

NEW ACCESSORY DWELLING UNIT AT 911 MADISON STREET



OCULUS

Architecture
Design

1501 Powell Street
Studio L
Emeryville CA 94608
p: 510 594-1814
f: 510 594-1847



Revisions

PLANNING: 2/9/22

Proposed Accessory Dwelling Unit at:
911 MADISON ST. ALBANY CA
 Owner: J. Michael Tucker & Kira Abrams A.P.#: 66-2722-43

Drawing Title
COVER SHEET

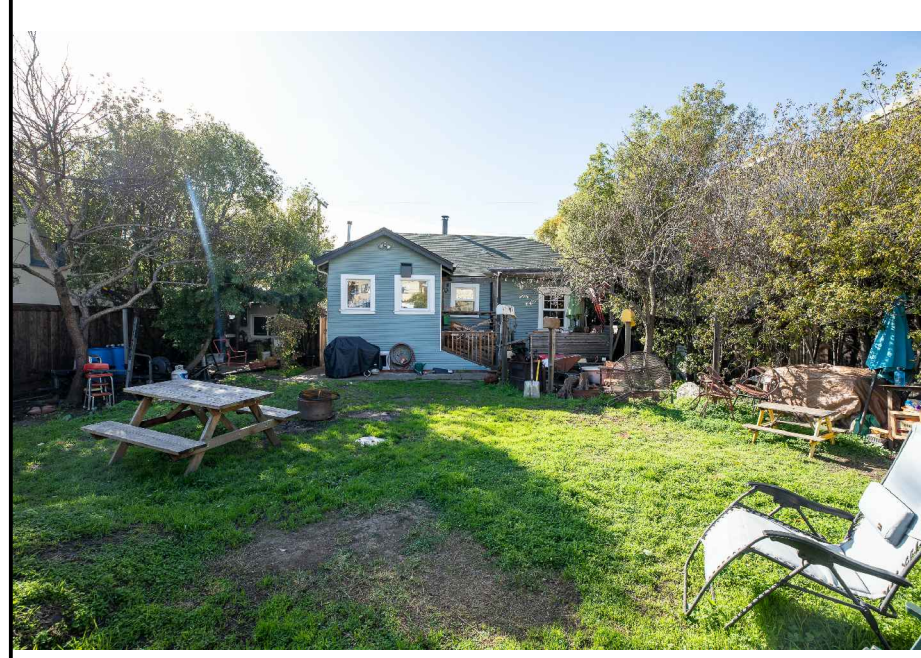
By: JNM
Date: 1/15/22
Scale: NO SCALE
Drawing No.

A0.1
NOT FOR CONSTRUCTION

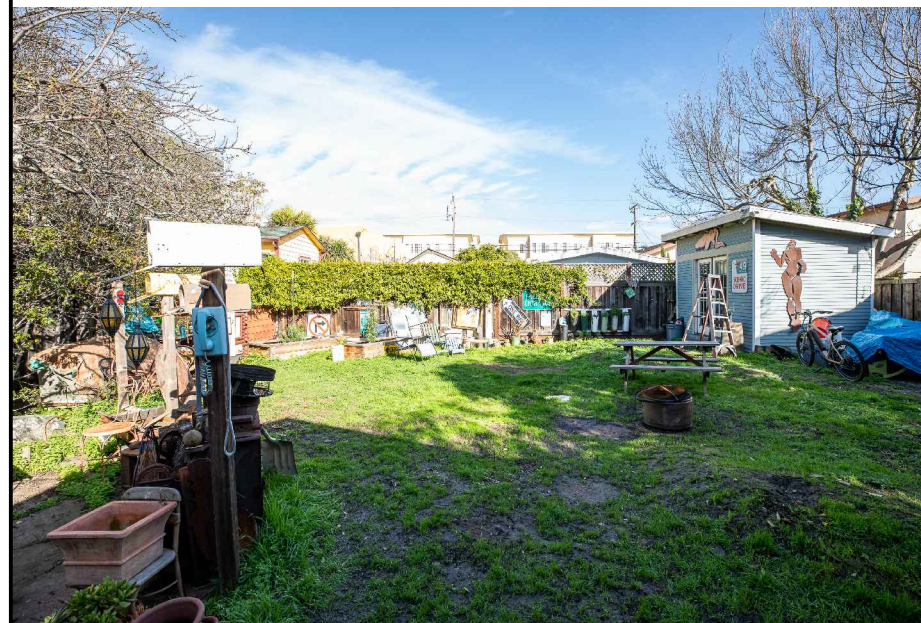
SITE PHOTOS



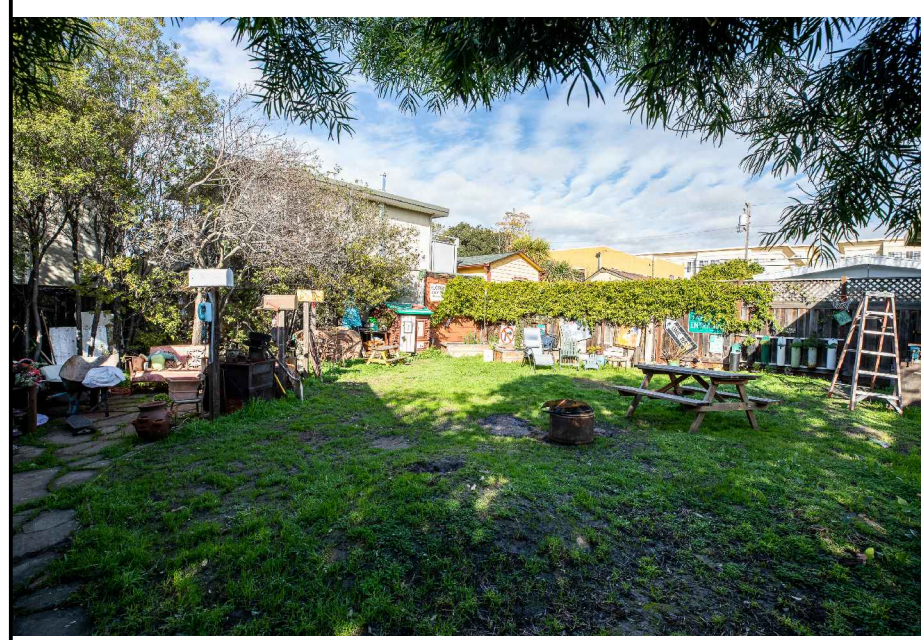
FRONT OF HOUSE



BACK OF HOUSE



SITE OF PROPOSED ADU (right side)



SITE OF PROPOSED ADU (left side)

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS, THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL PLUMBING AND MECHANICAL CODE, 2012, AND THE 2013 CALIFORNIA EDITION OF THE UNIFORM BUILDING CODE (CALIFORNIA BUILDING CODE), AND ALL APPLICABLE LOCAL AND STATE LAWS AND ORDINANCES. NOTHING ON THE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- ALL CONDITIONS NOT SPECIFICALLY DETAILED ON DRAWINGS SHALL BE SIMILAR TO THOSE SHOWN OR IMPLIED OR SHALL MATCH EXISTING CONDITIONS.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS.
- THE CONTRACTOR SHALL COMPLETE AND PERFORM ALL WORK IN A GOOD, PROFESSIONAL MANNER AT A LEVEL, QUALITY, AND TOLERANCE CONSISTENT WITH THE STANDARDS OF THE CONSTRUCTION INDUSTRY. THESE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL INTENT OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- ALL PLAN NOTES IMPLY THE WORDS "THE CONTRACTOR SHALL..." OR "THE CONTRACTOR SHALL INSTALL..." WHICHEVER IS MORE APPLICABLE. ITEMS LABELED "EXISTING," "EXTG.," OR "E)" ARE EXISTING AND SHALL REMAIN UNLESS OTHERWISE NOTED. ALL OTHER ITEMS AND NOTES NOT LABELED OR IDENTIFIED AS EXISTING SHALL BE CONSIDERED TO BE NEW AND SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL DIMENSIONS TAKE PRECEDENT OVER SCALE. CONTRACTOR SHALL NOT SCALE DRAWINGS WITH THE INTENT OF DETERMINING EXACT PLACEMENT OR LOCATION OF PARTICULAR ASSEMBLIES. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD AND NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK OF ANY DISCREPANCIES OR INCONSISTENCIES THAT REQUIRE CLARIFICATION AND/OR RESOLUTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THE DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF THE WORK.
- THE OWNER SHALL OBTAIN AND PAY FOR ALL NECESSARY FEES AND BUILDING PERMITS AS REQUIRED BY THE SCOPE OF THE WORK FROM THE CITY OF SAN MATEO.
- THE CONTRACTOR SHALL KEEP APPROVED PLANS ON THE JOBSITE AT ALL TIMES AS REQUIRED FOR INSPECTIONS BY THE CITY OF SAN MATEO AND OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- A MINIMUM OF 65% OF CONSTRUCTION WASTE SHALL BE RECYCLED OR SALVAGES PER CALGREEN 4.408.1.
- UPON REQUEST VERIFICATION OF COMPLIANCE WITH THE CAL-GREEN CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL PERFORMANCE.

APPLICABLE CODES

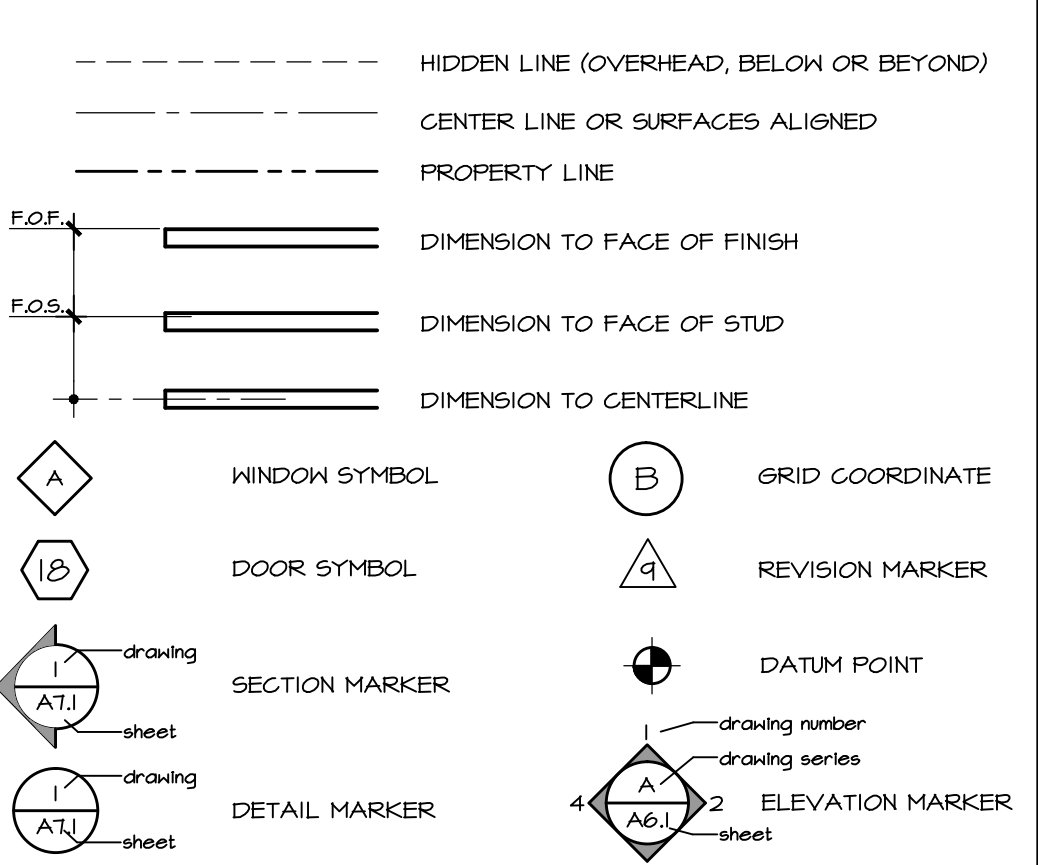
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC), THE 2019 CALIFORNIA PLUMBING CODE (CPC), THE 2019 CALIFORNIA MECHANICAL CODE (CMC), THE 2019 CALIFORNIA ELECTRIC CODE (CEC), THE 2019 STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL BUILDINGS; THE 2019 CALIFORNIA GREEN BUILDING STANDARDS.

ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ALL APPLICABLE LOCAL AND STATE LAWS AND ORDINANCES. NOTHING ON THE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

ABBREVIATIONS

BD.	BOARD	(N)	NEW
BDLG.	BUILDING	N.I.C.	NOT IN CONTRACT
BLK.	BLOCK	NO or #	NUMBER
BLKG.	BLOCKING		
BM.	BEAM	O/	OVER
B.O.	BOTTOM OF	O.C.	ON CENTER
		O.D.	OUTSIDE DIAMETER
		O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
		O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED
		OPNG.	OPENING
		PL	PLATE
		PLYWD.	PLYWOOD
		P.T.	PRESSURE TREATED
		PT.	POINT
		R.	RADIUS
		R.A.	RETURN AIR
		REF.	REFERENCE
		REFR.	REFRIGERATOR
		REG.	REGISTER
		REQ.	REQUIRED
		RET.	RETURN
		RM.	ROOM
		S.A.	SUPPLY AIR
		S.A.D.	SEE ARCHITECTURAL DRAWING
		SF.	SUBFLOOR
		SHT.	SHEET
		SHTG.	SHEATHING
		STD.	STANDARD
		T.O.	TOP OF
		T.O.F.F.	TOP OF FINISH FLOOR
		T.O.P.	TOP OF PLATE
		TYP.	TYPICAL
		U.O.N.	UNLESS OTHERWISE NOTED
		VERT.	VERTICAL
		V.I.F.	VERIFY IN FIELD
		W	WITH
		W/O	WITHOUT
		W.C.	WATER CLOSET
		WD.	WOOD
		WIND.	WINDOW
		WP.	WATERPROOF
HVAC	HEATING, VENTILATING, & AIR CONDITIONING		
H.W.	HOT WATER HEATER		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JSTS.	JOISTS		
LAM.	LAMINATE		
LT.	LIGHT		
MANUF.	MANUFACTURER		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MIN.	MINIMUM		
MTL.	METAL		

SYMBOLS LEGEND



PROJECT INFORMATION

PRIMARY ADDRESS: 911 MADISON STREET, ALBANY CA, 94706
ASSESSOR'S PARCEL NUMBER: 66-2722-43
ARCHITECT: OCULUS ARCHITECTURE & DESIGN, 1501 POWELL STREET, SUITE L, EMERYVILLE, CA 94608, 510-544-1814 phone, 510-544-1847 fax, ATTN: JIM MILLER
OWNER: J. MICHAEL TUCKER & KIRA ABRAMS, 911 MADISON STREET, ALBANY, CA 94706
CONTRACTOR: TO BE DETERMINED
PROJECT DESCRIPTION: CONSTRUCT A NEW DETACHED 1-BEDROOM ACCESSORY DWELLING UNIT AT THE REAR OF THE PROPERTY. ADU TO HAVE A MEZZANINE THAT OVERLOOKS THE LIVING SPACE BELOW.
ADU ADDRESS: 911-B MADISON STREET

SHEET INDEX

ARCHITECTURAL DRAWINGS	
A0.1	COVER SHEET
A1.0	EXISTING SITE PLAN, PROPOSED SITE PLAN
A2.0	EXISTING FLOOR PLAN
A2.1	PROPOSED ADU FLOOR PLAN
A3.1	PROPOSED ADU ROOF PLAN w/ WINDOW SCHEDULE & DETAILS
A4.0	EXISTING EXTERIOR ELEVATIONS, PRIMARY RESIDENCE
A4.1	PROPOSED ADU EXTERIOR ELEVATIONS
A5.1	PROPOSED ADU SECTIONS
SURVEY DRAWINGS	
I	TOPOGRAPHIC SURVEY

BUILDING & SITE DATA

SITE DATA	
NET PARCEL AREA:	5,000 SQ. FT.
ZONING DESIGNATION:	R-2: RESIDENTIAL MED. DENSITY
FLOOR AREA LIMIT:	2,750 SQ. FT.
LOT COVERAGE:	
EXISTING:	1,311 SQ. FT. (26.2%)
PROPOSED:	2,052 SQ. FT. (41.0%)
MAX ALLOWED:	55%
ACCESSORY STRUCTURE SETBACKS:	
SIDE:	6 IN.
REAR:	6 IN.
PARKING (EXISTING):	1 COVERED
BUILDING DATA	
OCCUPANCY CLASS:	R-3
CONSTRUCTION TYPE:	TYPE V-B
NUMBER OF UNITS:	1
EXISTING FLOOR AREA:	
MAIN RESIDENCE:	959 SQ. FT.
DETACHED GARAGE:	243 SQ. FT.
ACCESSORY STRUCTURE (REMOVED):	(109 SQ. FT.)
TOTAL EXISTING AREA:	1,202 SQ. FT.
ADDED ADU FLOOR AREA:	850 SQ. FT.
FIRST FLOOR:	184 SQ. FT. (DOES NOT APPLY TO ADU AREA LIMIT)
MEZZANINE:	
TOTAL ADDED ADU AREA:	1,039 SQ. FT.
TOTAL PROJECT FLOOR AREA:	2,241 SQ. FT. W/ MEZZANINE 2,052 SQ. FT. W/O MEZZANINE



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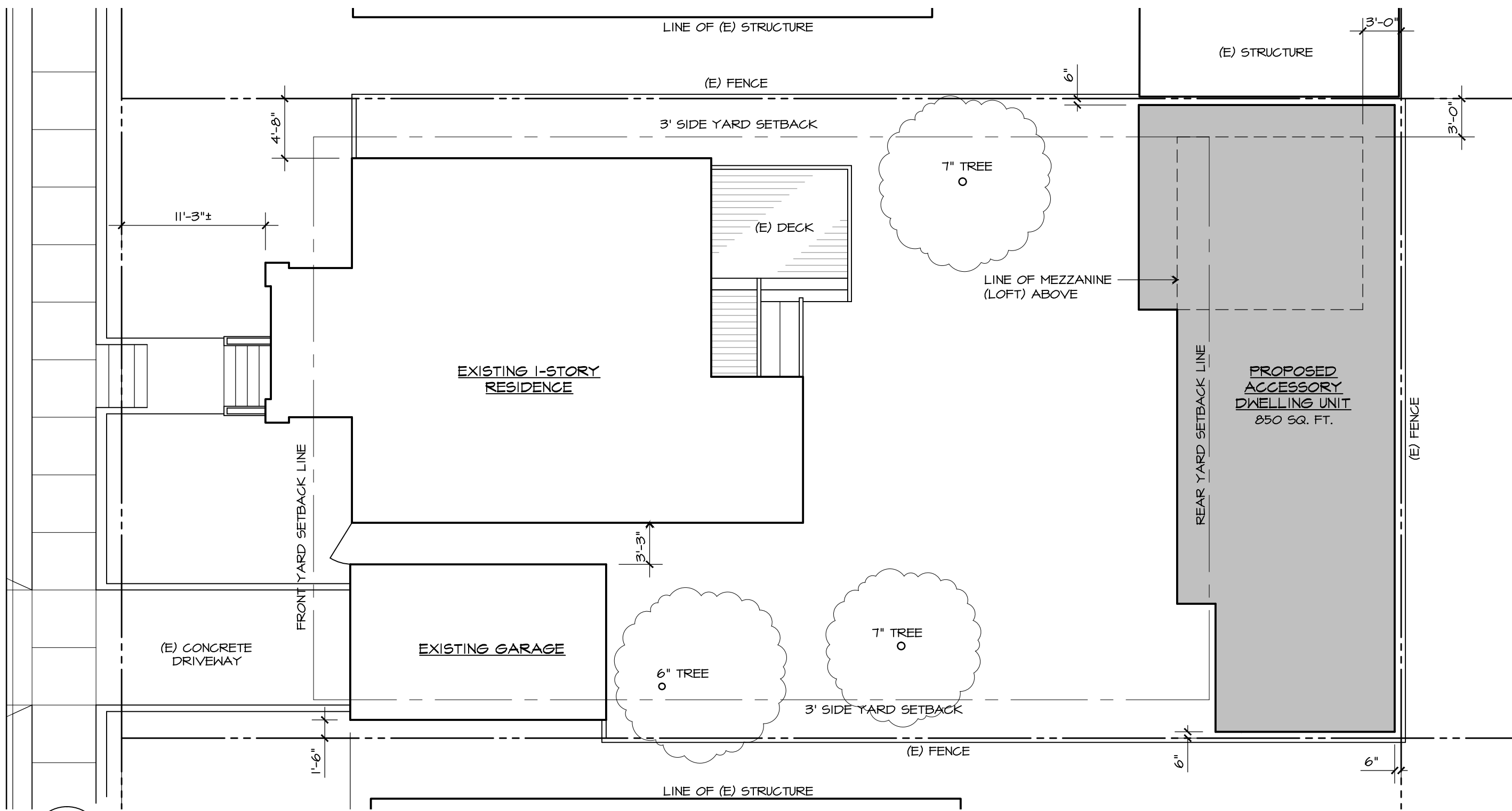
Drawing Title
SITE PLANS

By: JNM
Date: 5/13/21
Scale: 1/8" = 1'-0"
Drawing No.

