

Abbreviations

adj.	adjustable or adjacent
AFF	above finish floor
alt.	alternate
APN	assessor parcel number
bdg	building
blkg	blocking
bot.	bottom
cab.	cabinet
ch	ceiling height
CL	centerline
clg	ceiling
CMU	concrete masonry unit
conc.	concrete
const.	construction
cont.	continuous
D	dryer
dbl	double
dept.	department
DF	douglas fir
dia.	diameter
dim.	dimension
dn	down
DS	downspout
DW	dishwasher
dwg	drawing
E	East
ea.	each
elev.	elevation
elec.	electrical
eq	equal
equip.	equipment
(E)	existing
ext.	exterior
EW	each way
FAR	floor area ratio
FAU	forced air unit
FF	Finish Floor
frplc	fireplace
FJ	finger joint
fl.	floor(ing)
fluo.	fluorescent
FoF	face of finish
FoS	face of stud
ft or'	feet or foot
ftg	footing
furn	furnace
galv.	galvanized
glulam	glued laminated
GWB	gypsum wall board
HB	hose bib
HH	head height
hor.	horizontal
hwd	hardwood
in. or"	inch
int.	interior
lav.	lavatory
lb	pound
max.	maximum
med. cab.	medicine cabinet
MDF	medium density fiberboard
mech.	mechanical
manuf.	manufacturer
micro.	microwave
min.	minimum
misc	miscellaneous
mtl	metal
N	North
(N)	new
NIC	not in contract
#	number
OC	on center
o/	over
perf.	perforated
PL	property line
ply.	plywood
prefab.	prefabricated
PT	pressure treated
R	refrigerator or riser
(R)	replaced or remodeled
rebar	reinforcing bar
ref.	reference
req.	required
rm.	room
RO	rough opening
RoW	right of way
rwd	redwood
S	South
S4S	surfaced 4 sides
SH	sill height
sim.	similar
Specs	specifications
sq. ft.	square foot
SSD	see structural drawings
st	stainless steel
std	standard
st	steel
stor.	storage
struct.	structural
surf.	surface
T	tread
T&B	top & bottom
T&G	tongue & groove
TBD	to be determined
ToC	top of curb
ToW	top of wall
typ.	typical
UON	unless otherwise noted
vert.	vertical
VIF	verify in field
W	washing machine, width, or West
w/	with
w/o	without
wd	wood
WH	water heater
WP	waterproof

Photographs



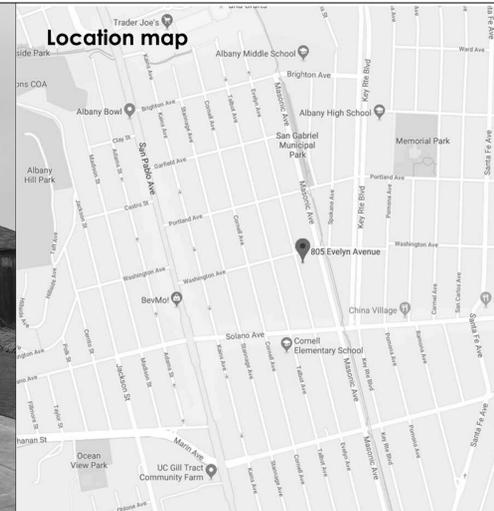
West (front)



South (side yard)



North (driveway)



Location map

(E) garage

Material + symbols legend

	concrete
	batt insulation
	plywood
	soil
	exterior door/window tag
	interior door tag
	fire rated assembly tag
	drawing note tag

General notes

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2019 California Building Code
2019 California Residential Code (if applicable)
2019 California Green Building Standards Code
2019 California Electrical Code
2019 California Mechanical Code
2019 California Plumbing Code
2019 California Fire Code
2019 California Administrative Code
2019 California Energy Code
- DIMENSIONS: All dimensions are face of finish dimensions unless noted otherwise.
- FIELD VERIFICATION: All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the Architect's attention before proceeding with the affected part of the work.
- SCALING: Do not scale drawings.

Project Information

Owner	Kelly & John Oh
Address	805 Evelyn Ave. Albany, CA 94706 (925) 989-1983
Telephone	(925) 989-1983
Email	kellyelaineoh@gmail.com john.y.oh@gmail.com
APN #	66 - 2804 - 35
Lot size	3,750 sq. ft.
Year Built	1928
Zoning	R-1
Occupancy	R-3
Constr. type	5B
Sprinklers	none
Landslide/Liquifaction Zone	no
Fire Zone	no
Existing conditions	
1st floor living space	1,197 sq ft
covered front porch	23 sq ft
detached garage	347 sq ft
<u>existing total floor area</u>	<u>1,567 sq ft</u> 42%
<u>existing total lot coverage</u>	<u>1,567 sq ft</u> 42%
Proposed conditions	
1st floor living space	1,237 sq ft
interior stair	52 sq ft
2nd floor living space	742 sq ft
covered front porch	0 sq ft
detached ADU*	411 sq ft
stair exemption	-52 sq ft
<u>proposed total floor area*</u>	<u>1,979 sq ft</u> 52.8%
<u>proposed total lot coverage</u>	<u>1,773 sq ft</u> 47.3%

*ADU does not count toward FAR

Project description

- demolish existing detached garage and replace with new detached ADU

Consultants

Surveyor
Jean-Philippe (JP) Sirey
Moran Engineering, Inc.
1930 Shattuck Ave, Suite A
Berkeley, CA 94704
jpsirey@moraneng.com

Sheet index

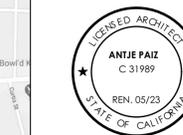
A0.0	project info, general notes
A1.0	(E) + (N) site plans
A1.1	survey
A2.0	(E) + (N) 1st floor plans
A2.1	(N) 2nd floor plan
A2.2	(E) + (N) roof plans
A2.3	(E) garage plans and elevations
A2.4	(N) ADU plans and elevations
A3.0	(E) + (N) south and west elevations
A3.1	(E) + (N) north and east elevations
A4.0	(E) + (N) sections
A6.0	details
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13 pages total

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sheet contents
project info
general notes
site plan

sheet No.

A0.0

project oh
date 02/24/22



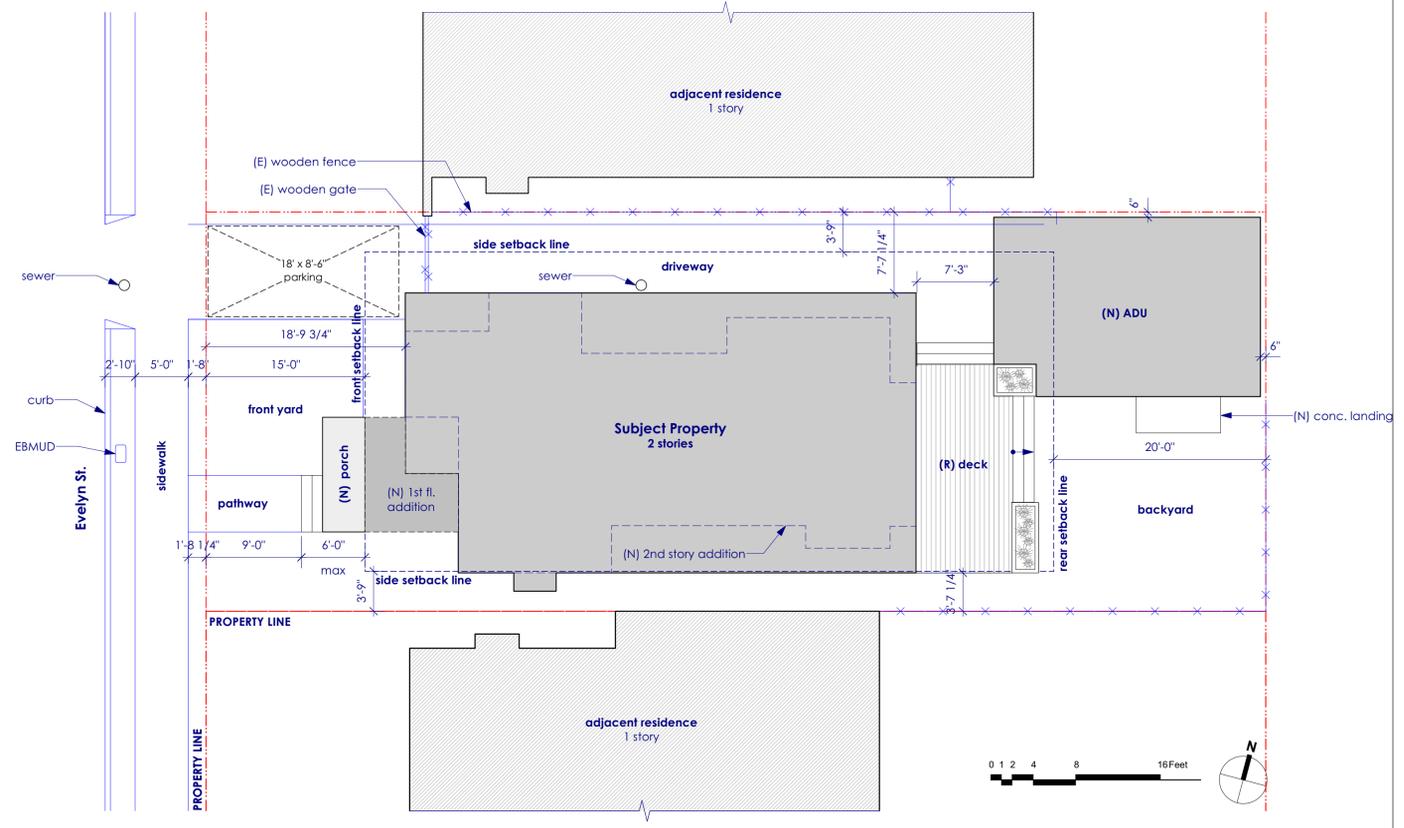
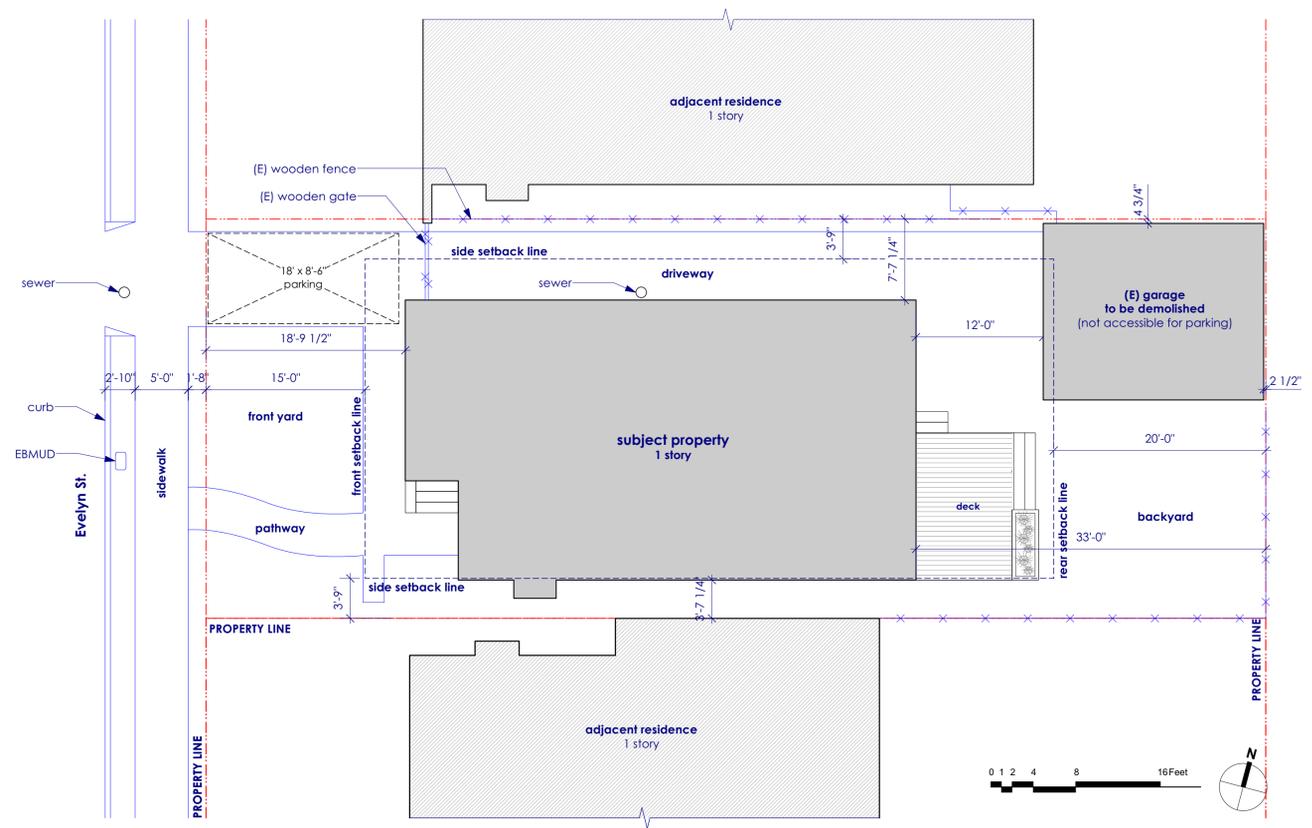
Site plan symbols

