENNIALS			
P1		SALVIA NEMOROSA	SENSATION DEEP BLUE MEADOW SAGE
P2		LIRIOPE GIGANTEA	LIRIOPE
P3		HELLEBORUS ARGUTIFOLIUS	SILVER LACE HELLEBORE
VINES			
V1		LONICERA JAPONICA	CLEMATIS
V2		CLEMATIS MONTANA	HONEYSUCKLE
GRASSES			
G1		LOMANDRA	MAT RUSH
GROUND COVER			
GC1		SENECIO SERPENS	BLUE CHALKSTICKS

NORTH
PROJECT NORTH

Legend
BUILDING LINE
ROOF LINE
SET BACK
PROPERTY LINE

(P) SITE/ROOF PLAN
1': 1/8"

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480-528-0919
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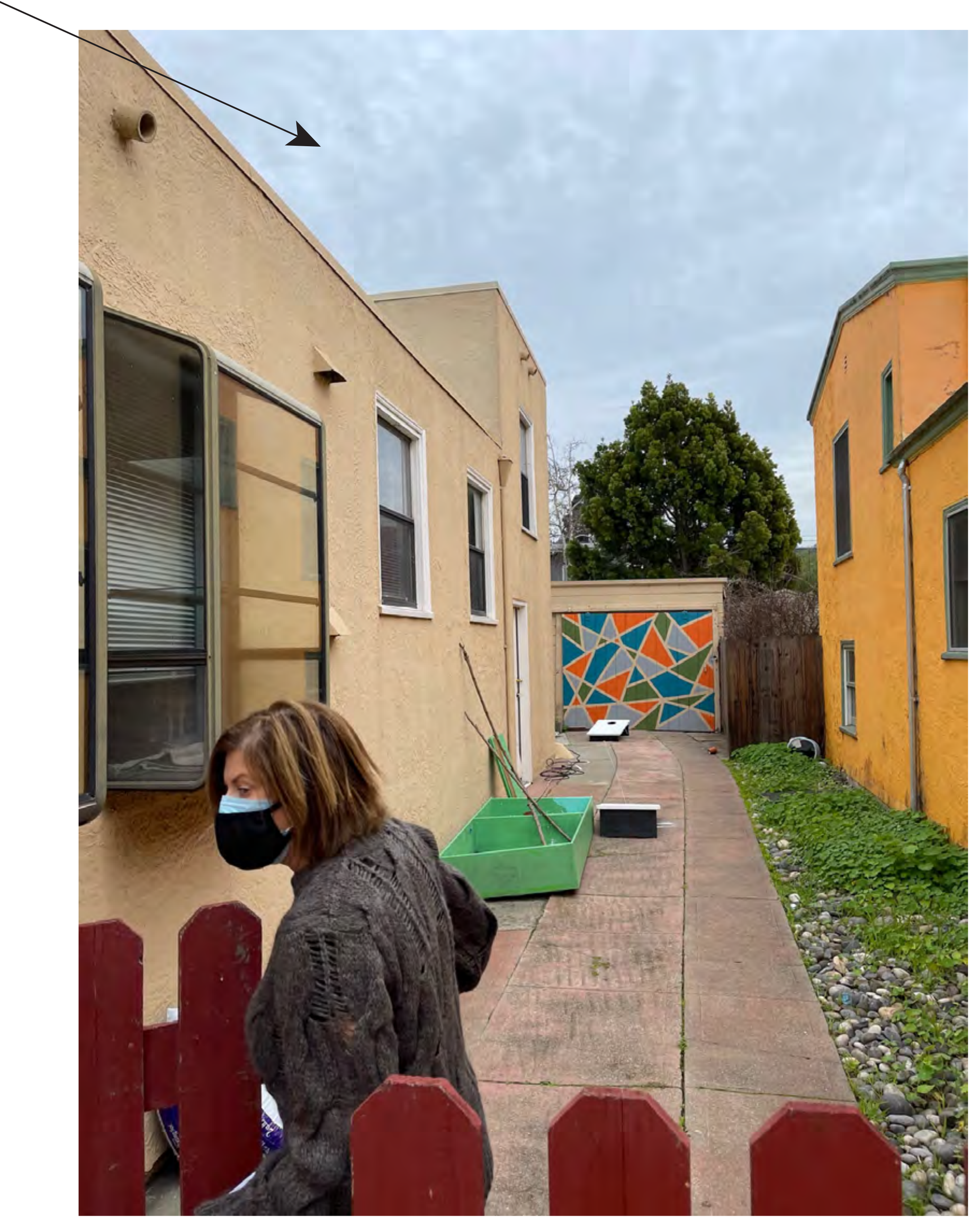
480-528-0939

APN 67 28572300

REVISIONS	DATE
JLW	08/06/21
JLW	02/11/22

A1.0

SECOND FLOOR ADDITION



FINISHES

FRONT ROOF CUSTOM BILT METALS TITAN COOL ROOF, BLACK	FRONT EXTERIOR FINISH: (E) STUCCO BENJAMIN MOORE: HERB BOUQUET 460	2-STORY EXTERIOR FINISH: ACCOYA, BARNWOOD IVORY VERTICAL SIDING	BACK EXTERIOR FINISH HARDIE STRAIGHT EDGE SHINGLE BENJAMIN MOORE: HERB BOUQUET 460
FLAT ROOF ASPHALT	WINDOWS AND DOORS: MARVIN ELEVATE, EBONY	 EXTERIOR LIGHTING SCHOOLHOUSE ELECTRIC	FRONT DOOR STYLE: TBD PAINT: BENJAMIN MOORE MISTY MAVUE

NORTH PROJECT NORTH

– – – – – – –	BUILDING LINE
———————	ROOF LINE
_ _ _ _ _	SET BACK
— - - —— - - ——	PROPERTY LINE

(P) SITE ELEVATION/PICTURES & FINISHES

NTAS

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VICTOR PESKIN
480-528-0939

APN 67 28572300

REVISIONS	DATE
JLW	02/24/22

A1.2

GENERAL NOTES

1. SEE A4.0 FOR WINDOW & DOOR SCHDULE, SAFETY GLAZING AND DETAILED BATHROOM DRAWINGS.
2. FURNACES, WATER HEATERS, AIR CONDITIONERS AND ELECTRICAL PANEL LOCATIONS ARE APPROXIMATE, VERIFY IN FIELD.

CONSTRUCTION NOTES

1. (N) WINDOW, SAME SIZE, SAME LOCATION
2. (N) DOOR/WINDOW
3. REMODEL KITCHEN
4. REMODEL BATHROOM
5. ADD BATHROOM
6. MOVE LAUNDRY ROOM
7. MOVE STAIRS
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1. SIDING TO BE JAMES HARDIE: HARDIE SHINGLES & 8" HORIZONTAL SIDING

DEMO WALL & DOOR

EXISTING WALL

PROPOSED WALL

PROJECT NORTH

NORTH

(E) & DEMO FIRST FLOOR PLAN

1/4": 1'-0"

1348 E. Macarthur Street
Sonoma CA 94576

jsd.drummond@gmail.com
license#C-24317
510-409-9310

Shed & Co.
ARCHITECTURE AND DESIGN

Peskin Residence

631 CARMEL AVE
ALBANY CA 94706

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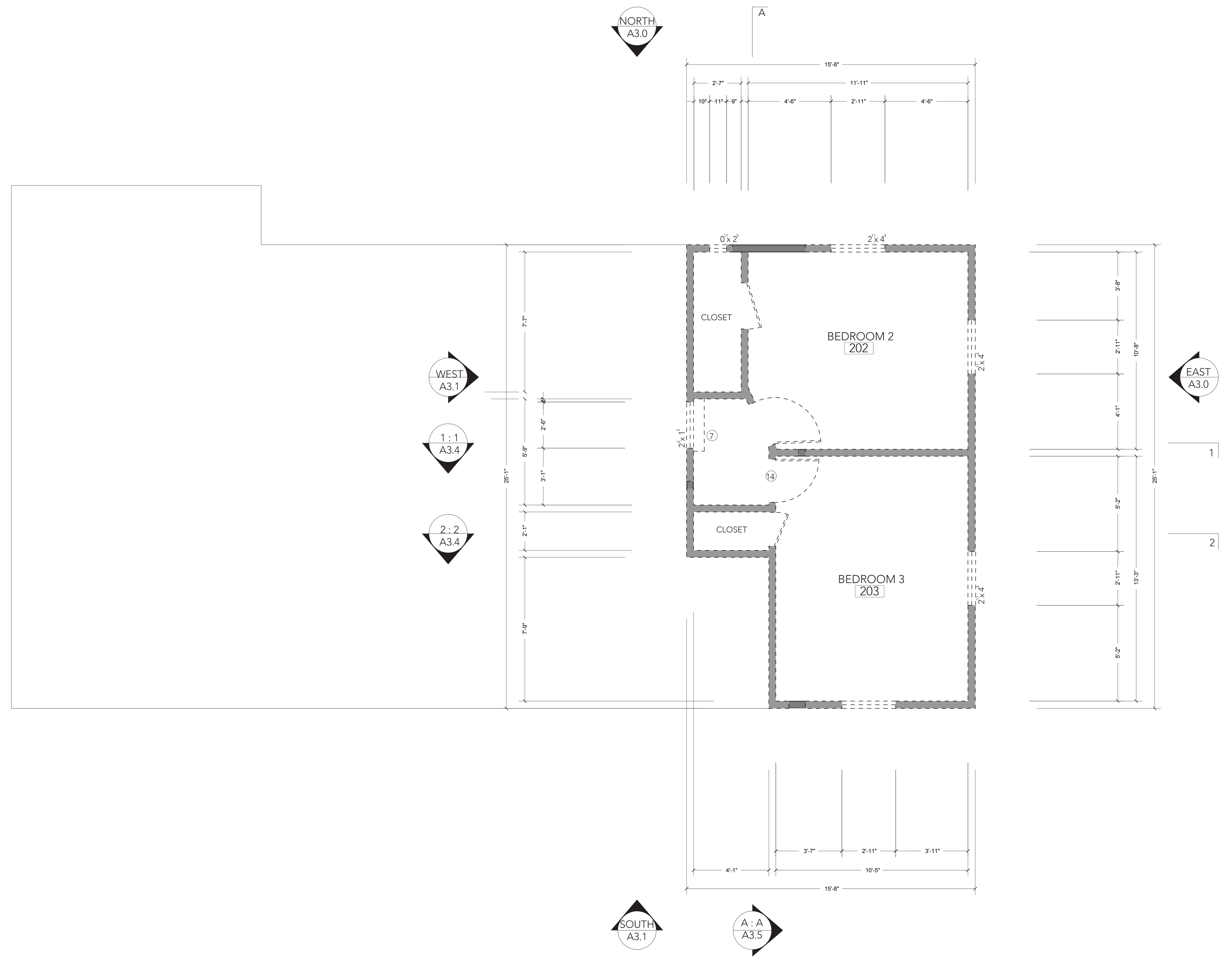
LICENSED ARCHITECT
Julie Drummond
C-24317
February 28, 2021
RENEWAL DATE
STATE OF CALIFORNIA