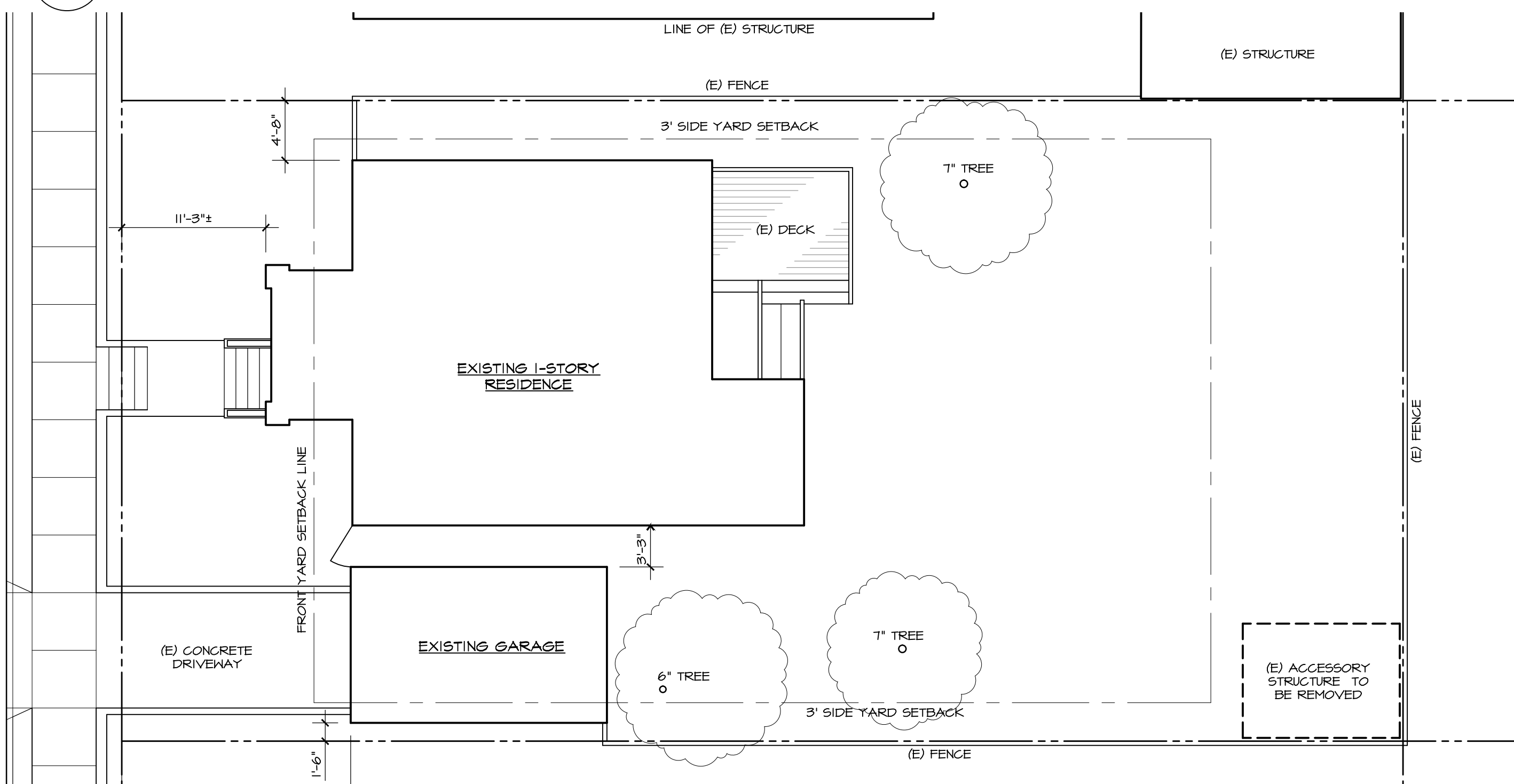
A1.1
NOT FOR CONSTRUCTION

MADISON STREET

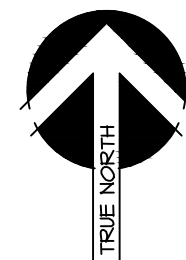
MADISON STREET



1 PROPOSED SITE PLAN
A1.1 SCALE: 1/8" = 1'-0"



2 EXISTING SITE PLAN
A1.1 SCALE: 1/8" = 1'-0"





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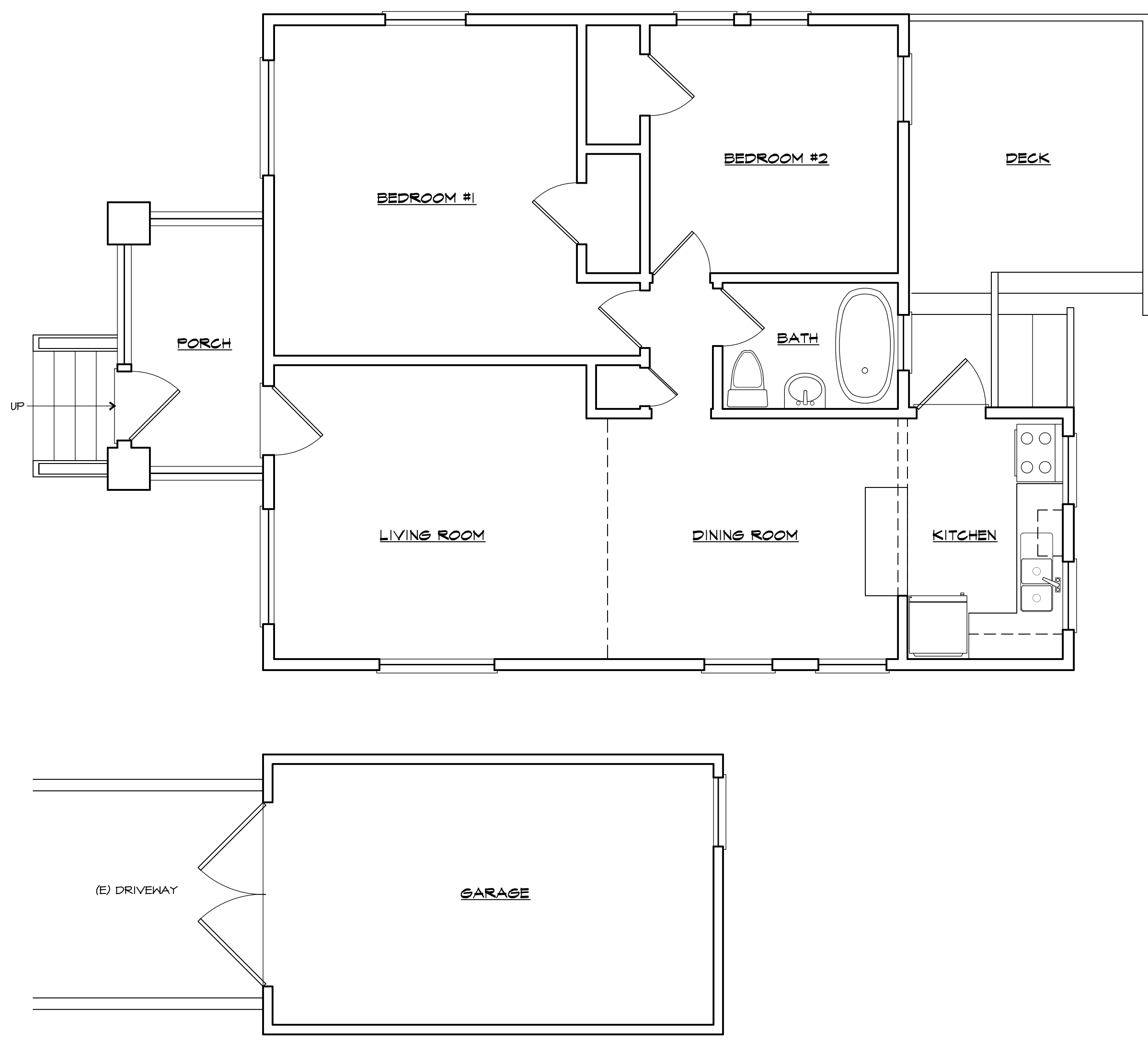
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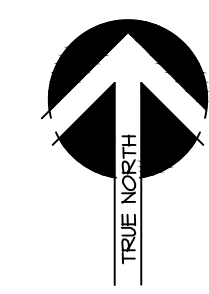
Drawing Title
**EXISTING
FLOOR PLAN
PRIMARY
RESIDENCE**

By: JNM
Date: 5/13/21
Scale: 1/4" = 1'-0"
Drawing No.

A2.0
NOT FOR CONSTRUCTION



EXISTING FLOOR PLAN- PRIMARY RESIDENCE
SCALE: 1/4" = 1'-0"





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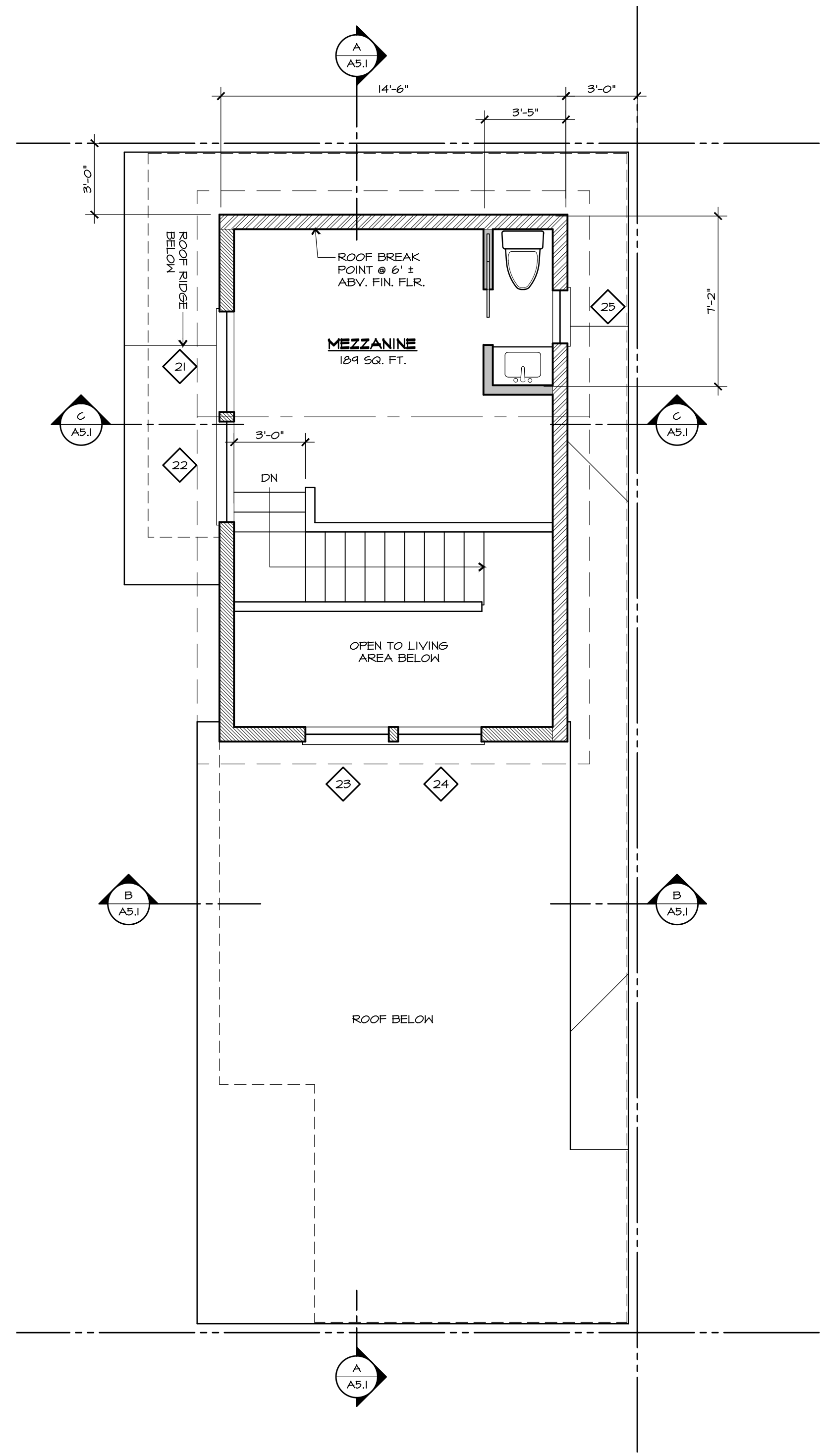
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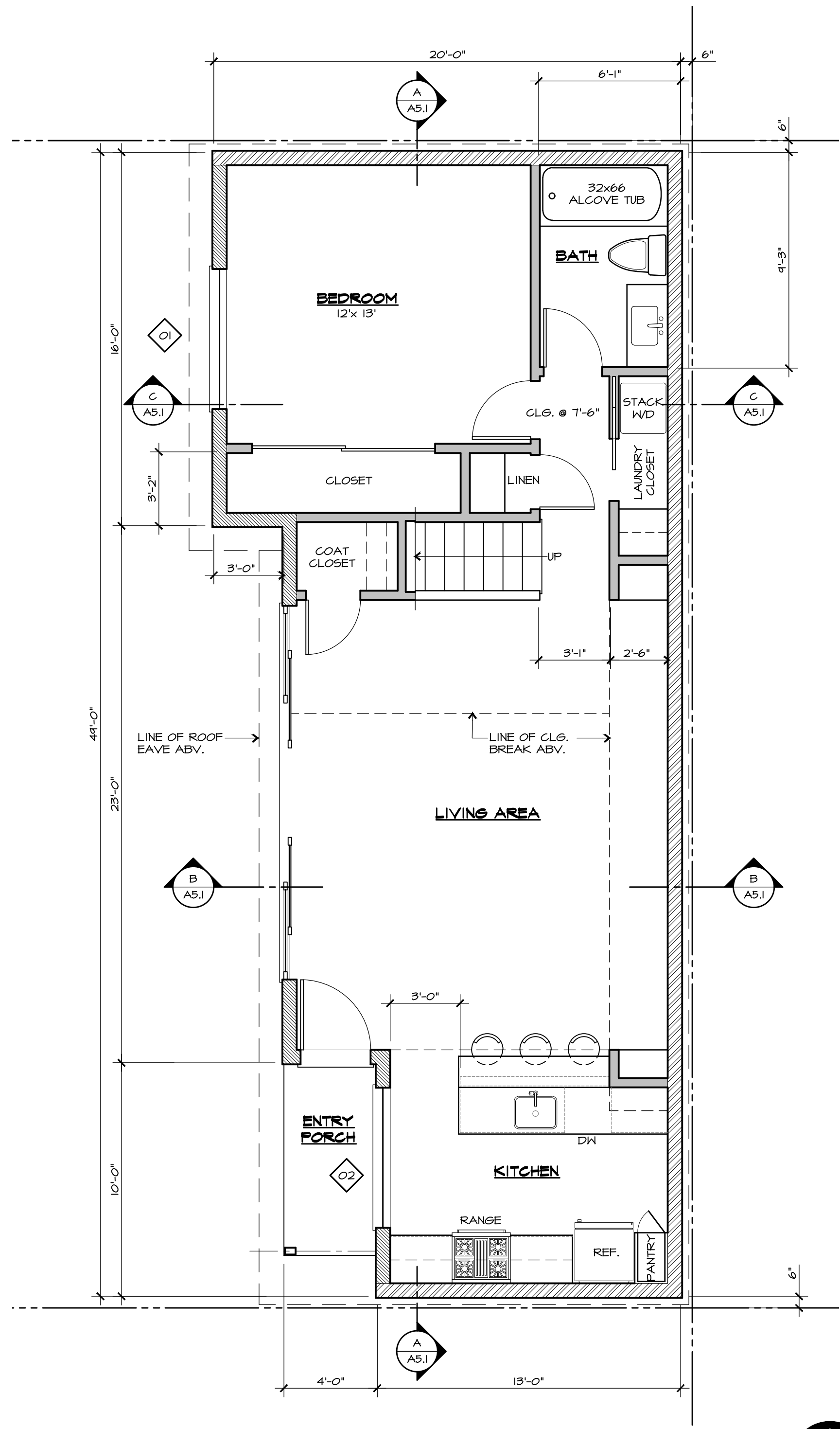
Drawing Title
PROPOSED ADU FLOOR PLANS

By: JNM
Date: 5/13/21
Scale: 1/4" = 1'-0"
Drawing No.