- 0 property line
- 0 setback line
- fence
- building limit line
- - - - - contour line
- - - - - sewer line
- - - - - gas line
- - - - - hard drain pipe
- - - - - perforated drain pipe
- hose bibb
- ⊗ downspout

Site plan notes

1. Address numbers must be at least 4" tall and a minimum of 1/2" stroke. Residential numbers must be internally illuminated (backlit) or illuminated by an adjacent light which must be controlled by a photocell and switched only by a breaker so it will remain illuminated all night. The light must not have a screw-base socket and must consume no more than 5 watts of power and may not be used for general porch illumination.
2. Site Plan information is based on assessor's parcel data obtained from SF Planning Dept, site observation and measurement, and aerial imagery.

Oh residence
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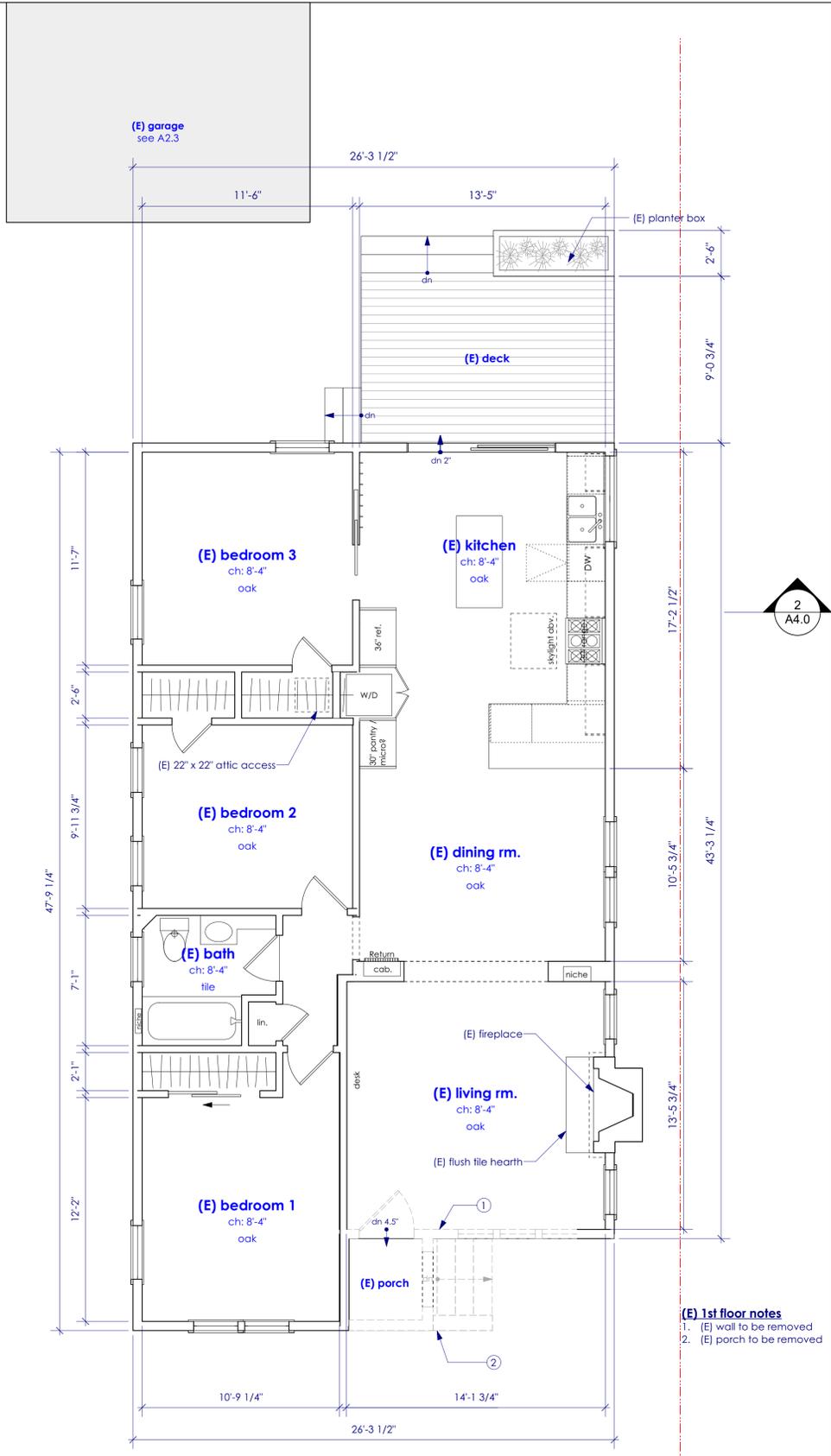
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sheet contents: (E) + (N) 1st floor plans

- Wall symbols**
- (E) wall to remain, size varies
 - (E) conc. wall to remain
 - (E) wall to be removed
 - (N) 2x wall - uninsulated
 - (N) 2x4 wall - insulated
 - (N) 2x6 wall - insulated
 - (N) conc. wall

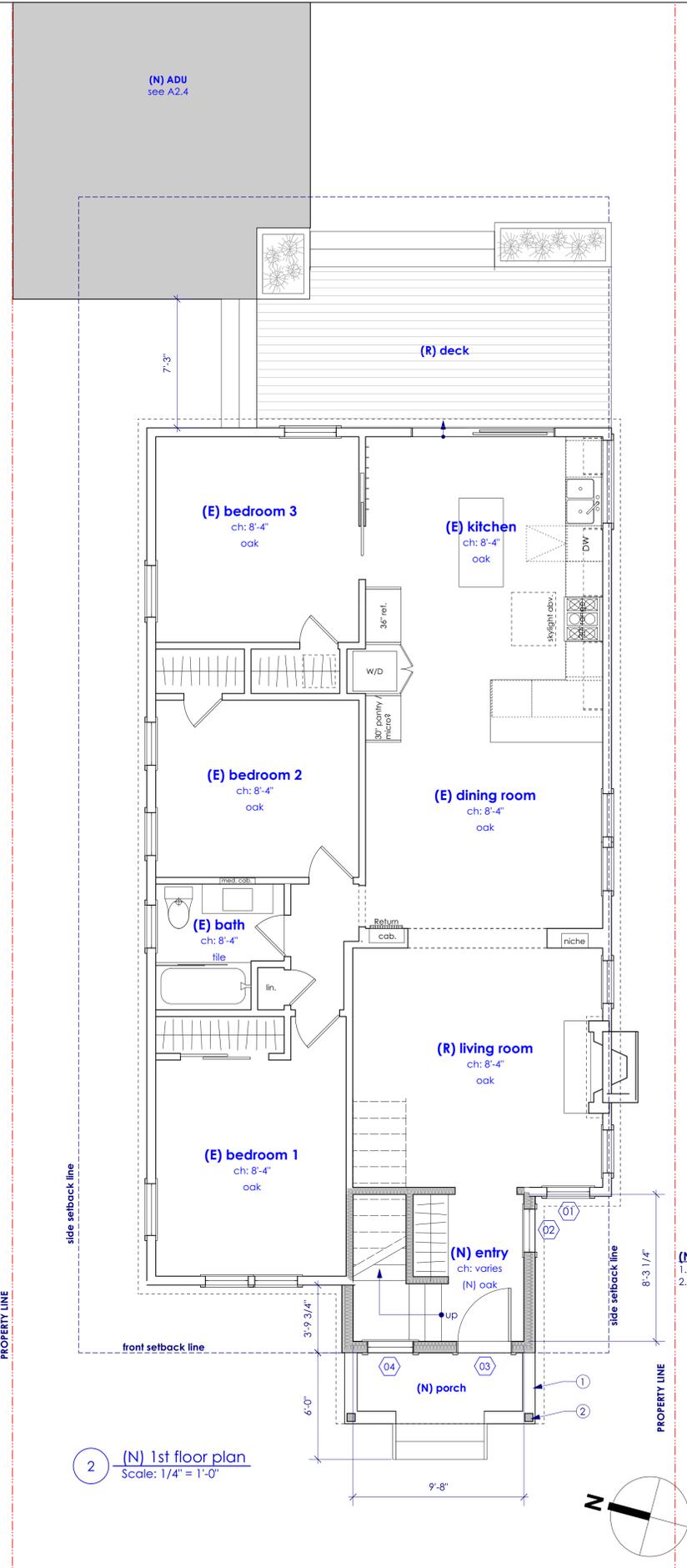
- Sheet notes**
- A All (N) or open (E) 2x4 exterior walls or walls between conditioned and unconditioned space to have min R-13 insulation value. See Specs.
 - B All (N) or open (E) 2x6 exterior walls or walls between conditioned and unconditioned areas to have min. R-20 insulating value. See Specs.
 - C Interior walls to be insulated, as indicated on the plans. See Specs.
 - D Contractor to provide solid blocking as req. for wall mounted cabinets & fixtures.
 - E Maintain minimum 18" clearance to ground. Cover the ground with a 6 mil plastic vapor barrier, lap and glue seams.
 - F Provide adequate crawlspace cross ventilation, per CBC 1203.4. Net ventilation area to be equal to 1 sf per 150 sf of crawlspace area. That area may be reduced to 1/1500 of the underfloor area where a Class I vapor retarder is provided.
 - G Provide one layer of 5/8" Type-x GWB on any exposed stair undercarriage.
 - H (N) handrail, per CBC 1014 and CRC R311, where applicable. See detail 10/A6.0



1 (E) 1st floor plan
Scale: 1/4" = 1'-0"



- (E) 1st floor notes**
1. (E) wall to be removed
 2. (E) porch to be removed



2 (N) 1st floor plan
Scale: 1/4" = 1'-0"

- (N) 1st floor notes**
1. (N) low wall
 2. (N) 6x6 post



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sheet contents

(E) + (N) 2nd floor plan

sheet No.

