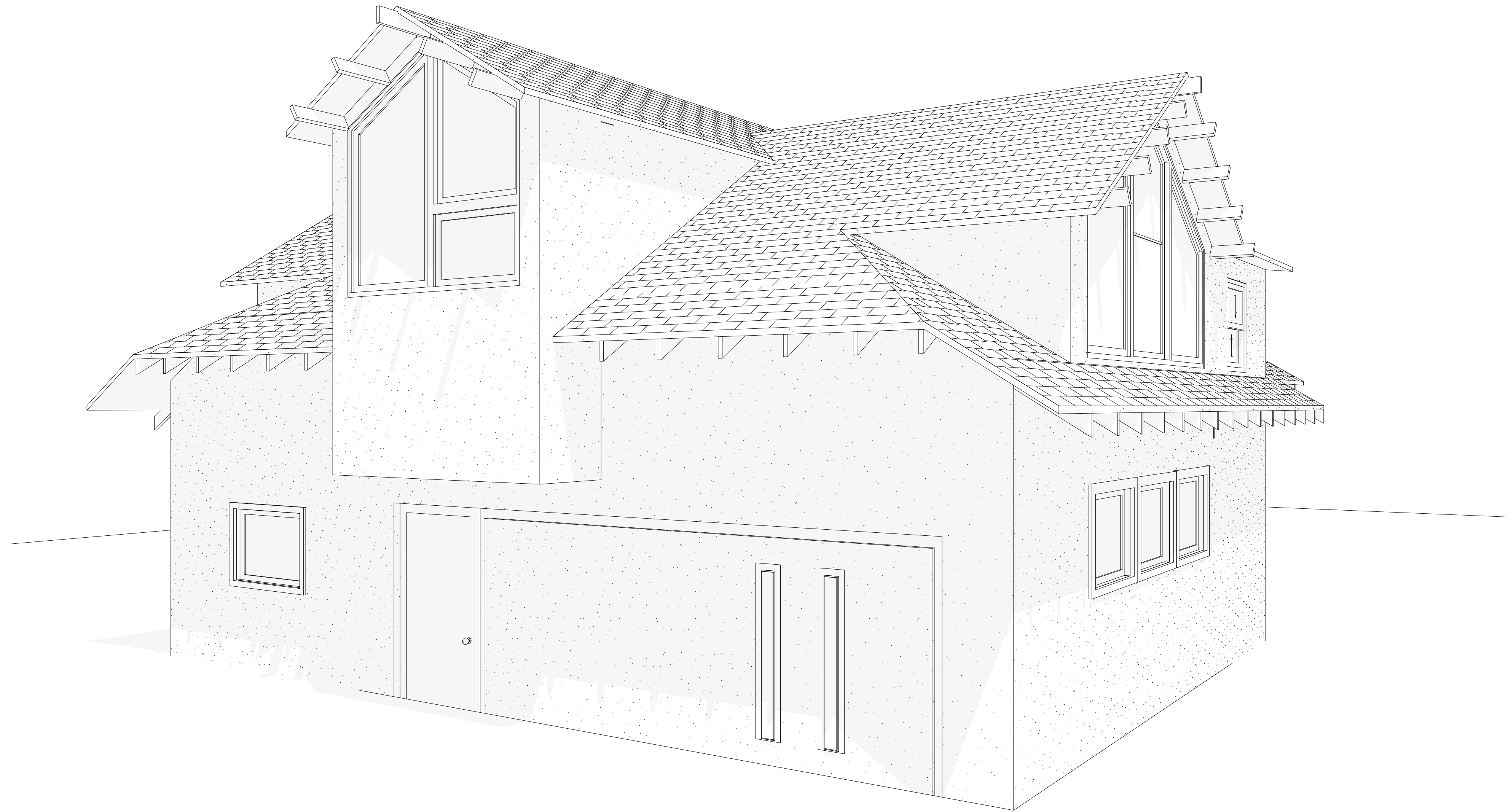


DARO RESIDENCE



LOT COVERAGE:
 LOT SIZE : 3,191 SF
 HOUSE : 756 SF
 ADDITION: 0 SF
 GARAGE : 395 SF
 TOTAL : 1,151 SF
 PERCENTAGE: 1,151 / 3,191 = 36%
 ALLOWABLE: 50%

F.A.R.:
 PERCENTAGE: 55%
 ALLOWABLE: 55%

IMPERVIOUS COVERAGE:
 PERCENTAGE: NO CHANGE
 ALLOWABLE: 55%

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
Albany CA, 94706

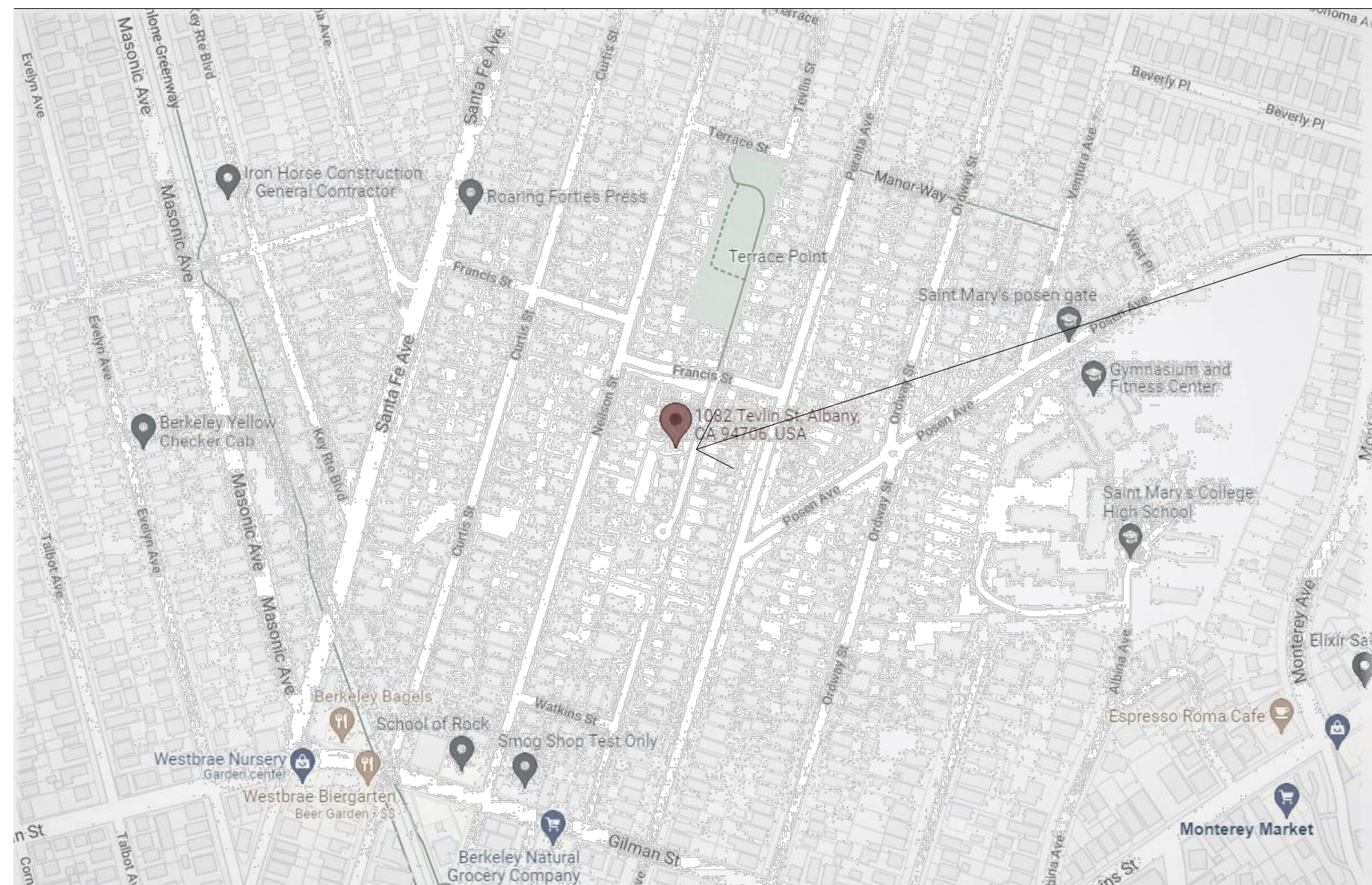
Date 1/11/2022
 Drawn by TSB

A.1

COVER PAGE

Scale:

N
 1082 Tevlin Street Albany CA, 94706



PROJECT LOCATION

SCOPE OF WORK

ROO LINE CHANGE ON ALL OR ON THE
 NOR HAN O H E O HE HO E O R A E HE
 CE L N G H E G H A N R E C O V E R A C E

A N G A W N O W N E A C H N E W L R A E R O O

A E R A H R O O L N G G R A E (N L A C E)
 A N N H G R A E

N A H R O O A A L A V A O R R E C O N G R N G
 L N G A R R A N G E E N N H A R E A

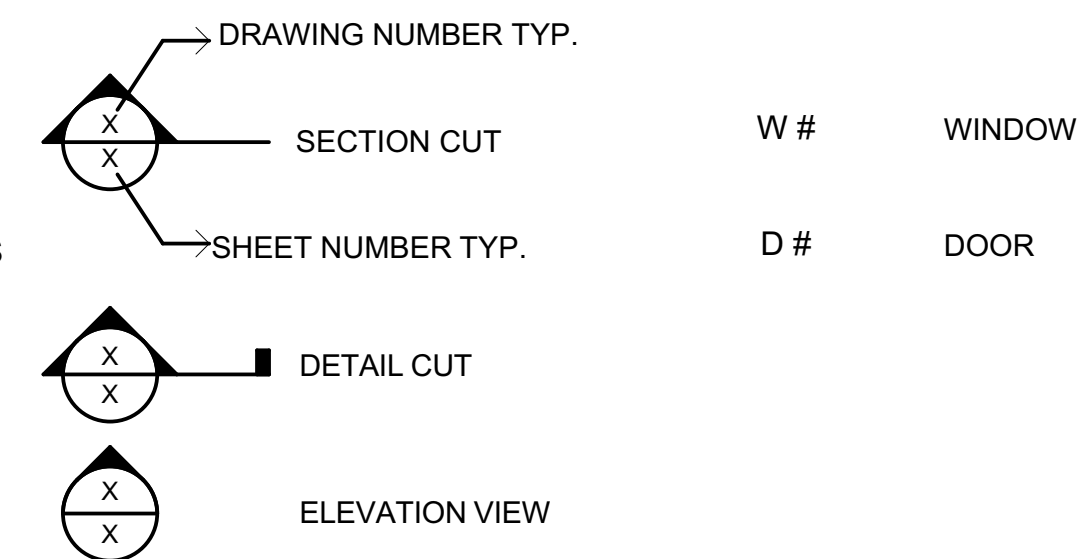
R O E R A R O H O A W H E R E C O V E R A G E A N
 L O L N E A R E C A L C L A E N E G H O R H O O
 R A C

A R C H A N G E R O O (A)

SHEET INDEX

| | |
|------|-------------------------------------|
| A.1 | COVER PAGE |
| A.2 | EXISTING STRUCTURE PHOTOGRAPHS |
| A.3 | SITE PLAN |
| A.4 | EXISTING ELEVATIONS |
| A.5 | PROPOSED ELEVATIONS |
| A.6 | EXISTING LOWER LEVEL FLOOR PLAN |
| A.7 | EXISTING PROPOSED UPPER FLOOR PLANS |
| A.8 | ROOF PLANS |
| A.9 | BUILDING SECTIONS |
| A.10 | SCHEDULES & DETAILS |
| A.11 | STREET ELEVATION |

KEY:



| | | | |
|--------|--------------------------|------|-------------------|
| ACB | ACOUSTICAL CEILING BOARD | GWB | GYPSUM WALL BOARD |
| A.F.F. | ABOVE FINISHED FLOOR | MFR | MANUFACTURER |
| B.O. | BOTTOM OF | O/ | OVER |
| CL | CENTER LINE | O.C. | ON CENTER |
| CONT. | CONTINUOUS | OPG. | OPENING |
| ETR | EXISTING TO REMAIN | P.T. | PRESSURE TREATED |
| F.D. | FLOOR DRAIN | R/W | REINFORCED WITH |
| FDN. | FOUNDATION | REQ. | REQUIRED |
| F.F. | FINISHED FLOOR | SIM. | SIMILAR |
| FIN | FINISH OR FINISHED | TYP. | TYPICAL |
| FL | FLOOR | V.B. | VAPOR BARRIER |
| F.O | FACE OF | W/ | WITH |
| FTG. | FOOTING | | |