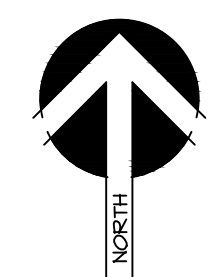
A2.1
NOT FOR CONSTRUCTION



2
A2.1 MEZZANINE PLAN
SCALE: 1/4" = 1'-0"
189 SQUARE FEET



1
A2.1 PROPOSED ADU FLOOR PLAN
SCALE: 1/4" = 1'-0"
850 SQUARE FEET





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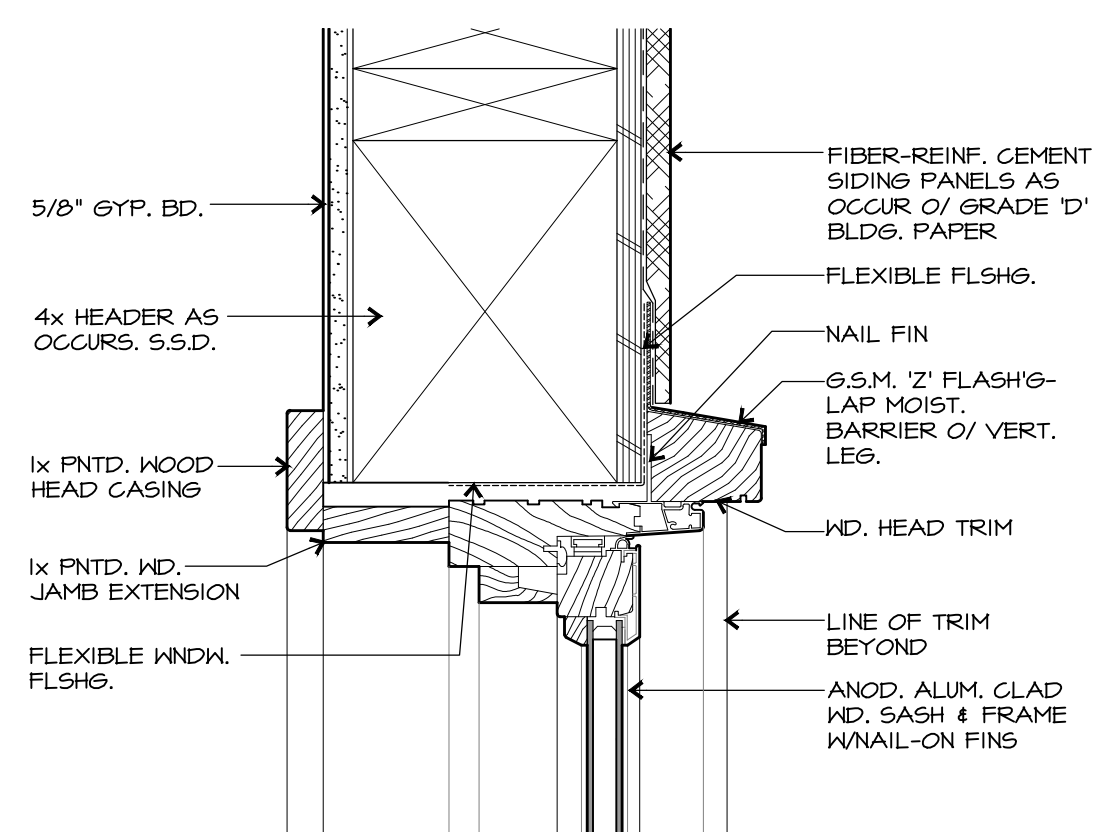
Drawing Title
**ROOF PLAN
WINDOW
SCHEDULE,
DETAILS**

By: JNM
Date: 5/13/21
Scale: 1/8" = 1'-0"
Drawing No.

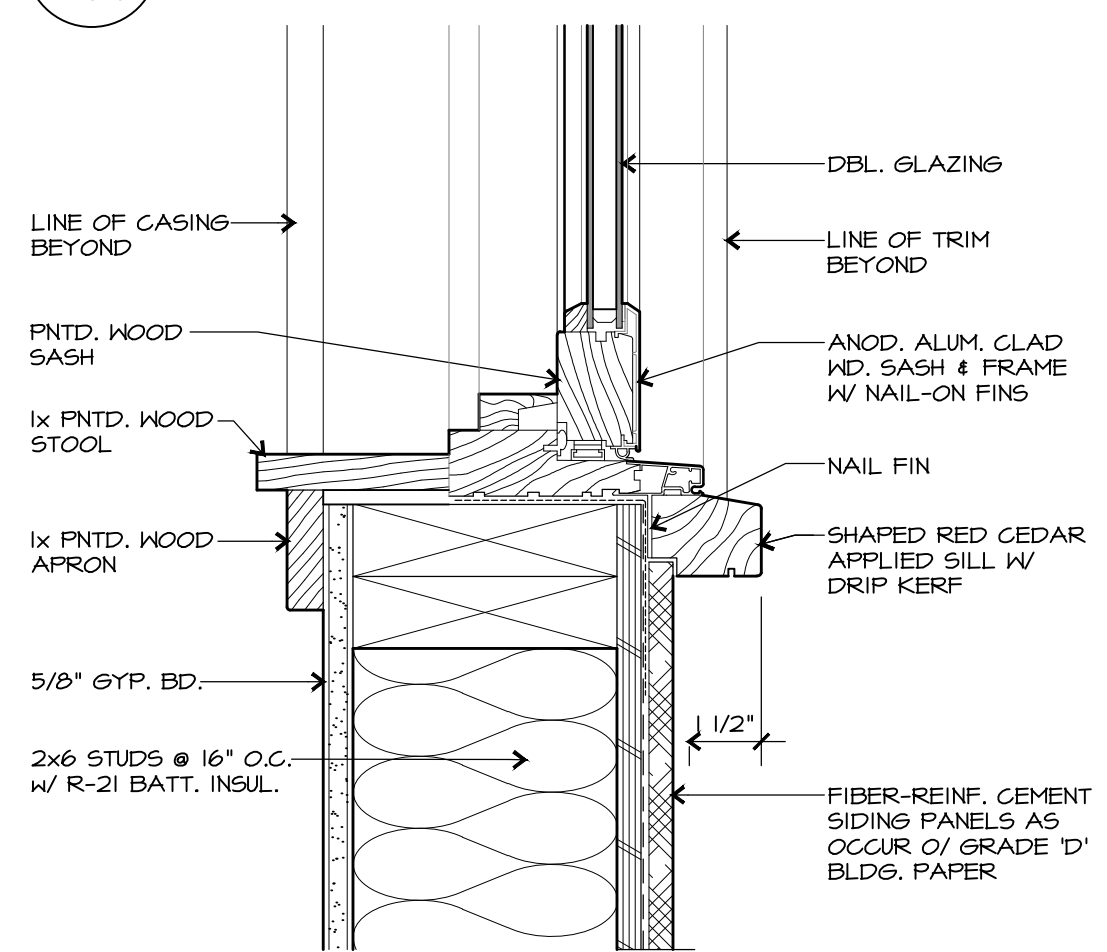
A3.1
NOT FOR CONSTRUCTION

WINDOW SCHEDULE

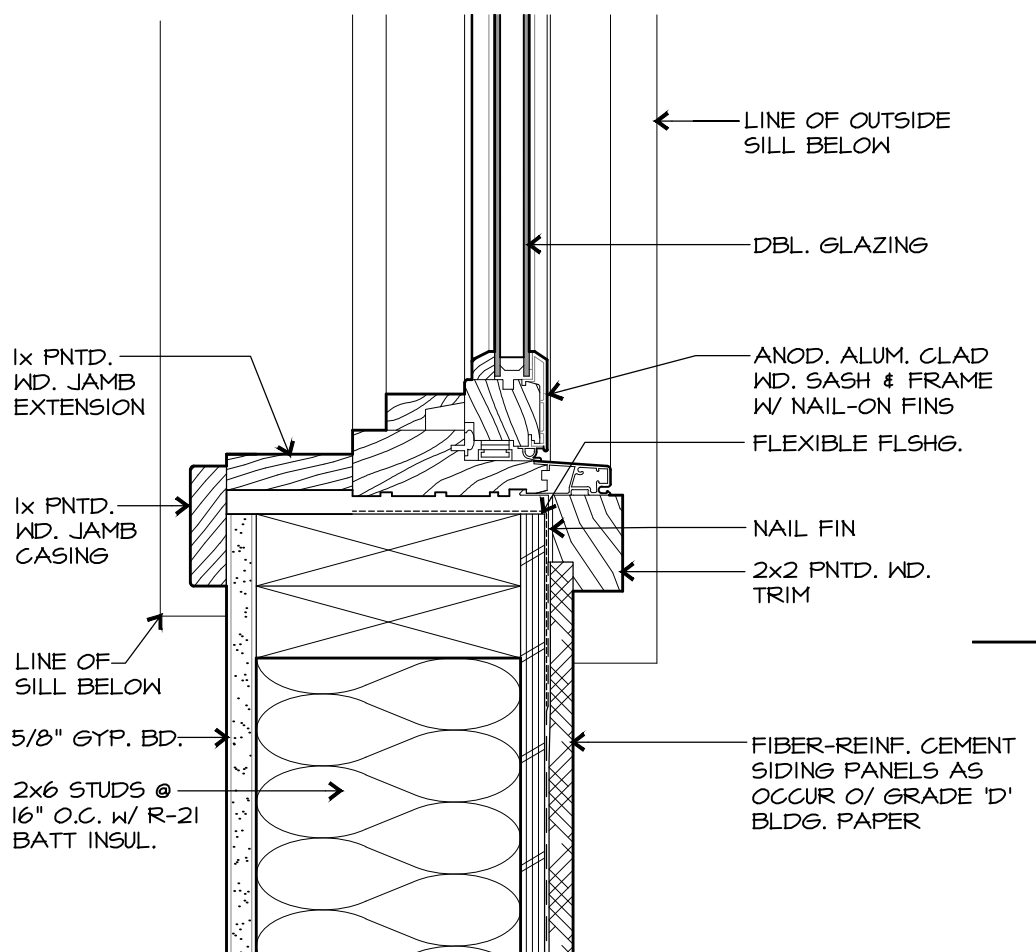
WNDW. MARK	OPENING (WxH)	TYPE	FRAME MATERIAL/ FINISH	SCREEN	UNIT SPEC.	REMARKS
01	(2) 2'-8" x 4'-4"	DOUBLE CASEMENT	WOOD, CLAD	YES	T.B.D.	GANGED UNITS, EGRESS CAPABLE
02	(2) 2'-8" x 4'-4"	DOUBLE CASEMENT	WOOD, CLAD	YES	T.B.D.	GANGED UNITS
21	4'-4" x 2'-4"	AWNING	WOOD, CLAD	YES	T.B.D.	
22	4'-4" x 2'-4"	AWNING	WOOD, CLAD	YES	T.B.D.	
23	3'-8" x 2'-0"	FIXED	WOOD, CLAD	NO	T.B.D.	
24	3'-8" x 2'-0"	FIXED	WOOD, CLAD	NO	T.B.D.	
25	2'-4" x 3'-8"	CASEMENT	WOOD, CLAD	YES	T.B.D.	



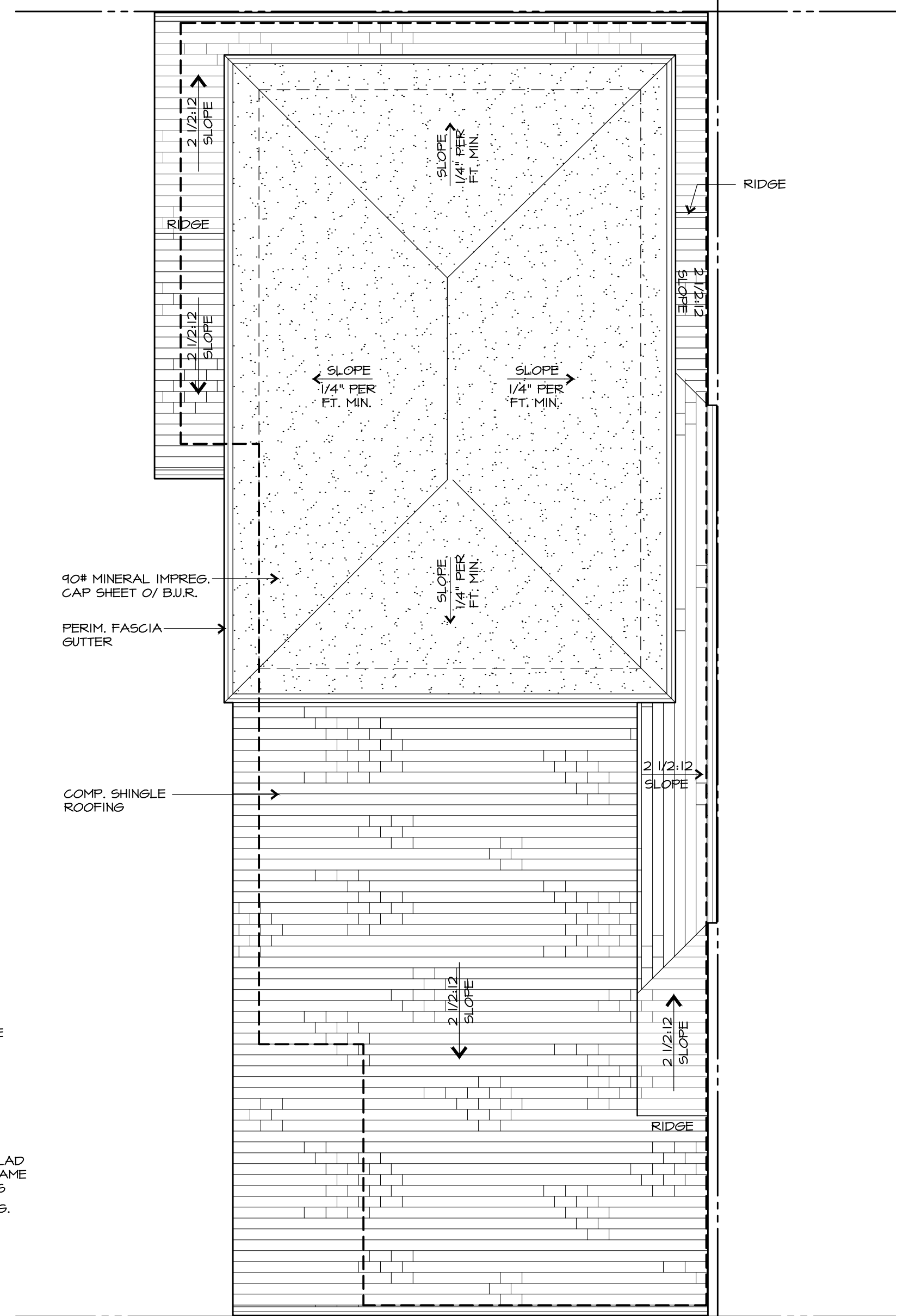
5 WINDOW HEAD DETAIL
A3.1 SCALE: 3" = 1'-0"