A2.1

project oh

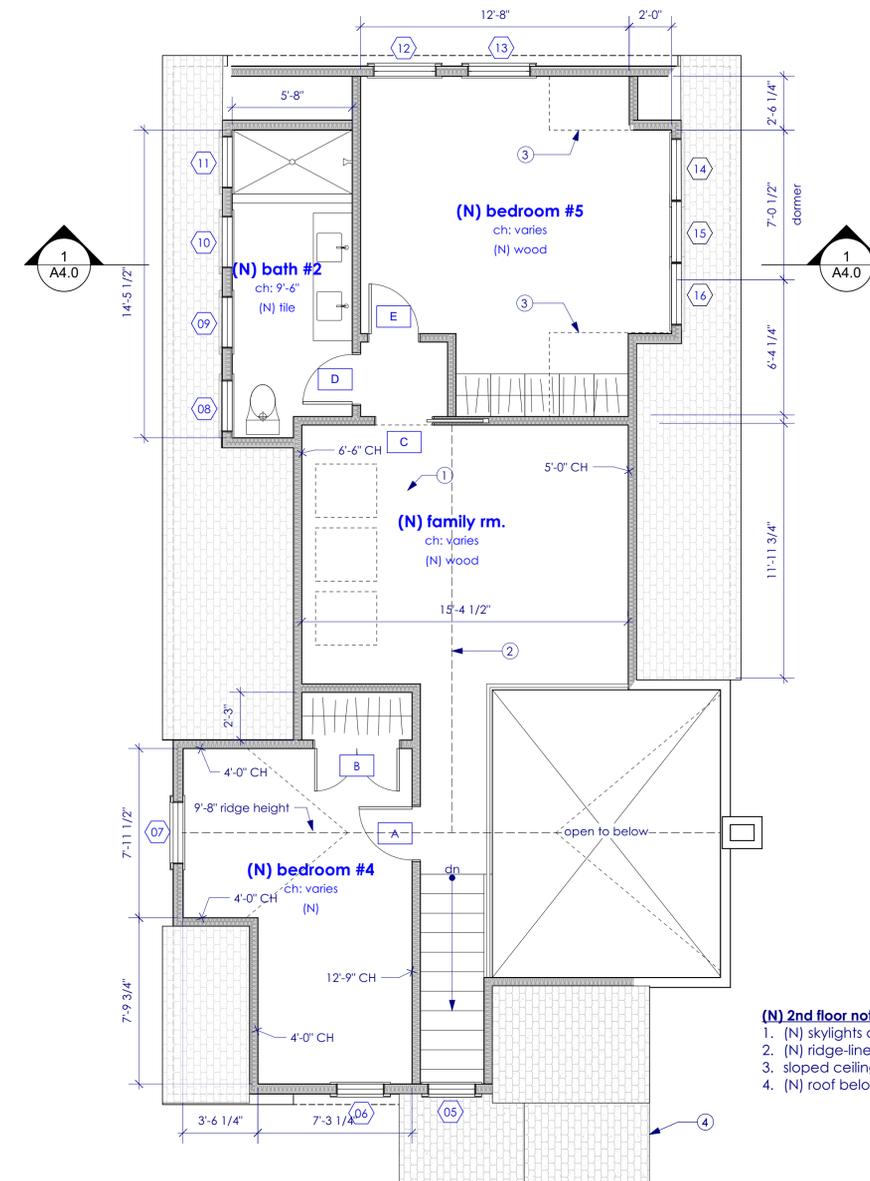
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Wall symbols

- (E) wall to remain, size varies
- (E) conc. wall to remain
- (E) wall to be removed
- (N) 2x wall - uninsulated
- (N) 2x4 wall - insulated
- (N) 2x6 wall - insulated
- (N) conc. wall

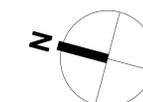
Sheet notes

- A All (N) or open (E) 2x4 exterior walls or walls between conditioned and unconditioned space to have min R-13 insulation value. See Specs.
- B All (N) or open (E) 2x6 exterior walls or walls between conditioned and unconditioned areas to have min. R-20 insulating value. See Specs.
- C Interior walls to be insulated, as indicated on the plans. See Specs.
- D Contractor to provide solid blocking as req. for wall mounted cabinets & fixtures.
- E (N) +42" guardrail, per CBC 1015 and CRC R312, where applicable. See details 03/A6.0 and 04/A6.0
- F (N) handrail, per CBC 1014 and CRC R311, where applicable. See detail 10/A6.0
- G Shower controls must be located such that they are reachable from outside of the shower.
- H Shower/tub enclosures shall use tempered glass, and swing outward to maintain a 22" unobstructed opening width. [CPC §408.5]
- I Shower stall to have a minimum finished interior of 1.024 sq. in. and shall be capable of encompassing a 30" Ø circle. The minimum required area and dimensions shall be measured at a height equal to the top of threshold, no less than 70" above the drain outlet. [CPC §408.5]
- J Provide a minimum of 15" clearance from centerline of toilet to any wall or obstruction. Provide a minimum of 24" in front of toilet. [CPC §402.5]

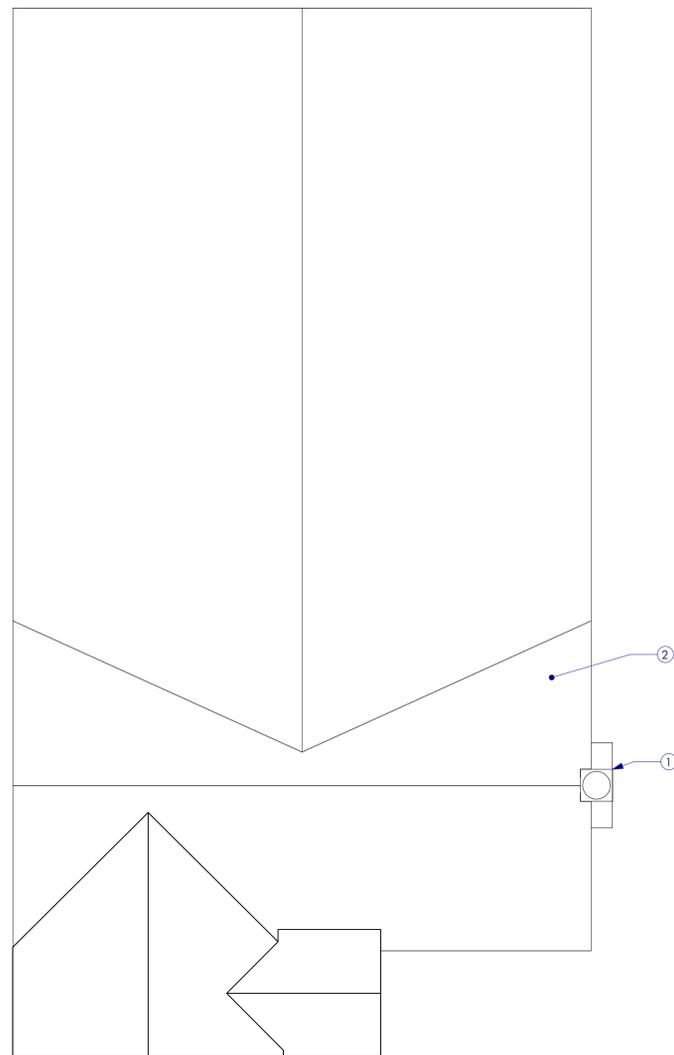


- (N) 2nd floor notes**
1. (N) skylights above
 2. (N) ridge-line above
 3. sloped ceiling above
 4. (N) roof below

1 (N) 2nd floor plan
Scale: 1/4" = 1'-0"

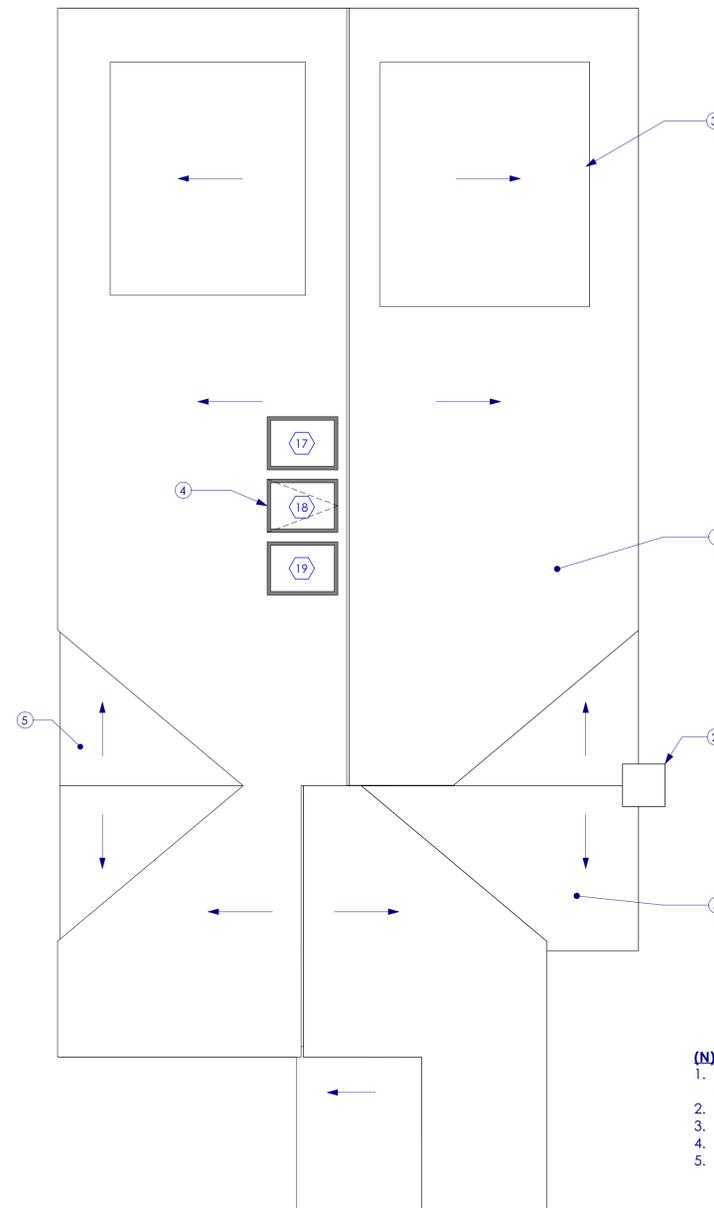


Notes



- (E) roof notes**
1. (E) chimney
 2. (E) asphalt shingle roofing

1 (E) roof plan
Scale: 1/4" = 1'-0"