NEVA PESKIN
480-528-0919
VICTOR PESKIN
480-528-0939

APN 67 28572300

REVISIONS	DATE
JLW	10/04/21

A2.0



GENERAL NOTES

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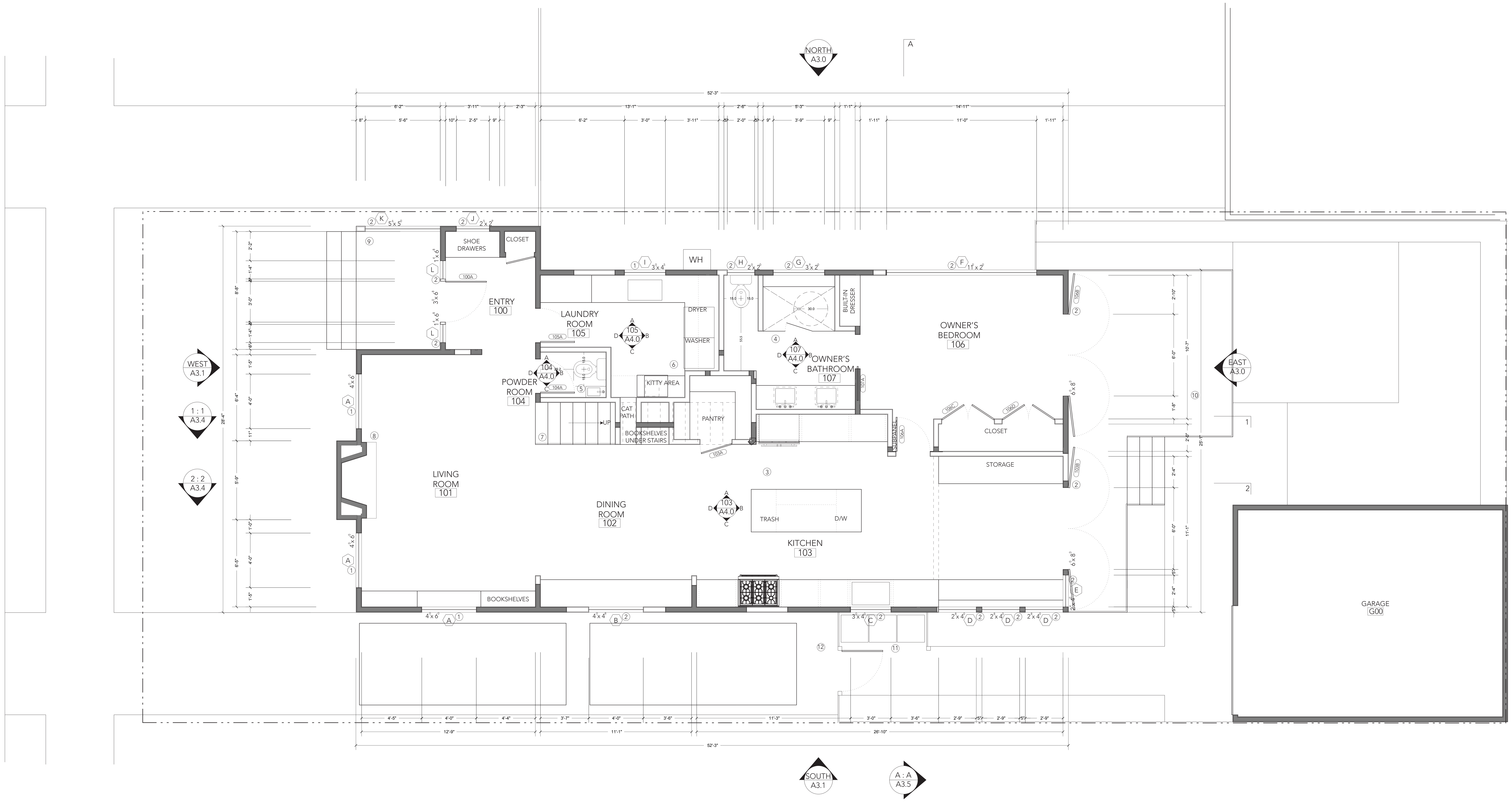

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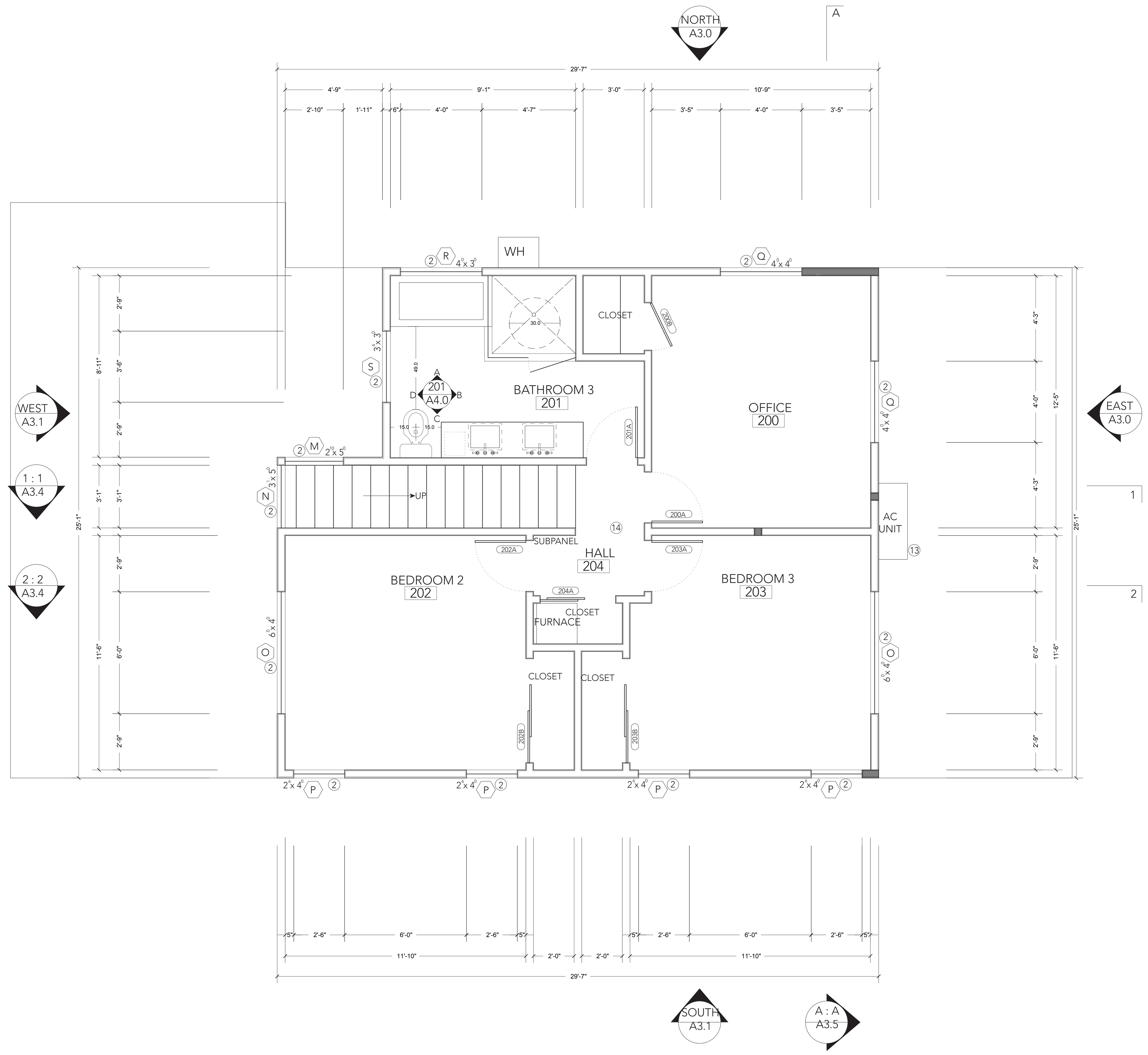
A2.2



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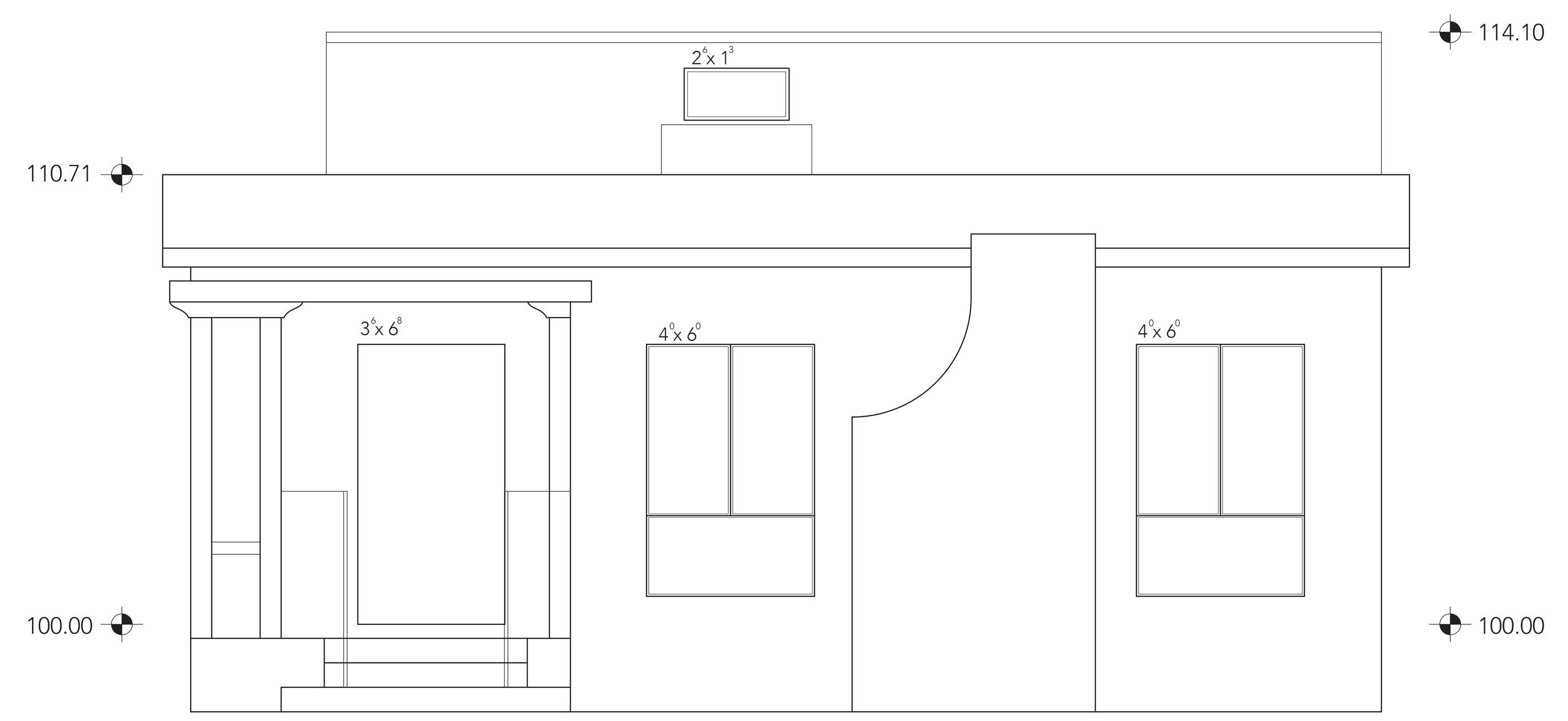
(P) SECOND FLOOR PLAN