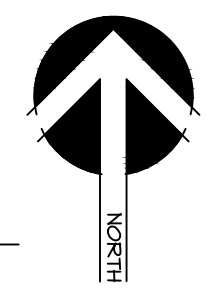
3 WINDOW SILL DETAIL
A3.1 SCALE: 3" = 1'-0"



2 WINDOW JAMB DETAIL
A3.1 SCALE: 3" = 1'-0"



1 ROOF PLAN
A3.1 SCALE: 1/4" = 1'-0"





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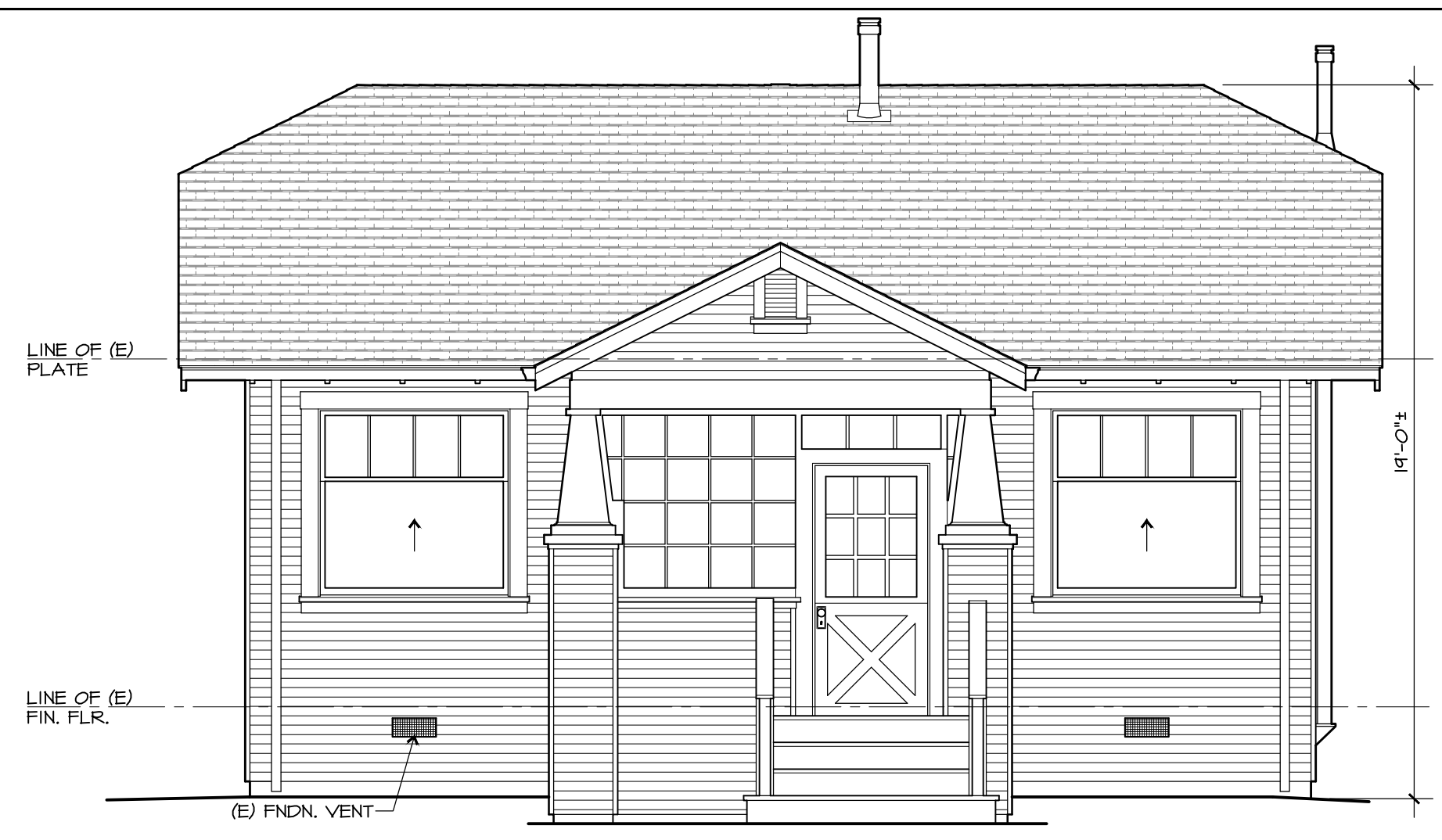
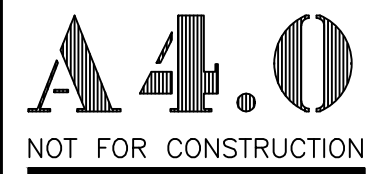
Revisions

PLANNING: 2/9/22

Residential Remodel At:
973 VENTURA AVENUE
Owner: Nicholas Docter A.P. 65-2623-23

Drawing Title
**EXISTING EXT.
ELEVATIONS-
PRIMARY
RESIDENCE**

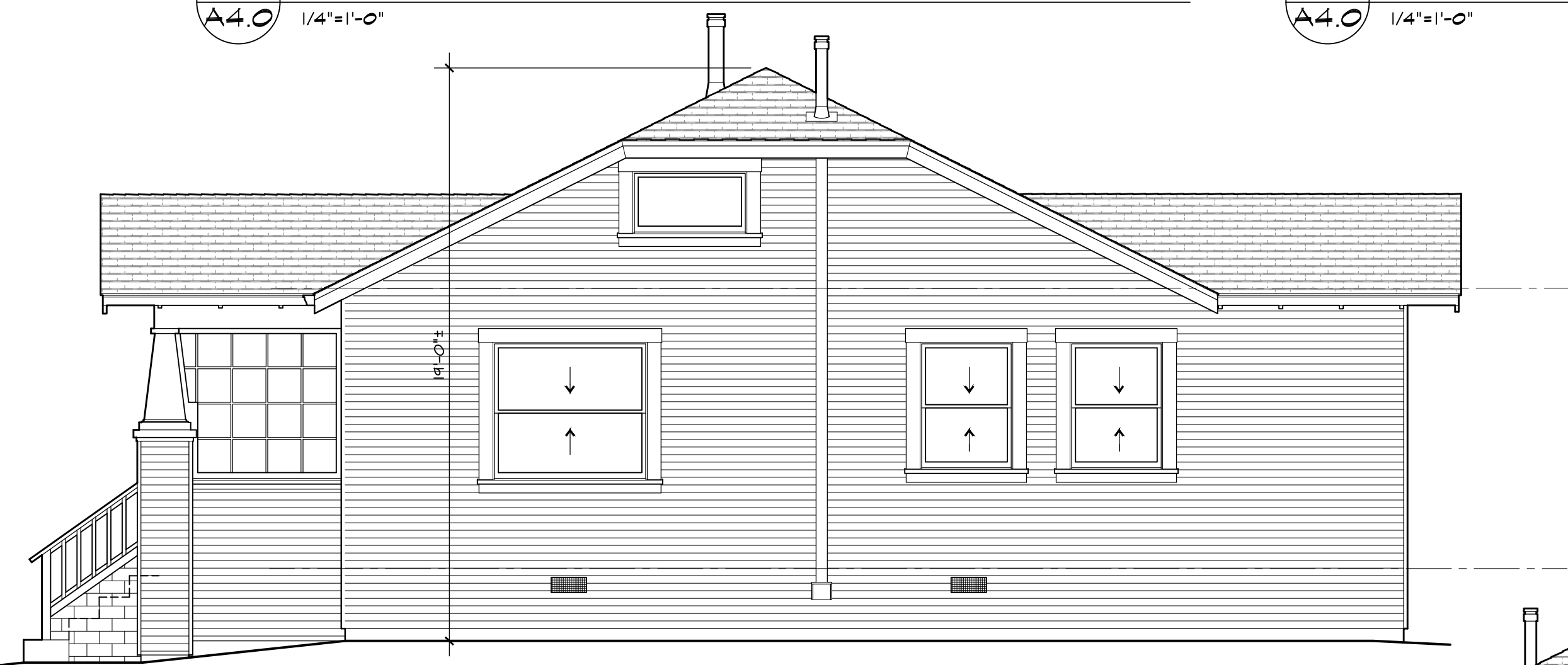
By J.N.M.
Date 1/28/22
Scale 1/4"=1'-0"
Drawing No.



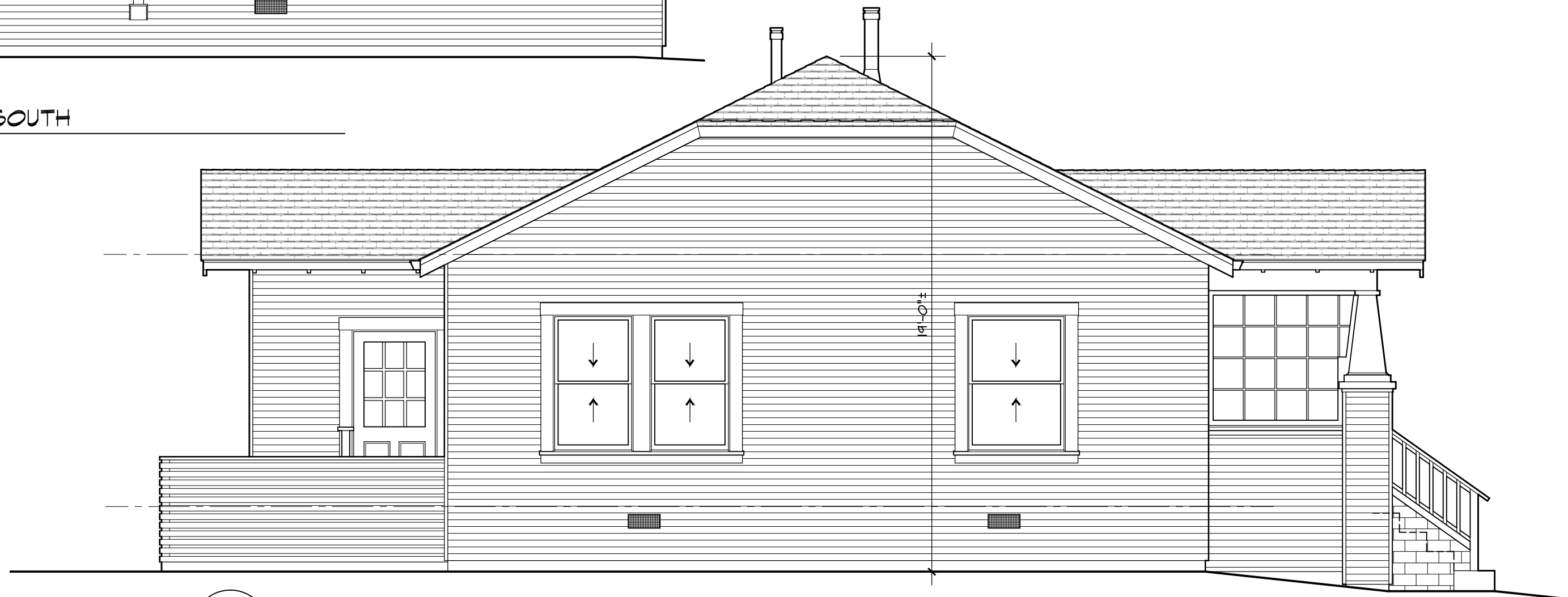
1 EXISTING EXTERIOR ELEVATION- WEST
A4.O 1/4"=1'-0"