- (N) roof notes**
1. (N) asphalt shingle roofing, typ.
 2. (E) chimney
 3. (N) domer roof
 4. (N) skylights
 5. (E) roof

2 (N) roof plan
Scale: 1/4" = 1'-0"

Roof plan notes

1. All (N) roofing to be Class 'A' flame spread rating, as listed by an approved testing agency
2. Match (E) roofing. Verify materials meets CBC 1505.2 for Class 'A' flame spread
3. Match (E) eave profile for all (N) roof construction, u.o.n. Follow provisions of Chapter 7A WUI for all areas of work and modify (E) as required for compliance.
4. (N) gutters and downspouts to match (E), typ. Provide gutter guards per CBC Chapter 7A WUI.
5. Provide adequate roof venting in attics and enclosed rafter spaces, u.o.n. per CBC 1203.2. The net free ventilation area shall not be less than 1/150 the area vented.
6. Vents, including continuous soffit, soffit, dormer, or gable end, to be Brandguard vents, or approved equal. Provide net free ventilation area per note 10 above. Vents shall be of noncombustible wire mesh w/openings no greater than 1/8", per CBC Chapter 7A WUI.
7. Ensure the top of chimney is min. 2' higher than anything within 10' radius

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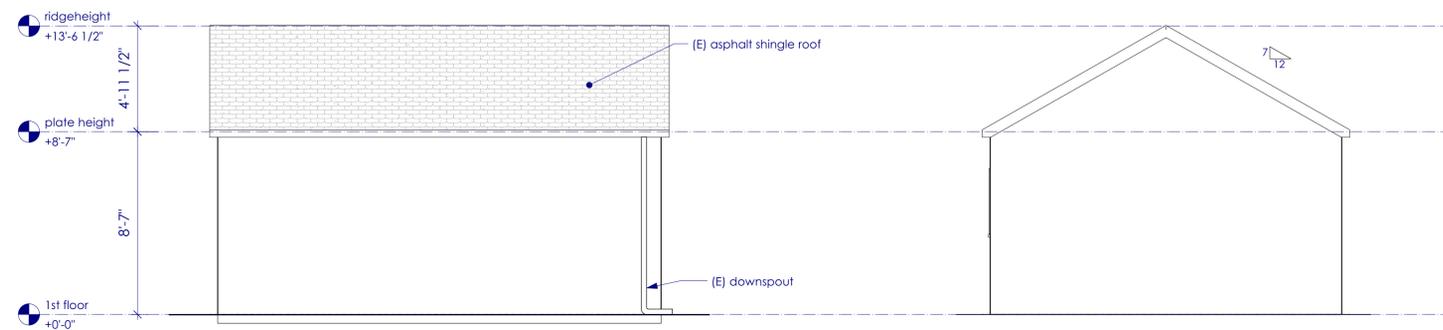
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(E) + (N) roof plans

sheet No.

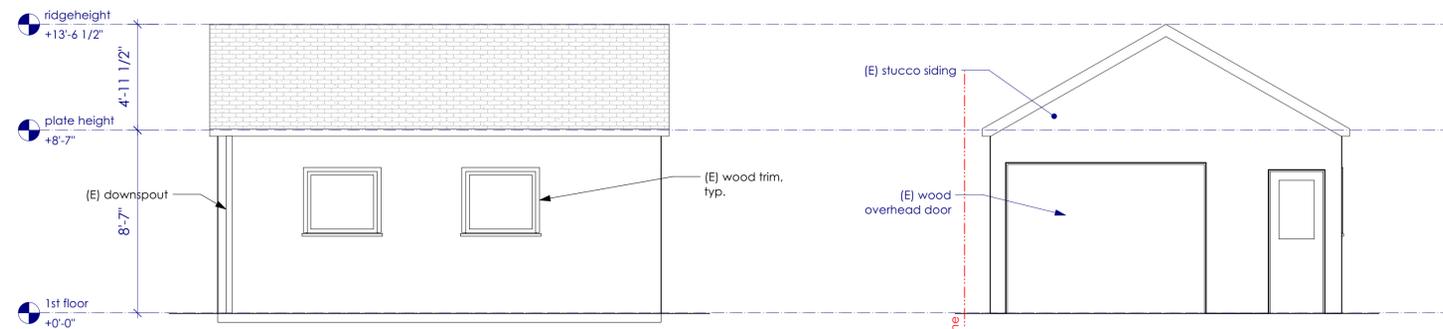
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project oh
date 02/24/22



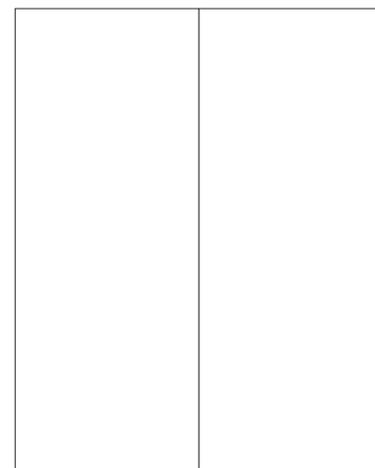
6 (E) garage north elevation
Scale: 1/4" = 1'-0"

5 (E) garage east elevation
Scale: 1/4" = 1'-0"

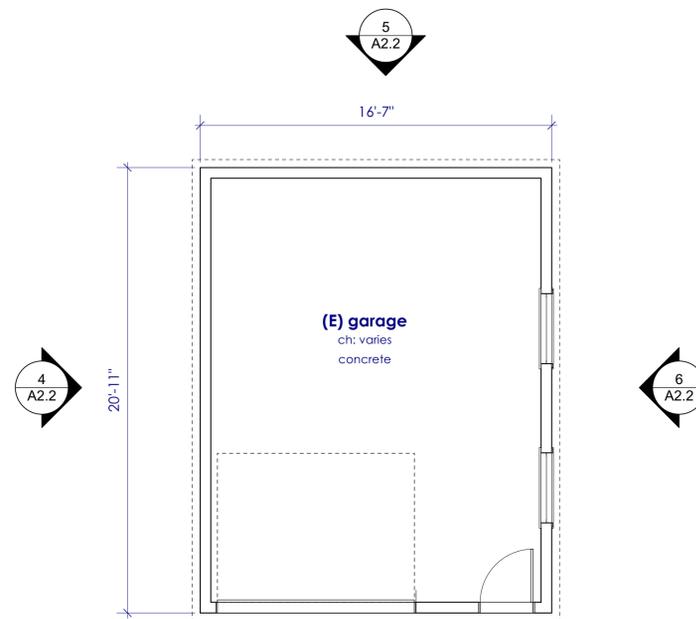


4 (E) garage south elevation
Scale: 1/4" = 1'-0"

3 (E) garage west elevation
Scale: 1/4" = 1'-0"

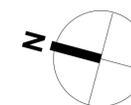


2 (E) garage roof plan
Scale: 1/4" = 1'-0"



1 (E) garage plan
Scale: 1/4" = 1'-0"

0 1 2 4 8 16 Feet



Wall symbols

- (E) wall to remain, size varies
- (E) conc. wall to remain
- (E) wall to be removed
- (N) 2x wall - uninsulated
- (N) 2x4 wall - insulated
- (N) 2x6 wall - insulated
- (N) conc. wall



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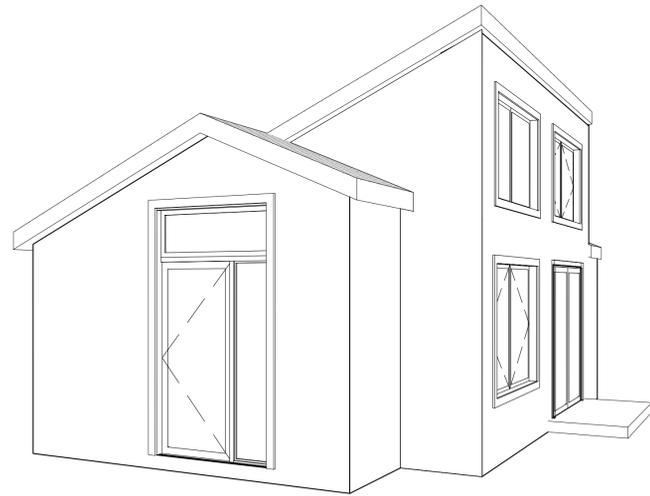
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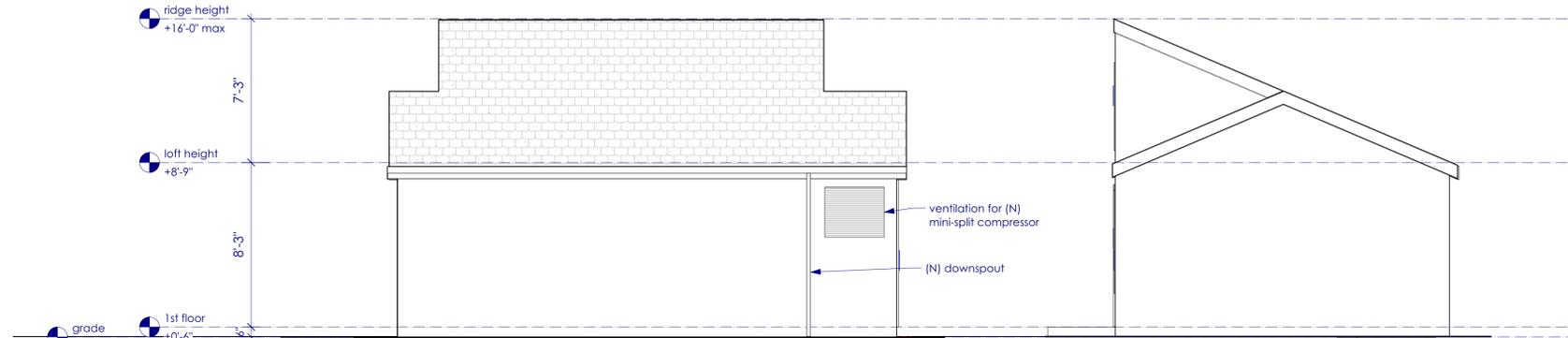
sheet contents
(E) garage plans
(E) garage elevations