EAST VIEW



EAST WINDOW APPROACH



EAST ELEVATION



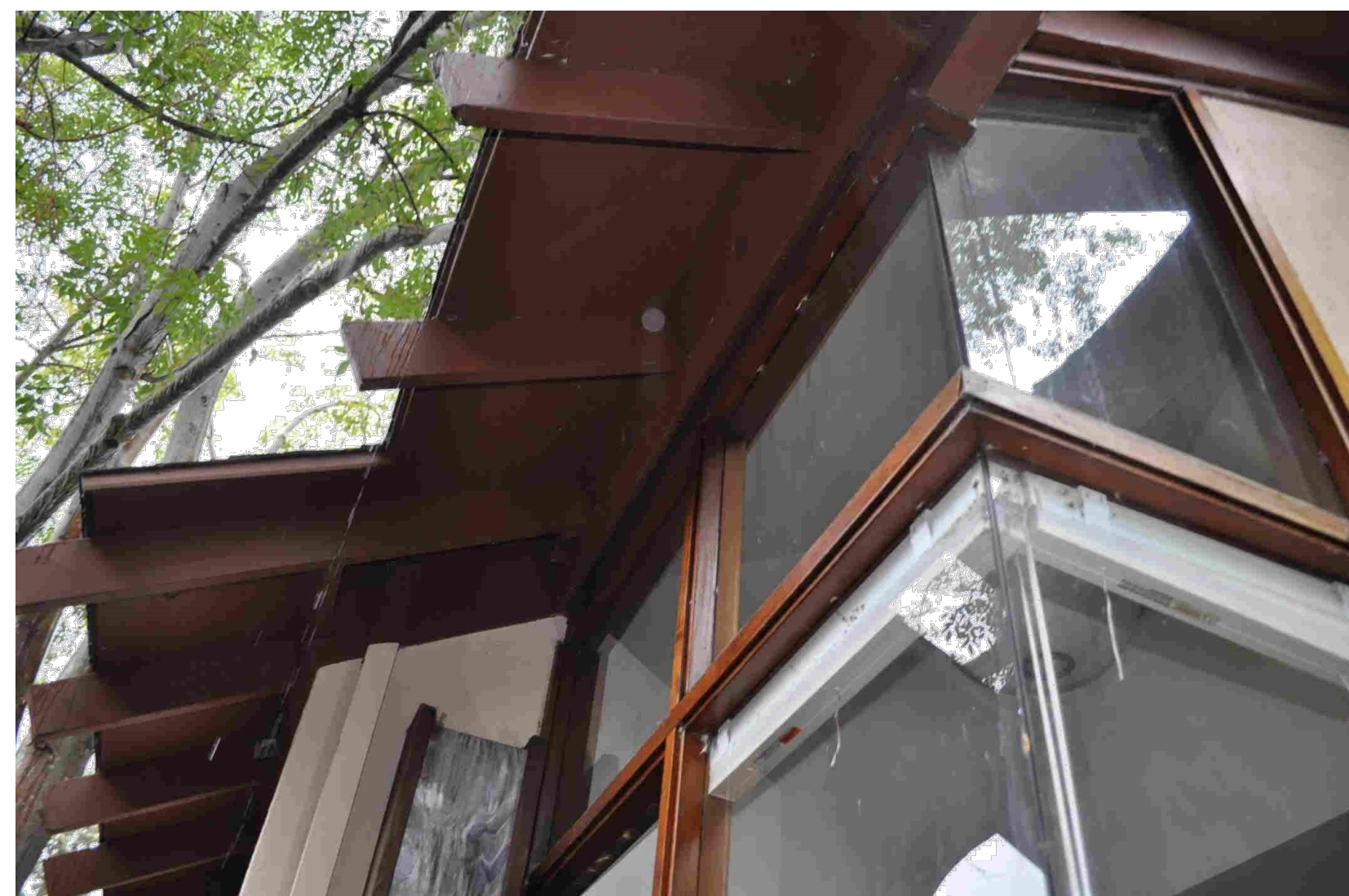
WEST VIEW



EASTEST CORNER



EAST ELEVATION



NORTHEAST CORNER

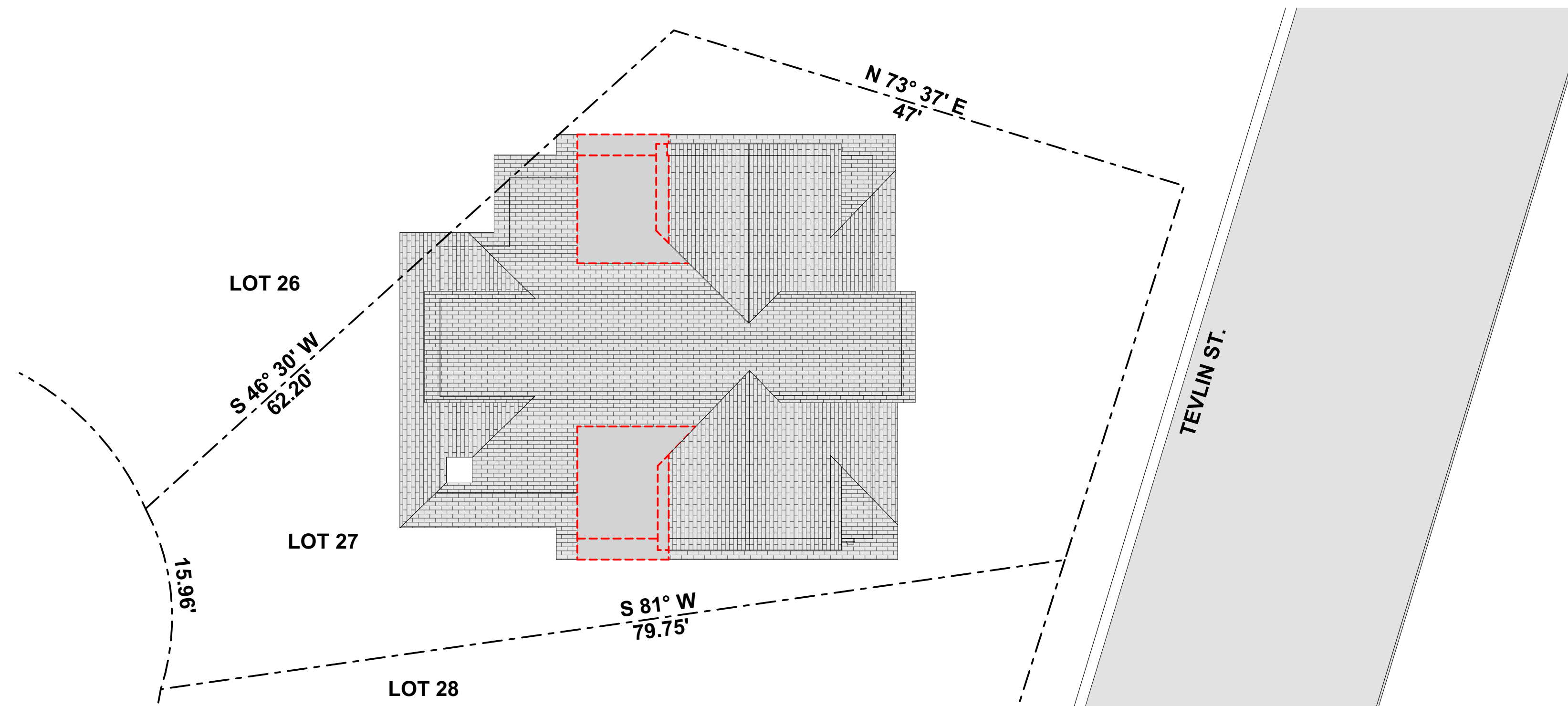


WEST VIEW - MAIN ENTRANCE

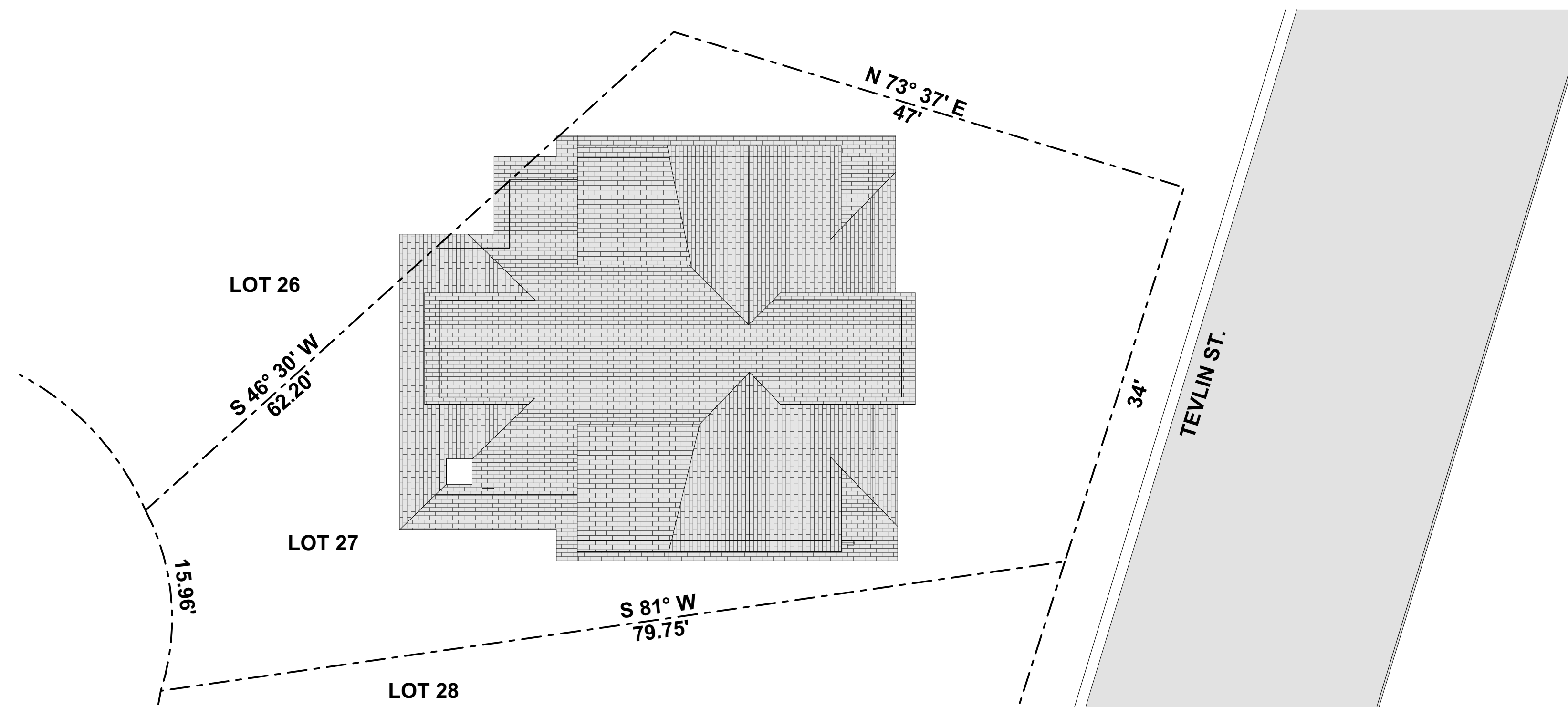


WEST CORNER ENTRANCE

| | | |
|--------------------------------------|--|-------------|
| TSB DESIGN | | |
| No. | Description | Date |
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| 1082 Tevlin Street Albany CA, 94706 | | |
| DARO RESIDENCE | | |
| | 1082 Tevlin Street Albany CA, 94706 | |
| Date | 1/11/2022 | |
| Drawn by | TSB | |
| A.2 | | |
| EXISTING STRUCTURE PHOTOGRAPHS | | |
| Scale: | | |



1 EXISTING SITE PLAN
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/8" = 1'-0"



2 PROPOSED SITE PLAN
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/8" = 1'-0"

LOT COVERAGE:
 LOT SIZE : 3,191 SF
 HOUSE : 1,151 SF
 ADDITION: --- SF
 GARAGE : --- SF
 TOTAL : 1,151 SF

PERCENTAGE: 1,151/3,191= 36%
ALLOWABLE: COVERAGE E

F.A.R.: NE GH ORHO RAC
 LOT SIZE : 3,191 SF
 ML FLOOR : SF
 ADDITION: SF
 UL FLOOR : SF
 TOTAL : SF

PERCENTAGE: 1,735 / 3,191= 54.4%
ALLOWABLE: 55%

IMPERVIOUS COVERAGE:
 LOT SIZE : 4,063 SF
 HOUSE : 889 SF
 GARAGE : 189 SF
 DECK: 116 SF
 DRIVEWAY: 169 SF
 WALKWAY: 275 SF
 TOTAL : 1,638 SF

PERCENTAGE: 1,638/ 4,063= 40.3%
ALLOWABLE: 45%

TSB DESIGN

| No. | Description | Date |
|-----|-------------|------|
| 1 | LANN NG E | 1 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

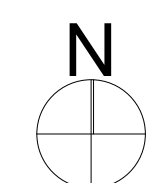
DARO RESIDENCE

1082 Tevlin Street
 Albany CA, 94706

Date: 1/11/2022
 Drawn by: TSB

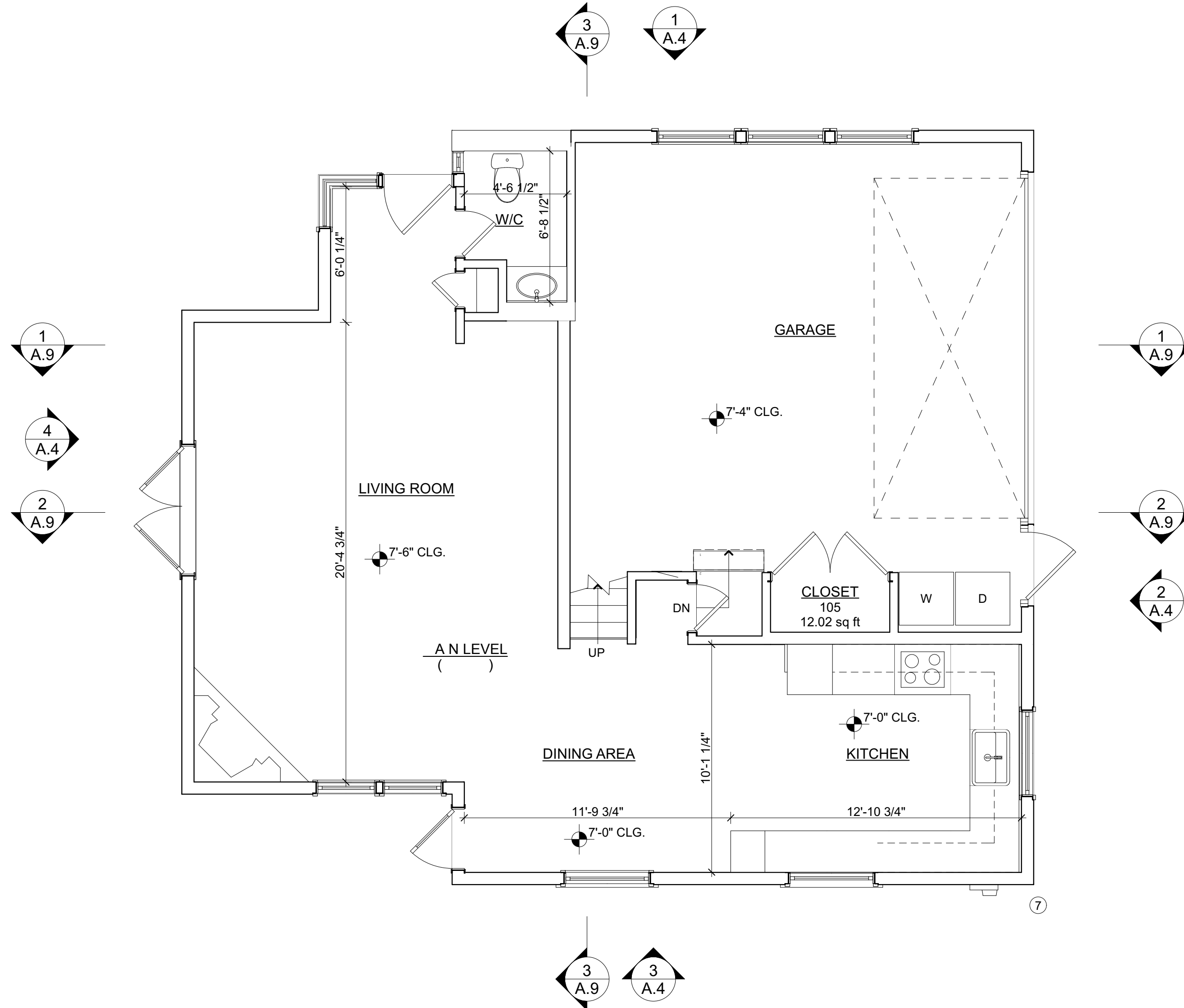
A.3

SITE PLAN



Scale:

| DEMO KEY NOTES: | LEGEND: | GENERAL NOTES: | PROPOSED PLAN KEYNOTES: |
|---|---|--|--|
| <ol style="list-style-type: none"> EXISTING WALLS TO REMAIN REMOVE EXISTING FRAMING AND FINISHES, DOORS AND WINDOWS, SHOWN AS DASHED REMOVE EXISTING CABINETS AND FINISHES TYP. REMOVE EXISTING BATHROOM FIXTURES AND TILE FINISHES REMOVE EXISTING ROOFING AND PARTIAL FRAMING AS NEEDED REMOVE EXISTING SKYLIGHT (E) METER TO REMAIN (E) ELECTRICAL PANEL TO REMAIN | <p>EXISTING WALL</p> <p>DEMO WALL</p> <p>NEW WALL</p> | <ol style="list-style-type: none"> PROTECT (E) STRUCTURE IN PLACE DURING CONSTRUCTION. PROTECT (E) STRUCTURE IN PLACE DURING CONSTRUCTION. CONFIRM ALL (E) CONDITIONS IN FIELD PRIOR TO CONFIRM ALL (E) CONDITIONS IN FIELD PRIOR TO CONSTRUCTION. IF DIFFERENT FROM DRAWINGS, NOTIFY ARCHITECT/OWNERS IMMEDIATELY PRIOR TO COMMENCING THAT PORTION OF WORK. CONTRACTOR IS REQUIRED TO PATCH AND REPAIR SURFACES CONTRACTOR IS REQUIRED TO PATCH AND REPAIR SURFACES IMPACTED DURING CONSTRUCTION TO ORIGINAL CONDITION. FRAMING NOTES: FRAMING NOTES: ALL WALLS ARE 2x4 FRAMING WITH 1/2" GYPSUM ALL WALLS ARE 2x4 FRAMING WITH 1/2" GYPSUM BOARD ON BOTH SIDES, U.O.N. PROVIDE 2x6 FRAMING AT ALL PLUMBING WALLS PROVIDE 2x6 FRAMING AT ALL PLUMBING WALLS DIMENSIONS ARE TO FACE OF GYPSUM BOARD, TYPICAL. DIMENSIONS ARE TO FACE OF GYPSUM BOARD, TYPICAL. INSULATION NOTES: INSULATION NOTES: PROVIDE R-13 INSULATION AT 2X4 WALLS WHEREVER PROVIDE R-13 INSULATION AT 2X4 WALLS WHEREVER APPLICABLE PROVIDE R-19 AT 2X6 WALLS AND INSULATION UNDER PROVIDE R-19 AT 2X6 WALLS AND INSULATION UNDER FLOOR WHEREVER APPLICABLE 5.3 PROVIDE R-30 INSULATION AT ROOF OR AS REQUIRED PROVIDE R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS WHEREVER ENERGY CALCULATIONS WHEREVER APPLICABLE | <ol style="list-style-type: none"> PREPARE THE AREA FOR A NEW BATHROOM. NOT IN SCOPE OF WORK, SHOWN AS GREY SOLID HATCH (N) STUD WALL PLUMBING / MECHANICAL VENT FROM THE (N) BATHROOM PREPARE VENT OPENING AS NEEDED CONNECT (N) DRAIN TO (E) SEWER PIPE (N) PLUMBING FIXTURE INFILL OLD DOOR LOCATION PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS. TOILET EXHAUST FAN, MIN 50CFM, EXHAUST TERMINATION 3'-0" MIN FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5 (N) CLOSET (N) CABINETS, NIC (N) WINDOW (N) SHOWER CURB (N) SHOWER GLASS PANEL, TEMPERED GLASS PAINT WALLS AND CEILINGS, TYP. (FIRST FL. MINUS BATH) REFINISH (E) PARQUET FLOORS (N) ROOF FRAMING, SSD CRICKET TO SLOPE |



1 ML- E NG PLAN
 SCALE: (11" X 17" SIZE DRAWINGS) 1/8" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

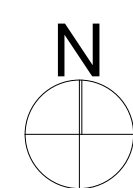
1082 Tevlin Street
 Albany CA, 94706

Date 1/11/2022

Drawn by TSB

A.6

EXISTING MAIN
 LEVEL FLOOR
 PLAN (NO
 CHANGE)






Scale:

DEMO KEY NOTES:

1. EXISTING WALLS TO REMAIN
2. REMOVE EXISTING FRAMING AND FINISHES, DOORS AND WINDOWS, SHOWN AS DASHED
3. REMOVE EXISTING CABINETS AND FINISHES TYP.
4. REMOVE EXISTING BATHROOM FIXTURES AND TILE FINISHES
5. REMOVE EXISTING ROOFING AND PARTIAL FRAMING AS NEEDED
6. REMOVE EXISTING SKYLIGHT
7. (E) METER TO REMAIN
8. (E) ELECTRICAL PANEL TO REMAIN

LEGEND:

-  EXISTING WALL
-  DEMO WALL
-  NEW 2X4 WALL @ 16" O.C., U.O.N.

GENERAL NOTES:

1. PROTECT (E) STRUCTURE IN PLACE DURING CONSTRUCTION. PROTECT (E) STRUCTURE IN PLACE DURING CONSTRUCTION.
2. CONFIRM ALL (E) CONDITIONS IN FIELD PRIOR TO CONFIRM ALL (E) CONDITIONS IN FIELD PRIOR TO CONSTRUCTION. IF DIFFERENT FROM DRAWINGS, NOTIFY ARCHITECT/OWNERS IMMEDIATELY PRIOR TO COMMENCING THAT PORTION OF WORK.
3. CONTRACTOR IS REQUIRED TO PATCH AND REPAIR SURFACES CONTRACTOR IS REQUIRED TO PATCH AND REPAIR SURFACES IMPACTED DURING CONSTRUCTION TO ORIGINAL CONDITION.
4. FRAMING NOTES: FRAMING NOTES:
 - 4.1 ALL WALLS ARE 2X4 FRAMING WITH 1/2" GYPSUM ALL WALLS ARE 2X4 FRAMING WITH 1/2" GYPSUM BOARD ON BOTH SIDES, U.O.N.
 - 4.2 PROVIDE 2X6 FRAMING AT ALL PLUMBING WALLS PROVIDE 2X6 FRAMING AT ALL PLUMBING WALLS
 - 4.3 DIMENSIONS ARE TO FACE OF GYPSUM BOARD, TYPICAL. DIMENSIONS ARE TO FACE OF GYPSUM BOARD, TYPICAL.
5. INSULATION NOTES: INSULATION NOTES:
 - 5.1 PROVIDE R-13 INSULATION AT 2X4 WALLS WHEREVER PROVIDE R-13 INSULATION AT 2X4 WALLS WHEREVER APPLICABLE
 - 5.2 PROVIDE R-19 AT 2X6 WALLS AND INSULATION UNDER PROVIDE R-19 AT 2X6 WALLS AND INSULATION UNDER FLOOR WHEREVER APPLICABLE 5.3 PROVIDE R-30 INSULATION AT ROOF OR AS REQUIRED PROVIDE R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS WHEREVER ENERGY CALCULATIONS WHEREVER APPLICABLE

PROPOSED PLAN KEYNOTES:

1. PREPARE THE AREA FOR A NEW BATHROOM.
2. NOT IN SCOPE OF WORK, SHOWN AS GREY SOLID HATCH
3. (N) STUD WALL
4. PLUMBING / MECHANICAL VENT FROM THE (N) BATHROOM
5. PREPARE VENT OPENING AS NEEDED
6. CONNECT (N) DRAIN TO (E) SEWER PIPE
7. (N) PLUMBING FIXTURE
8. INFILL OLD DOOR LOCATION
9. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
10. TOILET EXHAUST FAN, MIN 50CFM, EXHAUST TERMINATION 3'-0" MIN FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5
11. (N) CLOSET
12. (N) CABINETS, NIC