2 EXISTING EXTERIOR ELEVATION- EAST
A4.O 1/4"=1'-0"



1 EXISTING EXTERIOR ELEVATION- SOUTH
A4.O 1/4"=1'-0"



2 EXISTING EXTERIOR ELEVATION- NORTH
A4.O 1/4"=1'-0"



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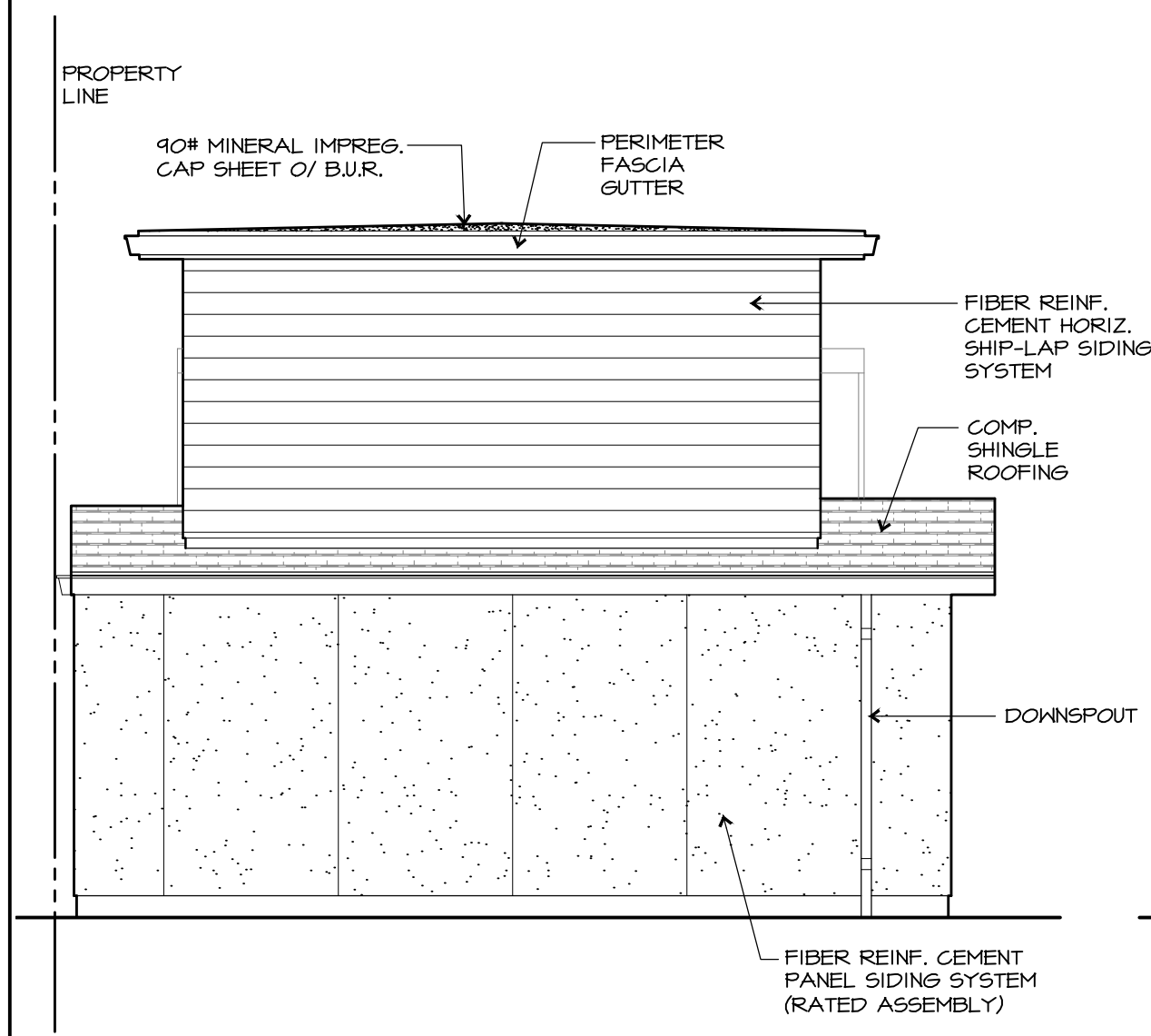
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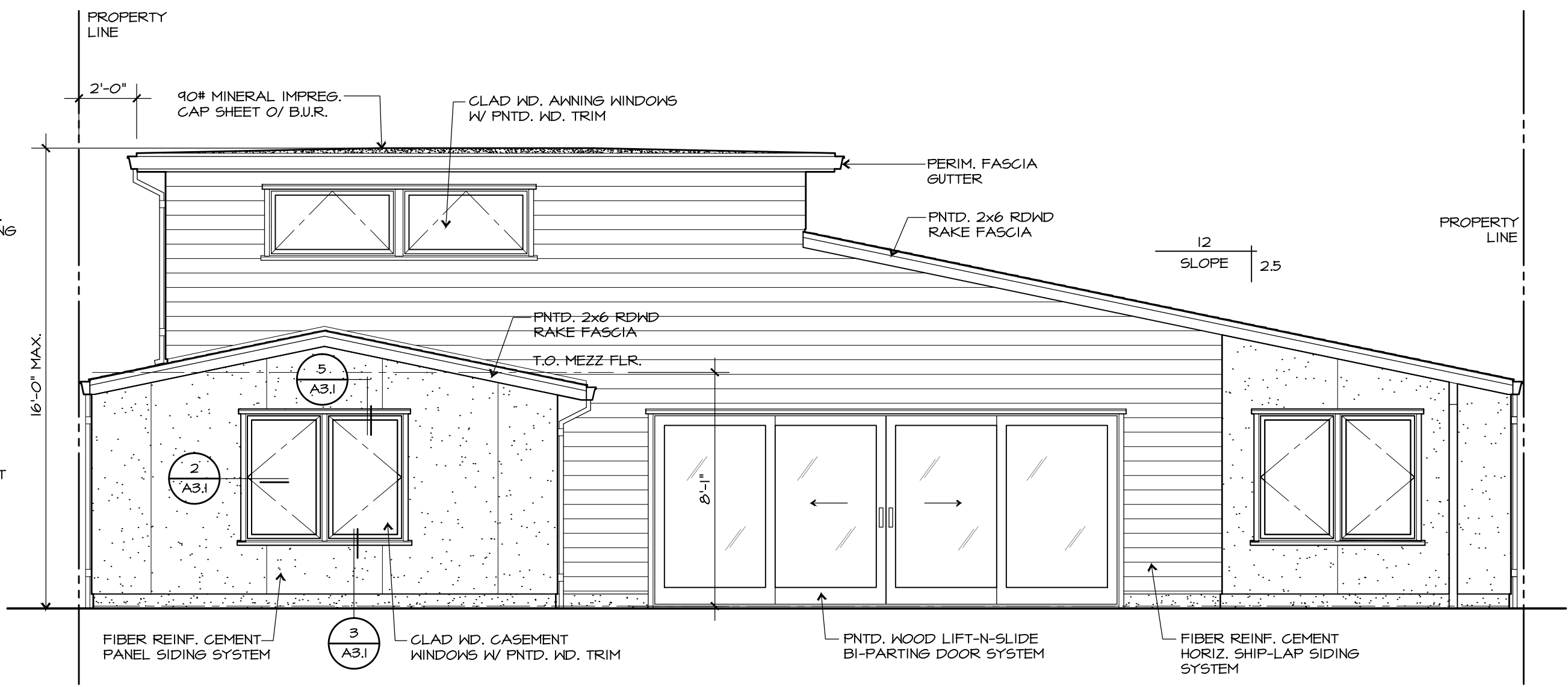
Drawing Title
**PROPOSED
ADU EXTERIOR
ELEVATIONS**

By J.N.M.
Date 10/29/20
Scale 1/4"=1'-0"
Drawing No.

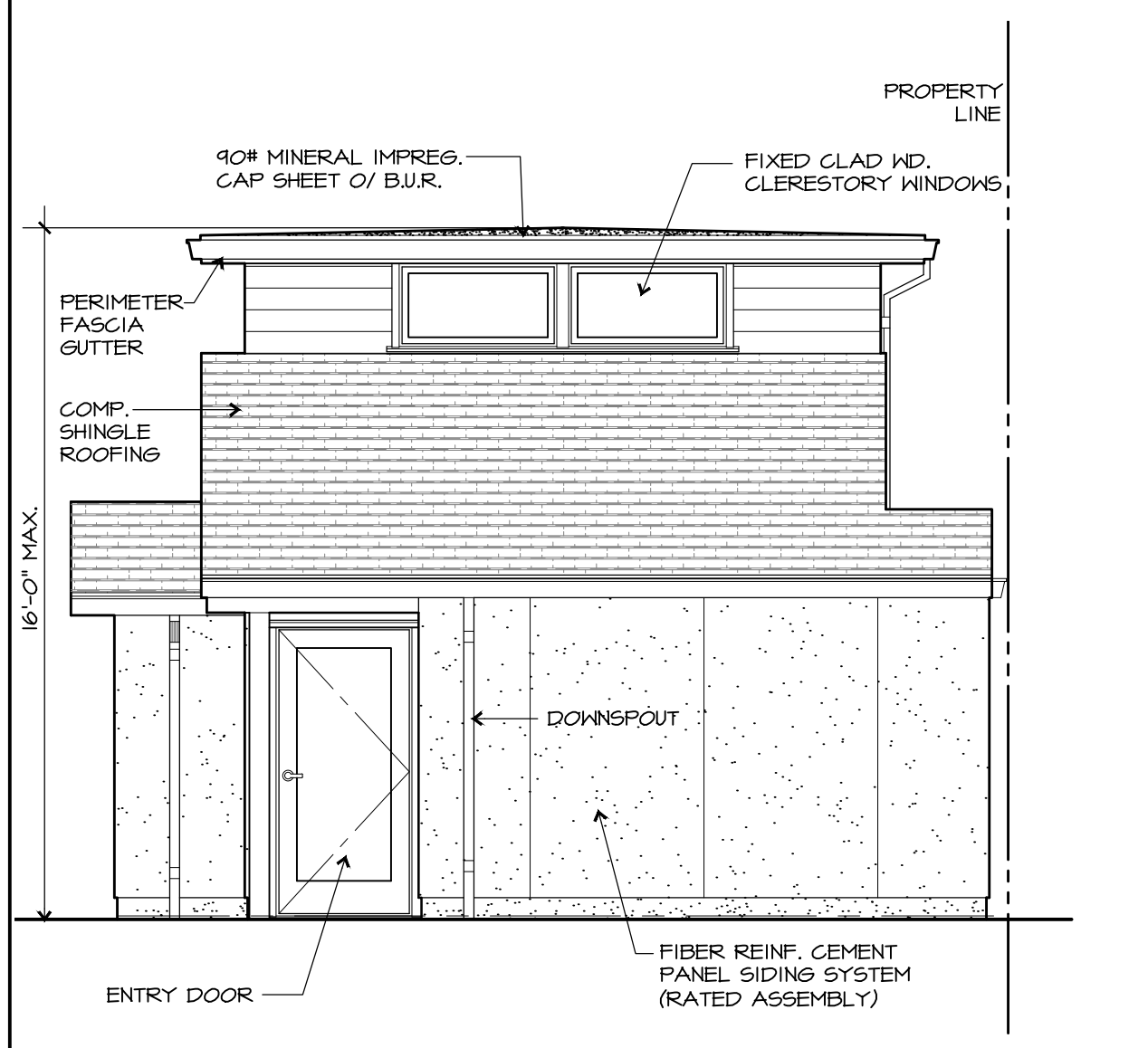
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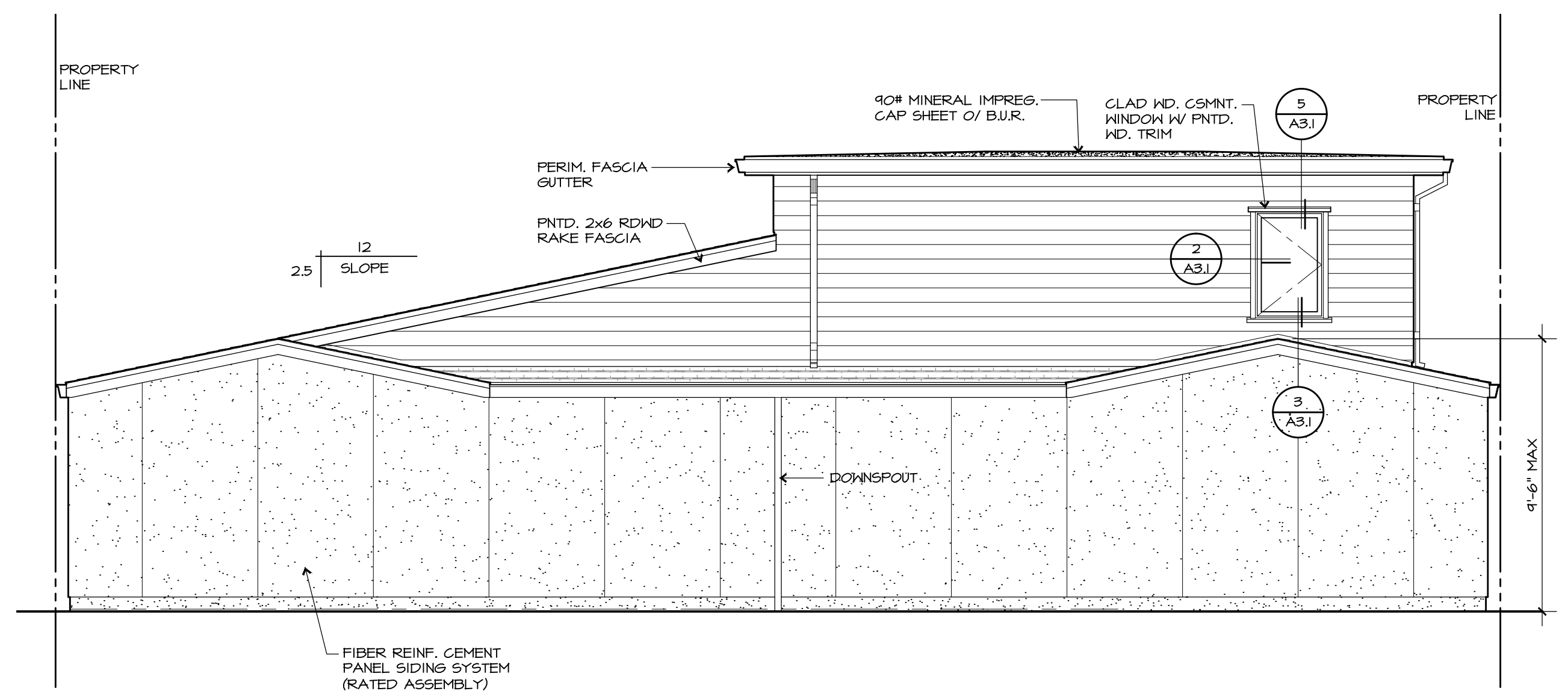
2 PROPOSED EXTERIOR ELEVATION- NORTH
A4.1 1/4"=1'-0"