sheet No. **A2.3**

project Oh
date 02/24/22

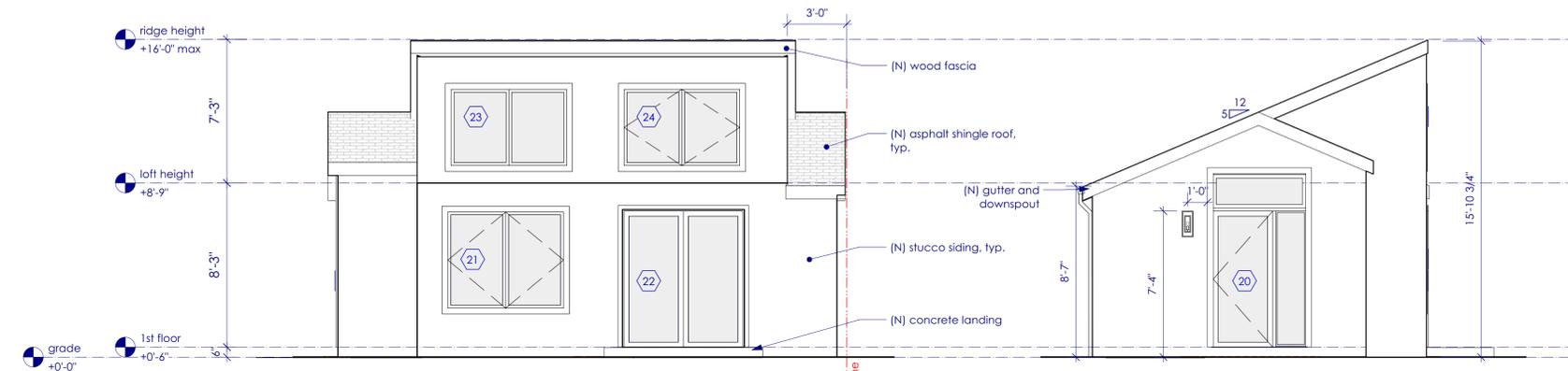


8 ADU perspective



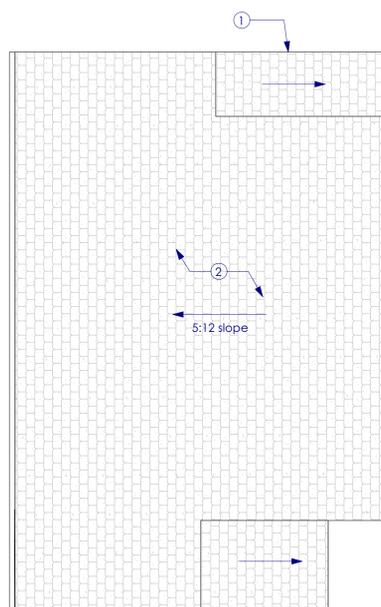
7 (N) ADU north elevation
Scale: 1/4" = 1'-0"

6 (N) ADU east elevation
Scale: 1/4" = 1'-0"



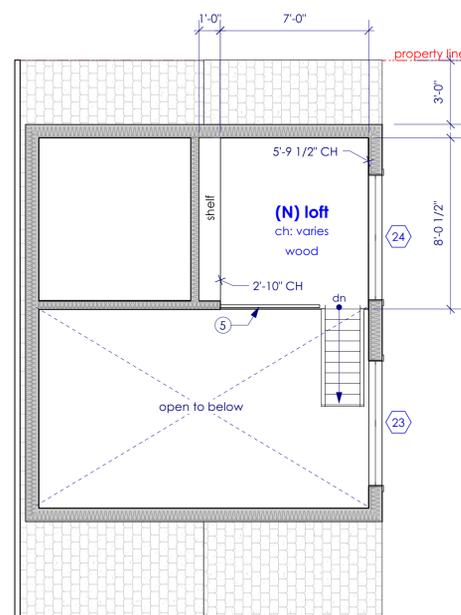
5 (N) ADU south elevation
Scale: 1/4" = 1'-0"

4 (N) ADU west elevation
Scale: 1/4" = 1'-0"



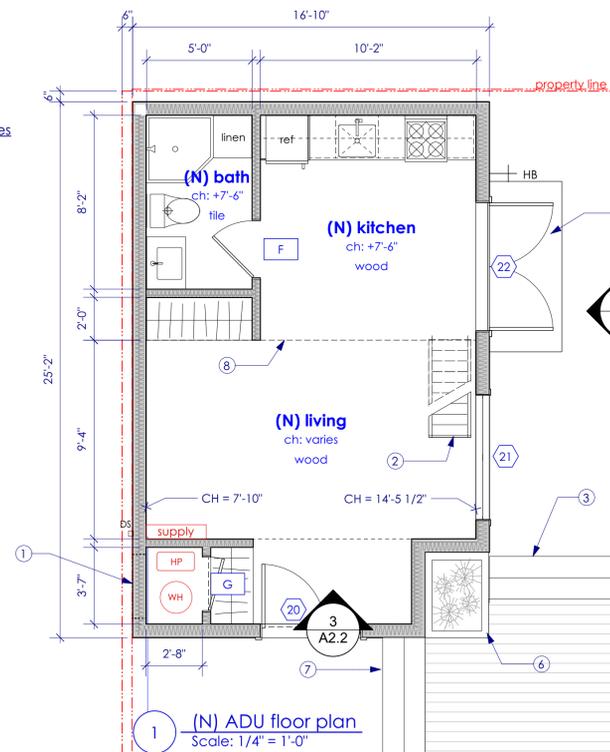
3 (N) ADU roof plan
Scale: 1/4" = 1'-0"

(N) ADU roof plan notes
1. (N) roof to match (E) roofline
2. (N) roof to match (E) slope



2 ADU loft plan
Scale: 1/4" = 1'-0"

(N) ADU floor plan notes
1. vent for heat pump above height of water heater
2. (N) ships ladder, see specs.
3. (R) deck and stairs
4. (N) concrete landing
5. (N) guardrail, see sheetnote D
6. (N) planter
7. (N) stairs
8. (N) loft above



1 (N) ADU floor plan
Scale: 1/4" = 1'-0"

- Wall symbols**
- (E) wall to remain, size varies
 - (E) conc. wall to remain
 - (E) wall to be removed
 - (N) 2x wall - uninsulated
 - (N) 2x4 wall - insulated
 - (N) 2x6 wall - insulated
 - (N) conc. wall

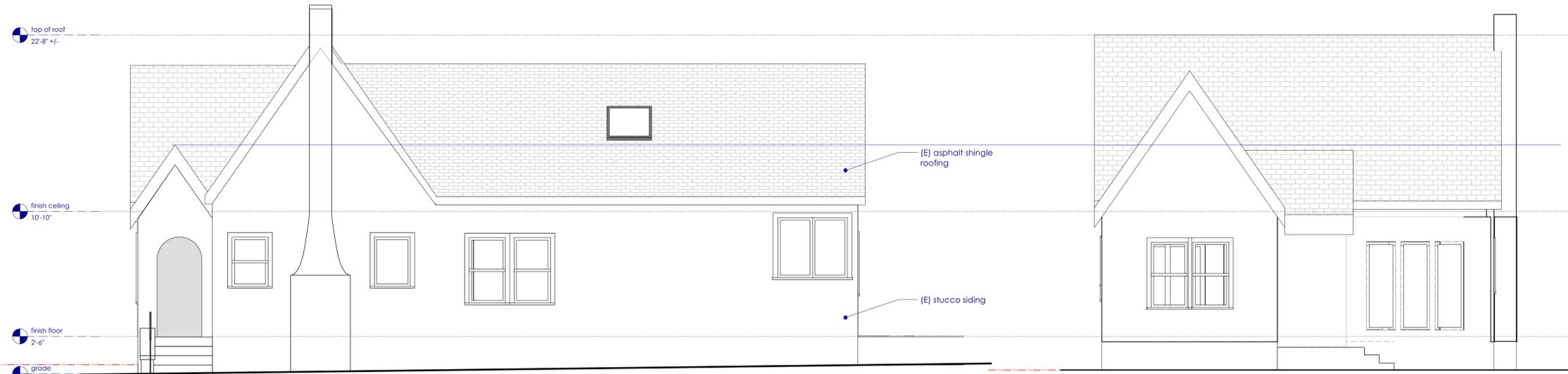
- Sheet notes**
- A All (N) or open (E) 2x6 exterior walls or walls between conditioned and unconditioned areas to have min. R-20 insulating value. See Specs.
 - B Interior walls to be insulated, as indicated on the plans. See Specs.
 - C Contractor to provide solid blocking as req. for wall mounted cabinets & fixtures.
 - D (N) +42" guardrail, per CBC 1015 and CRC R312, where applicable. See detail X/A6.X
 - E Shower controls must be located such that they are reachable from outside of the shower.
 - F Shower/tub enclosures shall use tempered glass, and swing outward to maintain a 22" unobstructed opening width. [CPC §408.5]
 - G Shower stall to have a minimum finished interior of 1,024 sq. in. and shall be capable of encompassing a 30" Ø circle. The minimum required area and dimensions shall be measured at a height equal to the top of threshold, no less than 70" above the drain outlet. [CPC §408.5]
 - H Provide a minimum of 15" clearance from centerline of toilet to any wall or obstruction. Provide a minimum of 24" in front of toilet. [CPC§402.5]



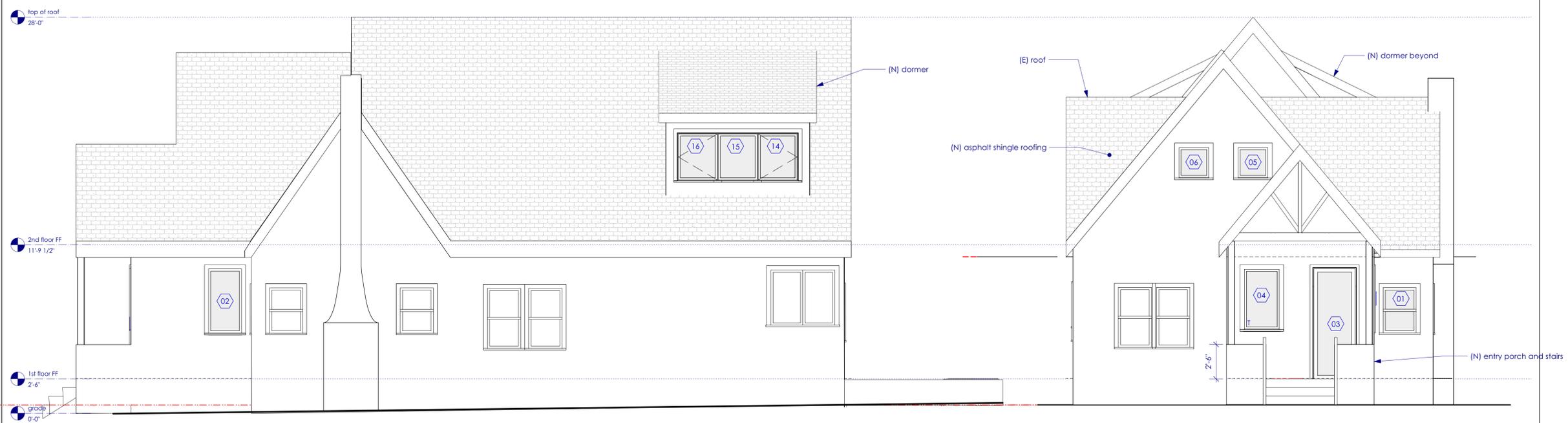


Elevation notes

1. Match (E) roofing
2. Match (E) siding. Patch as required for a consistent appearance.
3. Match (E) trim, u.o.n.
4. (N) gutters and downspouts to match (E), typ.
5. (E) elec. meters to remain
6. (E) gas meters to remain
7. (N) tempered glazing marked with a "T". See schedule.