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

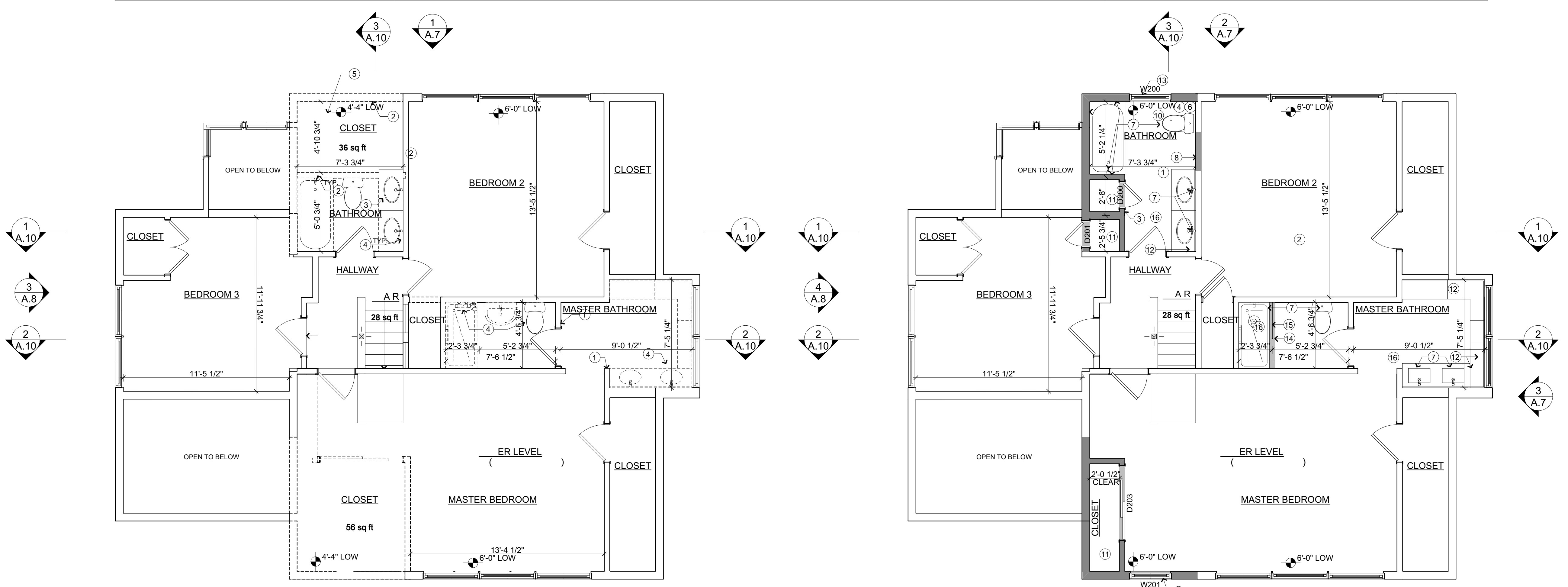
1082 Tevlin Street
Albany CA, 94706

| | |
|----------|-----------|
| Date | 1/11/2022 |
| Drawn by | TSB |

A.5


UPPER LEVEL FLOOR PLANS

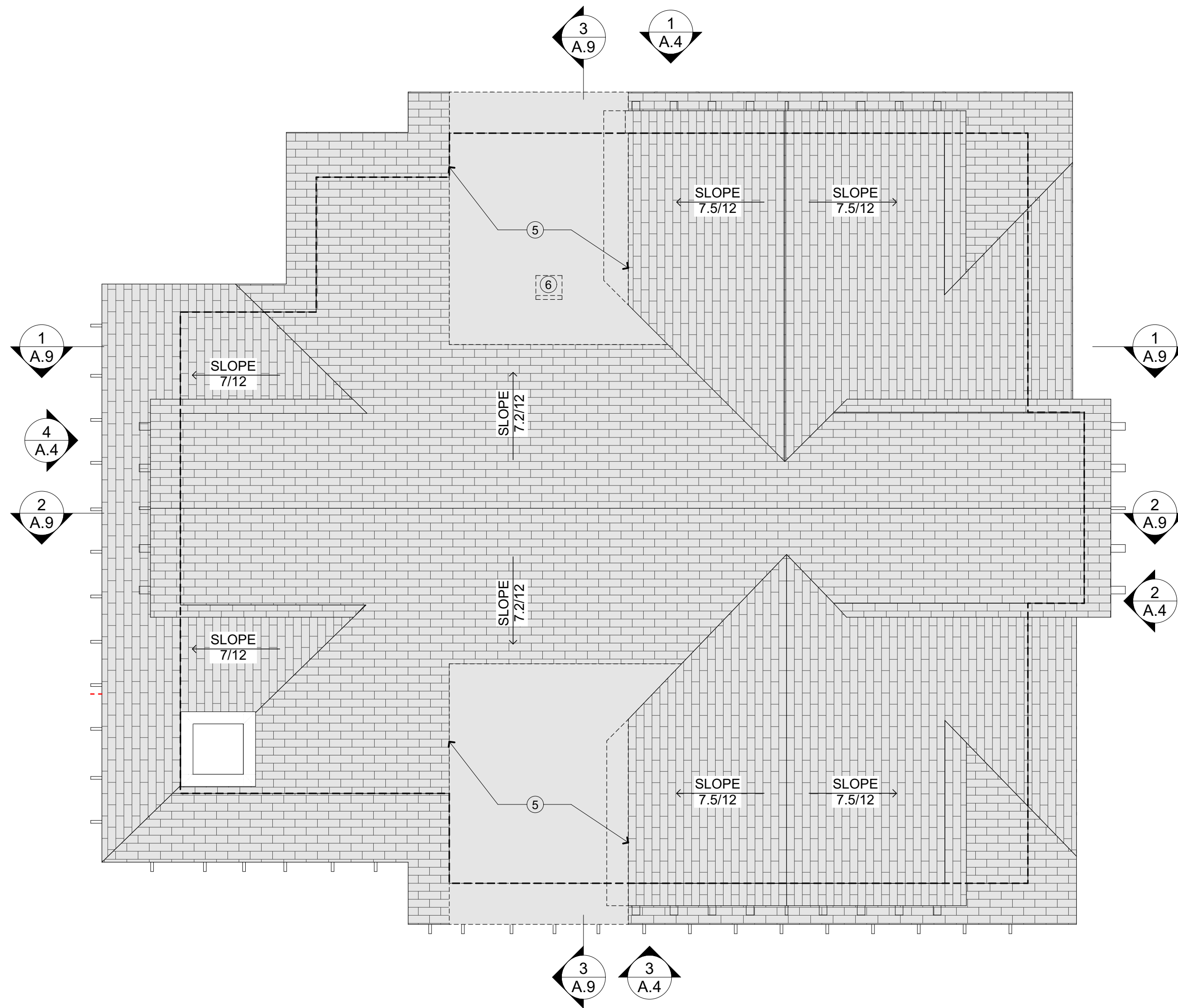
Scale:



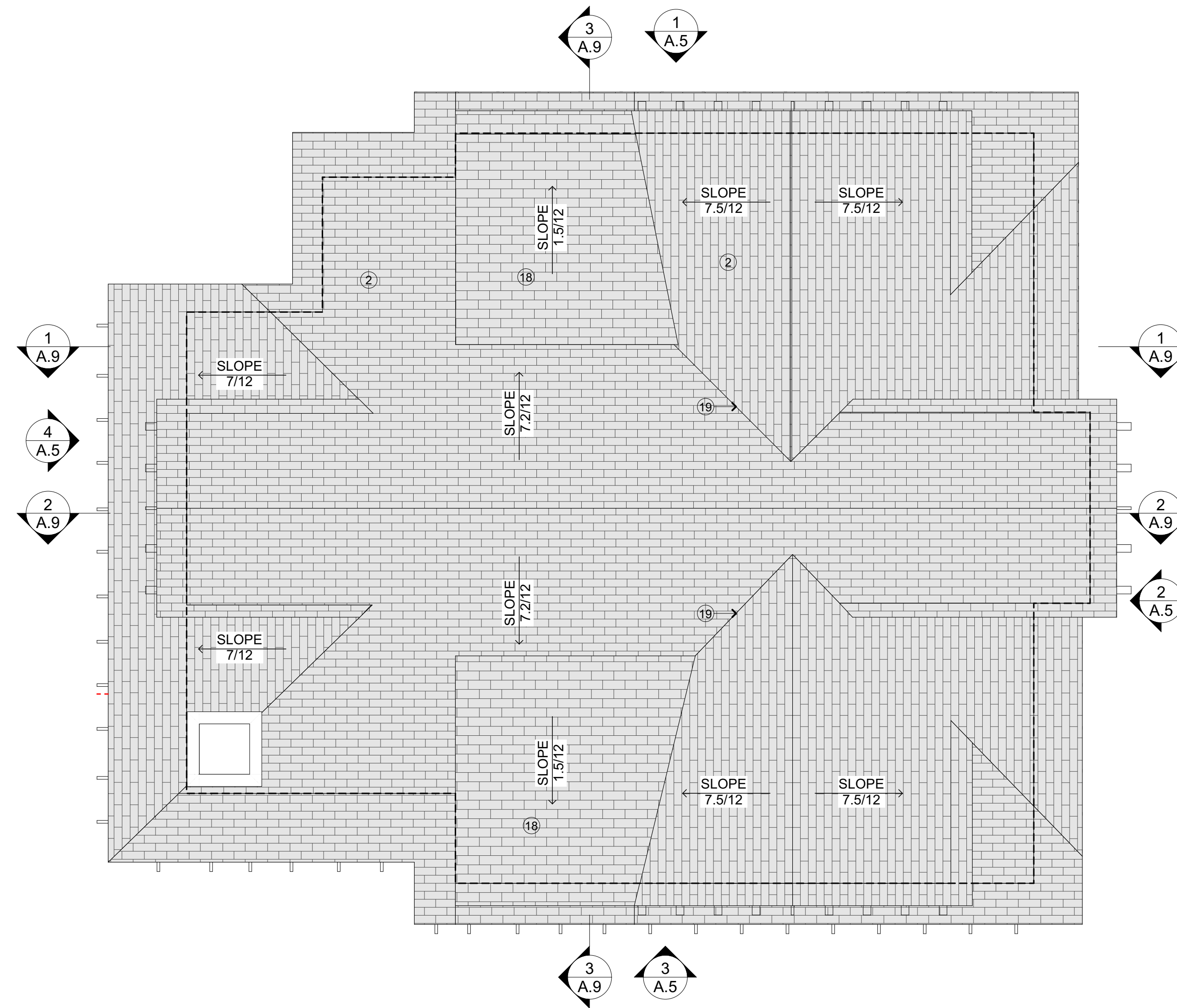
1 UL - DEMO PLAN
SCALE: (11" X 17" SIZE DRAWINGS) 1/8" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

2 UL - PROPOSED PLAN
SCALE: (11" X 17" SIZE DRAWINGS) 1/8" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

| DEMO KEY NOTES: | LEGEND: | GENERAL NOTES: | PROPOSED PLAN KEYNOTES: |
|---|--|---|--|
| <ol style="list-style-type: none"> EXISTING WALLS TO REMAIN REMOVE EXISTING FRAMING AND FINISHES, DOORS AND WINDOWS, SHOWN AS DASHED REMOVE EXISTING CABINETS AND FINISHES TYP. REMOVE EXISTING BATHROOM FIXTURES AND TILE FINISHES REMOVE EXISTING ROOFING AND PARTIAL FRAMING AS NEEDED REMOVE EXISTING SKYLIGHT (E) METER TO REMAIN (E) ELECTRICAL PANEL TO REMAIN | <p> DEMO ROOF</p> | <ol style="list-style-type: none"> PROTECT (E) STRUCTURE IN PLACE DURING CONSTRUCTION. PROTECT (E) STRUCTURE IN PLACE DURING CONSTRUCTION. CONFIRM ALL (E) CONDITIONS IN FIELD PRIOR TO CONFIRM ALL (E) CONDITIONS IN FIELD PRIOR TO CONSTRUCTION. IF DIFFERENT FROM DRAWINGS, NOTIFY ARCHITECT/OWNERS IMMEDIATELY PRIOR TO COMMENCING THAT PORTION OF WORK. CONTRACTOR IS REQUIRED TO PATCH AND REPAIR SURFACES CONTRACTOR IS REQUIRED TO PATCH AND REPAIR SURFACES IMPACTED DURING CONSTRUCTION TO ORIGINAL CONDITION. FRAMING NOTES: FRAMING NOTES: 4.1 ALL WALLS ARE 2x4 FRAMING WITH 1/2" GYPSUM ALL WALLS ARE 2x4 FRAMING WITH 1/2" GYPSUM BOARD ON BOTH SIDES, U.O.N. 4.2 PROVIDE 2x6 FRAMING AT ALL PLUMBING WALLS PROVIDE 2x6 FRAMING AT ALL PLUMBING WALLS 4.3 DIMENSIONS ARE TO FACE OF GYPSUM BOARD, TYPICAL. DIMENSIONS ARE TO FACE OF GYPSUM BOARD, TYPICAL. INSULATION NOTES: INSULATION NOTES: 5.1 PROVIDE R-13 INSULATION AT 2X4 WALLS WHEREVER PROVIDE R-13 INSULATION AT 2X4 WALLS WHEREVER APPLICABLE 5.2 PROVIDE R-19 AT 2X6 WALLS AND INSULATION UNDER PROVIDE R-19 AT 2X6 WALLS AND INSULATION UNDER FLOOR WHEREVER APPLICABLE 5.3 PROVIDE R-30 INSULATION AT ROOF OR AS REQUIRED PROVIDE R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS WHEREVER ENERGY CALCULATIONS WHEREVER APPLICABLE | <ol style="list-style-type: none"> PREPARE THE AREA FOR A NEW BATHROOM. NOT IN SCOPE OF WORK, SHOWN AS GREY SOLID HATCH (N) STUD WALL PLUMBING / MECHANICAL VENT FROM THE (N) BATHROOM PREPARE VENT OPENING AS NEEDED CONNECT (N) DRAIN TO (E) SEWER PIPE (N) PLUMBING FIXTURE INFILL OLD DOOR LOCATION PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS. TOILET EXHAUST FAN, MIN 50CFM, EXHAUST TERMINATION 3'-0" MIN FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5 (N) CLOSET (N) CABINETS, NIC (N) WINDOW (N) SHOWER CURB (N) SHOWER GLASS PANEL, TEMPERED GLASS PAINT WALLS AND CEILINGS, TYP. (FIRST FL. MINUS BATH) REFINISH (E) PARQUET FLOORS (N) ROOF FRAMING, SSD CRICKET TO SLOPE |