1 PROPOSED EXTERIOR ELEVATION- WEST
A4.1 1/4"=1'-0"



4 PROPOSED EXTERIOR ELEVATION- SOUTH
A4.1 1/4"=1'-0"



3 PROPOSED EXTERIOR ELEVATION- EAST
A4.1 1/4"=1'-0"



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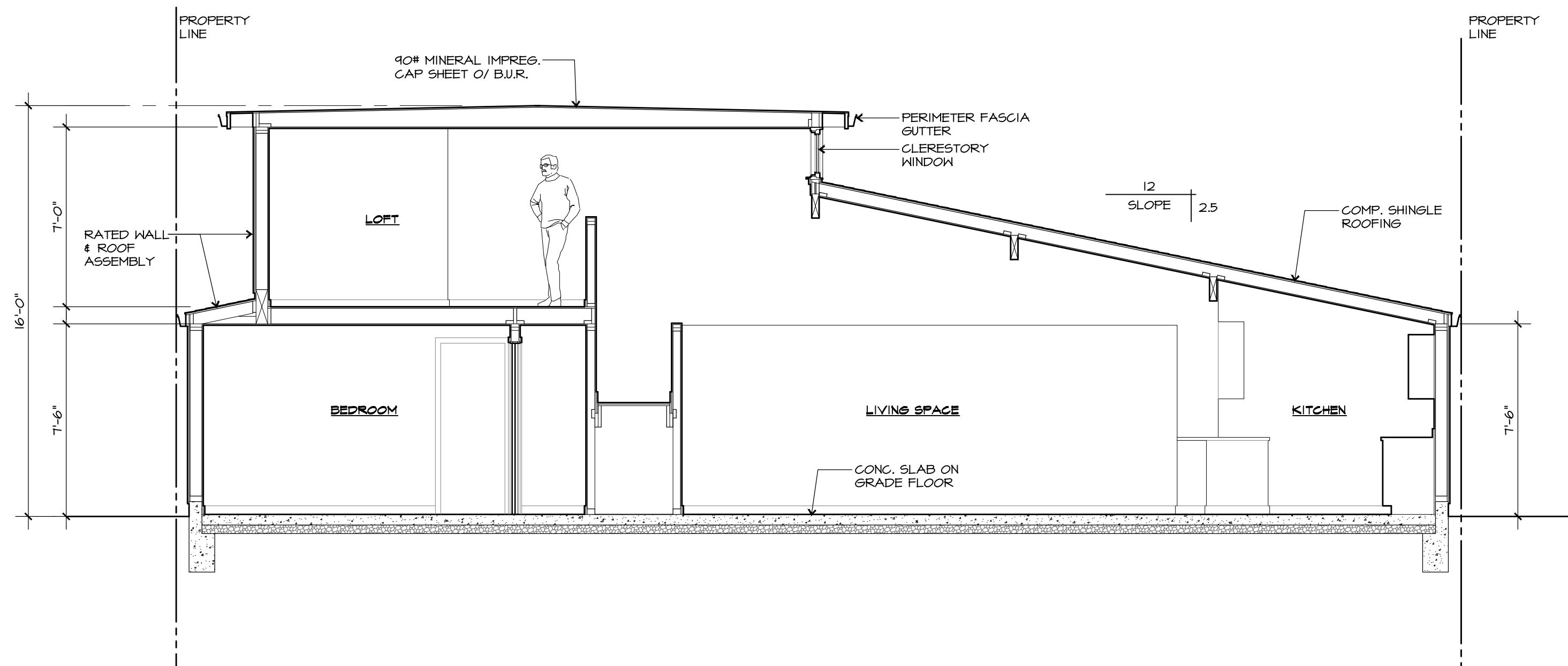
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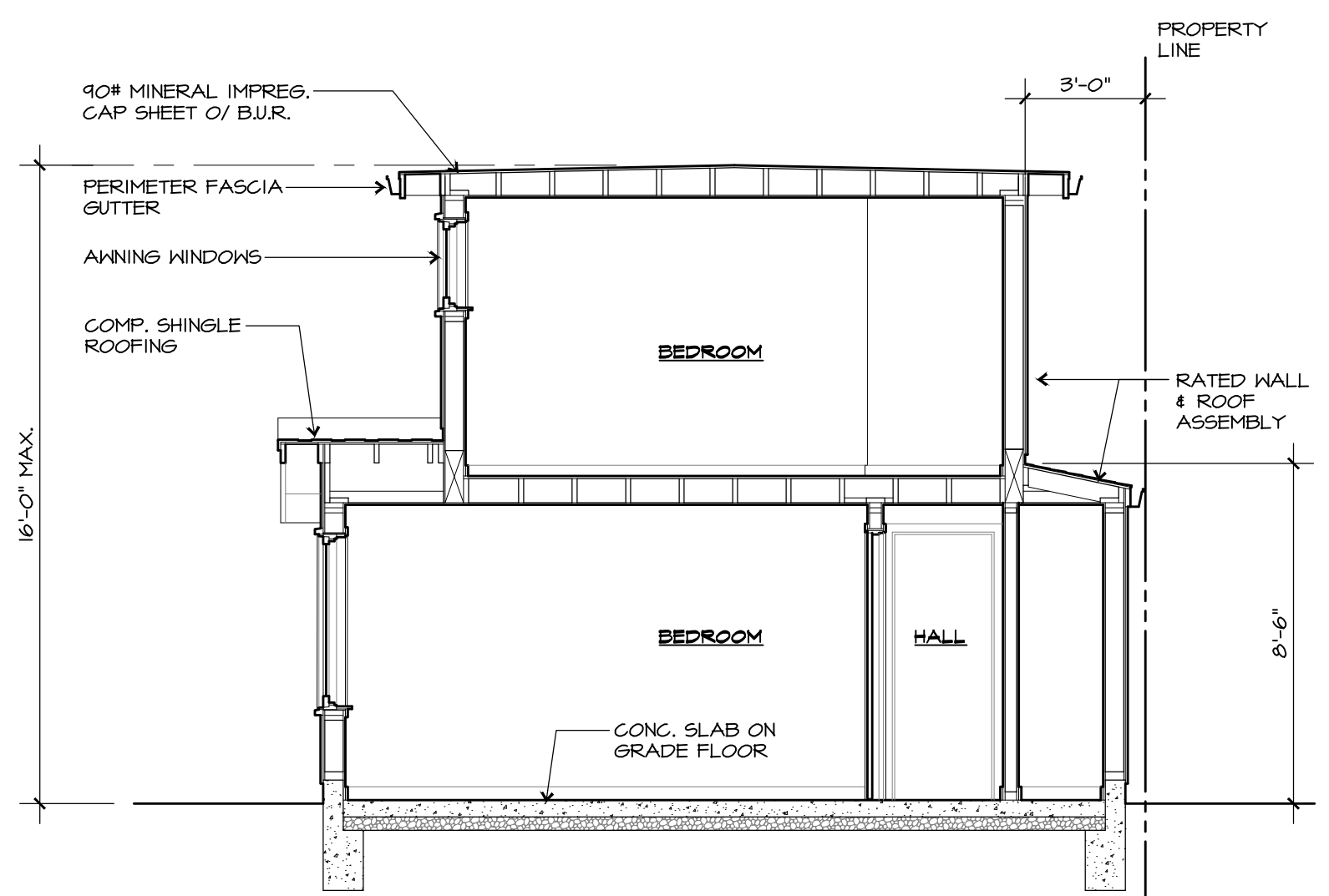


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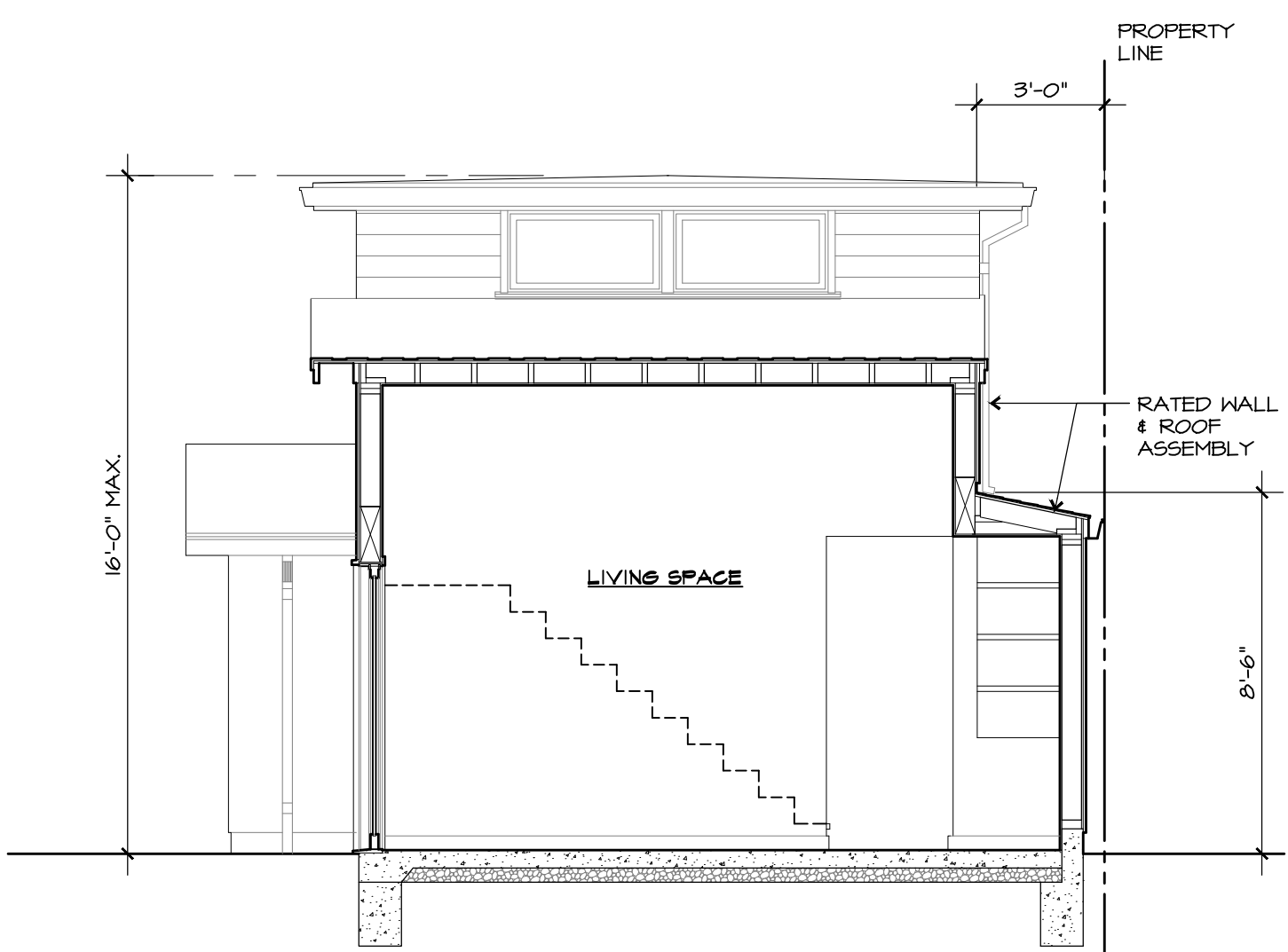
PLANNING: 2/9/22