1 (E) south elevation
Scale: 1/4" = 1'-0"



4 (N) west elevation
Scale: 1/4" = 1'-0"

3 (N) south elevation
Scale: 1/4" = 1'-0"

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sheet contents	(E) elevations
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date	02/24/22



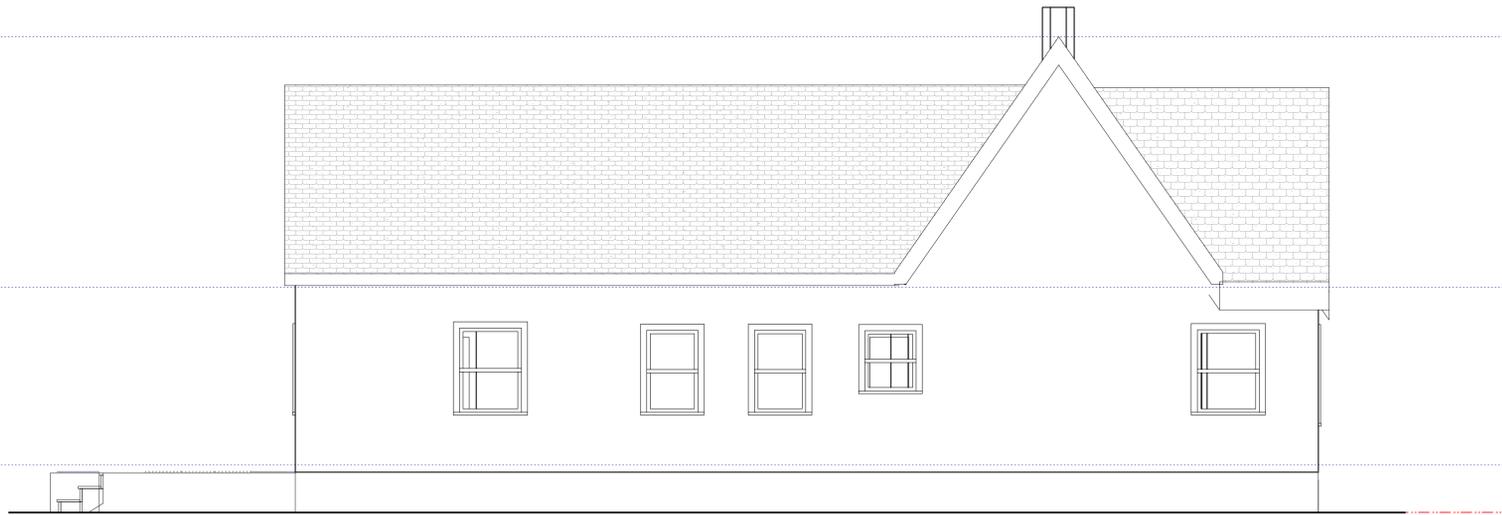
Oh residence
805 Evelyn Ave. Albany, CA. 94706
66-2804-35

top of roof
22'-8" +/-

finish ceiling
10'-10"

finish floor
2'-6"

grade
0'-0"



1 (E) north elevation
Scale: 1/4" = 1'-0"



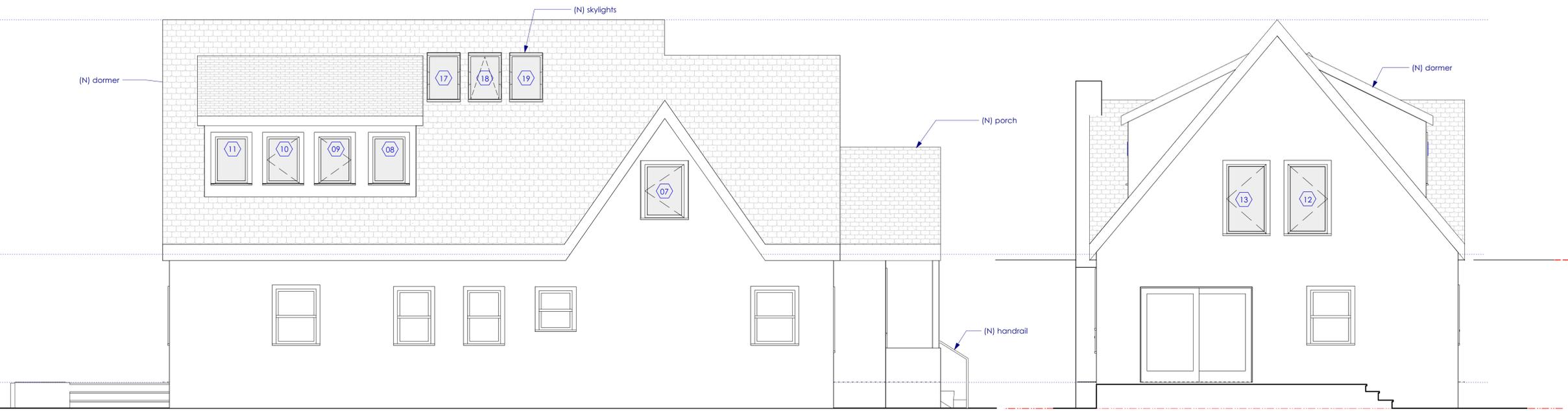
2 (E) east elevation
Scale: 1/4" = 1'-0"

top of roof
28'-0"

2nd floor FF
11'-9 1/2"

1st floor FF
2'-6"

grade
0'-0"



3 (N) northelevation
Scale: 1/4" = 1'-0"

4 (N) east elevation
Scale: 1/4" = 1'-0"

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sheet contents (E) + (N) North elevs.

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A3.1

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1 (E) axonometric view
Scale: NTS



2 (N) axonometric view
Scale: NTS

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sheet contents (E) + (N) 3D axons

sheet No.

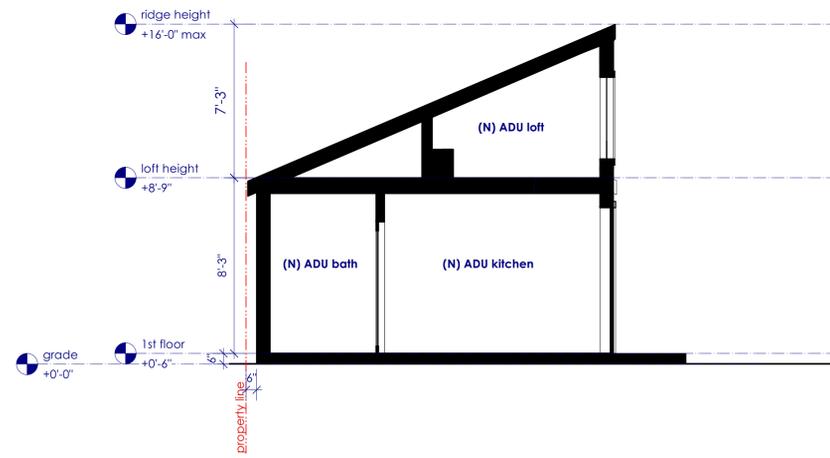
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project oh
date 02/24/22

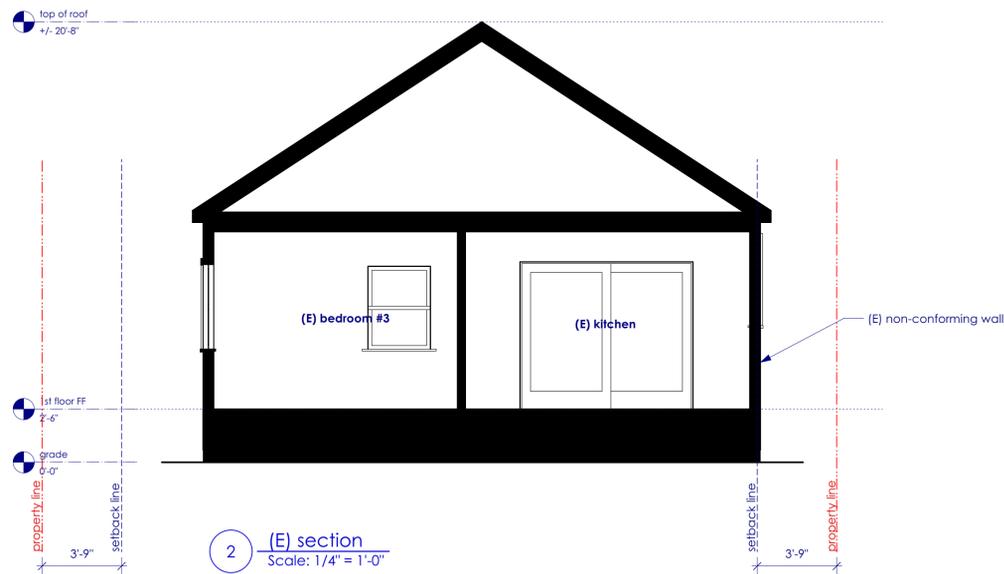


Section notes

1. Min R-30 closed cell formaldehyde-free polyurethane spray-foam (SPF) insulation
2. Min R-19 fiberglass batt insulation
3. Min. R-13 dense packed cellulose insulation
4. Roxul SafeNSound acoustic insulation



3 ADU section
Scale: 1/4" = 1'-0"



2 (E) section
Scale: 1/4" = 1'-0"



1 (N) section
Scale: 1/4" = 1'-0"