1 ROOF- DEMO PLAN
SCALE: (11" X 17" SIZE DRAWINGS) 1/8" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



2 PROPOSED ROOF PLAN
SCALE: (11" X 17" SIZE DRAWINGS) 1/8" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

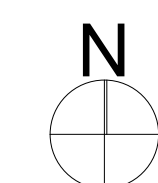
1082 Tevlin Street
Albany CA, 94706

Date 1/11/2022

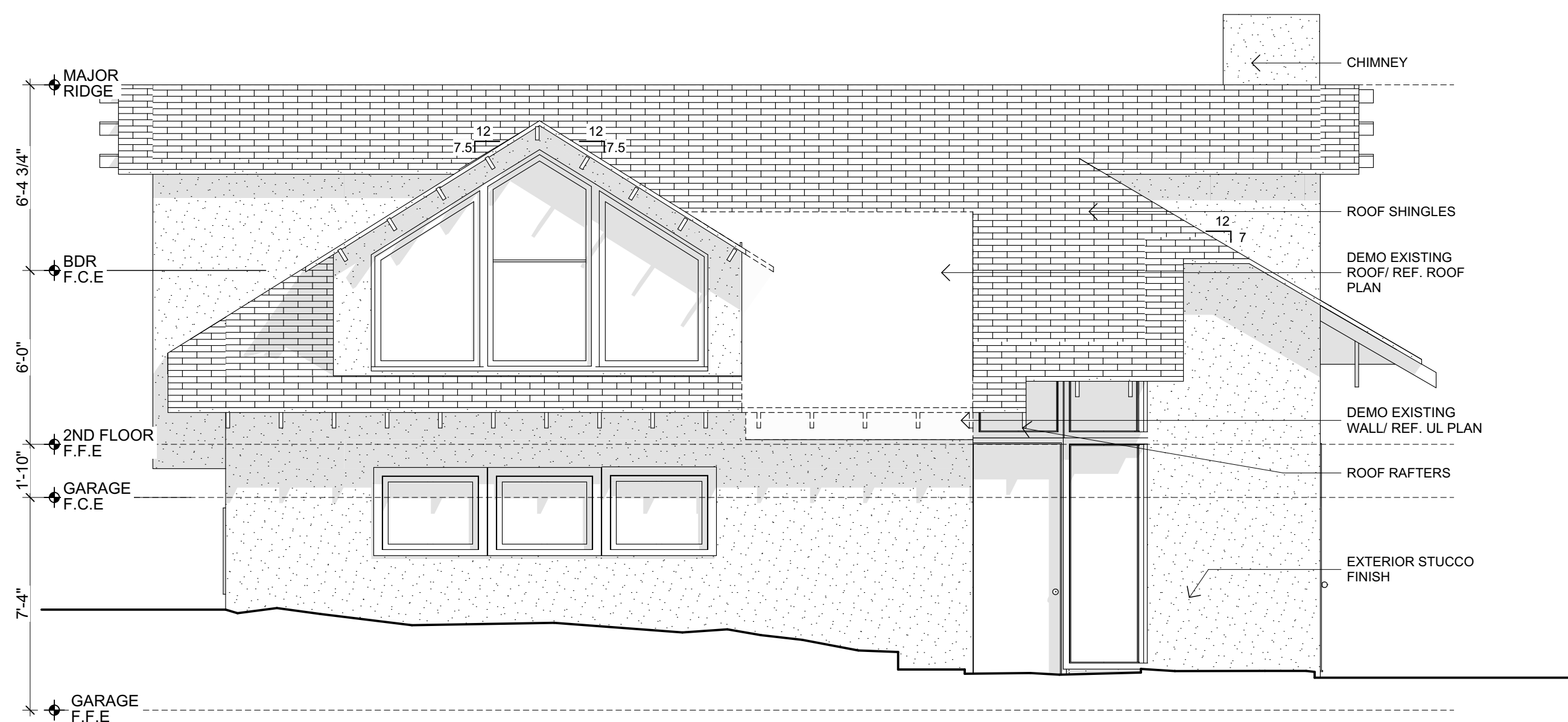
Drawn by TSB

A.8

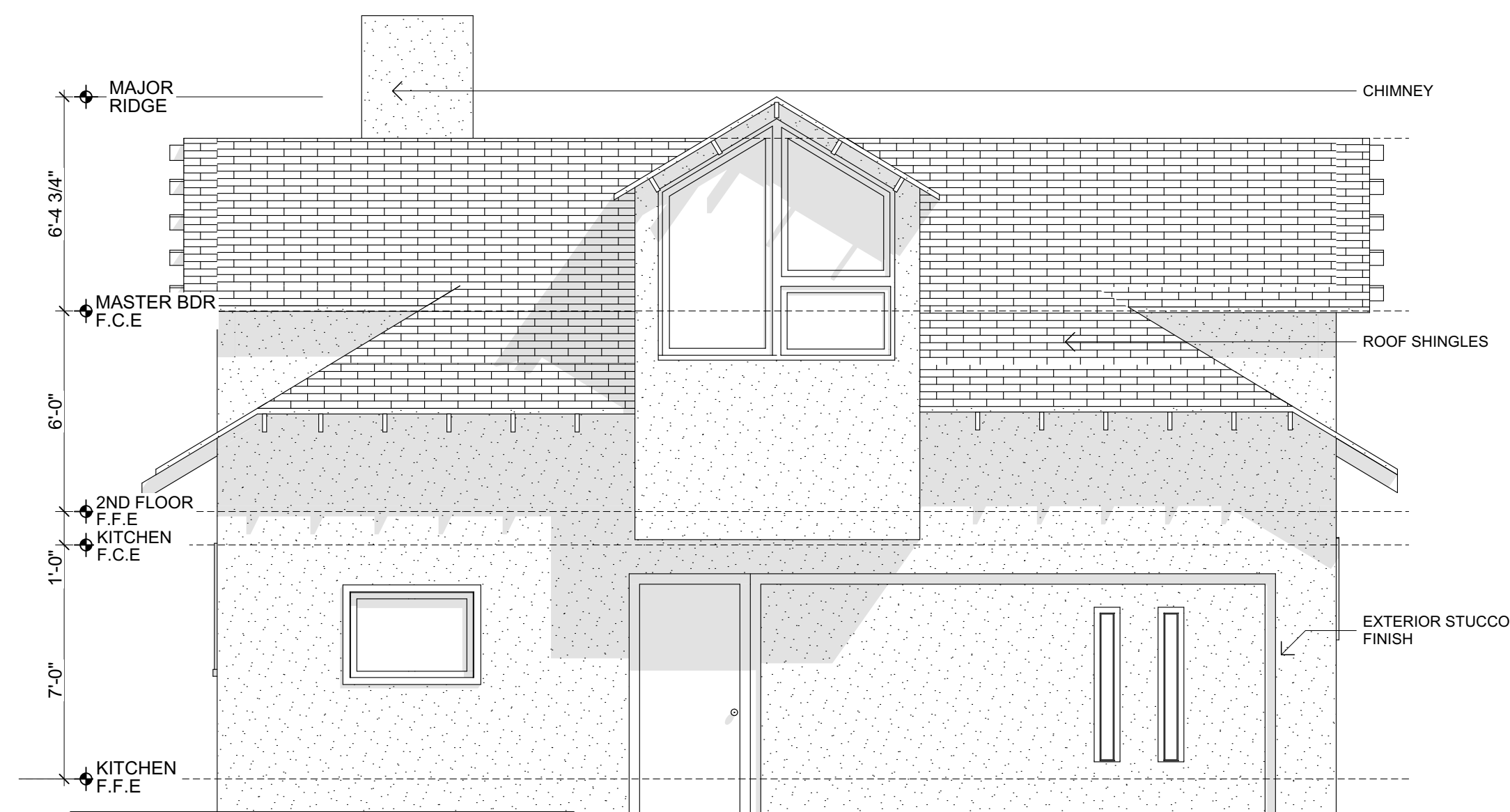
ROOF PLANS



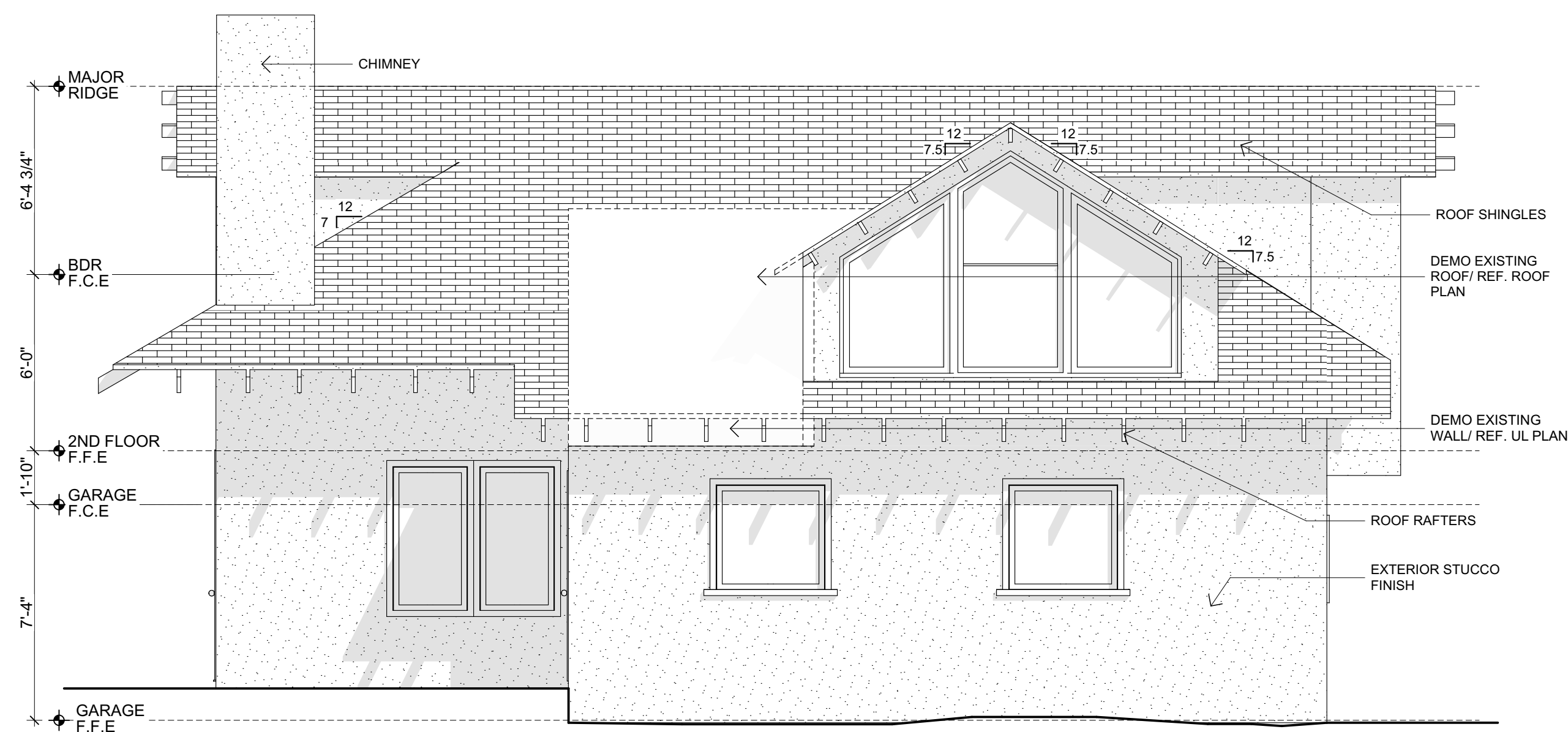
Scale:



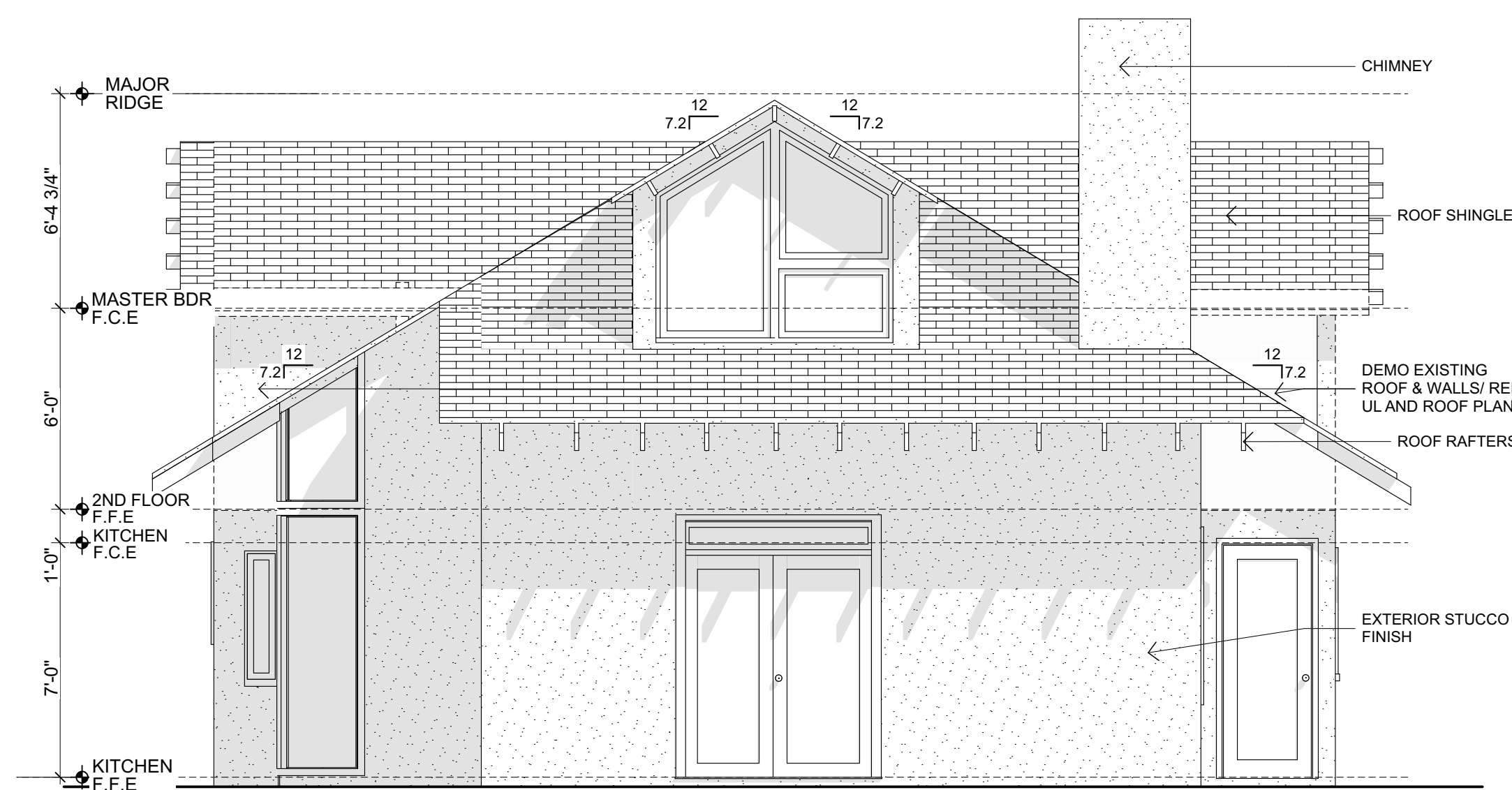
1 NORTH DEMO ELEVATION
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