1/4": 1'-0"

A2.3



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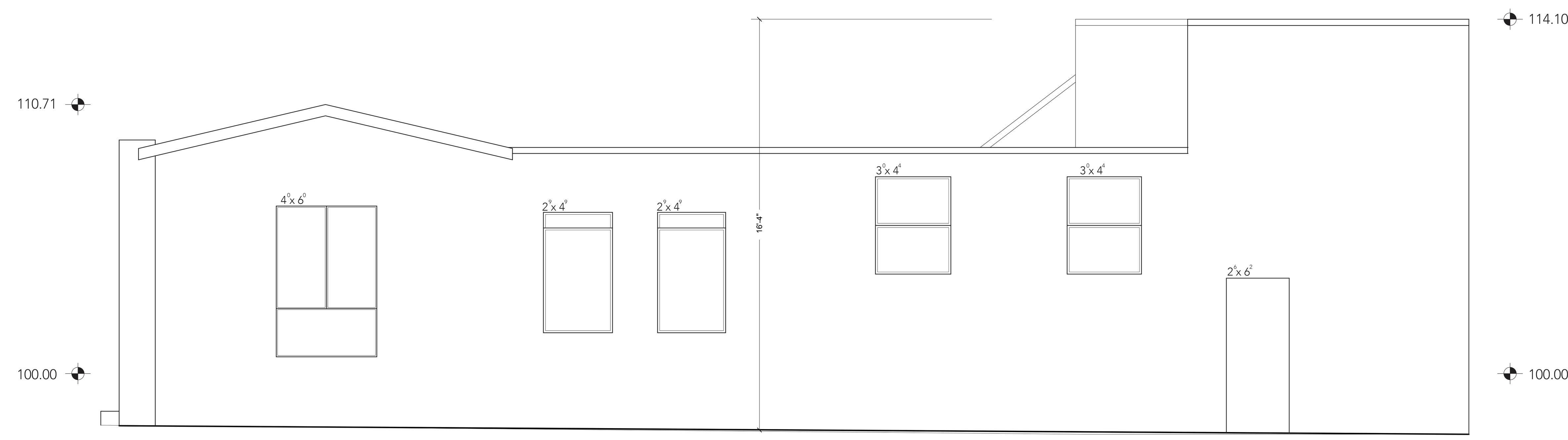

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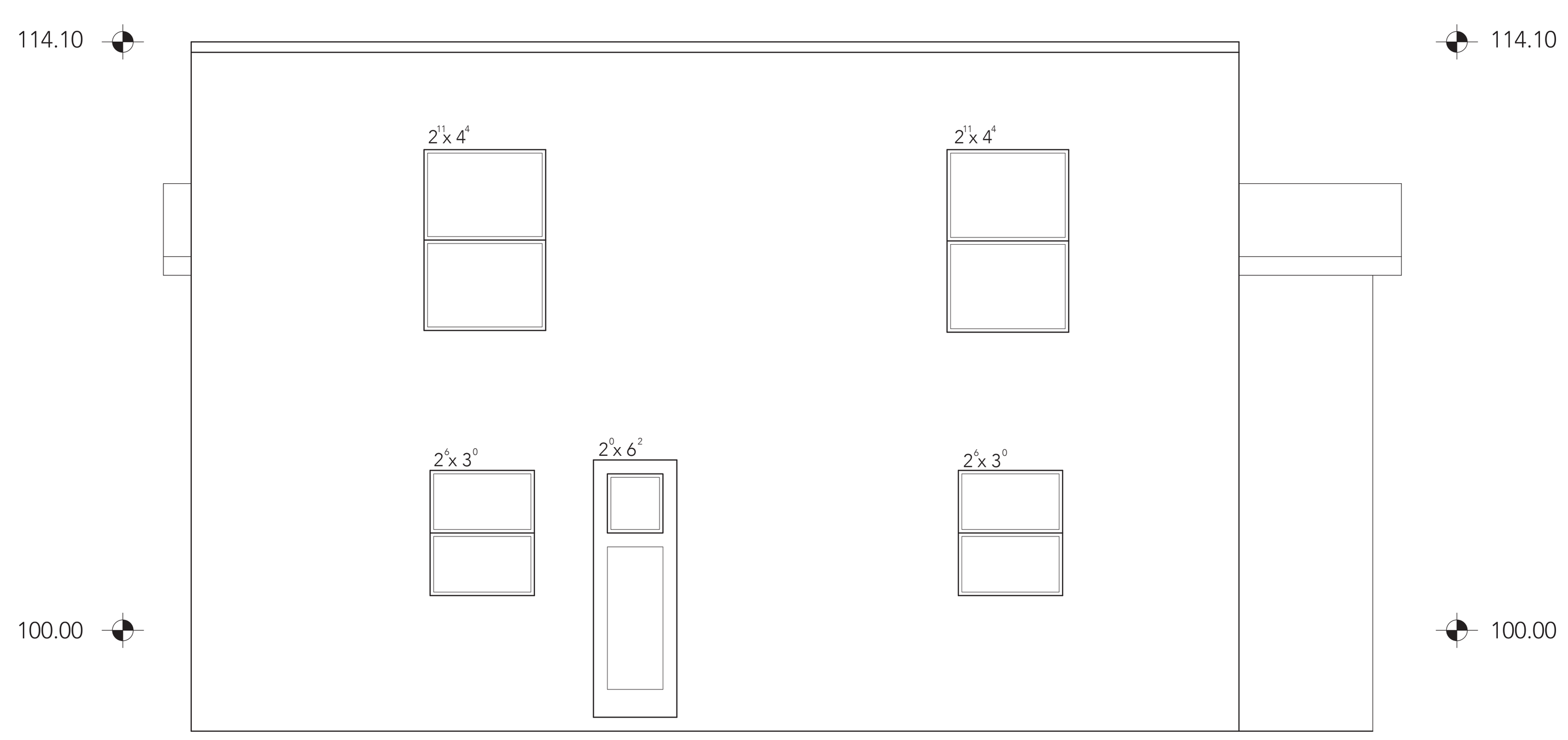

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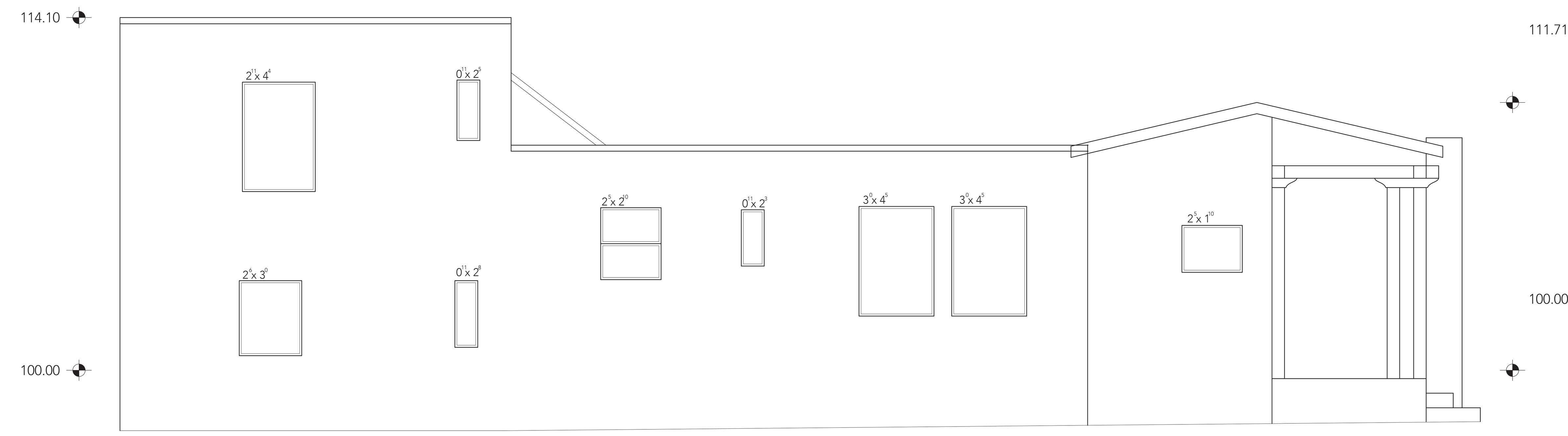

SOUTH

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LICENSED ARCHITECT Julie Drummond C-24317 February 28, 2021 RENEWAL DATE STATE OF CALIFORNIA