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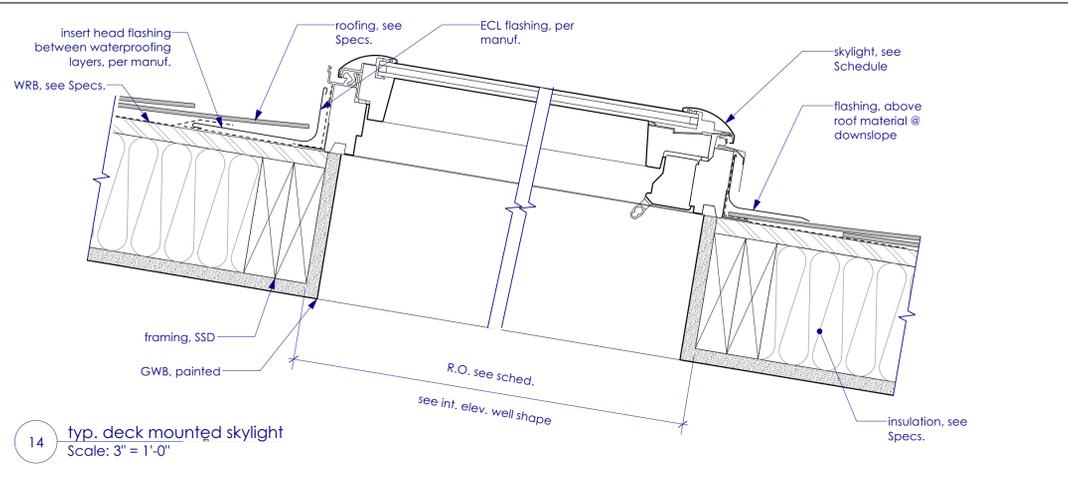
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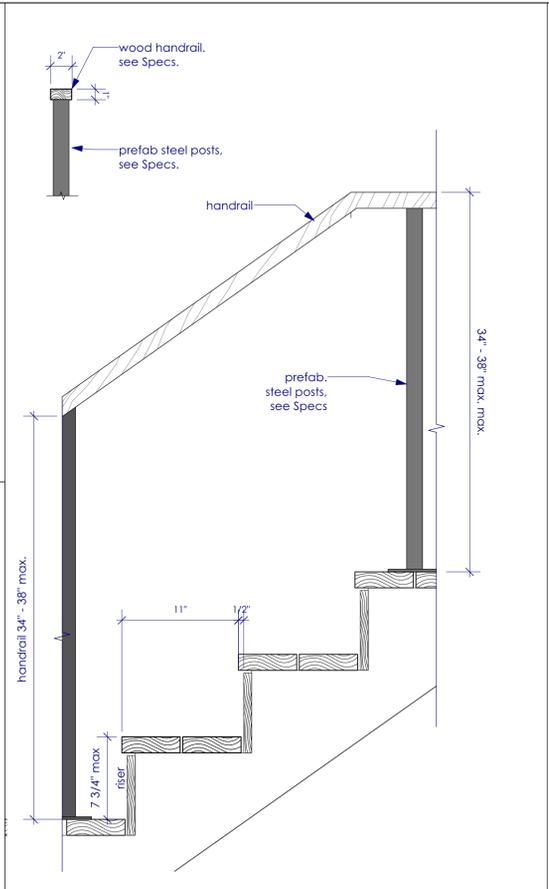
sheet contents (E) + (N) sections

sheet No. **A4.0**

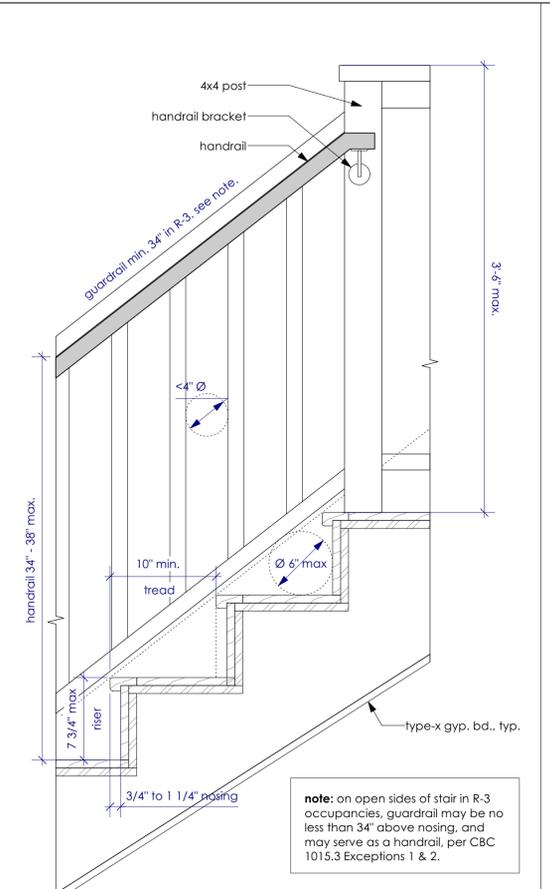
project Oh
date 02/24/22



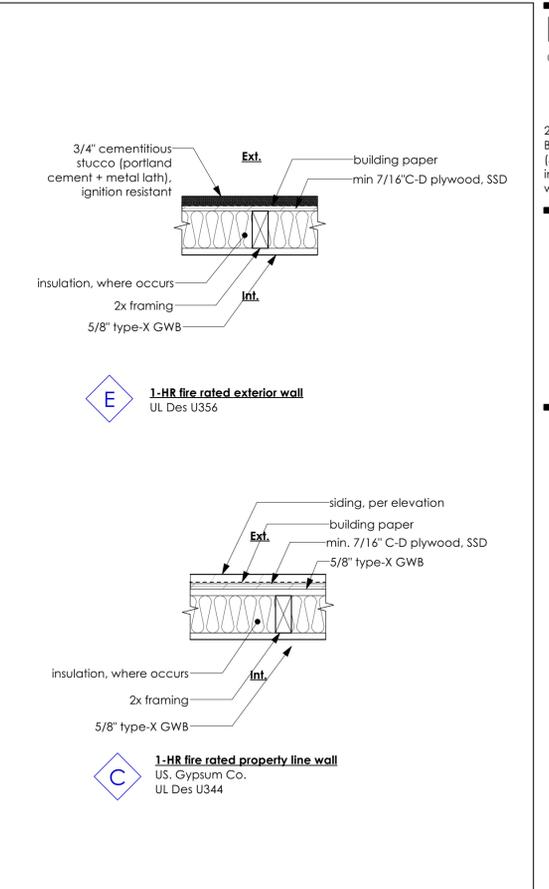
14 typ. deck mounted skylight
Scale: 3" = 1'-0"



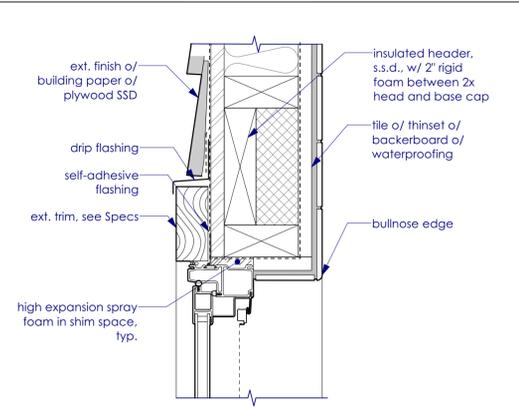
07 handrail @ ext. stair
Scale: 1 1/2" = 1'-0"



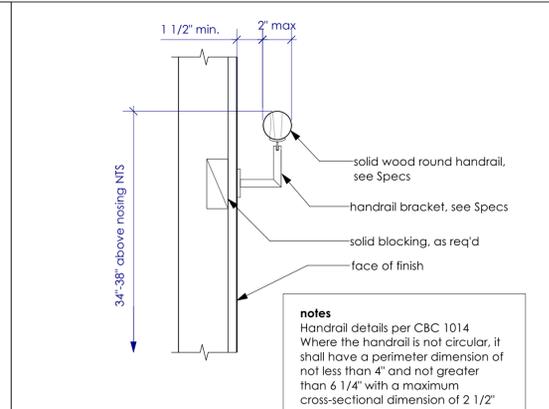
04 typ. guardrail @ int. stair
Scale: 1 1/2" = 1'-0"



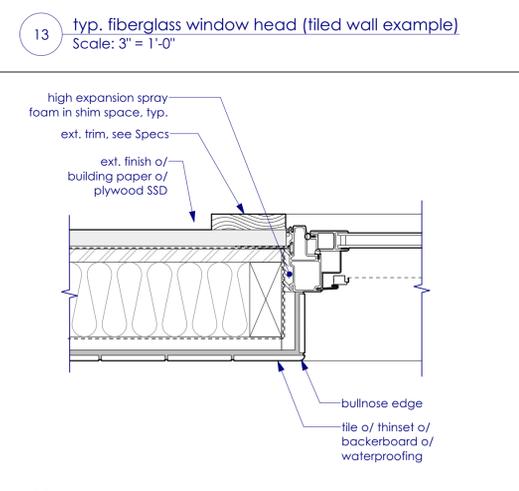
02 typ. fire-rated wall types
Scale: 1 1/2" = 1'-0"



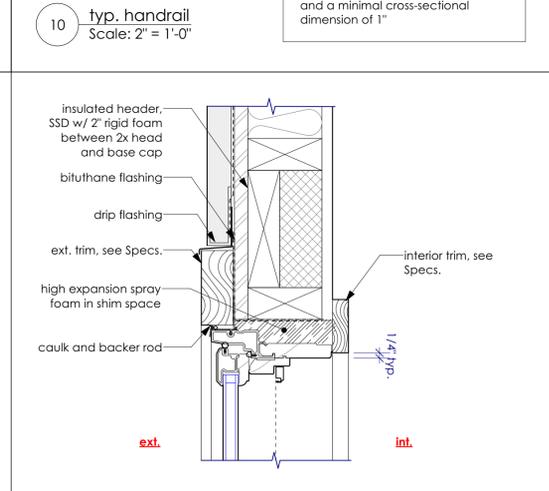
13 typ. fiberglass window head (tiled wall example)
Scale: 3" = 1'-0"



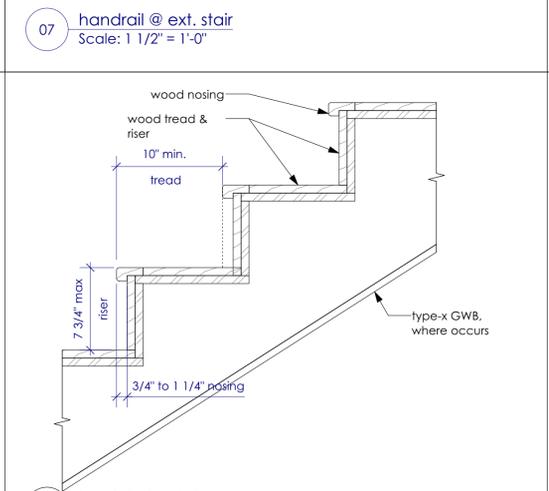
10 typ. handrail
Scale: 2" = 1'-0"



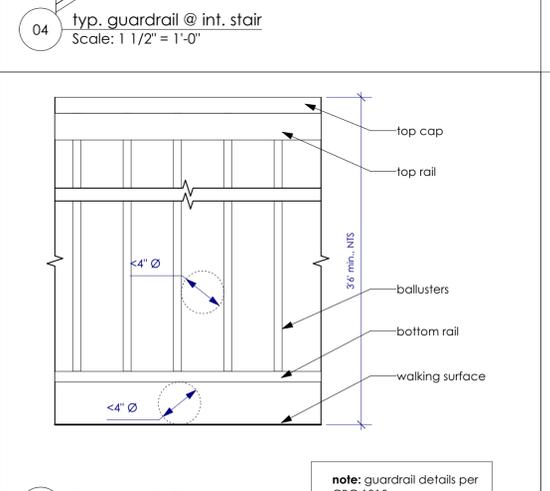
12 typ. fiberglass window jamb (tiled wall example)
Scale: 3" = 1'-0"