2 EAST DEMO ELEVATION
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



3 SOUTH DEMO ELEVATION
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



4 WEST DEMO ELEVATION
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

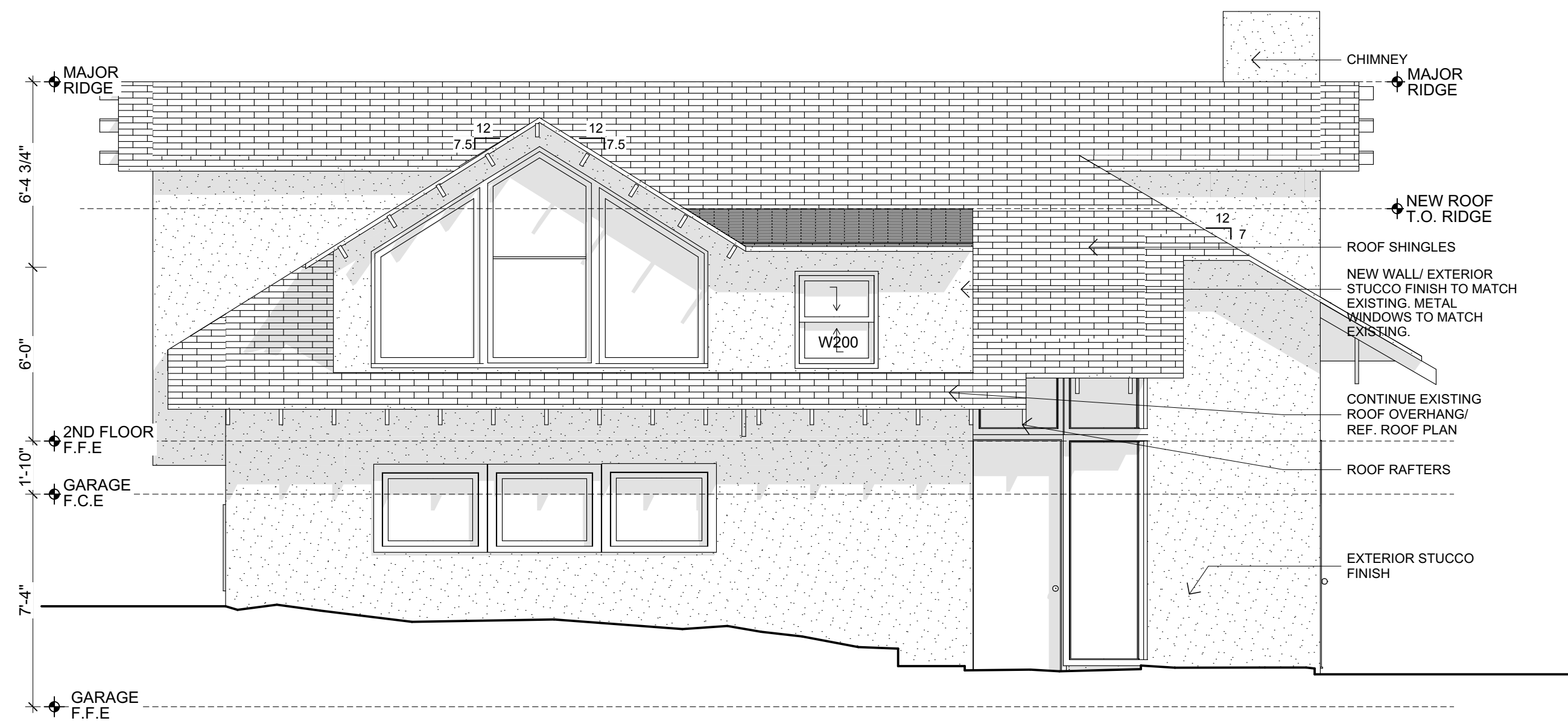
DARO RESIDENCE

| | |
|----------|-----------|
| Date | 1/11/2022 |
| Drawn by | TSB |

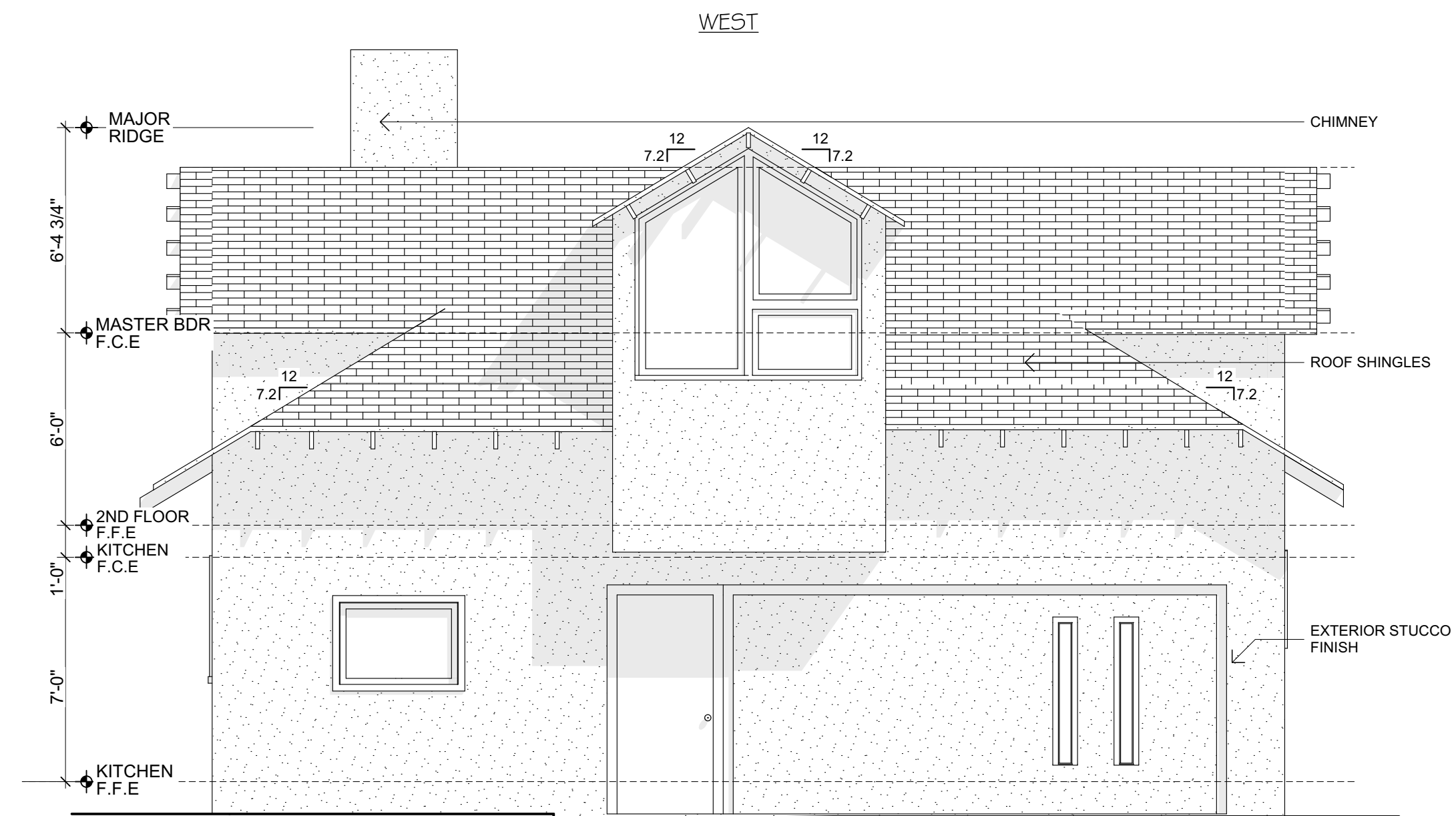
A.4

EXISTING ELEVATIONS

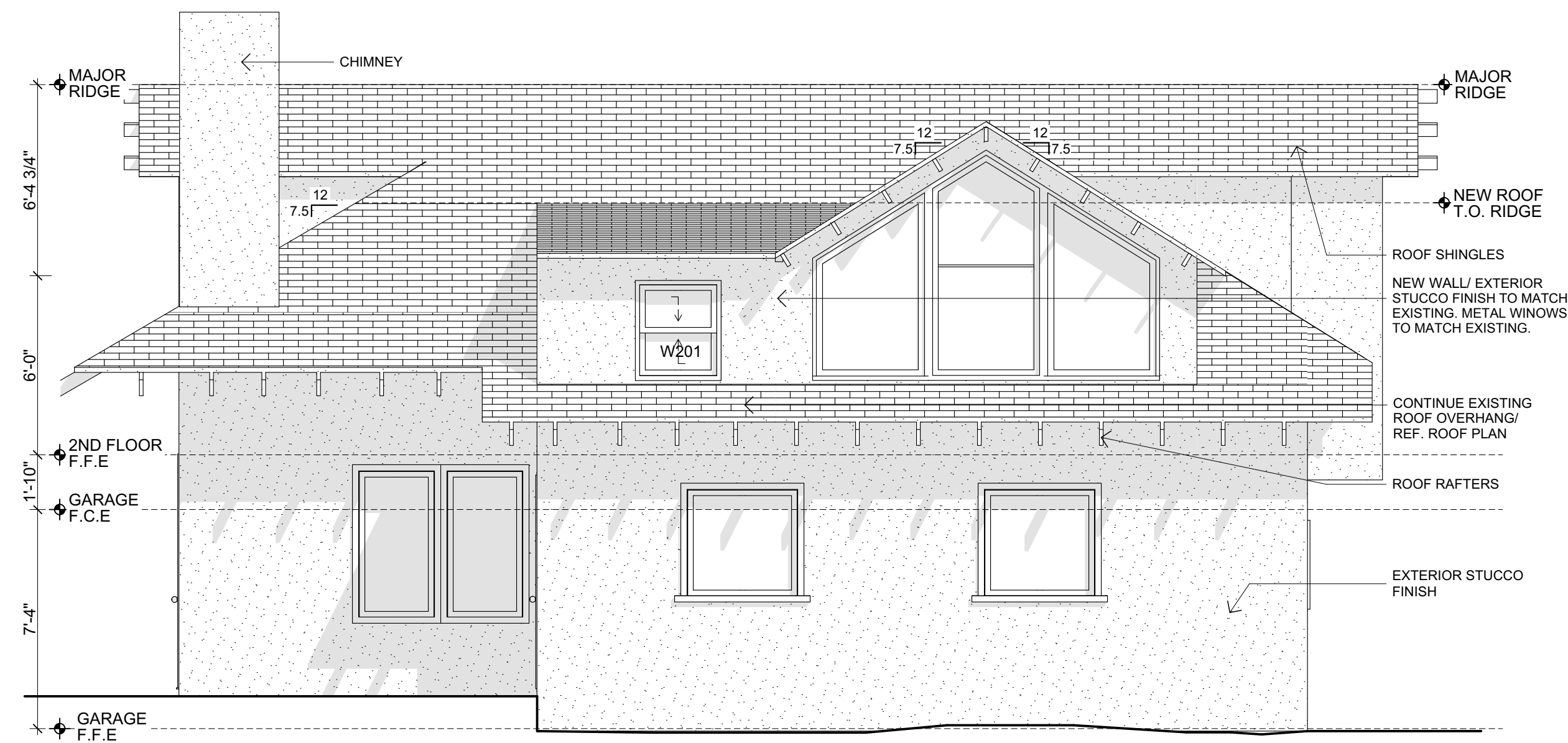
Scale:



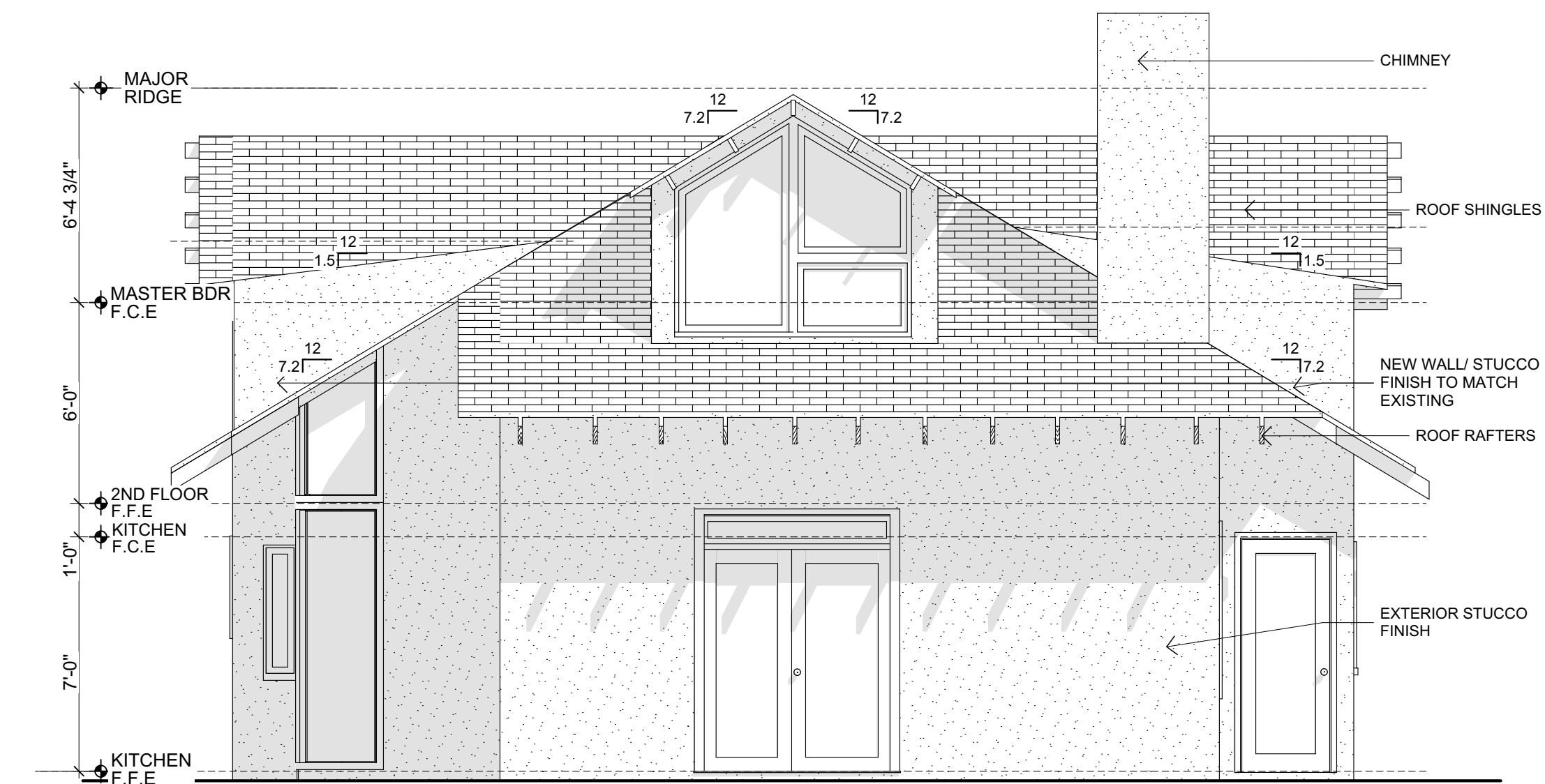
1 NORTH PROPOSED ELEVATION
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



2 EAST ELEVATION - NO WORK
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



3 SOUTH PROPOSED ELEVATION
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



4 WEST PROPOSED ELEVATION
 SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
 Albany CA, 94706

| | |
|----------|-----------|
| Date | 1/11/2022 |
| Drawn by | TSB |

A.5

PROPOSED
 ELEVATIONS

Scale:

1086 Tevlin Street Albany CA, 94706

1084 Tevlin Street Albany CA, 94706

1082 Tevlin Street Albany CA, 94706



1

STREET ELEVATION

SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
Albany CA, 94706

Date 1/11/2022

Drawn by TSB

A.11

STREET
ELEVATION

Scale:



1 BUILDING SECTION
SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: (11" X 17" SIZE DRAWINGS) 1/16" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

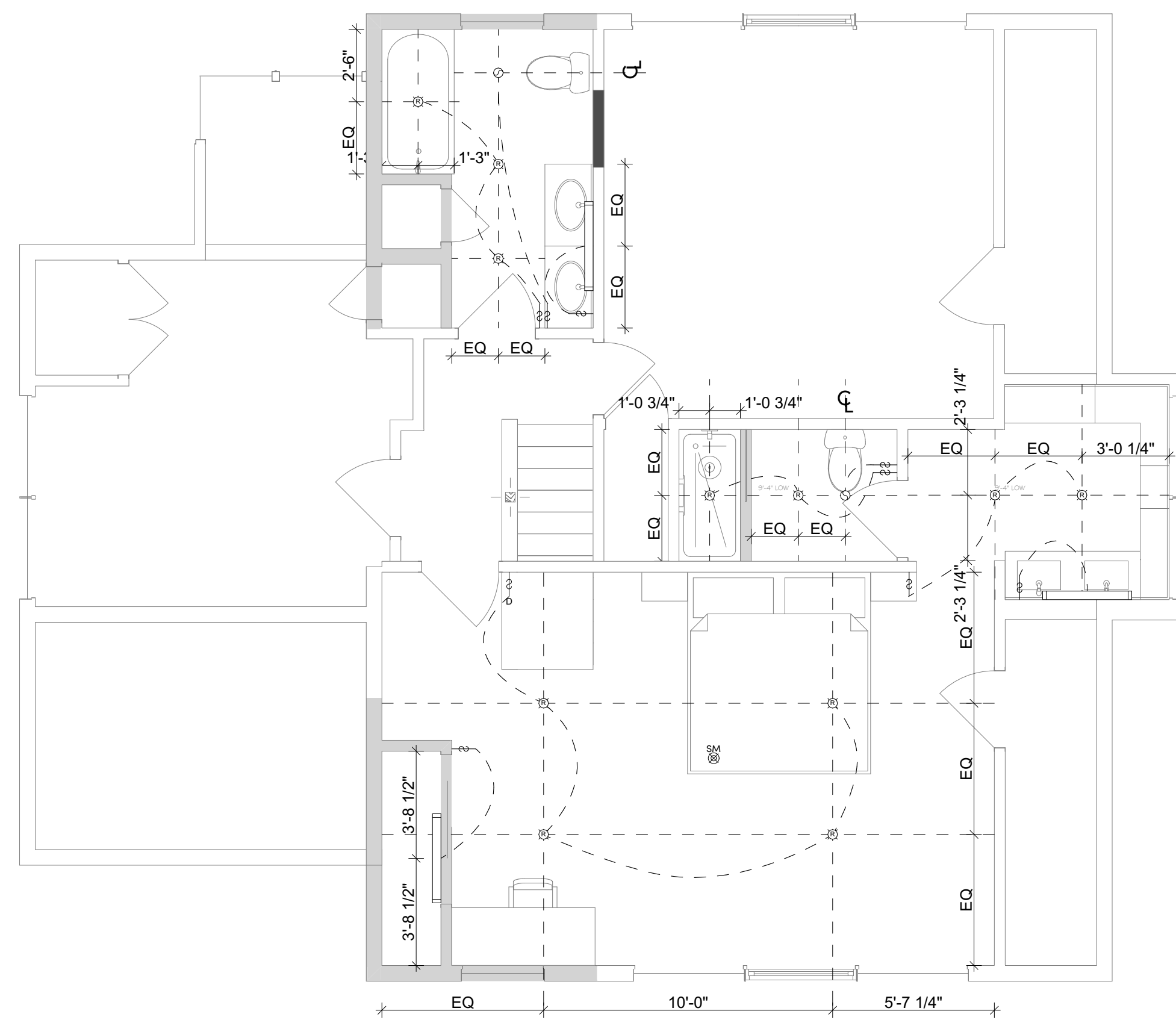
1082 Tevlin Street
Albany CA, 94706

| | |
|----------|-----------|
| Date | 1/11/2022 |
| Drawn by | TSB |

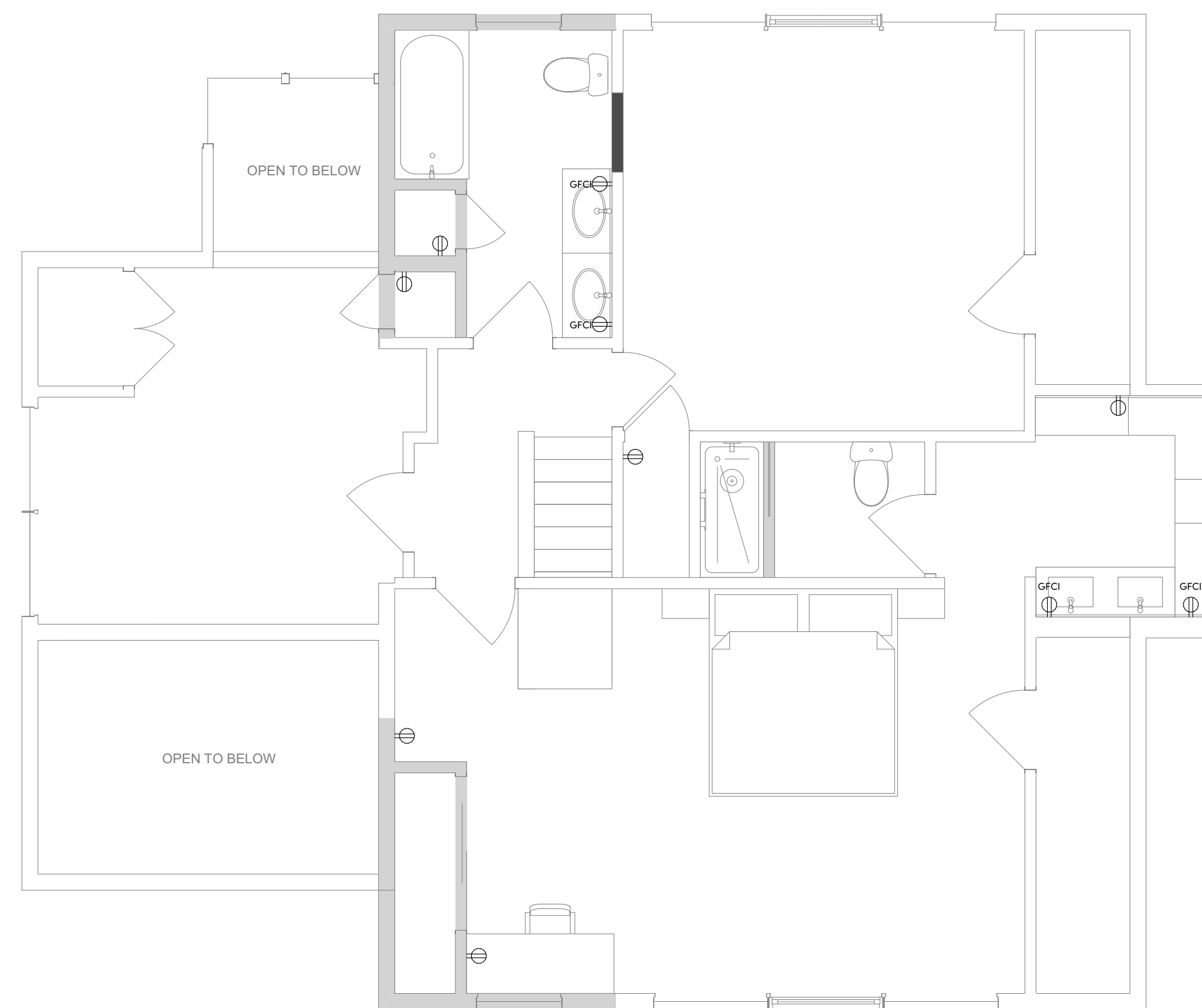
A.9

BUILDING SECTIONS

Scale:



1 UL REFLECTED CEILING
 SCALE: (11" X 17" SIZE DRAWINGS) 1/8" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

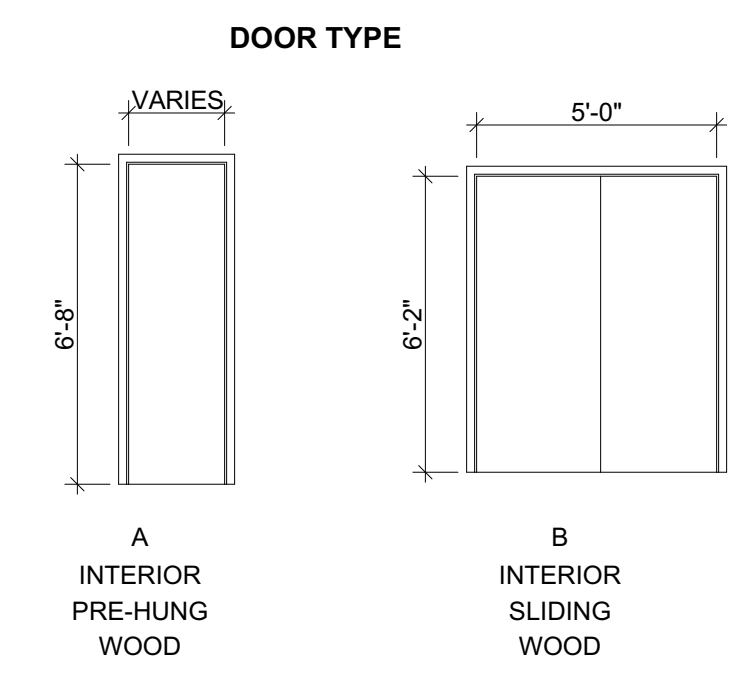


2 UL POWER PLAN
 SCALE: (11" X 17" SIZE DRAWINGS) 1/8" = 1'-0", (22" X 34" DRAWINGS) 1/4" = 1'-0"

| ELECTRICAL LEGEND | |
|-------------------|-----------------------|
| SYMBOL | NAME |
| | 100 CFM EXHAUST FAN |
| | SWITCH |
| | DUPLEX OUTLET |
| | DUPLEX OUTLET (GFCI) |
| | SWITCH W/ DIMMER |
| | SMOKE DETECTOR |
| | 4" RECESSED CAN LIGHT |
| | FLUORESCENT FIXTURE |

| WINDOW SCHEDULE | | | | | | | |
|-----------------|--------|----------|-------------|------------|------------|-----------|-------------------------|
| ID | MFG | CODE | TYPE | RO. WIDTH | RO. HEIGHT | JAMB SIZE | REMARKS |
| W200 | MARVIN | ELDH3440 | Double Hung | 2'-10 1/2" | 3'-4 1/4" | | METAL TO MATCH EXISTING |
| W201 | MARVIN | ELDH3440 | Double Hung | 2'-10 1/2" | 3'-4 1/4" | | METAL TO MATCH EXISTING |

| DOOR SCHEDULE | | | | | | | | | | | | |
|---------------|-------------|-----------|-------|--------|--------------------------|----------|-------|--------|---------|------|------|-------|
| ID | SIZE | MATERIALS | | | GLAZING | HARDWARE | | | DETAILS | | | NOTES |
| | | MTRL | STYLE | FINISH | | LOCK | STYLE | FINISH | JAMB | HEAD | SILL | |
| D200 | 1'-8"×6'-8" | WOOD | A | | <input type="checkbox"/> | | | | | | | |
| D201 | 1'-8"×6'-8" | WOOD | A | | <input type="checkbox"/> | | | | | | | |
| D202 | 2'-0"×6'-8" | WOOD | A | | <input type="checkbox"/> | | | | | | | |
| D203 | 5'-0"×6'-2" | WOOD | B | | <input type="checkbox"/> | | | | | | | |



TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

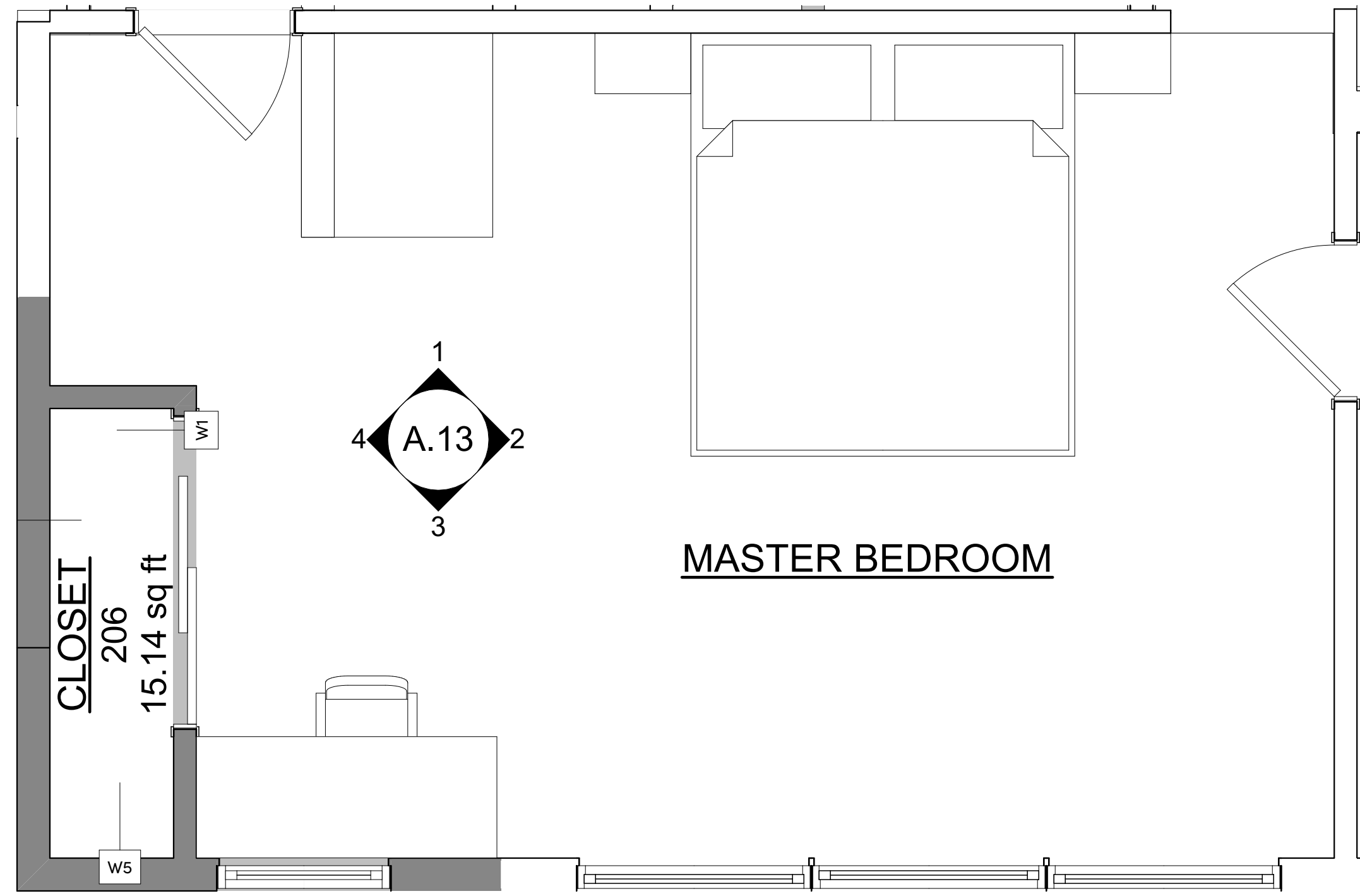
1082 Tevlin Street
Albany CA, 94706

| | |
|----------|-----------|
| Date | 1/11/2022 |
| Drawn by | TSB |

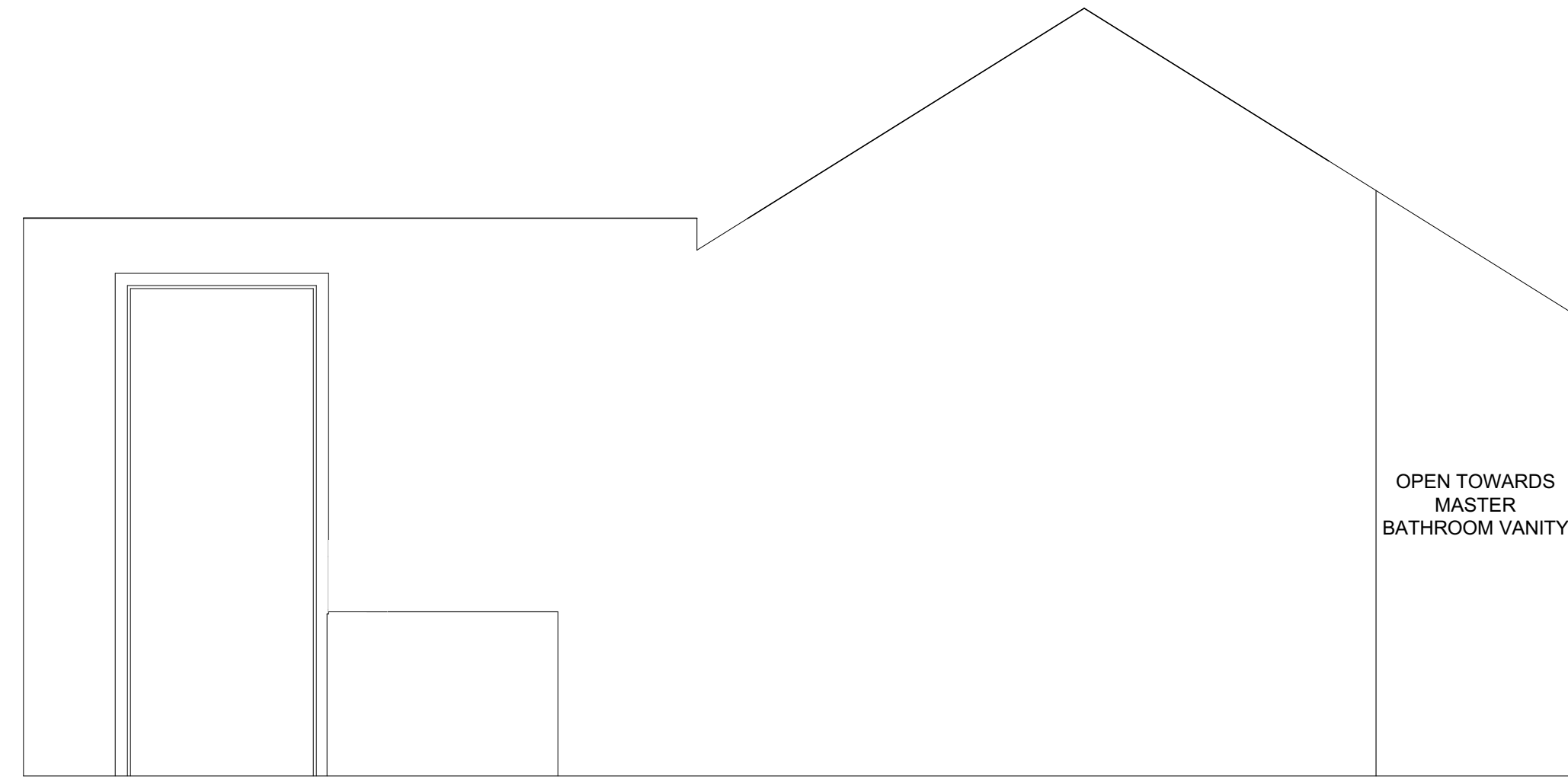
A.12

UL REFLECTED
CEILING, POWER
PLAN AND
SCHEDULES

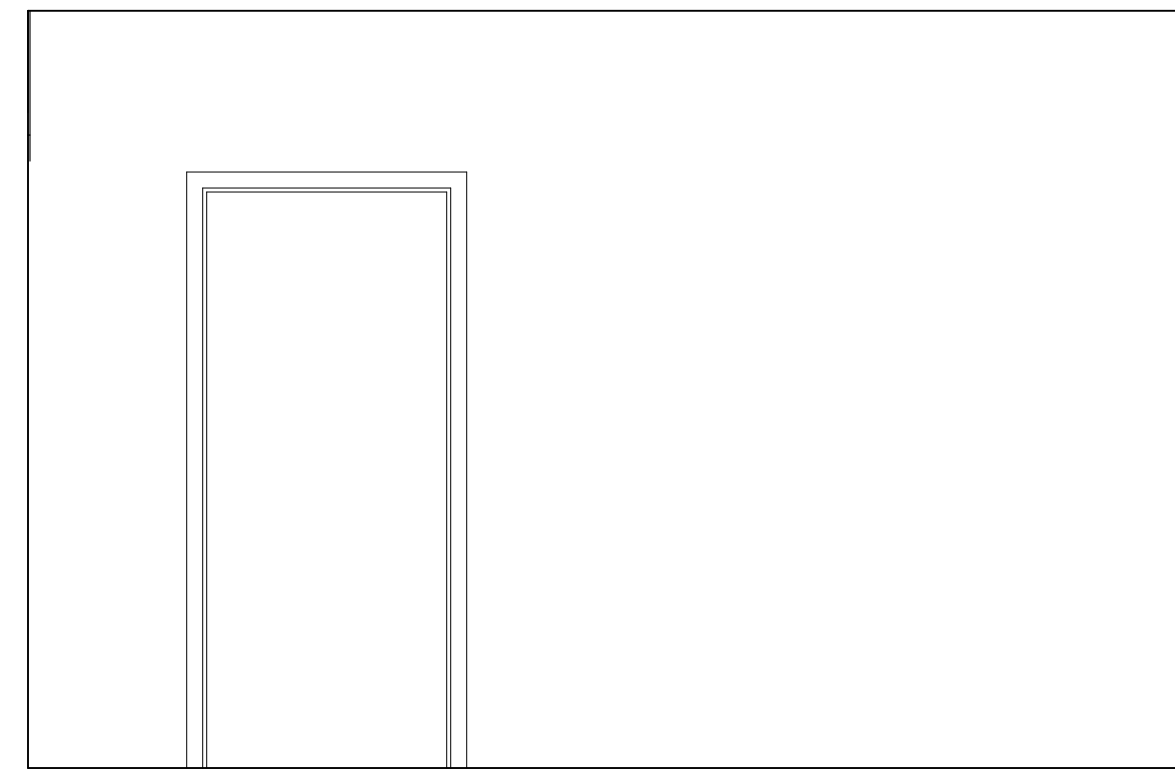
Scale:



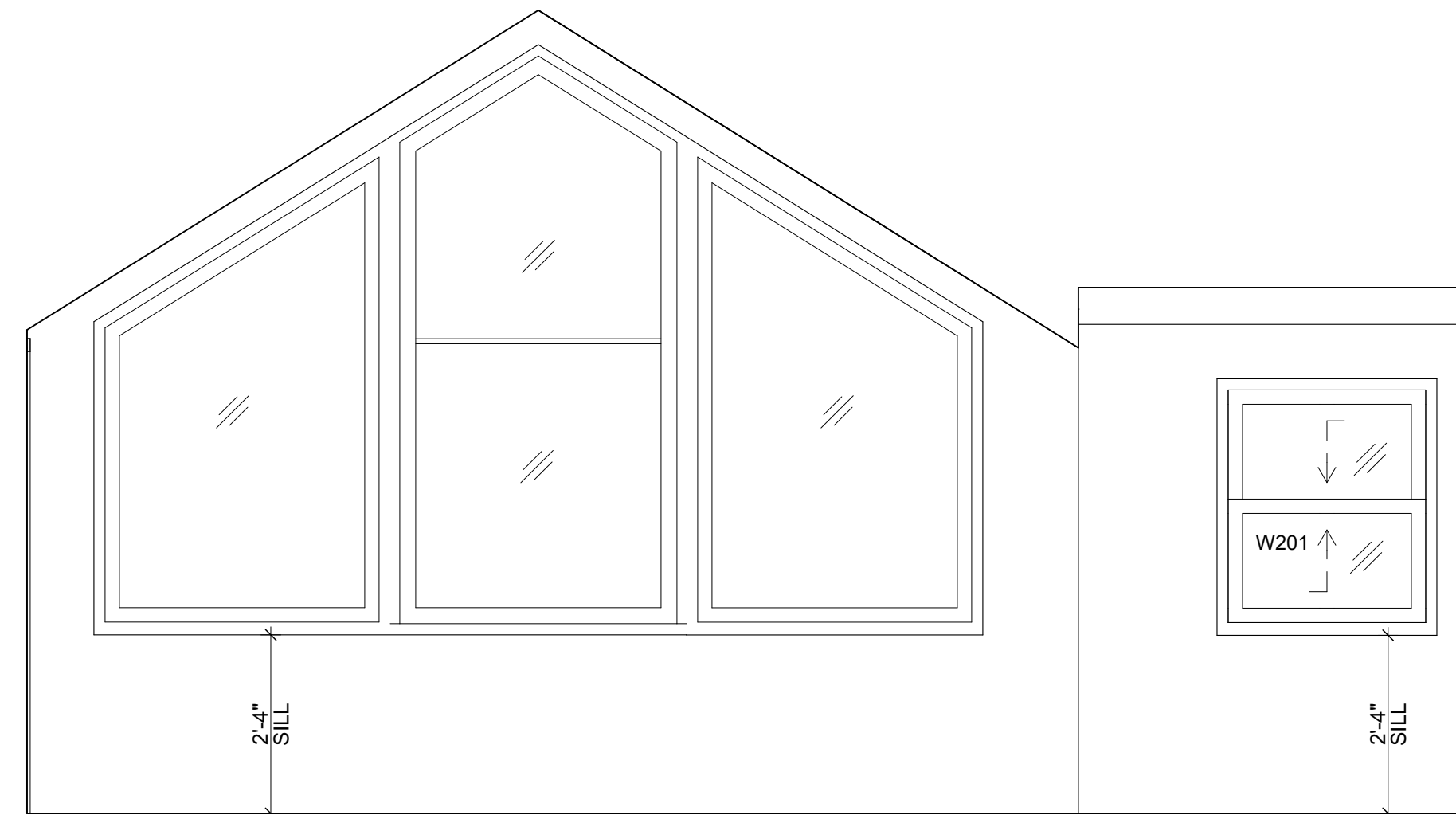
5 MASTER BEDROOM ENLARGED PLAN
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



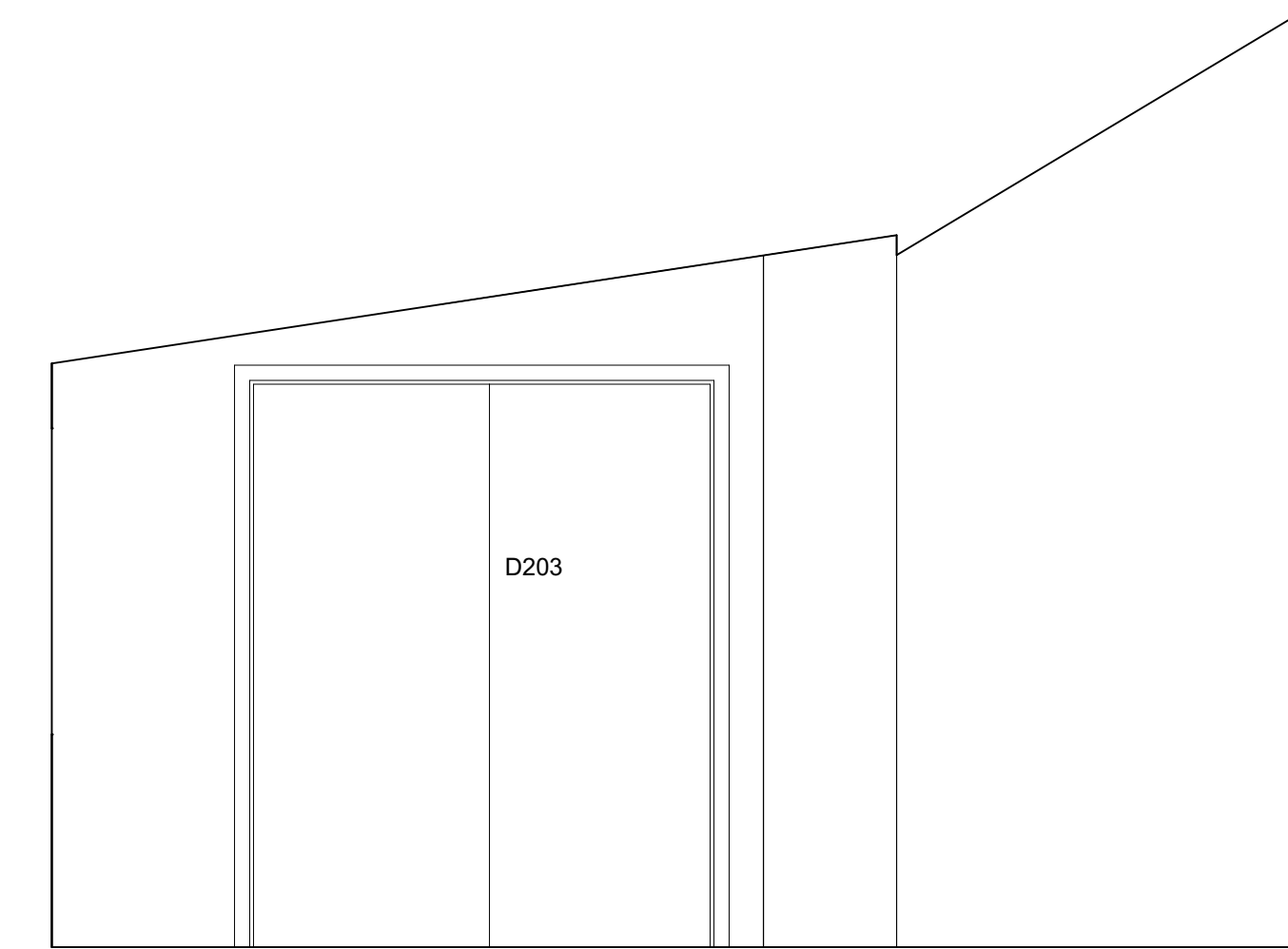
1 MASTER BEDROOM - NORTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