A SCHEMATIC SECTION
A5.1 1/4"=1'-0"



C SCHEMATIC SECTION
A5.1 1/4"=1'-0"



B SCHEMATIC SECTION
A5.1 1/4"=1'-0"

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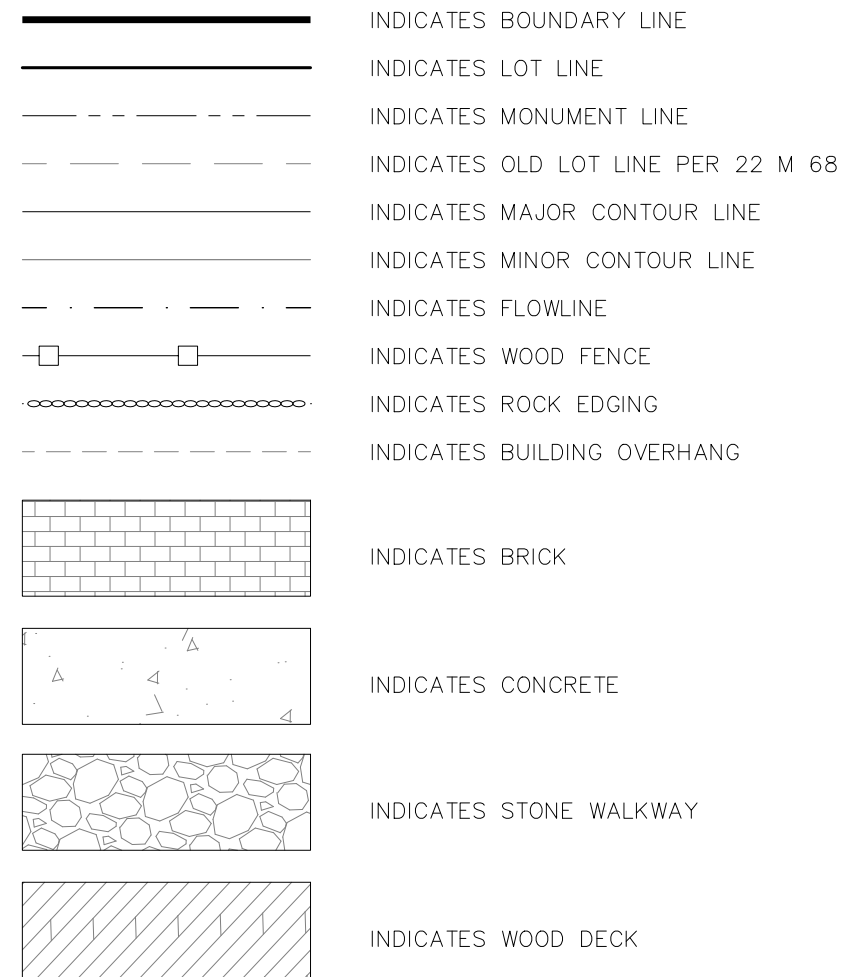
Drawing Title
PROPOSED SCHEMATIC SECTIONS

By J.N.M.
Date 10/29/20
Scale 1/4"=1'-0"
Drawing No.

A5.1
NOT FOR CONSTRUCTION

- LEGEND:**
- AC ASPHALTIC CONCRETE
 - AD AREA DRAIN
 - CBRW CONCRETE BLOCK RETAINING WALL
 - CONC CONCRETE
 - CRW CONCRETE RETAINING WALL
 - EM ELECTRIC METER
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - GM GAS METER
 - GS GROUNDSHOT
 - JP JOINT POLE
 - LNDG LANDING
 - MB MAILBOX
 - RE ROCK EDGING
 - SWR SEWER
 - TBRKW TOP OF BRICK WALL
 - TC TOP OF CURB
 - TCBRW TOP OF CONCRETE BLOCK RETAINING WALL
 - TCRW TOP OF CONCRETE RETAINING WALL
 - THRESH THRESHOLD
 - UNKN UNKNOWN
 - UTIL UTILITY
 - VLT VAULT

- X44.2 INDICATES GROUNDSHOT
- 12TREE INDICATES TREE SIZE AND TYPE



- NOTES:**
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 - THE DATE OF THE FIELD SURVEY WAS NOVEMBER 1, 2021.
 - ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
 - CONTOURS SET AT 1 FOOT INTERVALS.
 - TOPOGRAPHIC DATA DERIVED FROM HD SCAN.

- BENCHMARK:**
- ⊕ ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD88.

BASIS OF BEARINGS:
 THE BEARING, NORTH 14°11'00" WEST, BETWEEN TWO FOUND BRASS DISCS IN MONUMENT WELLS ALONG THE MONUMENT LINE OF MADISON STREET AS SHOWN ON THE MAP ENTITLED "CITY OF ALBANY MONUMENTATION MAP T-4897" ON FILE WITH THE CITY OF ALBANY.

TITLE REPORT NOTE:
 NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE:
 UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
 CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION

TREE NOTE:
 TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

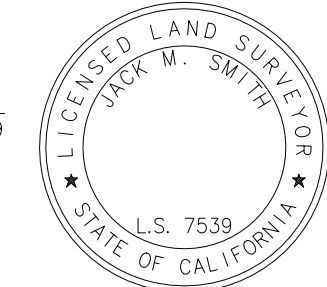
RECORD BOUNDARY NOTE:
 THIS BOUNDARY IS BASED ON RECORD DATA AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. NO WARRANTIES OR GUARANTEES ARE EXPRESSED OR IMPLIED IN REGARD TO THE ACCURACY OF THE BOUNDARY AS SHOWN. IF ACCURATE BOUNDARY DATA IS PERTINENT FOR DESIGN OR DEVELOPMENT, THEN A FULL BOUNDARY SURVEY MUST BE PERFORMED BY MUIR AND A RECORD OF SURVEY MUST BE FILED.

RECORD REFERENCES: ASSESSOR'S MAP 66, 22 M 68

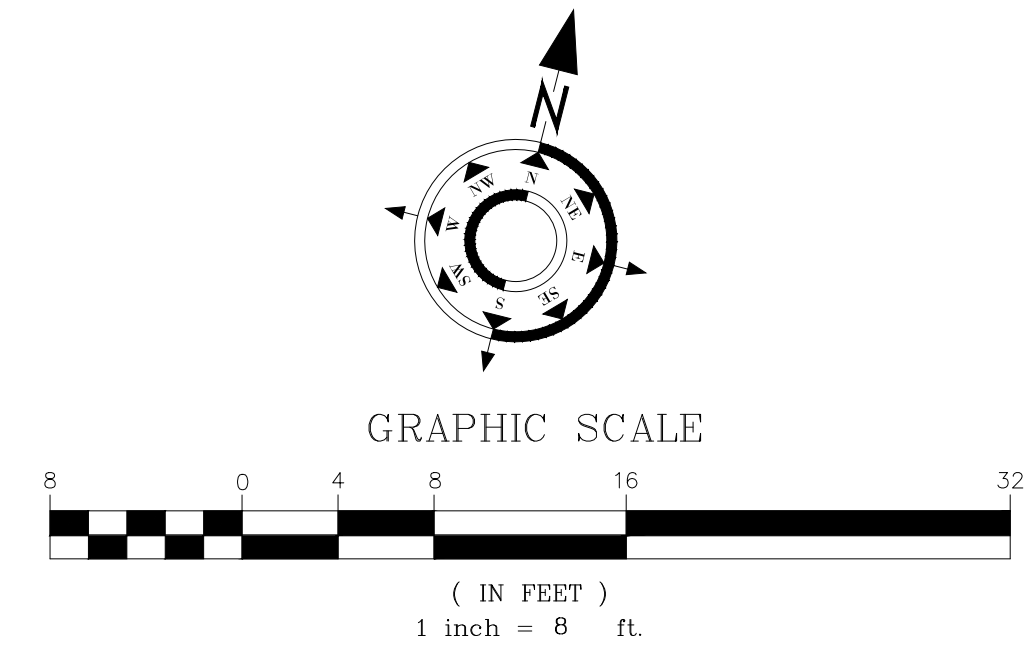
SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

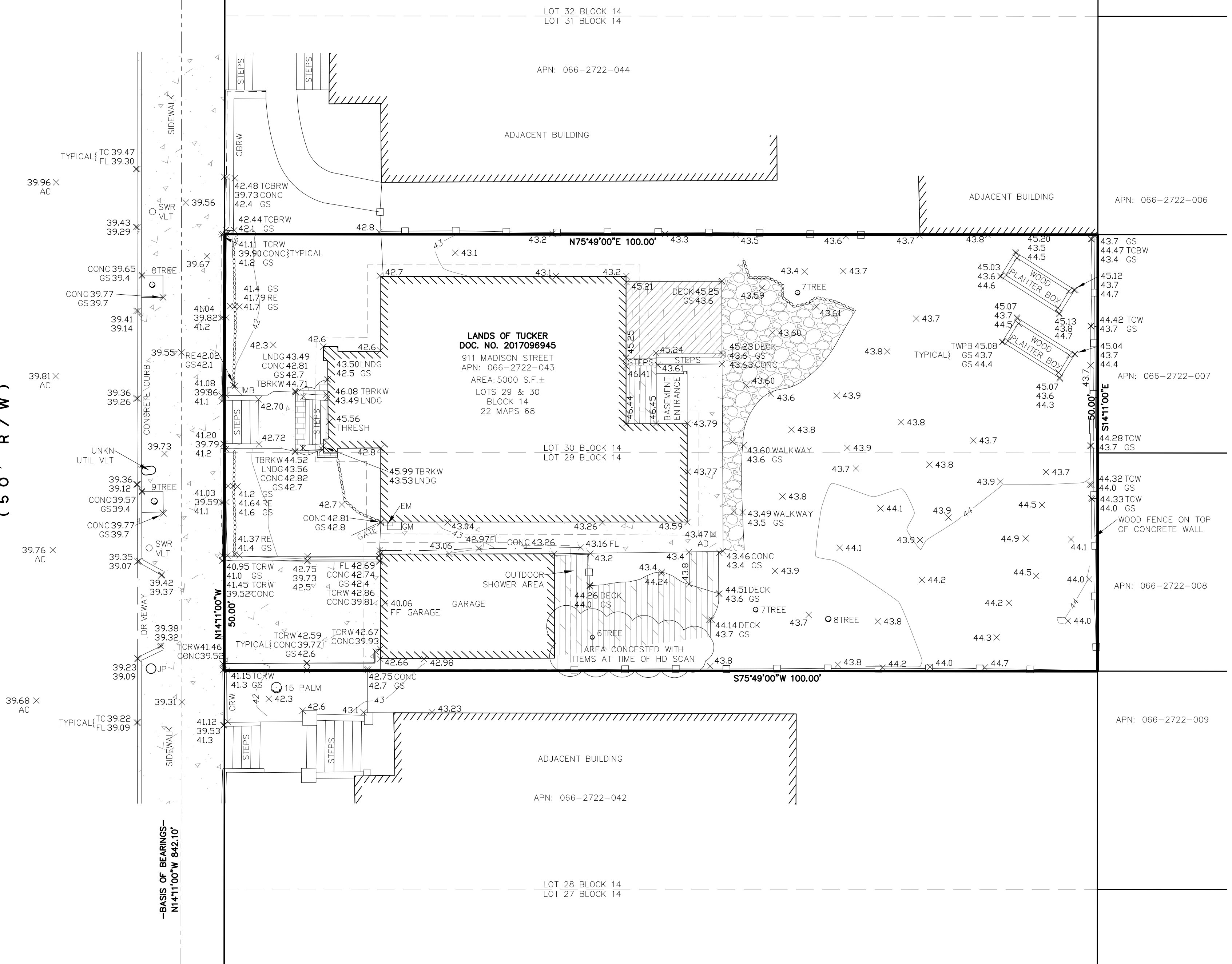
Jack M. Smith
 JACK M. SMITH, S. #7539
 LICENSE EXPIRES: 2-31-2021



DATE _____



MADISON STREET
(50' R/W)



MUIR CONSULTING, INC.
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 OAKDALE, CA 95361
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 SURVEYING • HD SCANNING • GPS • UAV
 www.muirconsulting.com

INC.

CALIFORNIA

TOPOGRAPHIC SURVEY
 OF
911 MADISON STREET
 ALAMEDA COUNTY

ALBANY

REVISIONS	JOB NUMBER	6675-01
	DRAWING NAME	6675-01TOPO.dwg
	DRAWN BY	WCC
	CHECKED BY	TJE
	DATE	12/09/2021
	SHEET NO.	1 OF 1