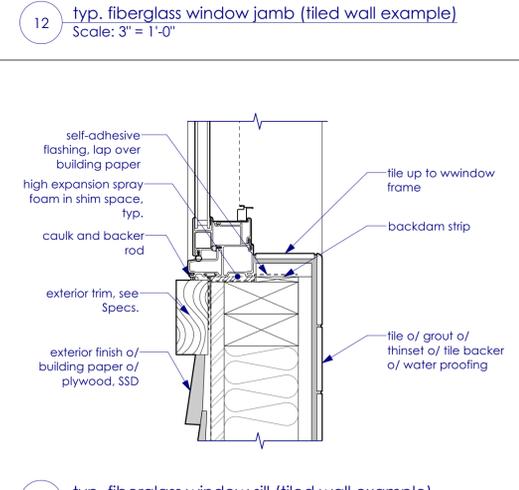
09 typ. wood/fiberglass window head
Scale: 3" = 1'-0"



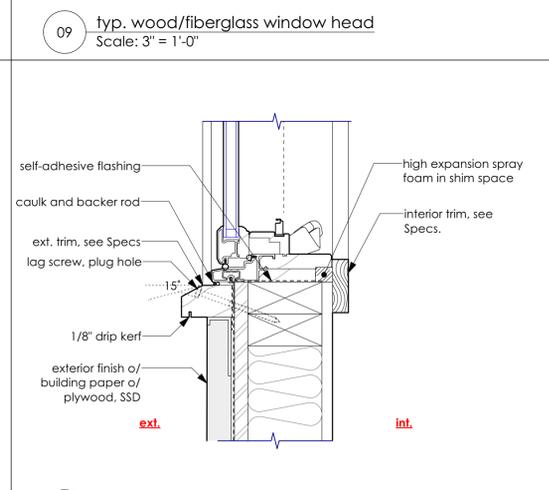
06 typ. interior stair
Scale: 1 1/2" = 1'-0"



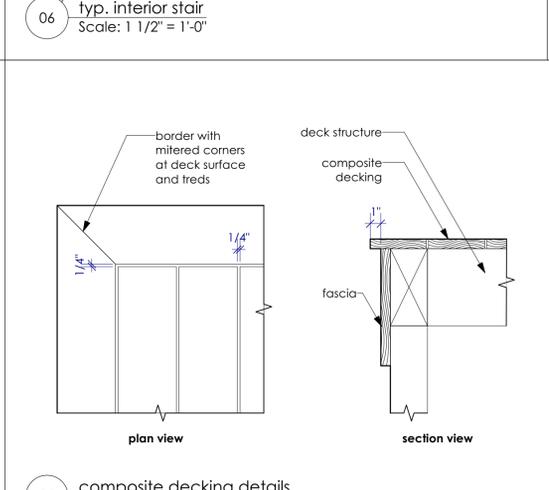
03 typ. guardrail
Scale: 1 1/2" = 1'-0"



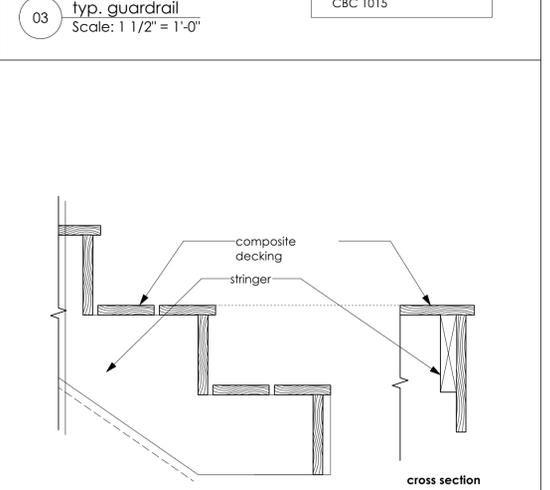
11 typ. fiberglass window sill (tiled wall example)
Scale: 3" = 1'-0"



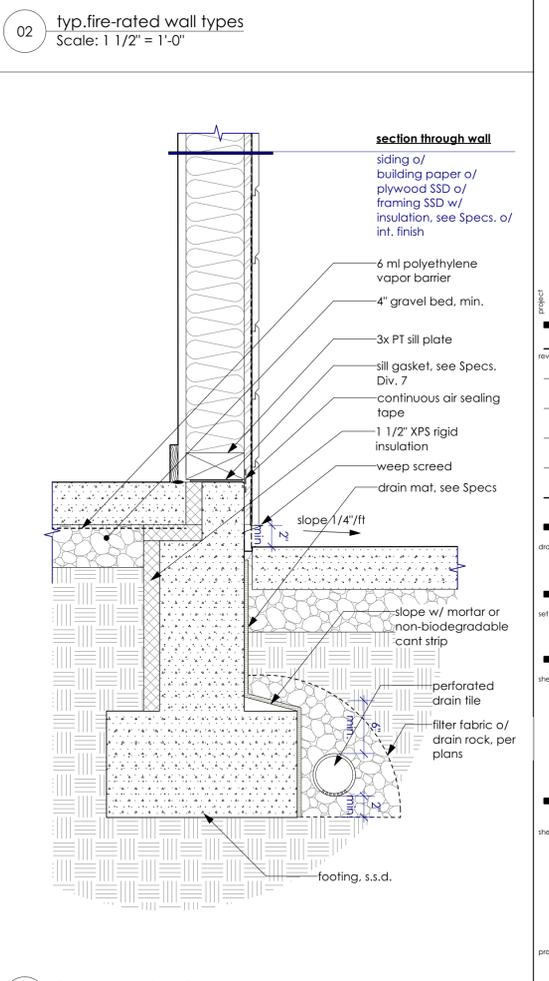
08 typ. wood/fiberglass window sill
Scale: 3" = 1'-0"



05 composite decking details
Scale: 1 1/2" = 1'-0"



01 typ. foundation @ s.o.g.
Scale: 1 1/2" = 1'-0"



01 typ. foundation @ s.o.g.
Scale: 1 1/2" = 1'-0"



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Window & Skylight Schedule

#	Location	Mfr	Series	Sash Operation	R.O. W	R.O. H	H.H.	Glazing	Egress	Comments
01	(R) living	Marvin	elevate	double hung	2'5 1/2"	3'4"	3'4"		FALSE	
02	(N) entry	Marvin	elevate	fixed	2'5 1/2"	4'8 1/2"	8'0"		FALSE	
04	(N) entry	Marvin	elevate	fixed	2'8 3/8"	4'6"	10'6"	temp.	FALSE	
05	(N) stair	Marvin	elevate	awning	2'4"	2'4"	8'0"		FALSE	
06	(N) stair	Marvin	elevate	awning	2'4"	2'4"	8'0"		FALSE	
07	(N) bedroom #4	Marvin	elevate	casement	3'0"	4'0"	7'0"		TRUE	
08	(N) bath #2	Marvin	elevate	fixed	2'6"	3'6"	9'0"		FALSE	
09	(N) bath #2	Marvin	elevate	casement	2'6"	3'6"	9'0"		FALSE	
10	(N) bath #2	Marvin	elevate	casement	2'6"	3'6"	9'0"		FALSE	
11	(N) bath #2 shower	Marvin	*essential*	fixed	2'6"	3'6"	9'0"	temp	FALSE	
12	(N) bedroom #5	Marvin	elevate	casement	3'0 1/2"	5'2"	7'0"		TRUE	
13	(N) bedroom #5	Marvin	elevate	casement	3'0 1/2"	5'2"	7'0"		TRUE	
14	(N) bedroom #5	Marvin	elevate	casement	3'0"	3'6"	9'0"		FALSE	mulled assembly. See elevation
15	(N) bedroom #5	Marvin	elevate	fixed	3'0"	3'6"	9'0"		FALSE	mulled assembly. See elevation
16	(N) bedroom #5	Marvin	elevate	casement	3'0"	3'6"	9'0"		FALSE	mulled assembly. See elevation
21	(N) ADU living	Weathershield	contemporary	double casement	6'0"	5'0"	6'10"		FALSE	
23	(N) ADU above living	Weathershield	contemporary	double fixed	6'0"	4'0"	14'0"		FALSE	
24	(N) ADU loft	Weathershield	contemporary	double casement	6'0"	4'0"	14'0"		FALSE	
17	(N) family	Velux	FSM08	fixed	30 1/16"	54 7/16"	NA			deck mounted
18	(N) family	Velux	VSEM08	electric operable	30 1/16"	54 7/16"	NA			deck mounted
19	(N) family	Velux	FSM08	fixed	30 1/16"	54 7/16"	NA			deck mounted
General Notes										
1. Contractor to field verify all rough opening dimensions prior to ordering										
2. All glazing to be double pane, clear, lowE2, UON. Max U-value=.30.										
3. See exterior elevation for operation and divided lite configuration.										
Window Notes										
Interior: black										
Exterior: black										
Hardware: black										
Skylight Notes										
Max u-factor: .55										

Ext. Door Schedule

#	Location	Mfr	Series	Operation	R.O. W	R.O. H	H.H.	Slab Style	Comments
03	(N) entry	TBD		right hand swing	3'0"	8'0"	8'0"		N/A
20	(N) ADU entry	Weathershield	contemporary	right hand swing	3'0"	6'10"	6'10"		N/A
22	(N) ADU kitchen	Weathershield	contemporary	double swing	6'0"	6'10"	6'10"		N/A
General Notes									
1. Contractor to field verify all rough opening dimensions prior to ordering									
2. All glazing to be tempered, double pane, clear, lowE2, UON. Max U-value .30. Solid doors (max glazing 25%) max u-value=.2									
3. See exterior elevation for operation and divided lite configuration.									
Door Notes									
Interior:									
Exterior:									
Hardware:									

Int. Door Schedule

#	Location	Width	Height	Operation	Slab Style	Hardware	H. function	H. finish	Comments
20	(N) ADU entry	3'0"	6'10"	right hand swing	Panel	Weathershield	contemporary		N/A
22	(N) ADU kitchen	6'0"	6'10"	double swing	Panel	Weathershield	contemporary		N/A
A	(N) bedroom #4	2'6"	6'8"	right hand swing	Panel	privacy			N/A
B	(N) bedroom #4	4'0"	6'8"	double swing	Panel	privacy			N/A
C	(N) family room	2'8"	6'8"	pocket	Panel	dummy			N/A
D	(N) bath #4	2'4"	6'8"	left hand swing	Panel	privacy			N/A
E	(N) bedroom #5	2'4"	6'8"	left hand swing	Panel	privacy			N/A
F	(N) ADU bath	2'8"	6'8"	left hand swing	Panel	privacy			N/A
G		2'6"	6'8"		Panel				N/A
Interior Door Notes									
1. All interior doors to be single panel, square sticking, UON.									
2. Hinge finish to match hardware, typ.									

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