2 MASTER BEDROOM - EAST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



3 MASTER BEDROOM - SOUTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



4 MASTER BEDROOM - WEST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
Albany CA, 94706

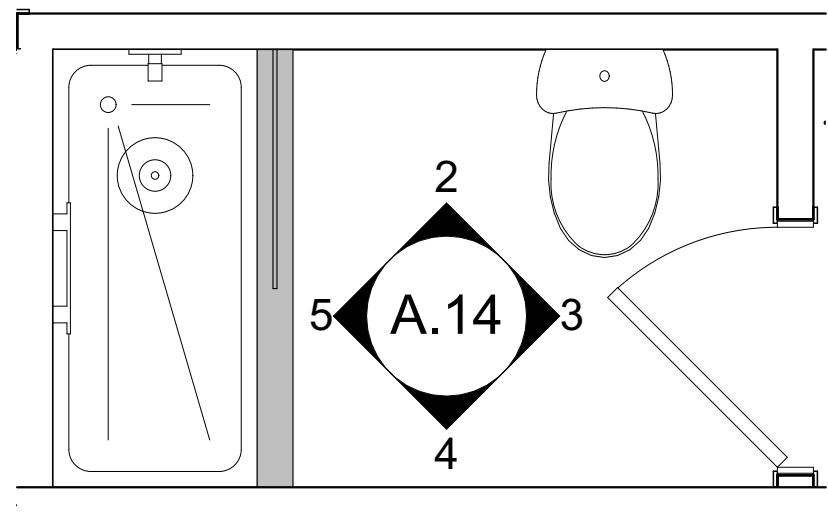
Date 1/11/2022

Drawn by TSB

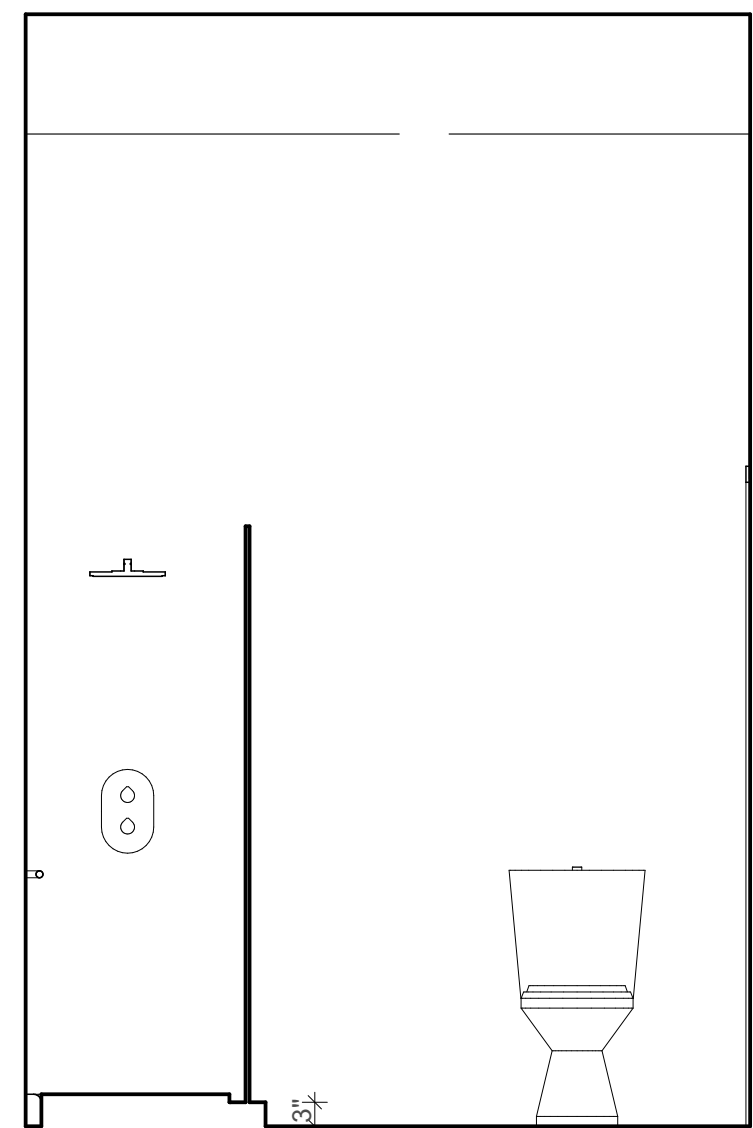
A.13

INTERIOR
ELEVATIONS

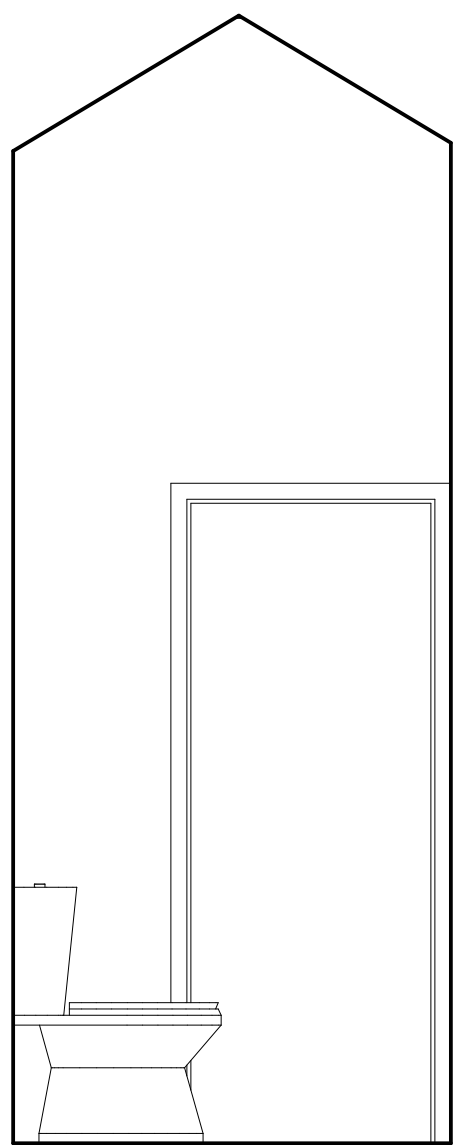
Scale:



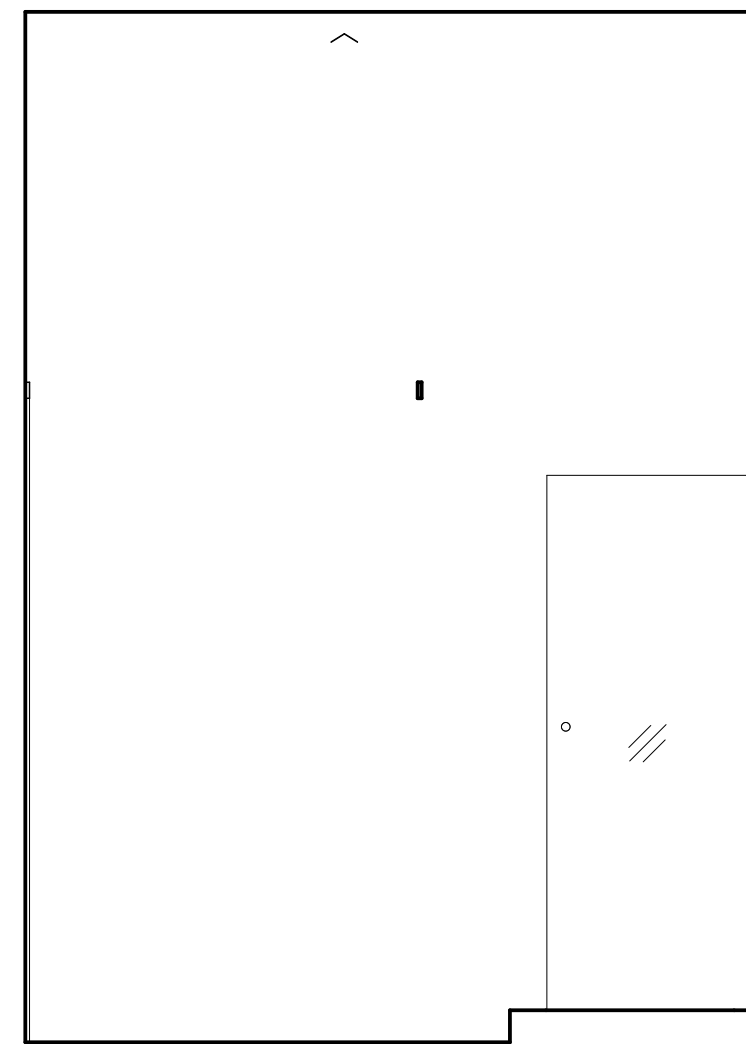
1 MASTER BATH ENLARGED PLAN
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



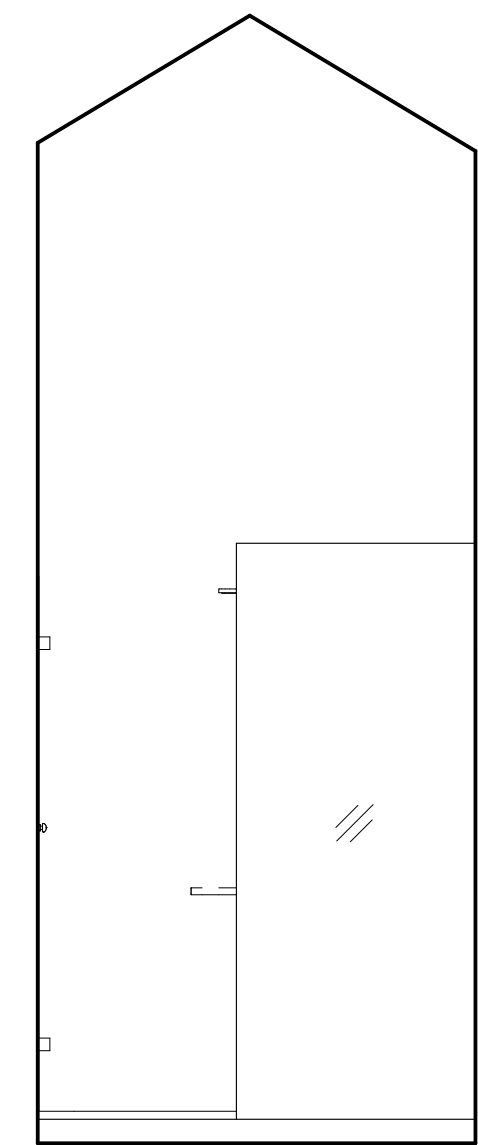
2 NORTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



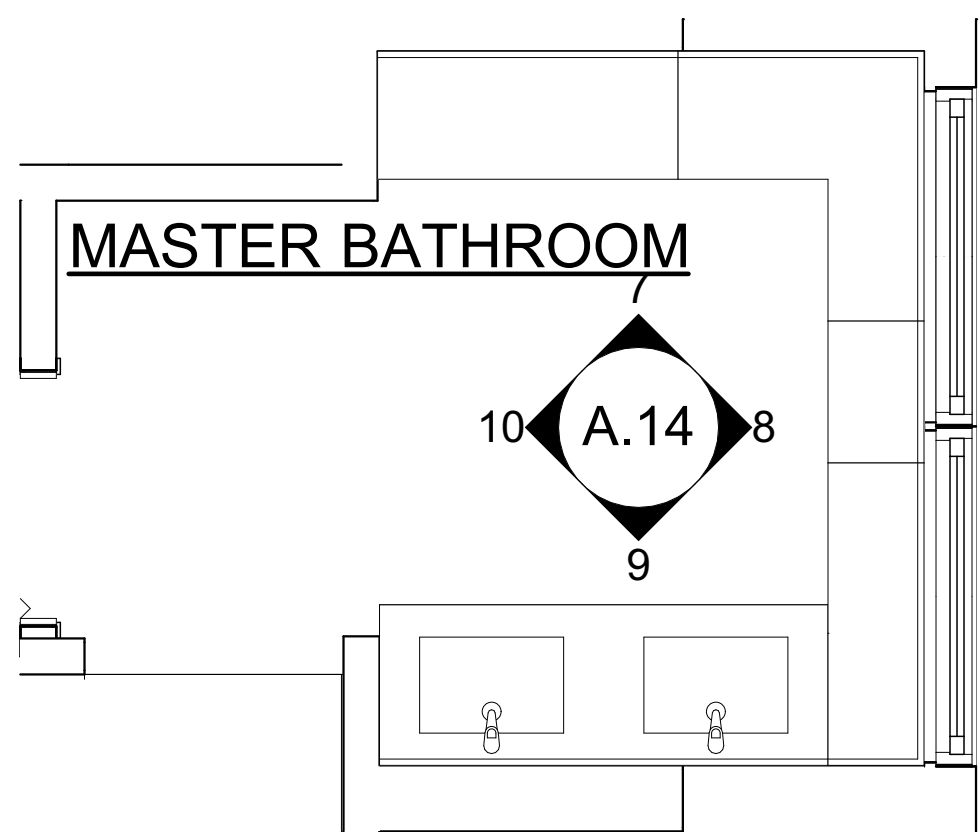
3 EAST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



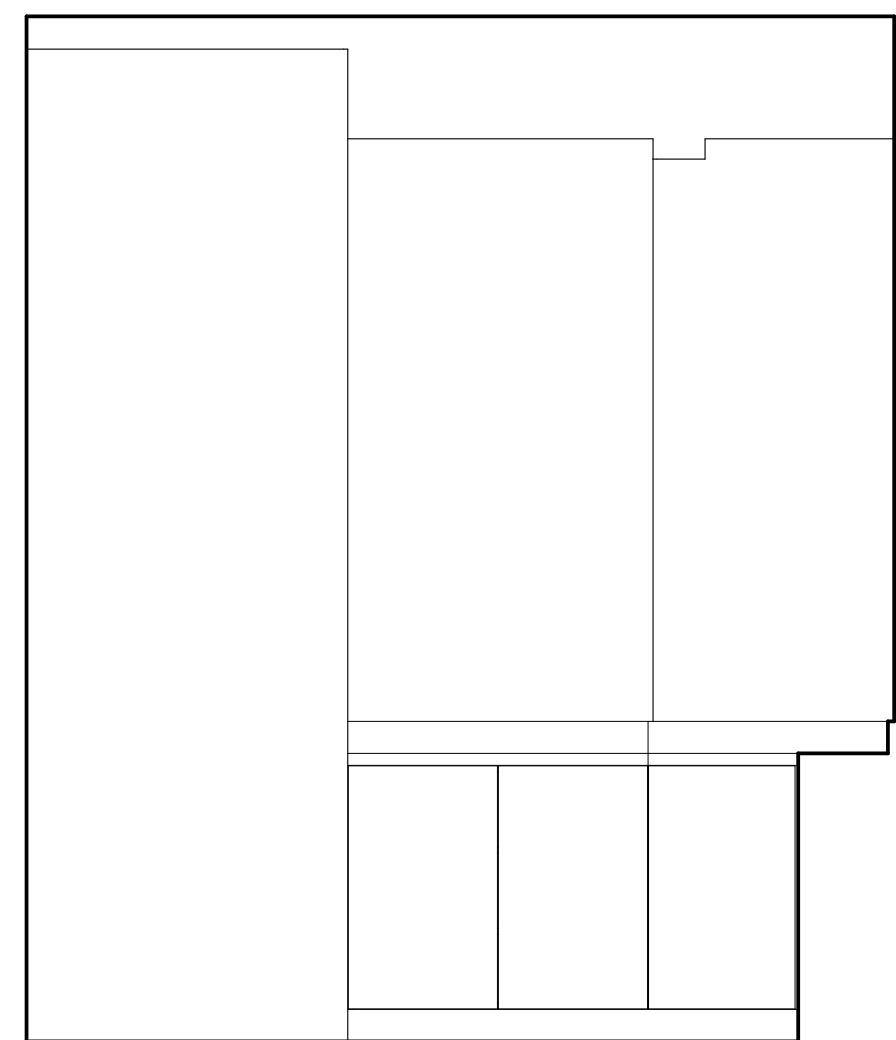
4 SOUTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