NEVA PESKIN
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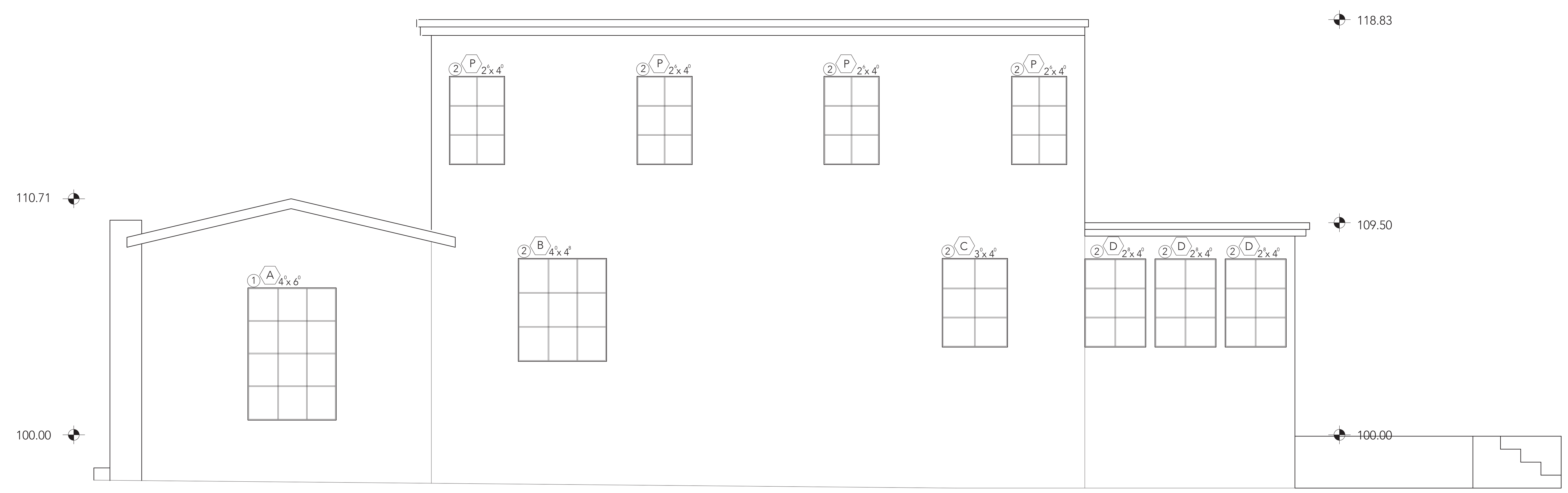

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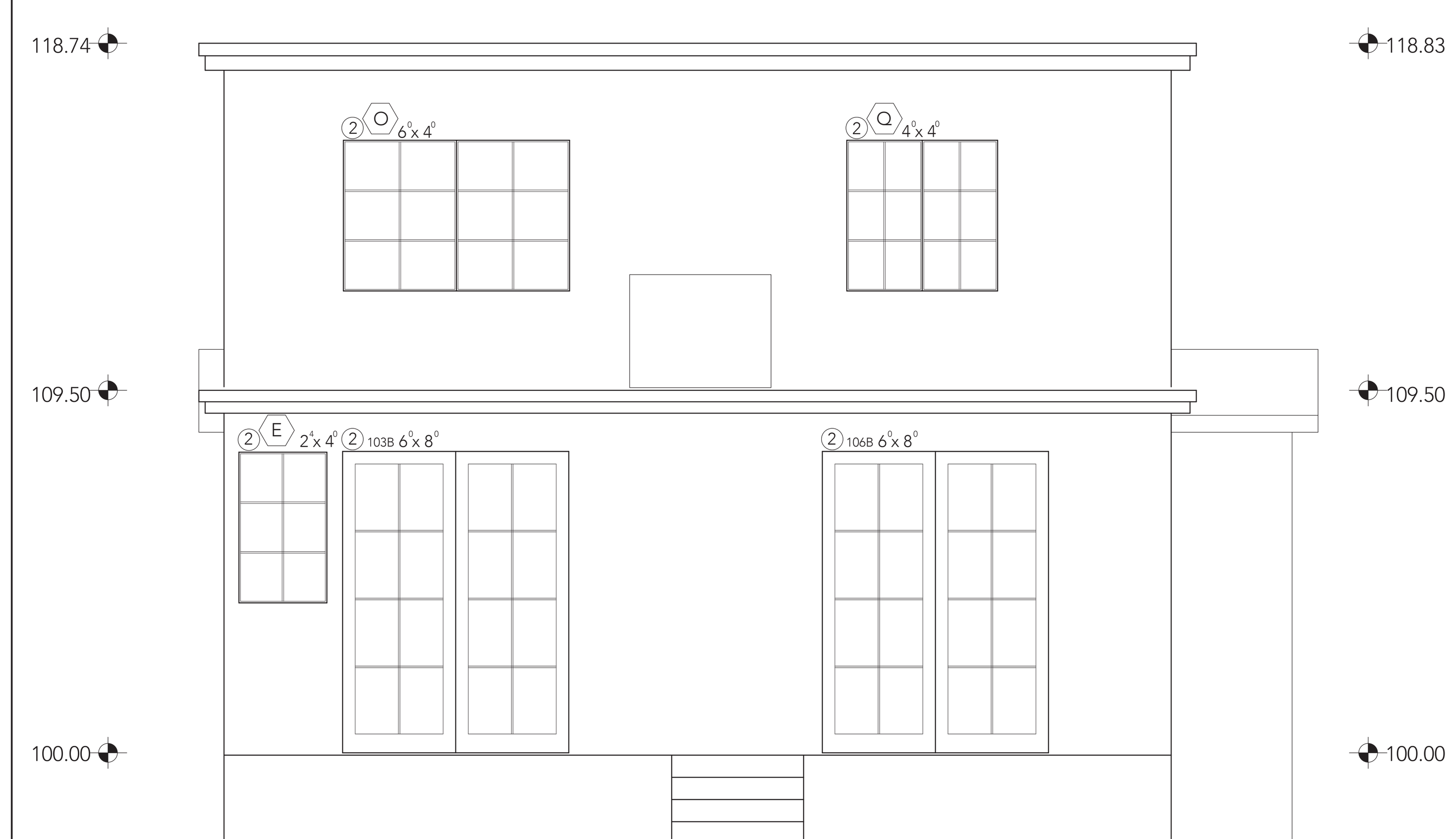

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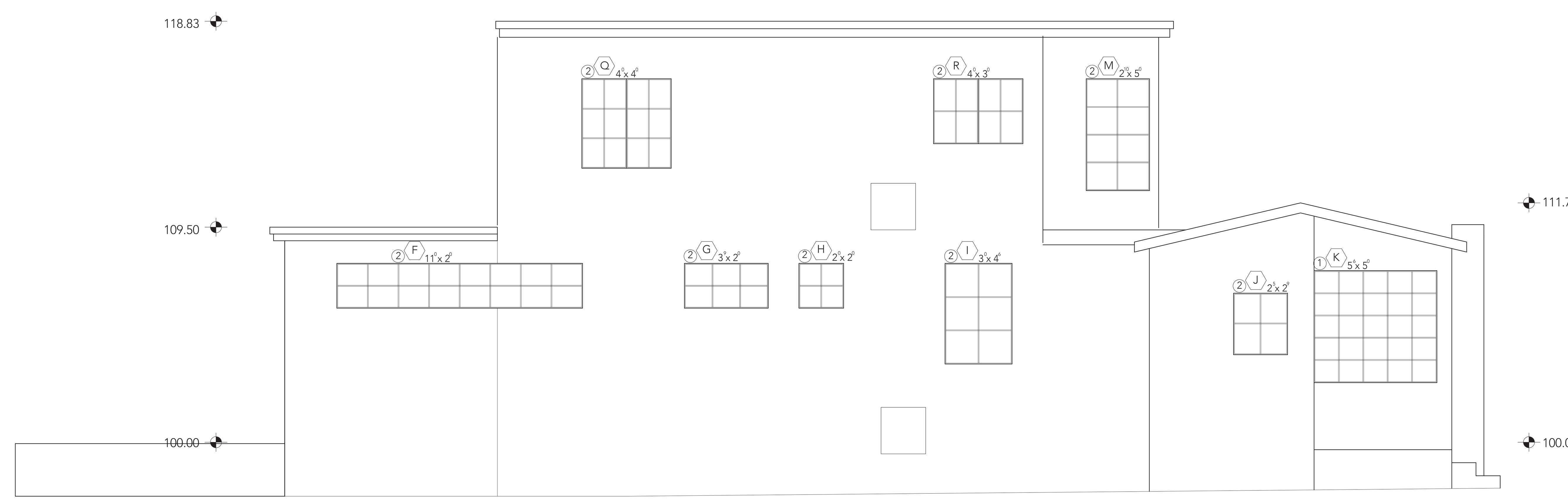

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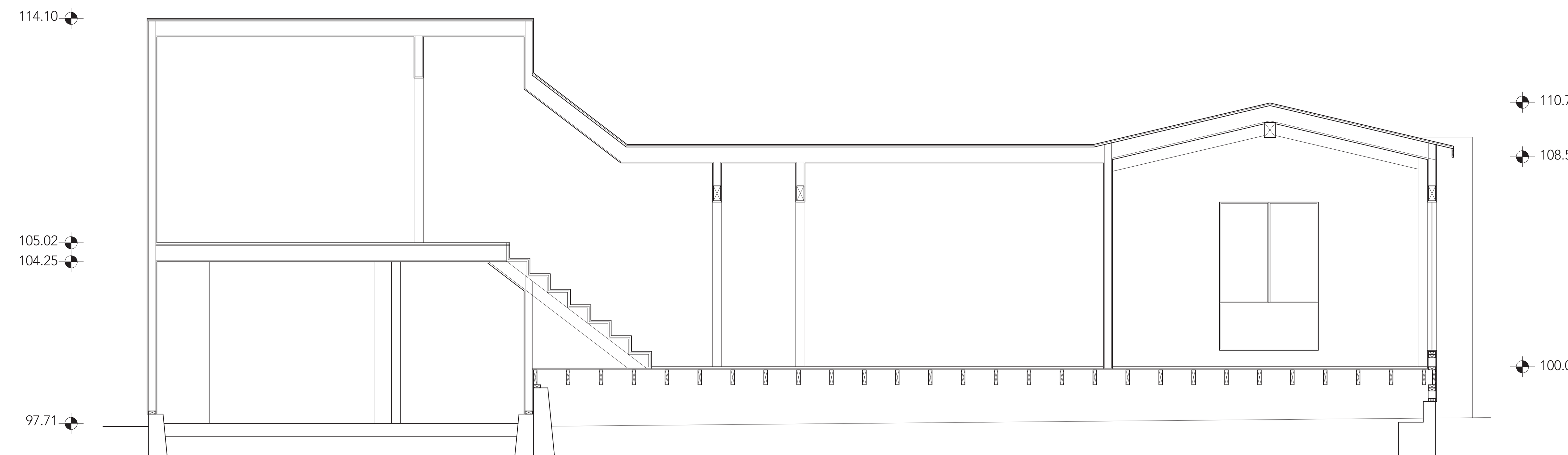

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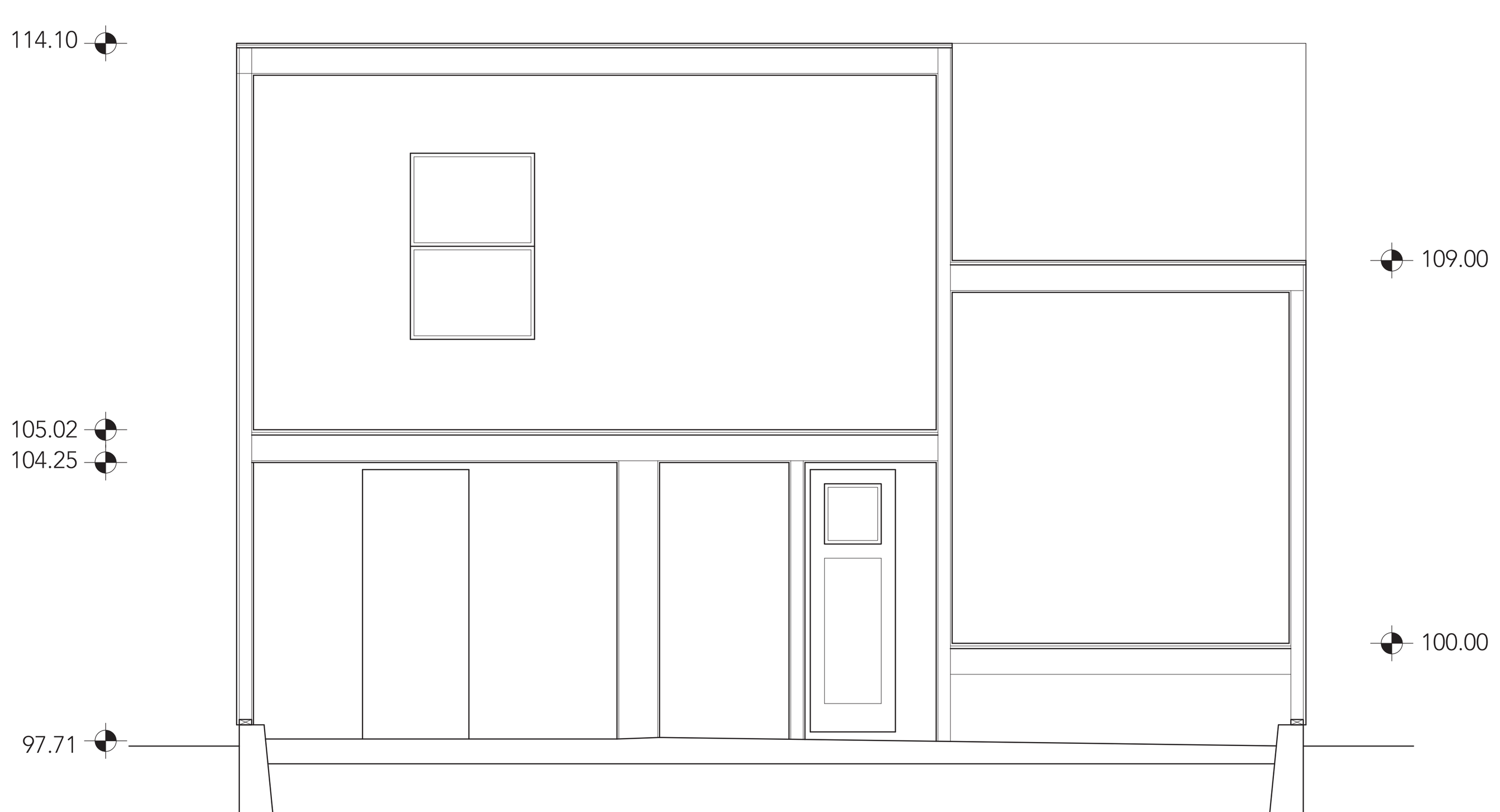

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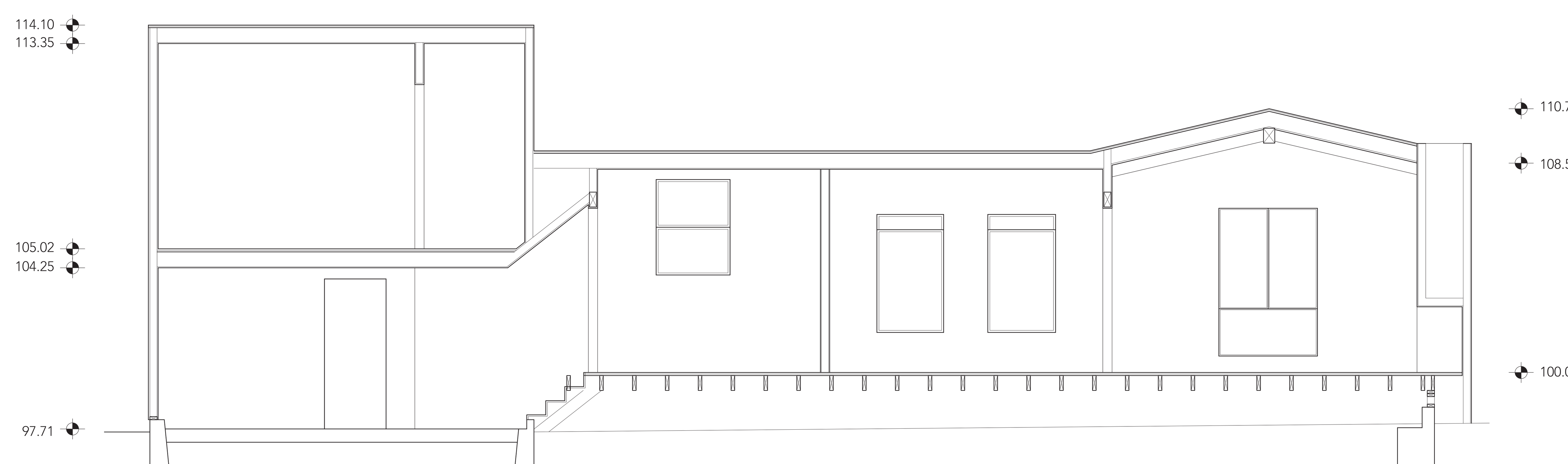

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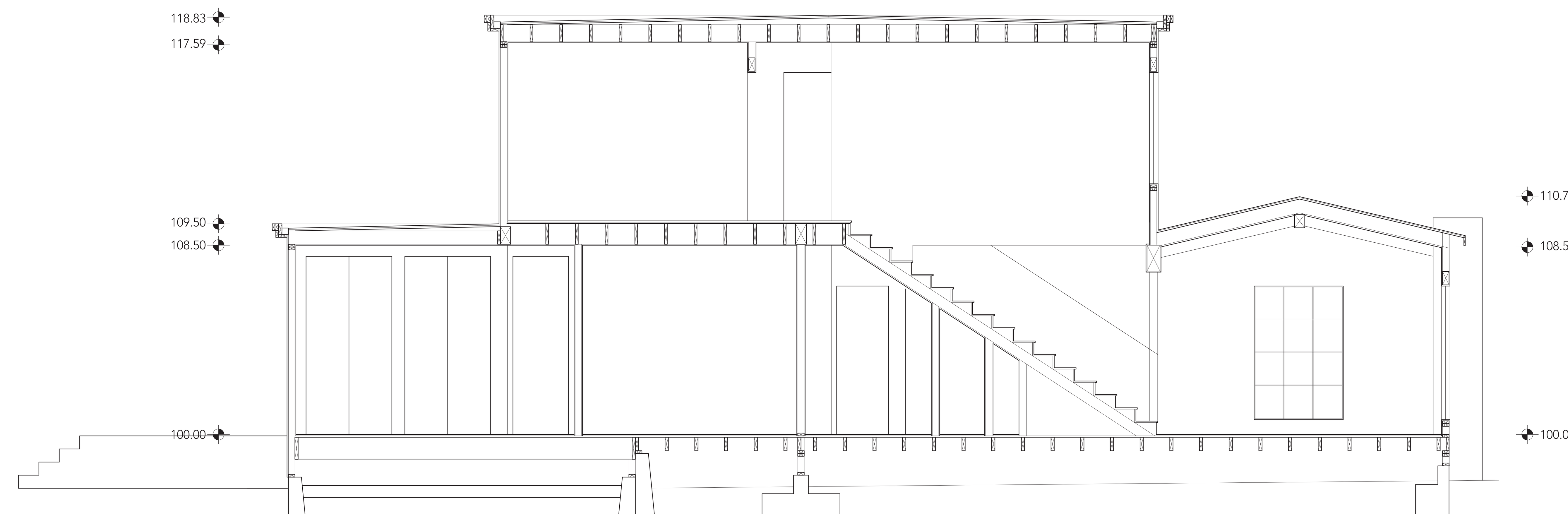

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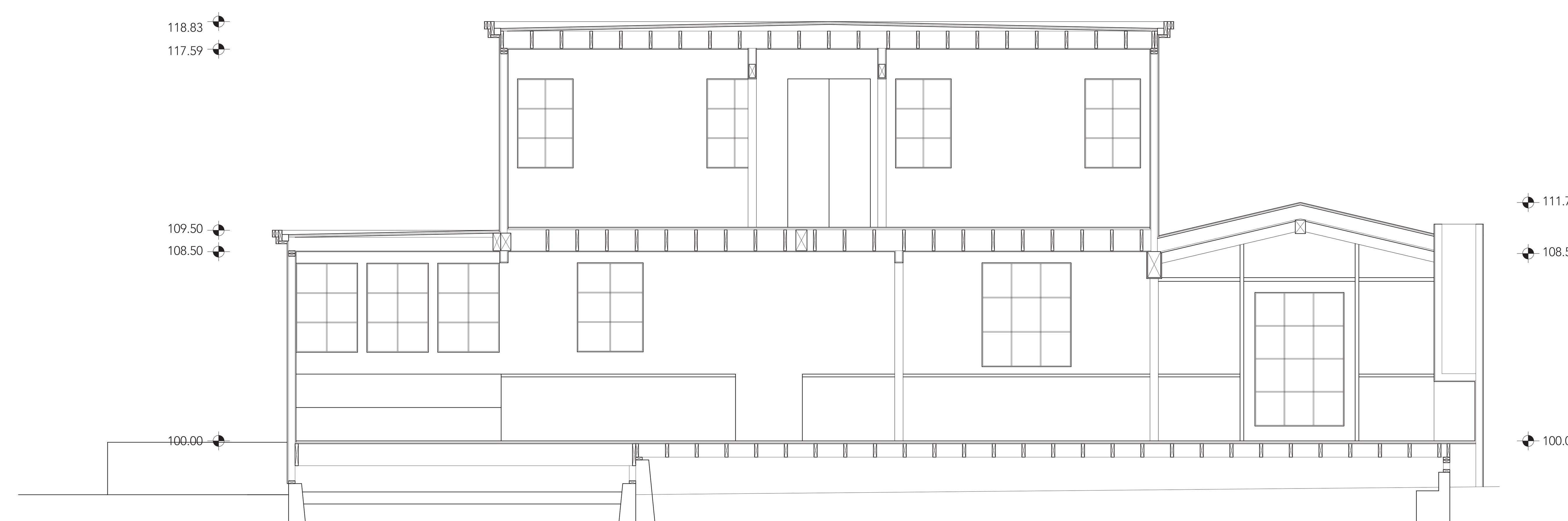

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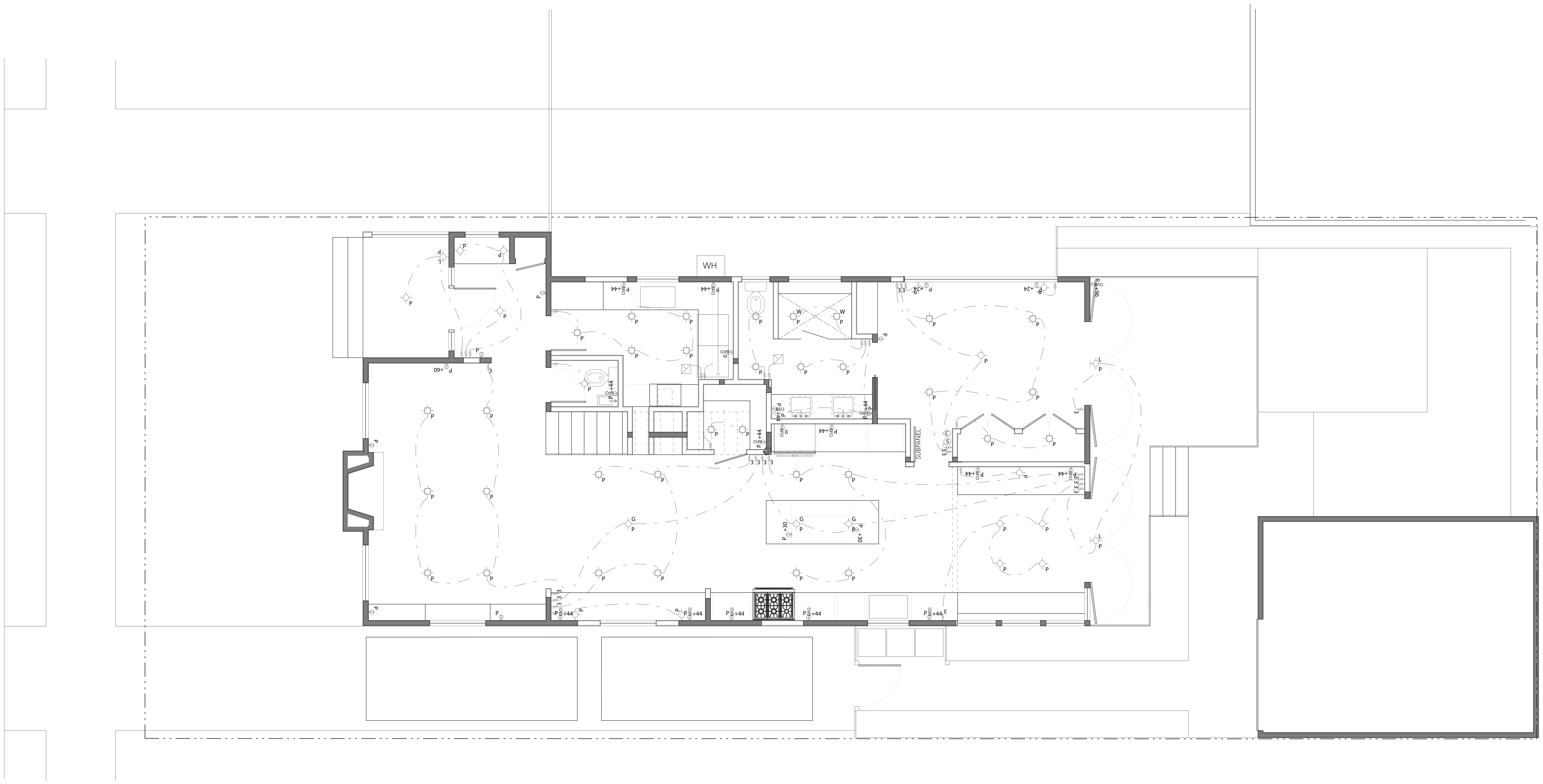

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2. PROVIDE A MINIMUM OF ONE 20 AMP RECEPTACLE IN AREAS DESIGNATED FOR LAUNDRY EQUIPMENT. (CEC 210.52F)
3. KITCHENS AND DINING AREAS MUST HAVE A MINIMUM OF TWO 20-AMP CIRCUITS. KITCHEN COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" OR WIDER, NOT GREATER THAN 4' O.C. AND WITHIN 24" OF THE END OF ANY COUNTER SPACE. (CEC 210.52)
4. GFCI OUTLETS ARE REQUIRED FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES, IN BATHROOMS, IN UNDERFLOOR SPACES AT OR BELOW GRADE LEVEL, IN EXTERIOR OUTLETS, IN LAUNDRY AREAS, AND IN ALL GARAGE OUTLETS NOT DEDICATED TO A SINGLE DEVICE OR APPLIANCE. (CEC 210.8)
5. ALL DWELLINGS MUST HAVE AT LEAST ONE EXTERIOR OUTLET AT THE FRONT AND THE BACK OF THE DWELLING. (CEC 210.52E)
6. RECEPTACLES MUST BE INSTALLED AT 12' O.C. MAXIMUM IN WALLS. WALLS LONGER THAN 2' AND HALLS LONGER THAN 10' MUST HAVE A RECEPTACLE. A RECEPTACLE MUST BE PROVIDED WITHIN 3' OF BATHROOM SINKS.
7. BOND ALL METAL GAS AND WATER PIPES TO THE GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE. (CEC250.104)
8. FURNACES INSTALLED IN ATTICS AND CRAWL SPACES MUST HAVE AN ACCESS PLATFORM (CATWALK IN ATTICS), LIGHT, LIGHT SWITCH, AND RECEPTACLE IN THE SPACE. (CMC 904.10)
9. NEW DWELLINGS MUST HAVE A 120V POWERED SMOKE ALARM IN EVERY SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, ON EVERY STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES OR UNINHABITABLE ATTICS. (R314.3)
10. WHEN MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE ALARM IS REQUIRED THE ALARM DEVICES SHALL BE INTERCONNECTED. IF THE PROPOSED SCOPE OF WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES EXPOSING AREAS REQUIRING INSTALLATION, IN BUILDINGS BUILT PRIOR TO JANUARY 1, 2011, DEVICES MAY BE BATTERY OPERATED. (R314.4 & R315.7)
11. WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRE A PERMIT OR SLEEPING ROOMS ARE ADDED OR CREATED, SMOKE ALARMS SHALL BE INSTALLED WHERE REQUIRED IN NEW DWELLINGS. (R314.2.2)
12. FOR NEW CONSTRUCTION AND WORK IN AN EXISTING DWELLING, WHERE AN ADDITION IS MADE TO AN EXISTING DWELLING OR A FUEL-BURNING APPLIANCE IS ADDED, CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN SLEEPING ROOMS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED, OUTSIDE OF EACH SLEEPING AREA, AND ON EACH OCCUPIABLE LEVEL. CARBON MONOXIDE ALARMS ARE NOT REQUIRED IN DWELLINGS WHERE THERE IS NO FUEL-FIRED APPLIANCE OR ATTACHED GARAGE. (R315.1; R315.2)
13. ALL 120-VOLT 15 AND 20 AMP CIRCUITS IN DWELLING UNITS EXCEPT THOSE IN BATHROOMS, UNFINISHED BAEMENTS, GARAGES AND OUTDOORS SHALL HAVE AFCI PROTECTION. (CEC 210.120)
14. RECEPTACLES ON 120-VOLT 15 AND 20 AMP CIRCUITS SHALL BE TAMPER RESISTANT. EXCEPT WHEN LOCATED MORE THAN 5.5' ABOVE THE FLOOR OR WHEN PART OF A LUMINAIRE OR APPLIANCE. (CEC 406.12)

MISCELLANEOUS LIFE-SAFETY

15. GARBAGE DISPOSALS AND DISHWASHERS MUST EACH BE ON A DEDICATED CIRCUIT.
16. RECEPTACLES IN BATHROOM MUST BE SUPPLIED BY AT LEAST ONE 20-AMP CIRCUIT, WHICH SHALL HAVE NO OTHER OUTLET.
17. ANY RECEPTACLE IN BATHROOMS MUST BE GFCI PROTECTED.
18. IF RECESSED FIXTURES ARE USED IN AN INSULATED CEILING THEY MUST BE IC RATED AND LABELED AS AIRTIGHT.
19. ALL DISHWASHERS REQUIRE AIRGAP.
20. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMP CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSESTS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (201.12 CEC 2016)
21. TAMPER RESISTANT RECEPTACLES ARE REQUIRED FOR ALL 125-VOLT, 15- AND 20-AMP RECEPTACLES LESS THAN 5.5' ABOVE THE FINISHED FLOOR LEVEL. TAMPER RESISTANT RECEPTACLES ARE NOT REQUIRED WHERE THE RECEPTACLE IS DEDICATED TO A SPECIFIC APPLIANCE. (CEC 406.11)

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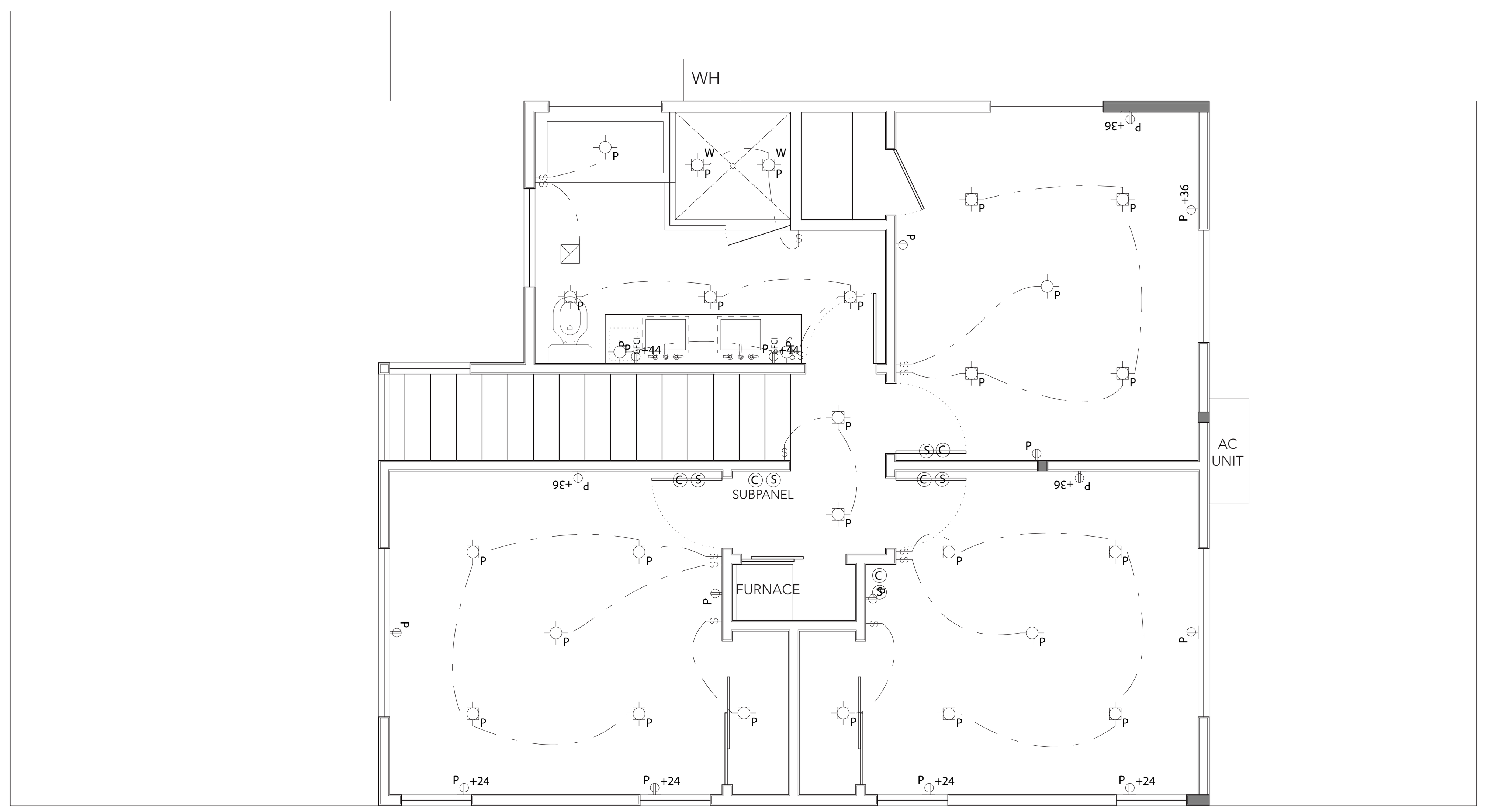
2. PROVIDE A MINIMUM OF ONE 20 AMP RECEPTACLE IN AREAS DESIGNATED FOR LAUNDRY EQUIPMENT. (CEC 210.52F)
3. KITCHENS AND DINING AREAS MUST HAVE A MINIMUM OF TWO 20-AMP CIRCUITS. KITCHEN COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" OR WIDER, NOT GREATER THAN 4' O.C. AND WITHIN 24" OF THE END OF ANY COUNTER SPACE. (CEC 210.52)
4. GFCI OUTLETS ARE REQUIRED FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES, IN BATHROOMS, IN UNDERFLOOR SPACES AT OR BELOW GRADE LEVEL, IN EXTERIOR OUTLETS, IN LAUNDRY AREAS, AND IN ALL GARAGE OUTLETS NOT DEDICATED TO A SINGLE DEVICE OR APPLIANCE. (CEC 210.8)
5. ALL DWELLINGS MUST HAVE AT LEAST ONE EXTERIOR OUTLET AT THE FRONT AND THE BACK OF THE DWELLING. (CEC 210.52E)
6. RECEPTACLES MUST BE INSTALLED AT 12' O.C. MAXIMUM IN WALLS. WALLS LONGER THAN 2' AND HALLS LONGER THAN 10' MUST HAVE A RECEPTACLE. A RECEPTACLE MUST BE PROVIDED WITHIN 3' OF BATHROOM SINKS.
7. BOND ALL METAL GAS AND WATER PIPES TO THE GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE. (CEC250.104)
8. FURNACES INSTALLED IN ATTICS AND CRAWL SPACES MUST HAVE AN ACCESS PLATFORM (CATWALK IN ATTICS), LIGHT, LIGHT SWITCH, AND RECEPTACLE IN THE SPACE. (CMC 904.10)
9. NEW DWELLINGS MUST HAVE A 120V POWERED SMOKE ALARM IN EVERY SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, ON EVERY STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES OR UNINHABITABLE ATTICS. (R314.3)
10. WHEN MORE THAN ONE SMOKE ALARM OR CARBON MONOXIDE ALARM IS REQUIRED THE ALARM DEVICES SHALL BE INTERCONNECTED. IF THE PROPOSED SCOPE OF WORK DOES NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES EXPOSING AREAS REQUIRING INSTALLATION, IN BUILDINGS BUILT PRIOR TO JANUARY 1, 2011, DEVICES MAY BE BATTERY OPERATED. (R314.4 & R315.7)
11. WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRE A PERMIT OR SLEEPING ROOMS ARE ADDED OR CREATED, SMOKE ALARMS SHALL BE INSTALLED WHERE REQUIRED IN NEW DWELLINGS. (R314.2.2)
12. FOR NEW CONSTRUCTION AND WORK IN AN EXISTING DWELLING, WHERE AN ADDITION IS MADE TO AN EXISTING DWELLING OR A FUEL-BURNING APPLIANCE IS ADDED, CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN SLEEPING ROOMS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED, OUTSIDE OF EACH SLEEPING AREA, AND ON EACH OCCUPIABLE LEVEL. CARBON MONOXIDE ALARMS ARE NOT REQUIRED IN DWELLINGS WHERE THERE IS NO FUEL-FIRED APPLIANCE OR ATTACHED GARAGE. (R315.1; R315.2)
13. ALL 120-VOLT 15 AND 20 AMP CIRCUITS IN DWELLING UNITS EXCEPT THOSE IN BATHROOMS, UNFINISHED BAEMENTS, GARAGES AND OUTDOORS SHALL HAVE AFCI PROTECTION. (CEC 210.120)
14. RECEPTACLES ON 120-VOLT 15 AND 20 AMP CIRCUITS SHALL BE TAMPER RESISTANT. EXCEPT WHEN LOCATED MORE THAN 5.5' ABOVE THE FLOOR OR WHEN PART OF A LUMINAIRE OR APPLIANCE. (CEC 406.12)

MISCELLANEOUS LIFE-SAFETY

15. GARBAGE DISPOSALS AND DISHWASHERS MUST EACH BE ON A DEDICATED CIRCUIT.
16. RECEPTACLES IN BATHROOM MUST BE SUPPLIED BY AT LEAST ONE 20-AMP CIRCUIT, WHICH SHALL HAVE NO OTHER OUTLET.
17. ANY RECEPTACLE IN BATHROOMS MUST BE GFCI PROTECTED.
18. IF RECESSED FIXTURES ARE USED IN AN INSULATED CEILING THEY MUST BE IC RATED AND LABELED AS AIRTIGHT.
19. ALL DISHWASHERS REQUIRE AIRGAP.
20. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMP CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSESTS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (201.12 CEC 2016)
21. TAMPER RESISTANT RECEPTACLES ARE REQUIRED FOR ALL 125-VOLT, 15- AND 20-AMP RECEPTACLES LESS THAN 5.5' ABOVE THE FINISHED FLOOR LEVEL. TAMPER RESISTANT RECEPTACLES ARE NOT REQUIRED WHERE THE RECEPTACLE IS DEDICATED TO A SPECIFIC APPLIANCE. (CEC 406.11)



DEMO WALL & DOOR

EXISTING WALL

PROPOSED WALL

PROJECT NORTH

NORTH

(P) SECOND FLOOR PLAN

1/4": 1'-0"

1348 E. Macarthur Street
Sonoma CA 94576
jsd.drummond@gmail.com
license#C-24317
510-409-9310

Shed & Co.
ARCHITECTURE AND DESIGN

Peskin Residence
631 CARMEL AVE
ALBANY CA 94706

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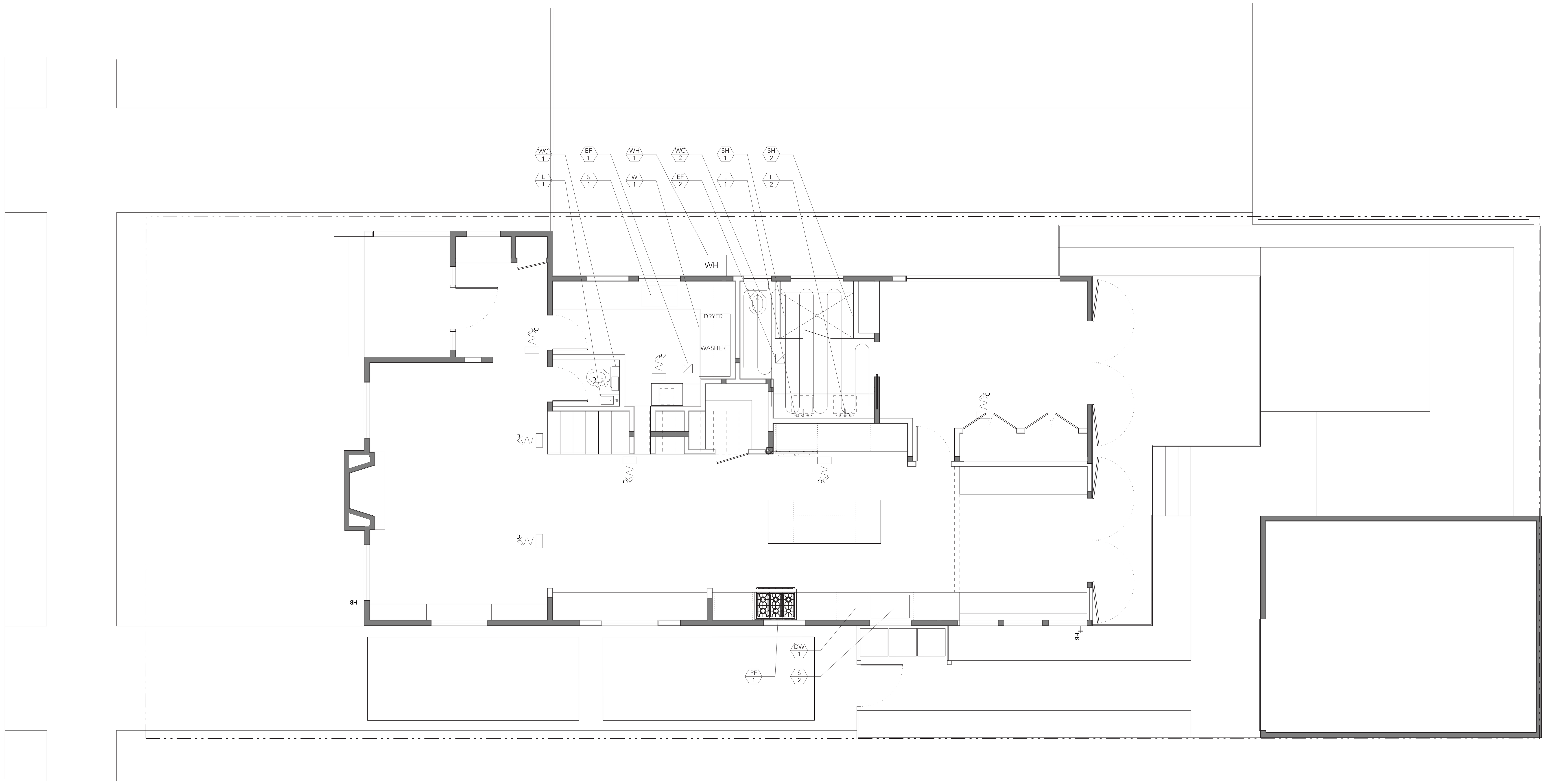
NEVA PESKIN
480-528-0919
VICTOR PESKIN
480-528-0939

APN 67 28572300

REVISIONS	DATE
JLW	10/06/21
JLW	11/23/21
JLW	01/10/22

A2.3



GENERAL NOTES

1 SEE A4.0 FOR WINDOW & DOOR SCHDULE, SAFETY GLAZING AND DETAILED BATHROOM DRAWINGS.

2 FURNACES, WATER HEATERS, AIR CONDITIONERS AND ELECTRICAL PANEL LOCATIONS ARE APPROXIMATE, VERIFY IN FIELD.

PLUMBING NOTES

1. COMBUSTION AIR REQUIREMENT FOR GAS-FIRED APPLIANCES SHALL BE SUBJECT TO FIELD VERIFICATIONN BY CITY OF MILL VALLEY BUILDING DEPT INSPECTION PERSONNEL. EACH OPENING SHALL HAVE A FREE AREA OF NOT LESS THAN 1 SQIN PER 1000 BTU/H OF THE TOTAL INPUT RATING OF APPLIANCES IN THE SPACE BUT NOT LESS THAN 100 SQIN. ONE OPENING SHALL COMMENCE WITHIN 12" OF THE TOP OF THE ENCLOSURE AND ONE OPENING SHALL COMMENCE WITHIN 12" OF THE BOTTOM OF THE ENCLOSURE (AS SHOWN IN CMC FIGURE 701.5). THE DIMENSION OF AIR OPENINGS SHALL BE NOT LESS THAN 3".
2. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE-FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXUTRES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLAINT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAX FLOW RATE OF 1.28 GPF. SHOWERHEADS WITH A FLOW RATE GREATER THAN 2.5 GMP WILL NEED TO BE REPLACED WITH A MAX 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH A MAX FLOW RATE OF 1.2 GPM (1.8 GPM FOR KITCHEN FAUCETS).
3. HOSE BIBS TO BE PROTECTED WITH A NONREMOVABLE HOSE-BIB-TYPE BACKFLOW PREVENTER, A NONREMOVABLE HOSE-BIB-TYPE VACUUM BREAKER, OR BY AN ATMOSPHERIC VACUUM BREAKER INSTALLED NOT LESS THAN 6" ABOVE THE HIGHEST POINT OF USAGE LOCATED ON TEH DISCHARGE SIDE OF THE LAST VALVE. CPC 603.5.7
4. DOMESTIC HOT WATER PIPING SHALL BE INSULATED IN ACCORDANCE WITH CPC 609.11

MECHANICAL NOTES

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4. HEATING EQUIPTMENT (WHICH GENERATE A GLOS, FLAME, OR SPARK) LOCATED IN GARAGE SHALLBE INSTALLED SUCH THAT THE SOURCE OF IGNITION IS AT LEAST 18" ABOVE THE FLOOR. CMC 307.1

Symbol	Description
	GAS SHUT-OFF
HB 1	HOSE BIB
EF 1	EXHAUST FAN
PF 1	POT FILLER
S 1	KITCHEN SINK
DW 1	DISHWASHER
L 1	LAVATORY (MAX FLOW RATE OF 1.2 GPM)
WC 1	WATER CLOSET (1.28 GAL. MAX FLUSH)
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DEMO WALL & DOOR

EXISTING WALL

PROPOSED WALL

PROJECT NORTH

NORTH

(P) FIRST FLOOR PLAN

1/4": 1'-0"

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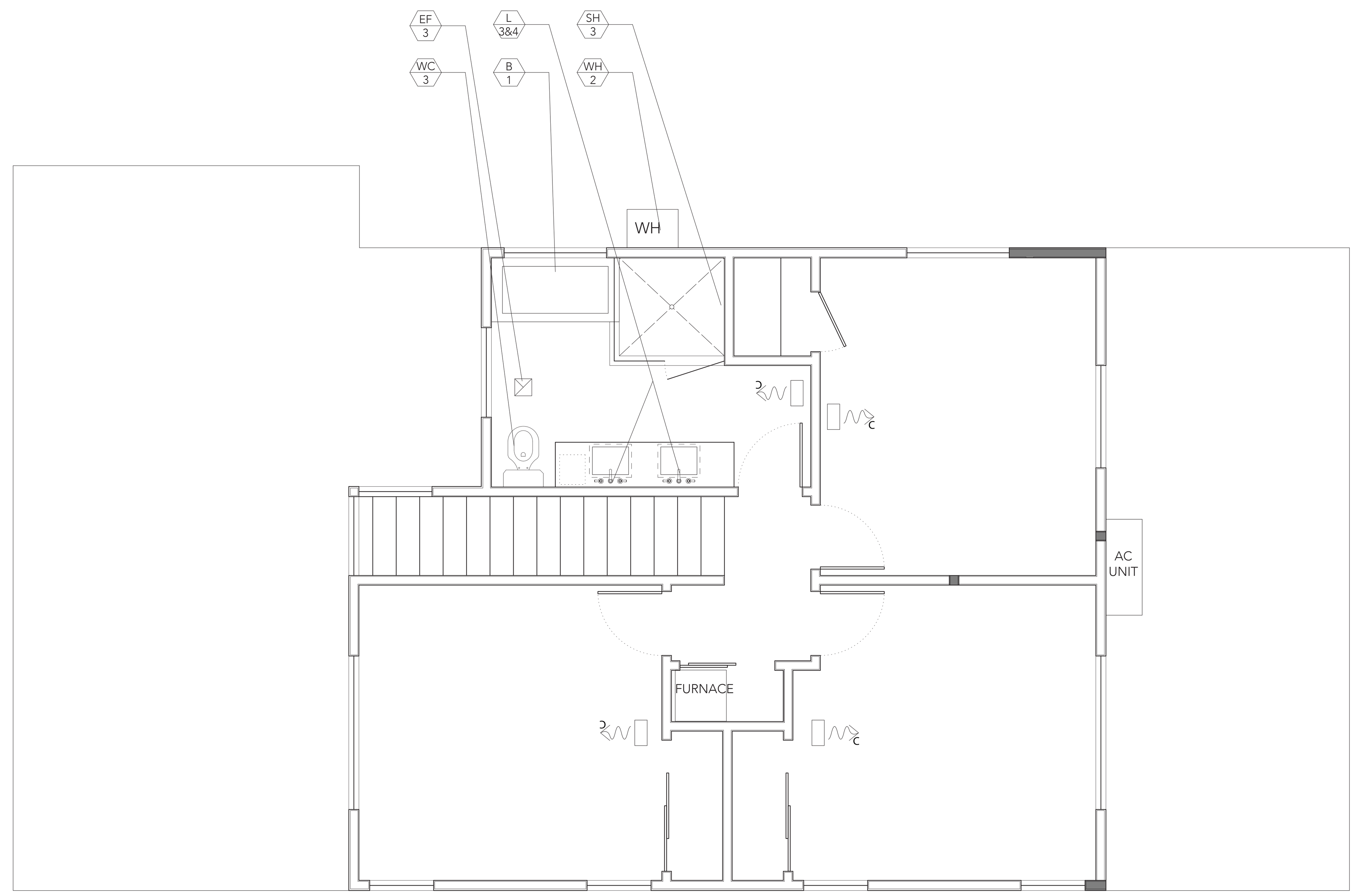

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LICENSED ARCHITECT
Julie Drummond
C-24317
February 28, 2021
RENEWAL DATE
STATE OF CALIFORNIA

NEVA PESKIN
480-528-0919
VICTOR PESKIN
480-528-0939

APN 67 28572300

REVISIONS	DATE
JLW	10/06/21
JLW	11/23/21
JLW	01/10/22

A2.3

N87°55'17"W

525.04' (524.98')

THOUSAND OAKS BOULEVARD (60')

CARMEL AVENUE (50')

LOT 16

LOT 41

0.7'

0.8'

N87°55'00"W

100.00'

GARAGE #629

0.3'

0.3'

3.9'

7" CLUSTER

4" TREE

6" TREE

12" CLUSTER

COVERED PORCH

32.0'

GARAGE

15.5'

0.6'

LOT 42

LOT 15

HOUSE #631
CARMEL AVENUE

N2°05'00"E
37.50'

37.50'
S2°05'00"W

0.1' OVER

GARAGE

GARAGE CORNER
SHOWN APPROXIMATELY

15.6'

8.1'

0.9'

0.8'

LOT 14

N87°55'00"W

100.00'

7.9'

3.7'

OVER 0.1'

LOT 43

PORCH

HOUSE #633
CARMEL AVENUE

LOT 13

LOT 44

237.50'

SAN CARLOS AVENUE (50')

GRAPHIC SCALE

8 0 4 8 16 32

(IN FEET)
1 INCH = 8 FEET

200.00'
N87°55'00"W

320.01'

10.04'

PORTLAND AVENUE (85')

655.10'
665.14' (665.05')

SANTA FE AVENUE (80')

N2°05'00"E

LEGEND:

- FOUND CITY OF ALBANY MONUMENT
- TREE

NOTES:
ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

NO TITLE REPORT WAS PROVIDED, EASEMENTS MAY EXIST.

PROFESSIONAL LAND SURVEYOR
PAUL D. LINS
No. 8951
1-3-22
STATE OF CALIFORNIA

BUILDING LOCATION SURVEY

LOT 15 AND THE NORTHERN 12.50 FT OF LOT 14
BLOCK 25, MAP NO. 8 REGENTS PARK (23 M 1)
LOCATED AT 631 CARMEL AVENUE
ALBANY, ALAMEDA COUNTY, CALIFORNIA

JANUARY 3, 2022 SCALE: 1" = 8'

MONUMENTAL LAND SURVEYING
171 MAYHEW WAY, SUITE 207, PLEASANT HILL, CA 94523
(925) 300-3695 MONUMENTAL-LS.COM PROJECT#21122