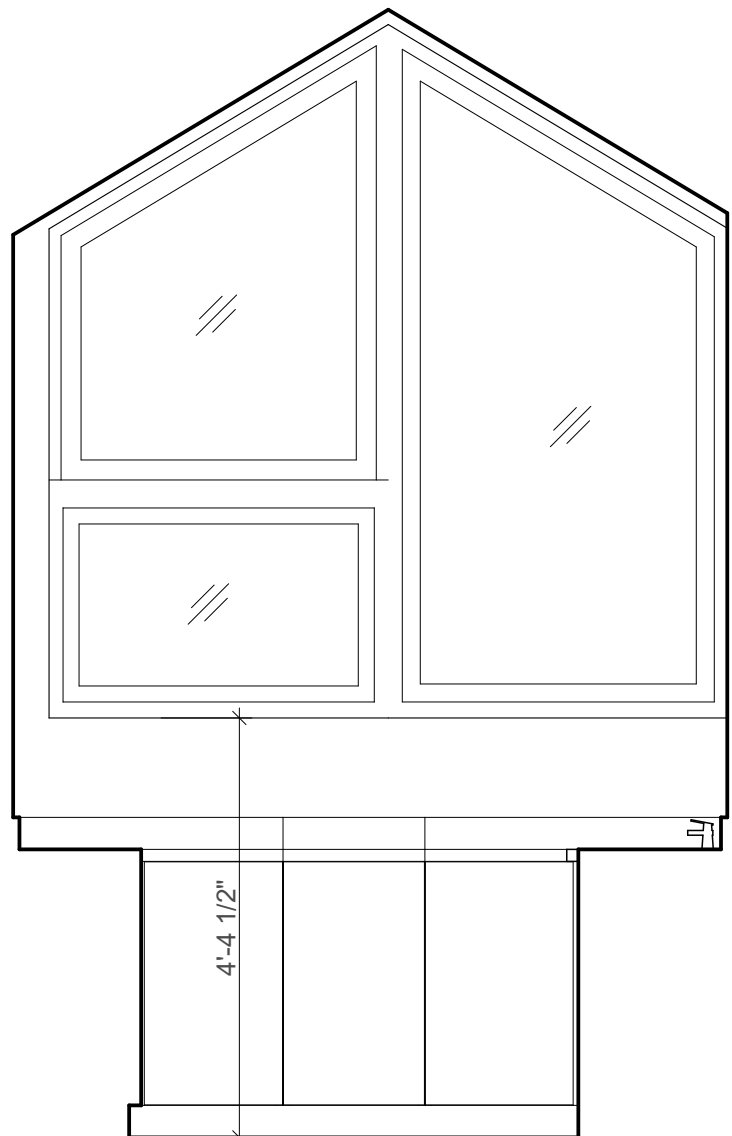
5 WEST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



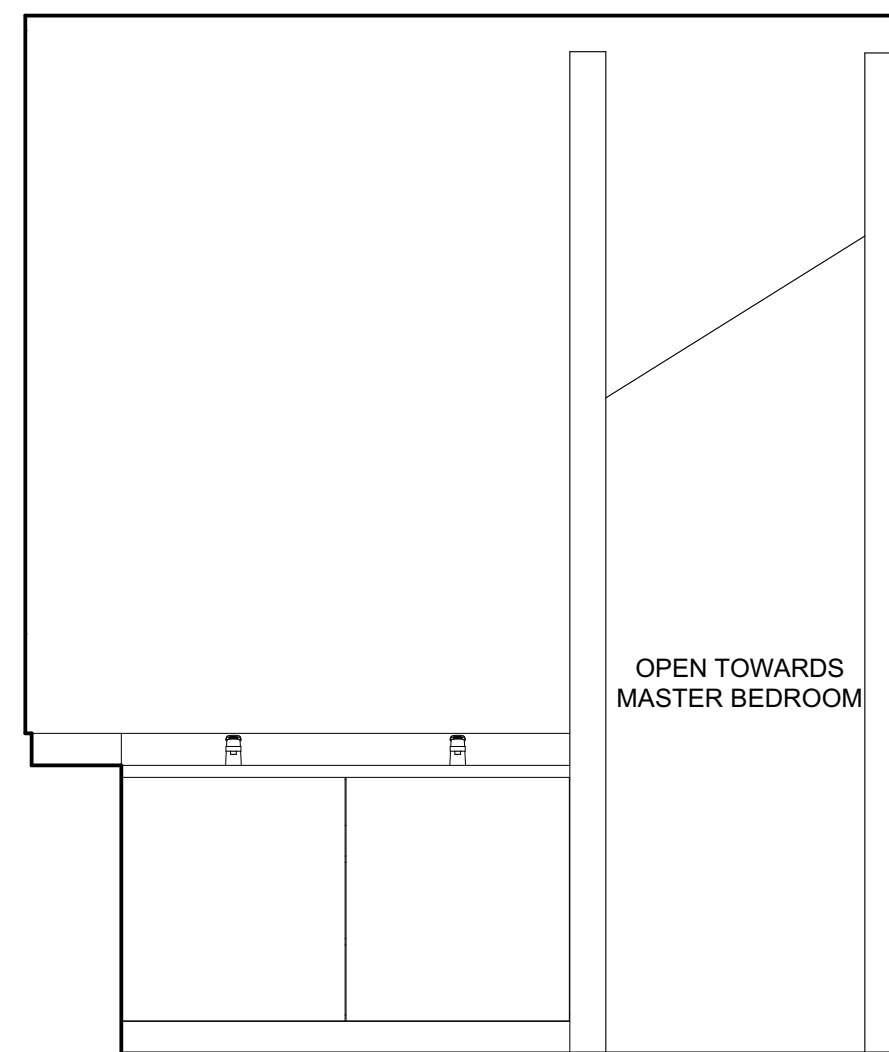
6 VANITY ENLARGED PLAN
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



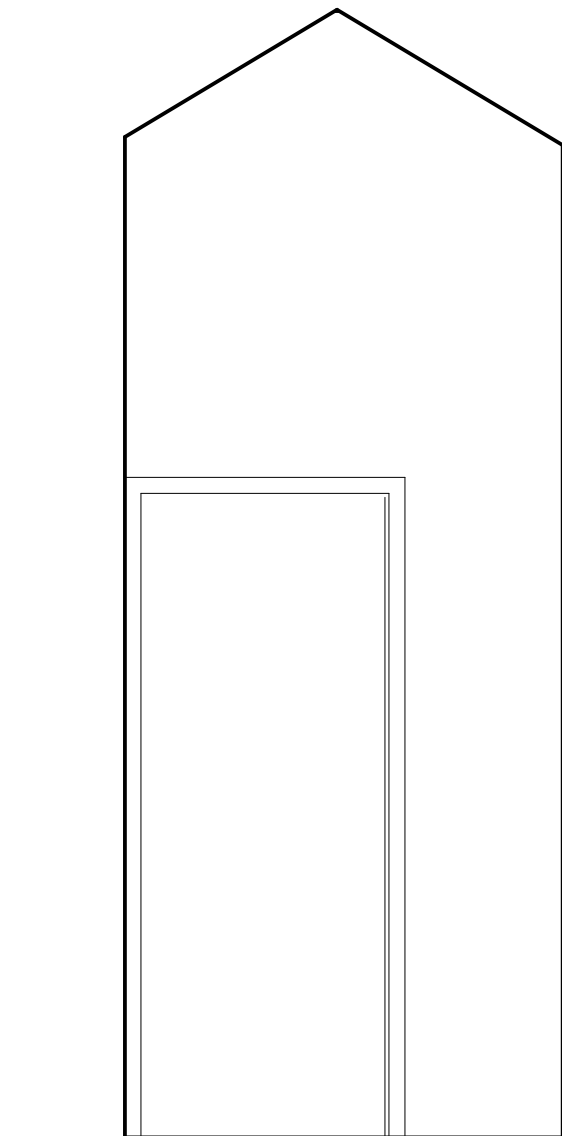
7 NORTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



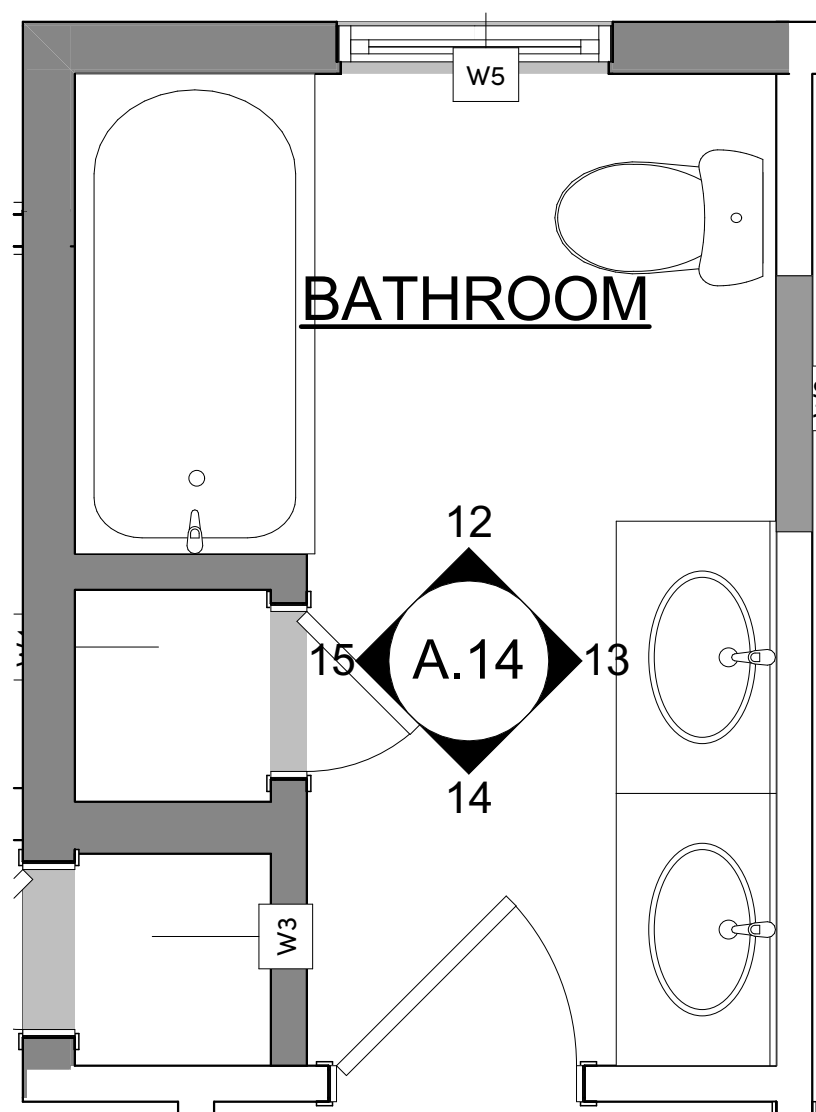
8 EAST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



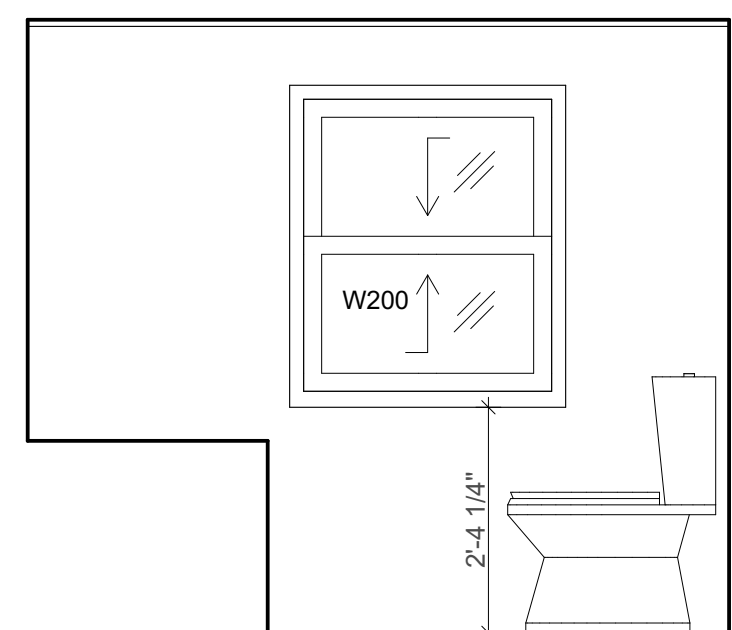
9 SOUTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



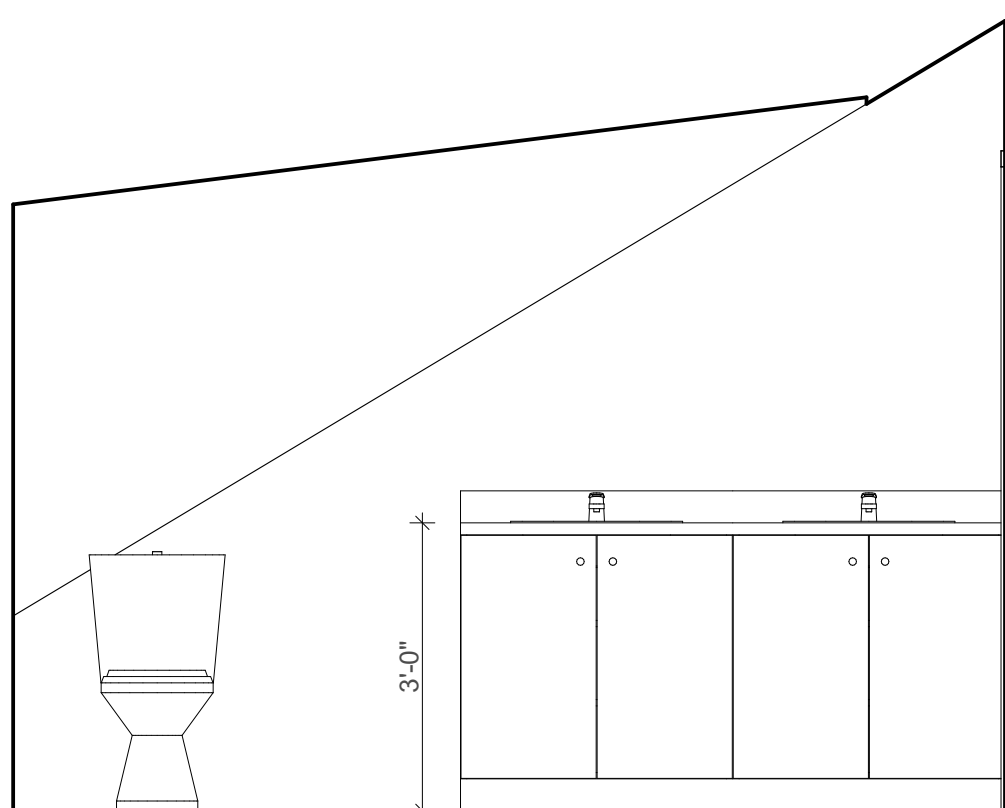
10 WEST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



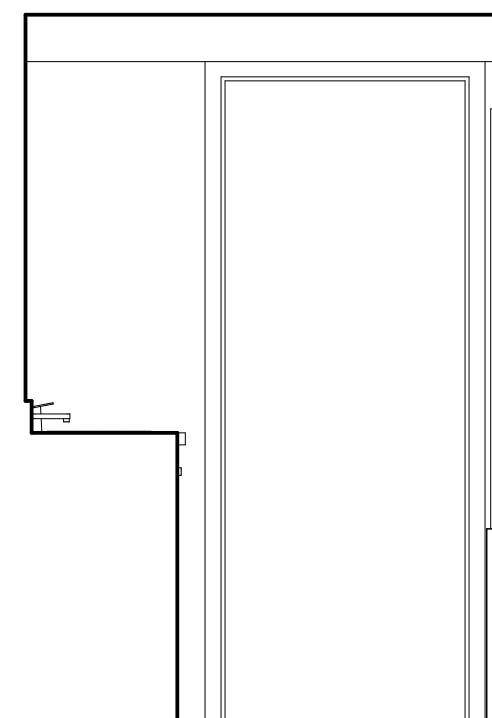
11 BATHROOM 1
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



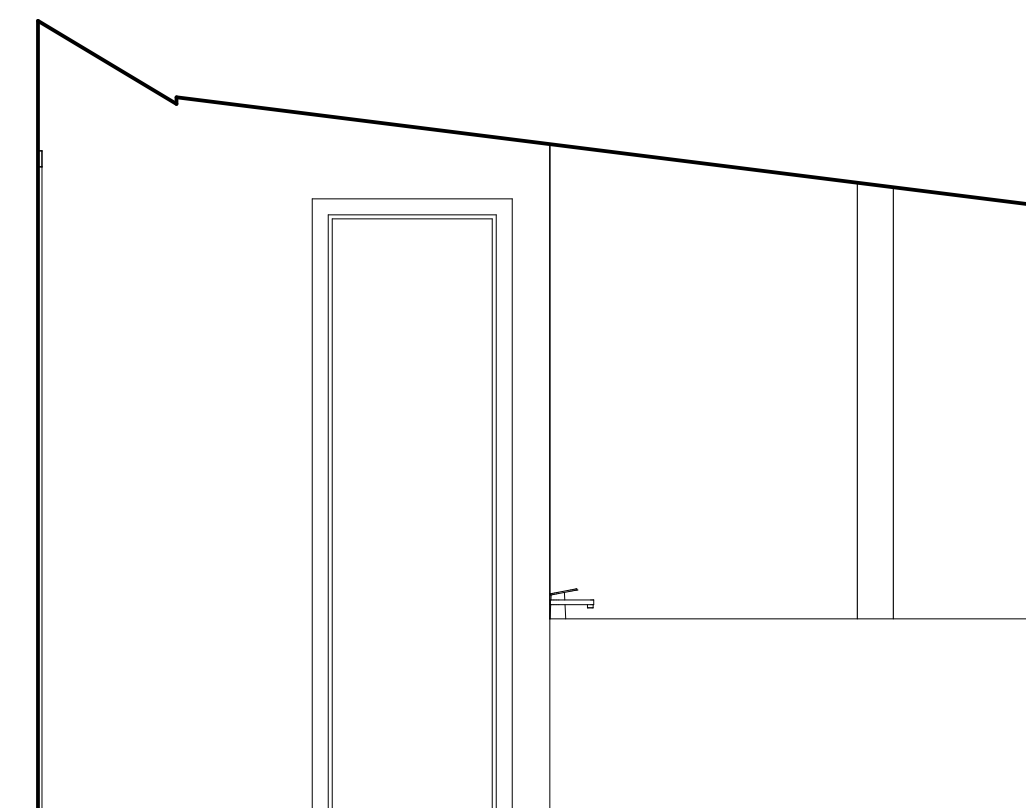
12 NORTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



13 EAST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



14 SOUTH ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"



15 WEST ELEV
SCALE: (11" X 17" SIZE DRAWINGS) 1/4" = 1'-0", (22" X 34" DRAWINGS) 1/2" = 1'-0"

TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
Albany CA, 94706

Date 1/11/2022

Drawn by TSB

A.14

INTERIOR
ELEVATIONS

Scale:



TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
Albany CA, 94706

Date 1/11/2022

Drawn by TSB

A.15

3D PERSPECTIVE
(rendered house,
not site)

Scale:



TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
Albany CA, 94706

Date 1/11/2022

Drawn by TSB

A.16

3D PERSPECTIVE
(rendered house,
not site)

Scale:



TSB DESIGN

| No. | Description | Date |
|-----|--------------|-----------|
| 1 | PLANNING SET | 1/11/2022 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

1082 Tevlin Street Albany CA, 94706

DARO RESIDENCE

1082 Tevlin Street
Albany CA, 94706

Date 1/11/2022

Drawn by TSB

A.17

3D PERSPECTIVE
(rendered house,
not site)

Scale: