



PARKS, RECREATION & OPEN SPACE COMMISSION

City Hall Council Chambers
1000 San Pablo Avenue, Albany, CA

AGENDA

THURSDAY, JUNE 13, 2019, 7:00 PM

1. CALL TO ORDER / ROLL CALL:

2. APPROVAL OF MINUTES: MAY 9, 2019

3. PUBLIC COMMENT:

For persons desiring to address the Commission on an item that is not on the agenda please note that each speaker is limited up to three (3) minutes. The Brown Act limits the Commission ability to take and/or discuss items that are not on the agenda; therefore, such items are normally referred to staff for comment or to a future agenda.

4. ANNOUNCEMENTS:

Staff and Commission member announcements, reports and updates of status.

- 4-1. Play Like a Girl Events Update
- 4-2. Memorial Park Bathrooms Update
- 4-3. Juneteenth Event

5. PRESENTATIONS:

6. STREET TREE REMOVAL APPLICANTIONS:

7. DISCUSSION & POSSIBLE ACTION ON MATTERS RELATED TO THE FOLLOWING ITEMS:

7-1. Lower Codornices Creek Restoration Project Phase IV 8th Street to 10th Street

Staff will present 90% plans for Phase IV of the Codornices Creek Restoration Project, which includes a path connection between 8th Street and 10th Street.

Recommendation: Recommend approval of plans to Council.

7-2. Ocean View Bocce 90% Plans

RGD Staff will present the 90% project documents for the Bocce Courts at Ocean View Park. Commissioners will review cost estimates and options.

Recommendations:

- a. Approve design with selected options and recommend project to public bid.
- b. Recommend additional Measure R funds be allocated to the project.



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7-3. Dog Sub-Committee Update

Sub-committee will provide an update on the process of public engagement and share the feedback and survey results received from the various methods (in-person surveys, online surveys, public workshop).

Information Only

7-4. Terrace Park Playground Surface Change

Staff will present information about converting the surface from sand to engineered wood fiber (EWF) in the 5-12-year-old playground.

Recommendation: Approve the removal of sand from the playground and installation of engineered wood fiber (EWF).

8. FUTURE AGENDA ITEMS:

Commissioners announce requests for future agenda items. No public comment will be taken on announcement of future agenda items.

9. NEXT MEETING: Thursday, July 11, 2019 7:00 pm, City Hall Council Chambers, 1000 San Pablo Ave. Please Note: there are no public meetings in August.

10. ADJOURNMENT:

NOTICE

As a general policy, the Commission/Committee/Board will not begin discussion or consideration of an agenda item after 10:00 pm.

Agendas are posted for public inspection in advance of meetings at the City Hall, the Albany Community Center, and the Albany Senior Center. Agendas and supporting documents can also be found online at: www.albanyca.org. Supporting documents and any public comments received will be made available for public inspection at City Hall. If you have any questions pertaining to any agenda item or meeting procedure, please contact the City Clerk's Office at 510-528-5710 or cityclerk@albanyca.org.

Council and Commission meetings are broadcast live on KALB and streamed live on the City website and YouTube. Audio recordings of Committee meetings will be uploaded to the City website and YouTube within one week of each public meeting. Archives of past City meetings are available on the City website and YouTube. Please note that if you provide your name and address when speaking before the Committee it will become part of the official public record, which will be posted on the Internet and broadcast on KALB.

In compliance with the Americans with Disabilities Act (ADA), and State Law, if you need special assistance to participate in this meeting, please contact the City Administration Office 510-528-5710. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to



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this meeting (28 CFR 35.102.104 ADA Title II)". Upon request, we will provide written agenda materials in appropriate alternate formats, of disability related modification or accommodation, including auxiliary aids or services to enable individuals with disabilities to participate in public meetings. Please deliver a written request, including your name, mailing address, phone number and brief description of the requested materials and preferred alternative format or auxiliary aid or service at least two (2) days before the meeting. Request should be sent to: cityclerk@albanyca.org or City Clerk, 1000 San Pablo Avenue, Albany, CA 94706.

The City of Albany is dedicated to maintaining its small-town ambience, responding to the needs of a diverse community, and providing a safe, healthy and sustainable environment.



PARKS, RECREATION & OPEN SPACE COMMISSION

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1000 San Pablo Avenue, Albany, CA

MINUTES

THURSDAY, MAY 9, 2019, 7:00 PM

1. CALL TO ORDER / ROLL CALL: 7:00 pm

2. APPROVAL OF MINUTES: APRIL 11, 2019

Motion to approve: Commissioner Abbott
Seconded by Commissioner Chang Frank
Vote: Favor 5; Abstained 2; Motion carried

3. PUBLIC COMMENT:

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4. ANNOUNCEMENTS:

Staff and Commission member announcements, reports and updates of status.

5. PRESENTATIONS:

5-1. Youth & Teen Services

Heather Posner gave a presentation about Youth Services.

Information only

6. STREET TREE REMOVAL APPLICATIONS:

6-1. Street Tree Removal Application for (1) Camphor at 721 Pomona Avenue

Motion to approve the Tree Removal Application: Commissioner Abbott
Second: Commissioner Marten
Vote: All in Favor; Motion carried

6-2. Street Tree Removal Application for (1) one Weeping Melaleuca at 1054 Kains Avenue

Motion to deny the Tree Removal Application: Commissioner Chair Patterson
Second: Commissioner Chang Frank
Vote: All in Favor; Motion carried



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6-3. Street Tree Removal Application for (1) one London Plane at 1461 Marin Avenue

Motion to approve the Tree Removal Application: Commissioner Marten
Second: Commissioner Noble
Vote: 6 in Favor; Motion carried (Commissioner Sardiñas recused herself)

7. DISCUSSION & POSSIBLE ACTION ON MATTERS RELATED TO THE FOLLOWING ITEMS:

7-1. Terrace Park Replacement Tree:

Staff proposed three options for the replacement tree.

Motion to select Option 3 (near basketball court) and plant 2 large trees:
Commissioner Sardiñas
Seconded by Commissioner Cooper

Vote: Favor 5; Opposed 2; Motion carried *Commission requested a selection of potential replacement trees be brought back to the Commission for approval.

7-2. 2019-2012 Work Plan:

Reviewed the Council approved Work Plan and created Sub-committees for the following projects (or others, if desired):

1. Albany Hill Interpretive Signage: Commissioner Sardiñas
2. Relocation of the Community Garden: Chair Patterson, Commissioners Sardiñas and Noble
3. Tree Removal Education Campaign for Homeowners: Commissioner Chang Frank
4. Review of Public and Private Memorials/Honors/Other Installations: Commissioners Cooper, Marten and Noble

7-3. Fair Play Act (AB 2404) Youth Participation Report:

Staff presented youth participation data and a summary of promotion and development activities undertaken by the Department and third-party users as required by the City's Fair Play Act Policy.

Information only

8. FUTURE AGENDA ITEMS:



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Commissioners announce requests for future agenda items. No public comment will be taken on announcement of future agenda items.

9. **NEXT MEETING:** Thursday, June 13, 2019 7:00 pm, City Hall Council Chambers, 1000 San Pablo Ave. Please Note: there are no public meetings in August.

10. **ADJOURNMENT: 9:15 pm**

NOTICE

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CITY OF ALBANY

MEMORANDUM

DATE: June 13, 2019
TO: Parks, Recreation, and Open Space Commission
FROM: Claire Griffing, Sustainability & Resilience Manager
Justin Fried, Transportation Planner
Jeff Bond, Community Development Director
SUBJECT: Codornices Creek Restoration Project Phase 4

STAFF RECOMMENDATION

Recommend that Council approve plans for Codornices Creek Restoration Project Phase 4.

BACKGROUND

The planning and implementation of the restoration of Codornices Creek between Kains Avenue to Interstate 80 has been ongoing since the late 1990's, and involves the City of Albany, the City of Berkeley, and the University of California. Lower Codornices Creek forms the boundary between the cities of Berkeley and Albany, and on the Albany side, the primary owner is the University of California (University Village).

Three phases of the restoration project, from 8th Street downstream to the railroad tracks, have been completed to date. As a result of earlier creek projects, native riparian habitats have been created. In addition, a bicycle-pedestrian shared use trail has been constructed that connects to local and regional bicycle trail networks and recreational facilities in both Berkeley and Albany.

The current Capital Improvement Plan approved by the City Council in March 2018 included a partially funded project for continued restoration of Codornices Creek. Phase 4 of the project includes a trail connection from 8th Street to 10th Street and vegetation improvements.

The City Council discussed the Phase 4 project on Monday, December 17, 2018, and the Traffic & Safety Commission reviewed the plans at their meeting on Tuesday, December 18, 2018. The Parks, Recreation, and Open Space Commission received a presentation about the project on January 3, 2019. Public comments received included concerns about right angle turns and logs near the trail potentially causing difficulty for cyclists, and requests for bike racks and more room for a running path.

ANALYSIS

City staff have been working with Restoration Design Group (RDG) to develop plans for Phase 4 of the Codornices Creek Restoration Project, which includes a bicycle and pedestrian shared-use path from 8th to 10th Streets, a crossing at 8th street to link to the Phase 3 project, and minor vegetation improvements. The trail is designed to be a low stress bicycle facility. When

the Little League fields are in active use, the mix of pedestrians and attendees will require that bicyclists travel at low speeds or dismount.

Staff completed a site walk with RDG in June 2018, followed by a kick-off meeting with stakeholders that are active in the project area, including an adjacent property owner, Ecocity Builders, Friends of Five Creeks, Albany Little League, and UC Village.

Out of these discussions, a concept plan was developed. Some of the design considerations that guided the development of the plan include:

- Close a gap in the creek shared use path between 8th Street and 10th Street;
- Improve accessibility to the creek and the Little League fields;
- Eliminate chain-link fencing between the trail and the creek (baseball field fencing would remain)
- Minimize impact on Albany Little League facilities;
- Maintain truck access and parking for UC village staff and maintenance center;
- Avoid, where possible, impacts on healthy trees and areas restored in 1990s by citizen volunteer groups;
- Keep all improvements above top of bank of Codornices Creek in order to avoid complex state and federal permitting requirements.

The plans include a raised crosswalk at 8th Street in the City of Berkeley to connect to the existing trail to the west. The 10-foot wide ADA compliant trail will continue east along the existing dirt trail route, along the southern edge of the UC Village staff parking lot, and to the south of the Little League fields. Existing fencing along the creek will be replaced with a split-rail fence to improve sightlines, and an interpretive feature will be placed near the Little League fields. The plans retain existing trees where possible.

A 60% plan set was reviewed by environmental, transportation, and public works staff at the cities of Albany and Berkeley as well as UC over the past few months. A second round of input was also solicited from stakeholders that are currently active in the project area at a meeting in November, and additional site walks were conducted in January to discuss the best way for the trail to pass to the south the Little League fields and evaluate options for the 8th Street crossing. The attached plans reflect this stakeholder input., including adjustments to the plan to soften turning movements, increase stormwater bioretention, and move furnishings further from the edge of the path.

Plans are scheduled to be reviewed by the Traffic & Safety Commission on June 27th, and by City Council on July 15th. Funding and schedule for implementation of the project will be determined as part of the next update to the Capital Improvement Project budget expected to be prepared later in 2019.

Separate from the design process for Phase 4, the City of Albany, City of Berkeley and UC Berkeley are continuing efforts to improve maintenance activities pursuant to an existing Memorandum of Understanding. The City has shared a draft maintenance plan with Friends of Five Creeks, who have some concerns about the plan. At a future meeting, staff will present the plan for Commission review.

ATTACHMENTS

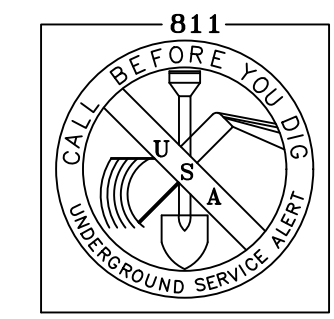
1. Codornices Creek Phase IV Plans

GENERAL PROJECT NOTES

- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOBSITE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL OF THE WORK PERFORMED BY HIS SUBCONTRACTORS, WITHOUT EXCEPTION.
- THE CONTRACTOR SHALL IDENTIFY A RESPONSIBLE CONTACT PERSON, WHO IS AN EMPLOYEE OF THE CONTRACTOR, AND A 24-HOUR TELEPHONE NUMBER TO CALL TO RESOLVE PROBLEMS WITH NOISE, DUST OR OTHER CONSTRUCTION-RELATED ISSUES.
- THE CONTRACTOR SHALL BE REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE RIGHTS-OF-WAY AND EASEMENTS OBTAINED FOR THIS PROJECT UNLESS OTHERWISE SHOWN. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, VEHICLES AND EQUIPMENT, LIMITS OF TRENCH EXCAVATIONS, AND STOCKPILED NEW MATERIAL.
- THE CONTRACTOR SHALL PROVIDE PROTECTION DEVICES INCLUDING BARRICADES, FENCING, WARNING SIGNS, LIGHTS, FLAGGERS OR OTHER ITEMS NECESSARY TO ENSURE PUBLIC SAFETY WITHIN THE PROJECT SITE. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONTRACTOR SHALL EXERCISE DUE CAUTION DURING CONSTRUCTION TO PROTECT ANY EXISTING LANDSCAPING, FIXTURES, EQUIPMENT, CONCRETE SIDEWALK, CONCRETE DRIVEWAY, CONCRETE CURB & GUTTER, AND AC PAVING TO REMAIN. ANY DAMAGE RESULTING FROM CONTRACTOR OPERATIONS SHALL BE REPAIRED AS DIRECTED BY THE CITY'S REPRESENTATIVE, AT NO ADDITIONAL COST TO THE CITY.
- CONTRACTOR SHALL CONFORM TO THE CITY OF ALBANY MONUMENT PRESERVATION POLICY AND PRESERVE ALL SURVEY MARKERS AND MONUMENTATION. PRIOR TO STARTING ANY WORK, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF ANY EXISTING FEDERAL, STATE, COUNTY, AND PRIVATE LAND SURVEY CONTROL POINTS OR MONUMENTS THAT MAY BE DISTURBED BY THE WORK FOR THIS PROJECT.
- CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER.
- DUST SHALL BE CONTROLLED AND ADJOINING STREET AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF PROJECT DIRT, MUD, MATERIALS AND DEBRIS, TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL COMPLY WITH ALAMEDA COUNTY CLEANWATER PROGRAM AND CITY OF ALBANY NPDES PERMIT REQUIREMENTS. WATER SHALL NOT BE DISCHARGED FROM THE CONSTRUCTION SITE TO THE STORM DRAINAGE SYSTEM UNLESS HE/SHE OBTAINS APPROVAL FROM THE CITY ENGINEER AS SET FORTH IN THE CLEANWATER PROGRAM. THE WEBSITE IS REFERENCED IN THE SPECIAL PROVISIONS.
- THIS PROJECT INVOLVES WORK IN PUBLIC AREAS AND NEAR PRIVATE PROPERTY. THE CONTRACTOR SHALL SPECIFICALLY INSTRUCT ALL HIS/HER WORKERS TO EXERCISE GOOD PUBLIC RELATIONS DURING THE WORK, INCLUDING BEING COURTEOUS, AVOIDING THE USE OF SWEAR WORDS, AND MINIMIZING DAMAGE TO EXISTING IMPROVEMENTS.
- CONTRACTOR SHALL SWEEP AND CLEAN THE CONSTRUCTION SITE DAILY BEFORE THE END OF EACH WORKING DAY.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES IN PLACE EXCEPT AS SHOWN HEREIN. DURING SAWCUTTING & CURB REMOVAL PROTECT RESIDENTIAL WATER METERS AND SEWER CLEANOUT BOXES AND RIMS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXISTING UTILITY THAT IS DAMAGED DURING THE COURSE OF THE WORK & SHALL REPAIR OR REPLACE THE DAMAGED UTILITY TO THE SATISFACTION OF THE UTILITY OWNER.

LAYOUT NOTES

- HORIZONTAL AND VERTICAL DIMENSIONS PROVIDED ON THE DRAWINGS ARE APPROXIMATE. FIELD MEASUREMENTS MAY VARY FROM THOSE ON THE DRAWINGS. ADJUSTMENTS TO LINE AND GRADE MAY BE MADE BY THE CITY'S REPRESENTATIVE DURING CONSTRUCTION. PAYMENT WILL BE BASED ON QUANTITIES INSTALLED.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO, IS INSUFFICIENTLY OR INCORRECTLY DETAILED OR EXPLAINED ON THESE PLANS, CONTRACTOR SHALL CONTACT THE CITY'S REPRESENTATIVE FOR FURTHER EXPLANATIONS AS MAY BE NECESSARY TO SUFFICIENTLY UNDERSTAND THE INTENT OF THE DESIGN PLANS.
- THE CONTRACTOR SHALL NOTIFY THE CITY'S REPRESENTATIVE IMMEDIATELY, UPON DISCOVERY OF ANY POTENTIAL FIELD CONFLICTS.



2 WORKING DAYS BEFORE YOU DIG CALL USA TOLL FREE 811

APPROVED BY:

City of Albany
By: _____ Date: _____

City of Berkeley
By: _____ Date: _____

University of California
By: _____ Date: _____

SURFACE RESTORATION NOTES

- ALL PAVEMENT CUTS SHALL BE SAWCUT, SMOOTH AND VERTICAL. THE PAVEMENT AREA BEING REMOVED SHALL BE RECTANGULAR, UNLESS SHOWN OTHERWISE ON PLANS.
- CONTRACTOR SHALL RESTORE ALL EXISTING PRIVATE AND PUBLIC IMPROVEMENTS TO THEIR EXISTING CONDITION OR BETTER. THIS INCLUDES, BUT IS NOT LIMITED TO ALL LANDSCAPING, IRRIGATION, DRIVEWAYS, AC PAVING, CONCRETE WORK AND UTILITIES UNLESS NOTED OR DIRECTED OTHERWISE BY THE CITY'S REPRESENTATIVE.
- RIMS OF EXISTING UTILITY BOXES AND OTHER RELATED APPURTENANCES THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE ADJUSTED TO FINISH GRADES TO PROVIDE FOR SMOOTH PATH OF TRAVEL. ANY DAMAGE RESULTING TO EXISTING UTILITY FACILITIES FROM CONTRACTOR OPERATIONS SHALL BE REPAIRED AS DIRECTED BY THE APPROPRIATE AGENCY AT NO ADDITIONAL COST TO THE CITY OR UTILITY OWNER.
- ALL MANHOLES, VALVES AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING TO PROVIDE FOR SMOOTH PATH OF TRAVEL.
- CONTRACTOR SHALL PROVIDE SMOOTH CONFORMS TO EXISTING A.C. PAVEMENT.

APPROVAL/COORDINATION NOTES

- THE CONTRACTOR SHALL CONTACT "UNDERGROUND SERVICE ALERT" BY DIALING "811" AT LEAST 2 DAYS PRIOR TO CONSTRUCTION AND 48 HOURS PRIOR TO ANY EXCAVATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES, PRIOR TO PERFORMING ANY WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL SOUND CONTROL AND NOISE LEVEL RULES, REGULATION AND ORDINANCES WHICH APPLY TO ANY WORK PERFORMED UNDER THE CONTRACT. EACH INTERNAL COMBUSTION ENGINE USED ON THE PROJECT SHALL BE EQUIPPED WITH A MUFFLER RECOMMENDED BY THE MANUFACTURER. NO INTERNAL COMBUSTION ENGINE SHALL BE OPERATED ON THE PROJECT WITHOUT SAID MUFFLER. NOISE LEVELS SHALL BE KEPT TO THE SATISFACTION OF THE CITY'S REPRESENTATIVE.
- ALL WORK SHALL CONFORM TO THE CITY OF ALBANY STANDARD SPECIFICATIONS DATED DEC 2010, THE CITY OF ALBANY STANDARD DETAILS (2015), CITY OF BERKELEY STANDARD DETAILS, AND THE CALTRANS STANDARD SPECIFICATIONS (CURRENT EDITION) WHEN REFERENCED, AND THE CURRENT CONTRACT SPECIAL PROVISIONS.
- COORDINATE ALL WORK INVOLVING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- PROVIDE TEMPORARY SIGNS, CONES, BARRICADES AND ADVANCE WARNING SIGNS PER CALTRANS REQUIREMENTS.
- CONTRACTOR SHALL EXPOSE ALL POTENTIAL UTILITY CONFLICT CROSSINGS AS WELL AS CONNECTION POINTS TO EXISTING UTILITIES. HE SHALL COORDINATE WITH THE ENGINEER TO LOCATE AND VERIFY DEPTHS. ENGINEER SHALL THEN MAKE ANY REVISIONS TO HIS DESIGN PRIOR TO CONSTRUCTION. ALL REVISIONS MUST BE APPROVED BY THE CITY OF ALBANY ENGINEER.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL PRIOR TO STARTING ANY WORK IN THE PUBLIC STREETS.
- MAINTAIN ONE ELEVEN-FOOT TRAFFIC LANE IN EACH DIRECTION IN PUBLIC STREETS AT ALL TIMES DURING WORKING HOURS OR PROVIDE FLAGGERS PER CALTRANS REQUIREMENTS AND AS REQUIRED BY CONTRACTORS TRAFFIC CONTROL PLAN.
- NO OPEN EXCAVATION SHALL BE LEFT UNSUPERVISED AT ANY TIME.
- PRUNING OF TREE ROOTS & BRANCHES SHALL BE APPROVED IN ADVANCE AS DIRECTED BY THE CITY.
- CONTRACTOR SHALL USE MATERIALS AS SPECIFIED ON PLANS AND/OR SPECIAL PROVISIONS. SHOULD THE CONTRACTOR CHOOSE TO USE MATERIALS DIFFERENT THAN THOSE SPECIFIED, HE/SHE SHALL SUBMIT MATERIAL MANUFACTURER INFORMATION TO THE CITY'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONFORM TO CITY'S REPRESENTATIVE'S RECOMMENDATIONS.

TREE PROTECTION NOTES

- ARBORIST: IF TREE ROOTS ARE TO BE ENCOUNTERED, CONTRACTOR SHALL CONTACT THE CITY'S ARBORIST FOR "ON-CALL" CONSULTATION DURING CONSTRUCTION. NO EXCAVATION SHALL BE PERMITTED ON-SITE UNTIL THE CITY'S ARBORIST HAS APPROVED THE PROPOSED STAGING AREA(S). NO TREE PRUNING, REMOVAL OR ROOT-CUTTING SHALL OCCUR WITHOUT THE CITY ARBORISTS DIRECTION, RECOMMENDATIONS OR APPROVAL.
- TRENCHING: ALL TRENCHING WITHIN THE DRIP LINE OF EXISTING TREES SHALL BE BY HAND WITH CARE TAKEN NOT TO DAMAGE ROOTS OVER 2" DIAMETER.
- ADVANCE MARKING: CITY'S ARBORIST SHALL MARK LIMITS OF AREA WITHIN DRIP LINES IN ADVANCE PRIOR TO EXCAVATING.
- PRUNING: TREES SHALL BE PRUNED ONLY AS RECOMMENDED BY CITY ARBORIST.
- CONSTRUCTION OPERATIONS: NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS AUTHORIZED BY THE CITY ARBORIST.
- STORAGE: THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
- TREE DAMAGE: ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON UNDER THE DIRECTION OF THE CITY'S ARBORIST.

CITY OF ALBANY



CODORNICES CREEK PHASE IV 8TH STREET TO 10TH STREET

90% SET JUNE 3, 2019

CITY OF ALBANY PROJECT NO. 43001
PROJECT PARTNERS: CITY OF BERKELEY AND UC BERKELEY
ALAMEDA COUNTY, CALIFORNIA

ALBANY CITY COUNCIL

- Rochelle Nason, Mayor
Peggy McQuaid, Vice Mayor
Michael Barnes, Council Member
Peter Maass, Council Member
Nick Pilch, Council Member
- Nicole Almaguer – City Manager
Mark Hurley – City Engineer/Public Works Director

UTILITY AND OTHER CONTACTS

- ALBANY PD: 510-525-7300
EBMUD: 510-287-2059
PG&E: 925-674-4565
AC TRANSIT: 510-891-4777
ALBANY UNIFIED SCHOOL DISTRICT: 510-558-9750
- WASTE MANAGEMENT: 510-913-8710
AT&T: 925-823-6968
ALBANY FIRE DEPT: 510-528-5770
US POST OFFICE: 800 275-8777
STATE OF CA BLIND CENTER: 510-559-1208

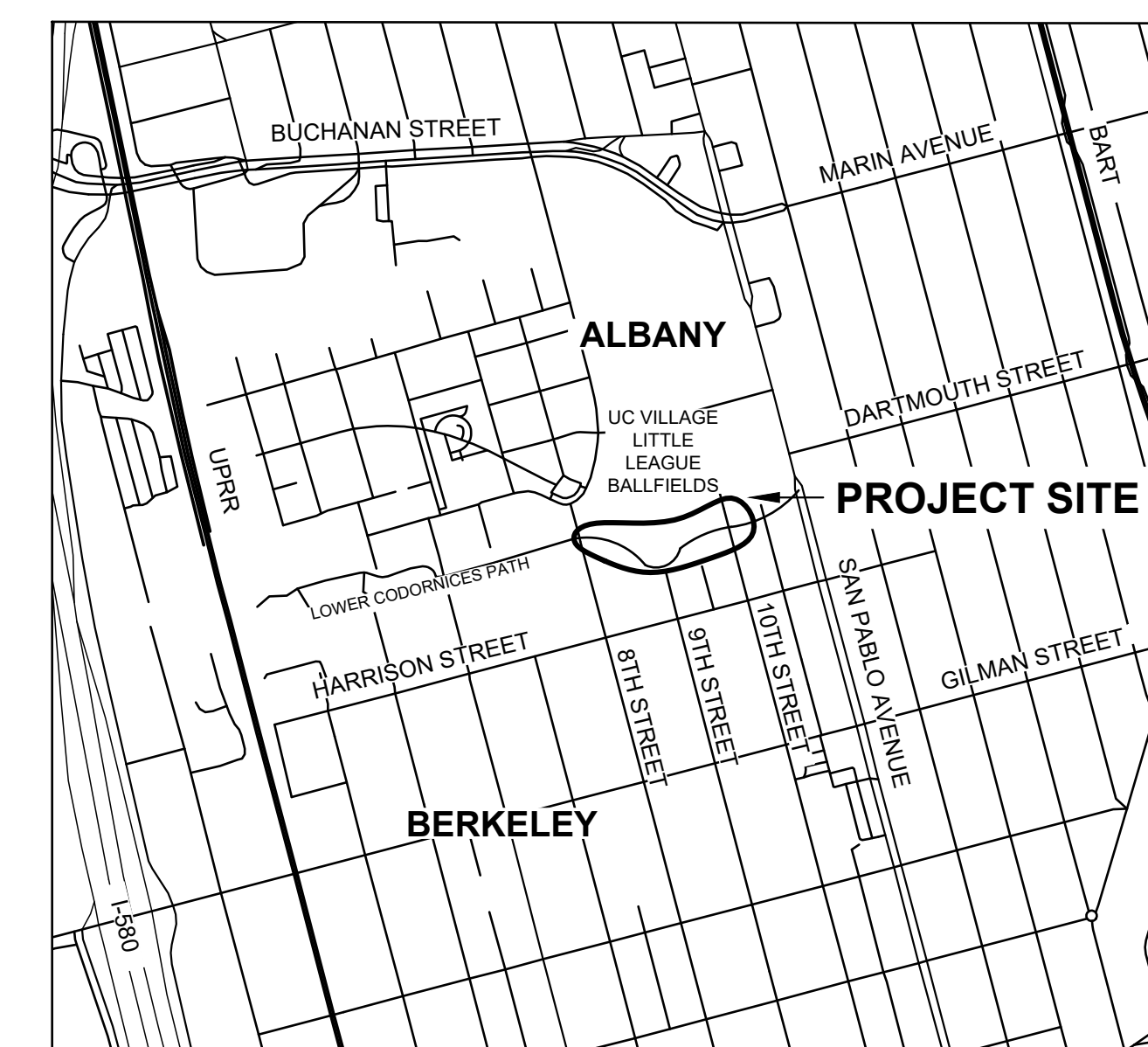
ABBREVIATIONS

- AC ASPHALT CONCRETE
- CLR CLEAR
- CL CENTERLINE
- Ⓞ (E) EXISTING
- EJ EXPANSION JOINT
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SURFACE
- GB GRADE BREAK
- HDG HOT-DIP GALVANIZED
- HP HIGH POINT
- LF LINEAR FEET
- LP LOW POINT
- L.O.W. LIMIT OF WORK
- MM MEET AND MATCH
- N.I.C. NOT IN CONTRACT
- OC ON CENTER
- O.R. OWNER'S REPRESENTATIVE
- PA PLANTING AREA
- PP PRESERVE AND PROTECT
- R.O.W. RIGHT-OF-WAY
- SIM. SIMILAR
- SJ SCORE JOINT
- TBD TO BE DETERMINED
- TYP. TYPICAL
- UON UNLESS OTHERWISE NOTED
- ∅ DIAMETER

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L-1.0	DEMOLITION – NOTES AND LEGENDS
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L-1.2	DEMOLITION – CENTER
L-1.3	DEMOLITION – EAST
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L-2.3A	GRADING – EAST
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L-2.5	ENLARGEMENTS
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L-4.2	REVEGETATION – CENTER
L-4.3	REVEGETATION – EAST
L-4.4	PLANTING DETAILS

PROJECT LOCATION



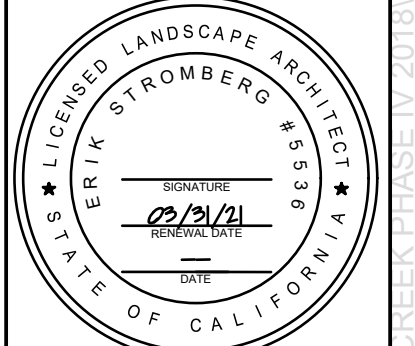
REVISIONS

DATE	DESCRIPTION
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PROJECT TITLE
**CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET**

SHEET TITLE
TITLE SHEET

DESIGN PHASE
90% SET



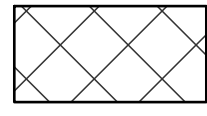
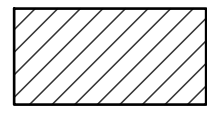

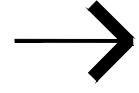


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DEMOLITION LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- LIMIT OF WORK (SHOWN SCHEMATICALLY)
-  AREA TO BE CLEARED AND GRUBBED. SEE DEMOLITION NOTES.
-  PAVING TO BE DEMOLISHED AND REMOVED. SEE DEMOLITION NOTES AND SPECIFIC NOTES ON PLAN.
-  FENCING, GATES, WALLS, AND CURB/GUTTER TO BE REMOVED
-  CONSTRUCTION ACCESS
-  TREE TO BE REMOVED
-  TREE TO BE TRANSPLANTED

EROSION CONTROL NOTES

1. PROVIDE STORM INLET PROTECTION MEASURES AT ALL DI'S WITHIN THE PROJECT SITE.
2. CONTRACTOR TO PROVIDE SWPPP AND ENSURE COMPLIANCE THROUGHOUT THE DURATION OF CONSTRUCTION.
3. SEE GRADING PLAN FOR ADDITIONAL EROSION CONTROL NOTES.
4. PROVIDE SILT FENCING AT L.O.W. ADJACENT TO CODORNICES CREEK. REMOVE UPON COMPLETION OF PERMANENT EROSION CONTROL INSTALLATION.

DEMOLITION NOTES

1. MAINTAIN PROJECT PERIMETER FENCE FOR THE DURATION OF THE CONSTRUCTION PERIOD.
2. PROTECT ALL EXISTING IMPROVEMENTS NOT NOTED FOR DEMOLITION.
3. PP ALL UTILITIES UNLESS OTHERWISE NOTED.
4. LEGALLY DISPOSE OF ALL MATERIAL CLEARED, GRUBBED, DEMOLISHED, OR SALVAGED BUT NOT UTILIZED FOR PROJECT OR ACCEPTED BY OWNER. STOCKPILE ALL MATERIALS FOR REUSE AS NOTED ON PLANS.
5. SALVAGE (E) IRRIGATION COMPONENTS AS FEASIBLE AND RETURN TO OWNER. SALVAGED COMPONENTS, IF DEEMED IN PROPER WORKING ORDER AND IF APPROVED BY O.R., MAY BE RE-USED IN PROJECT IRRIGATION INSTALLATION.

PROJECT TITLE

CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

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SHEET TITLE
DEMOLITION NOTES AND LEGEND

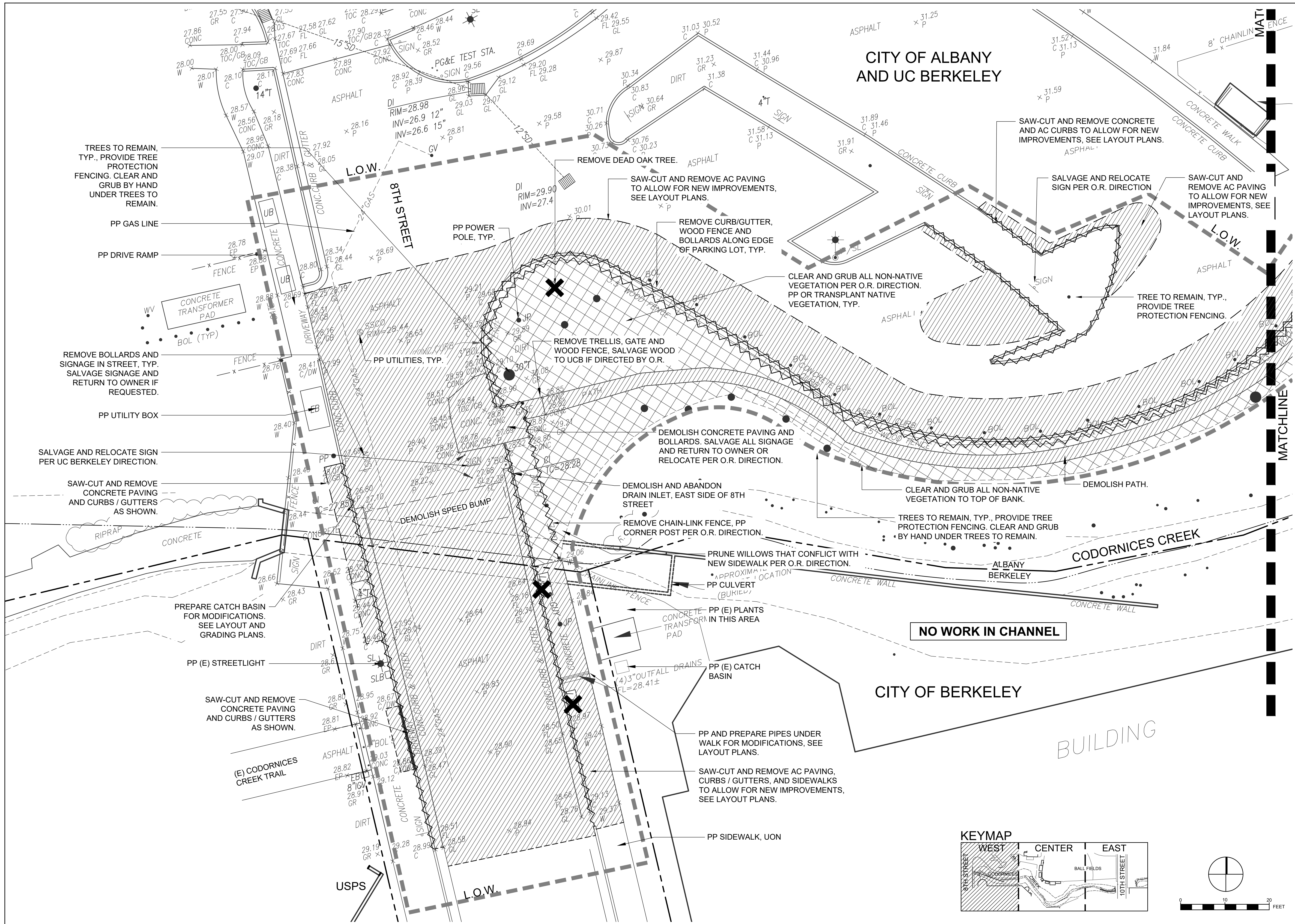


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PROJECT TITLE
CODORNICES CREEK PHASE IV
 8TH STREET TO 10TH STREET

SHEET TITLE
 DEMOLITION WEST

DESIGN PHASE
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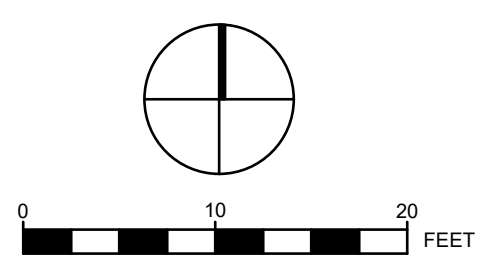
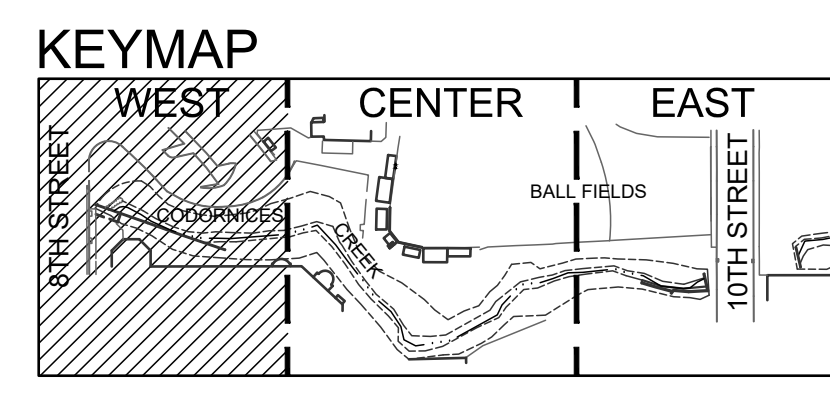


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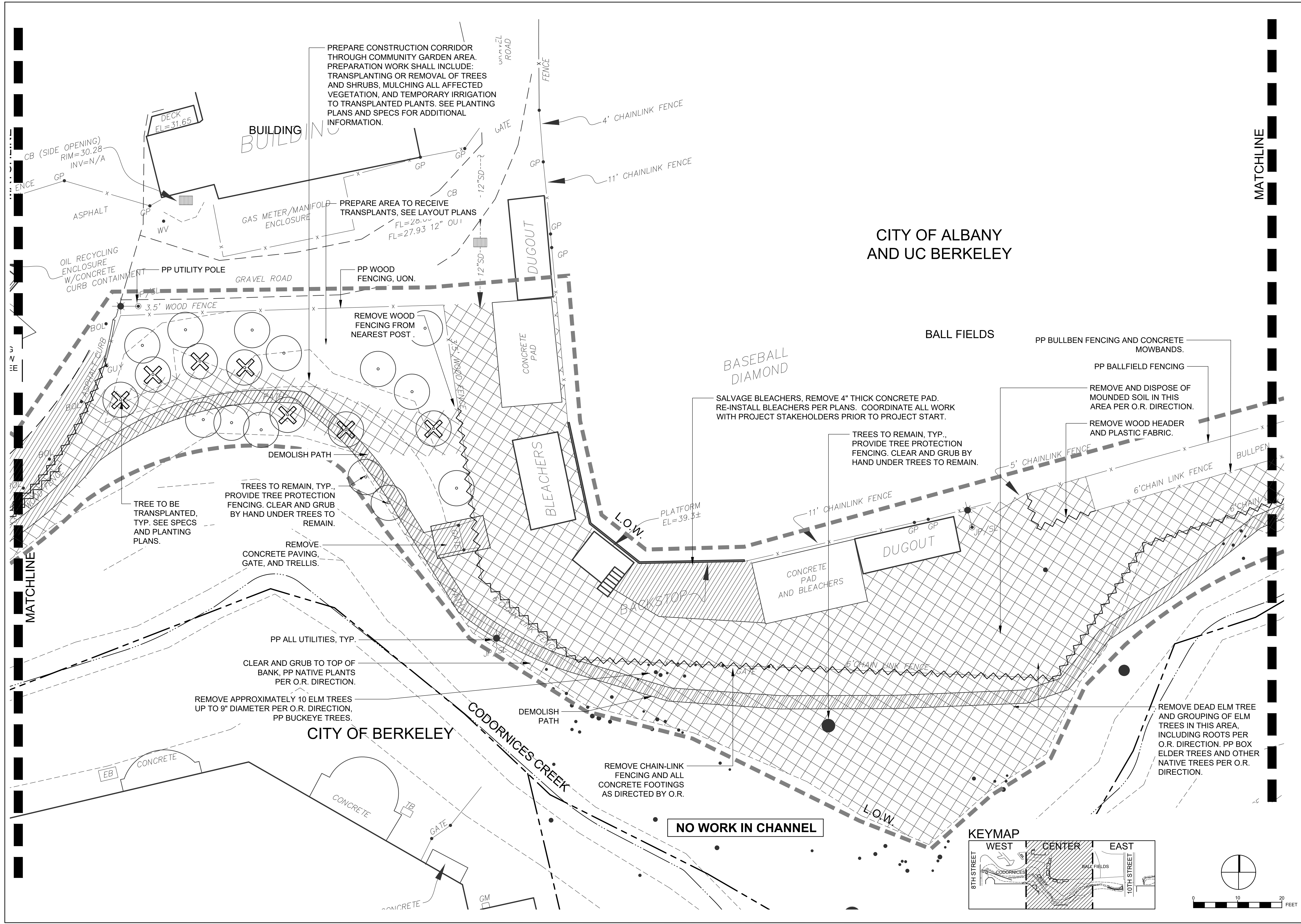


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PROJECT TITLE
CODORNICES CREEK PHASE IV
 8TH STREET TO 10TH STREET

SHEET TITLE
 DEMOLITION CENTER

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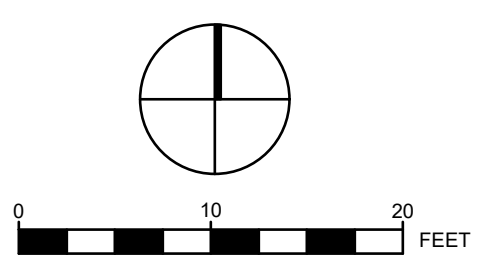
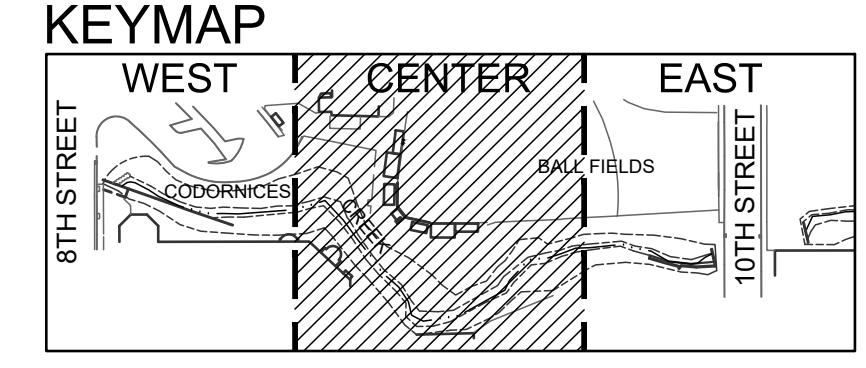


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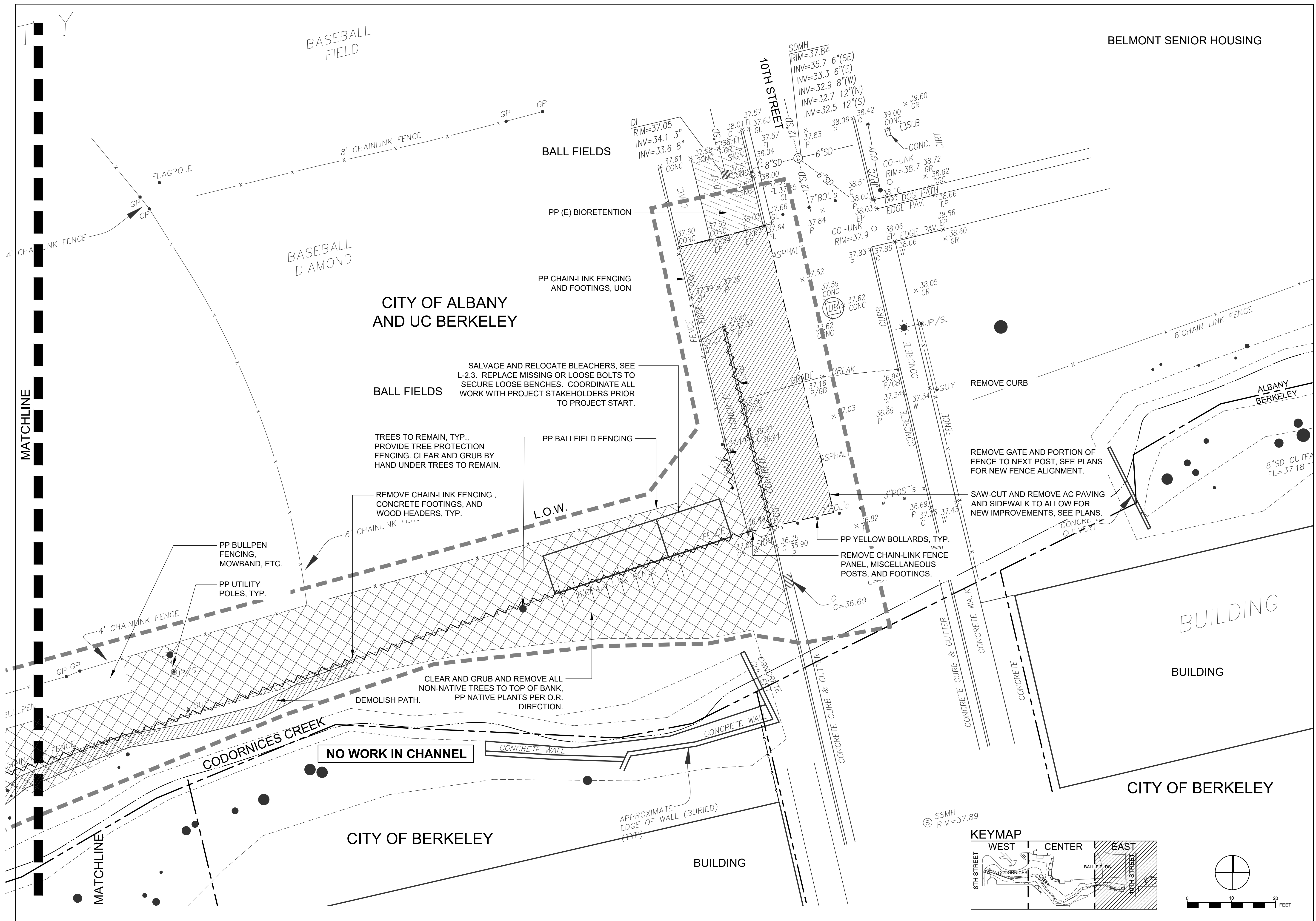


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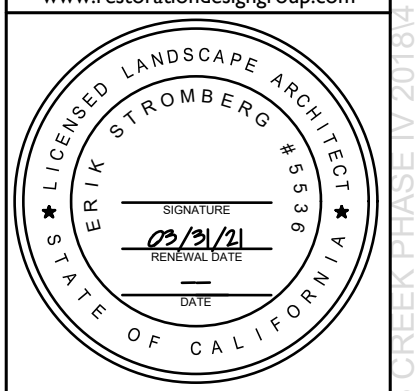
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PROJECT TITLE
CODORNICES CREEK PHASE IV
 8TH STREET TO 10TH STREET

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SHEET TITLE
 DEMOLITION EAST

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LAYOUT POINTS ⑤

Point Table			
Point #	Northing	Easting	Description
1	48852.31	42168.04	CURB MEETS (E) CURB
2	48860.15	42168.27	CURB
3	48866.91	42168.71	CURB
4	48900.09	42160.90	EDGE OF BIORETENTION
5	48940.00	42147.12	(E) CURB MEETS BIORETENTION
6	48951.12	42171.46	CURB
7	48959.70	42170.62	CORNER OF RAMP
8	48970.64	42173.00	CORNER OF RAMP
9	48985.81	42219.24	CURB
10	48977.32	42233.18	CURB MEETS ASPHALT PATH
11	48953.81	42271.82	CURB
12	48999.77	42376.31	CURB MEETS (E) CURB
13	48991.86	42378.78	TOP OF RAMP MEETS ASPHALT PATH
14	48991.36	42430.39	EDGE OF PATH
15	48988.26	42454.81	EDGE OF ASPHALT PATH MEETS CONCRETE PATH
16	48990.36	42464.58	EDGE OF CONCRETE PATH
17	48953.99	42472.39	EDGE OF CONCRETE PATH
18	48938.36	42492.06	EDGE OF CONCRETE PATH
19	48938.91	42521.95	EDGE OF CONCRETE PATH
20	48944.95	42548.83	EDGE OF CONCRETE PATH
21	48953.80	42569.25	EDGE OF CONCRETE PATH
22	48961.53	42587.00	EDGE OF CONCRETE PATH
23	48982.49	42660.96	EDGE OF CONCRETE PATH
24	48986.81	42669.91	EDGE OF CONCRETE PATH
25	49005.07	42709.31	EDGE OF CONCRETE PATH
26	49011.51	42733.12	EDGE OF CONCRETE PATH ALIGNED WITH PA
27	49007.02	42754.79	EDGE OF CONCRETE PATH ALIGNED WITH PA
28	49025.69	42785.54	EDGE OF CONCRETE PATH MM (E)
30	48981.79	42297.34	PARKING ISLAND
31	48974.58	42281.23	PARKING ISLAND
32	48972.89	42309.41	PARKING ISLAND
33	48991.96	42329.60	PARKING ISLAND

LAYOUT LEGEND

- - - - - PROPERTY BOUNDARY
 - - - - - LIMIT OF WORK
 - ··· - CHANNEL CENTERLINE
 - - - - - (E) MAJOR CONTOUR
 - - - - - (E) MINOR CONTOUR
 - - - - - RAIL FENCE, 42" HEIGHT (2/L-3.2)
 - ○ - ○ - WOOD GUARDRAIL, 54" HEIGHT (1/L-3.2)
 - □ - □ - STEEL GUARDRAIL, 42" HEIGHT (2/L-3.1)
 - x - x - CHAIN-LINK FENCE, SEE SPECIFICATIONS
 [Rock Symbol] ROCK DISSIPATOR
 ● (E) TREES TO REMAIN
 [Align Symbol] ALIGN, TYP.
 [Concrete Paving Symbol] CONCRETE PAVING (4/L-3.0)
 [Aggregate Paving Symbol] AGGREGATE PAVING (1/L-3.0)

[Asphalt Paving Symbol] ASPHALT PAVING (2/L-3.0)
 [Vehicular Asphalt Paving Symbol] VEHICULAR ASPHALT PAVING
 [Log Seating Symbol] LOG SEATING (4/L-3.1)
 [Concrete Seatwall Symbol] CONCRETE SEATWALL (1/L-3.1)
 [Rockery Symbol] ROCKERY (3/L-3.0)
 [Bicycle Rack Symbol] BICYCLE RACK (5/L-3.0)
 [Trash Receptacle Symbol] TRASH RECEPTACLE, SEE SPECS
 [Flush Symbol] FLUSH
 [Planting Area Symbol] PA PLANTING AREA

LAYOUT NOTES

1. PROVIDE SHOP DRAWINGS AND AS-BUILTS AS NOTED IN SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE SITE AND NOTIFY O.R. OF ALL DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MINOR SITE ADJUSTMENTS TO GRADING, ALIGNMENT, AND LAYOUT TO PROPOSED SITE IMPROVEMENTS AT NO COST TO THE OWNER.
3. DIMENSIONS AS SHOWN ARE TO BE VERIFIED WITH THE O.R. PRIOR TO INSTALLING THE IMPROVEMENTS. IF MINOR FIELD ADJUSTMENTS ARE REQUIRED, THEY SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER.
4. PRESERVE, PROTECT AND RESTORE ALL EXISTING ADJACENT IRRIGATION EQUIPMENT AND SYSTEMS TO PROVIDE COMPLETE EFFICIENT HEAD TO HEAD COVERAGE.
5. SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO: FENCES, GUARDRAILS, SWALES, CURBS, AND PAVING SHALL BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY O.R. PRIOR TO INSTALLATION.

GRADING LEGEND

- - - - - PROPERTY BOUNDARY
 - - - - - CODORNICES CREEK MOU LINE
 - - - - - LIMIT OF WORK
 - ··· - CHANNEL CENTERLINE
 - - - - - (E) MAJOR CONTOUR
 - - - - - (E) MINOR CONTOUR
 - - - - - MAJOR CONTOUR
 - - - - - MINOR CONTOUR
 - - - - - TEMPORARY RESTORATION BARRIER
 - □ - □ - GUARDRAIL
 - x - x - CHAIN-LINK FENCE
 [Rock Symbol] ROCK DISSIPATOR
 ● (E) TREES TO REMAIN

GRADING NOTES

1. SEE DETAILS FOR ADDITIONAL GRADING INFORMATION.
2. MAXIMUM SLOPE SHALL BE 2:1.
3. CONTRACTOR RESPONSIBLE FOR PROVIDING A STAKED SURVEY BY A LICENSED SURVEYOR OF THE FINAL AS-BUILT GRADING FOR O.R. REVIEW AND APPROVAL. SEE SPECIFICATIONS FOR REQUIREMENTS.
4. SEE SPECIFICATIONS FOR SOIL PREPARATION REQUIRED PRIOR TO PLANTING.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND IMPLEMENTING THE SWPPP, AND MAINTENANCE OF ALL BMP'S DEFINED IN THE SWPPP.
6. WHERE EXCAVATION IS REQUIRED ADJACENT TO (E) UTILITIES, HAND EXCAVATE TO VERIFY CONDITION AND LOCATION.
7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE SITE AND NOTIFY O.R. OF ALL DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MINOR SITE ADJUSTMENTS TO GRADING, ALIGNMENT, AND LAYOUT TO PROPOSED SITE IMPROVEMENTS AT NO COST TO THE OWNER.
8. GRADING IS INTENDED TO BE IMPLEMENTED WITH SMOOTH, EVEN SLOPES AND CONTOURS. NO ABRUPT CHANGES SHALL BE ALLOWED.
9. VERTICAL DATUM: NGVD29

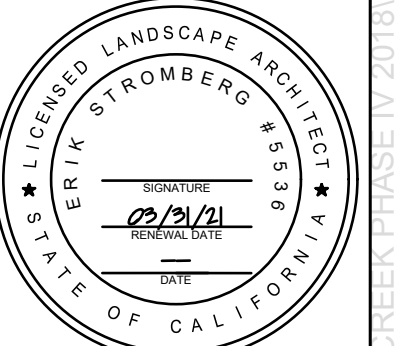
EROSION CONTROL NOTES

1. INSTALL WATTLES UPSTREAM OF SILT FENCE. LEAVE IN PLACE AFTER SILT FENCE IS REMOVED.

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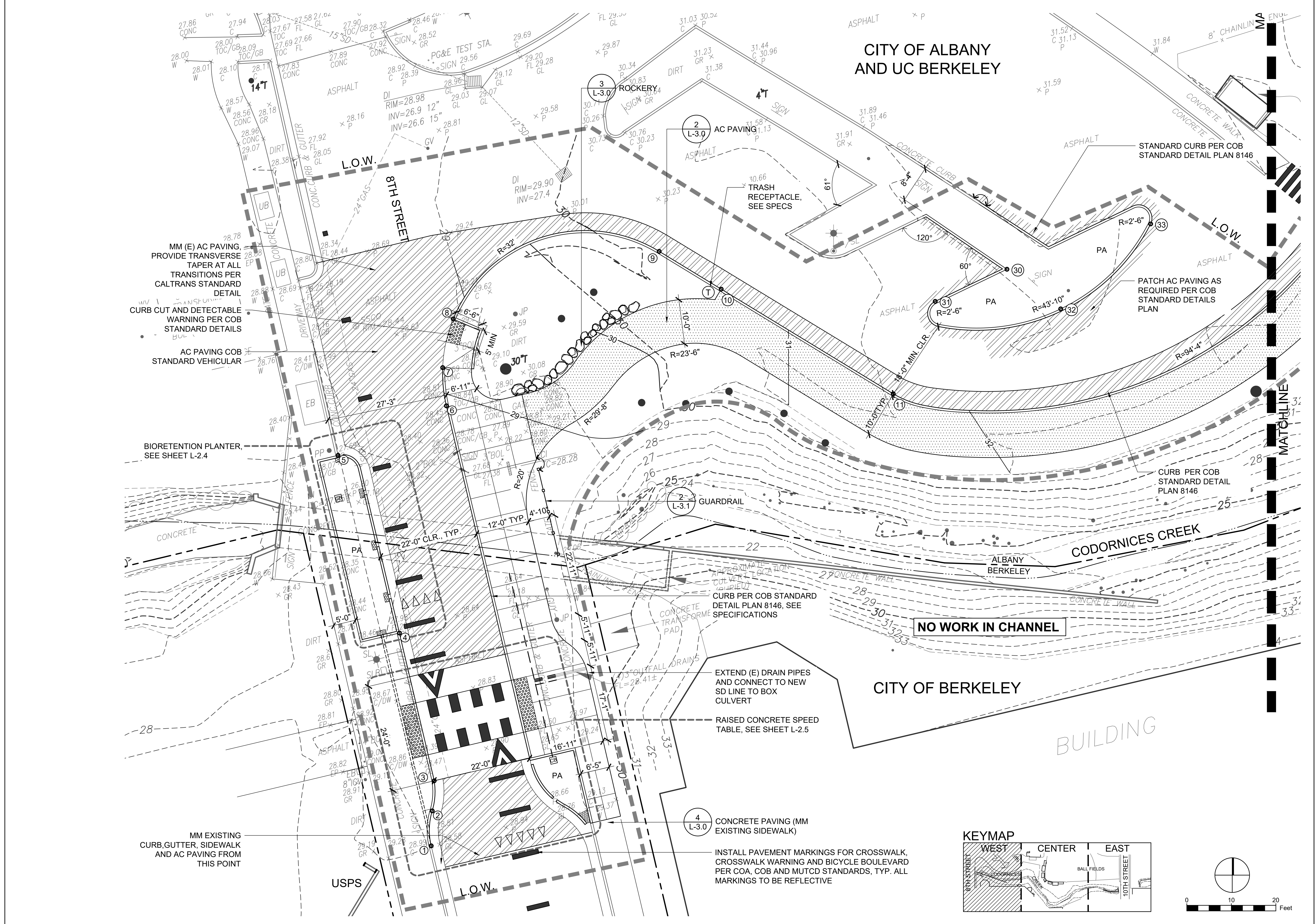
PROJECT TITLE
CODORNICES CREEK PHASE IV
 8TH STREET TO 10TH STREET
 SHEET TITLE
LAYOUT AND GRADING NOTES AND LEGEND
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L-2.0



MM (E) AC PAVING, PROVIDE TRANSVERSE TAPER AT ALL TRANSITIONS PER CALTRANS STANDARD DETAIL

CURB CUT AND DETECTABLE WARNING PER COB STANDARD DETAILS

AC PAVING COB STANDARD VEHICULAR

BIORETENTION PLANTER, SEE SHEET L-2.4

MM EXISTING CURB, GUTTER, SIDEWALK AND AC PAVING FROM THIS POINT

4 L-3.0 CONCRETE PAVING (MM EXISTING SIDEWALK)

INSTALL PAVEMENT MARKINGS FOR CROSSWALK, CROSSWALK WARNING AND BICYCLE BOULEVARD PER COA, COB AND MUTCD STANDARDS, TYP. ALL MARKINGS TO BE REFLECTIVE

EXTEND (E) DRAIN PIPES AND CONNECT TO NEW SD LINE TO BOX CULVERT

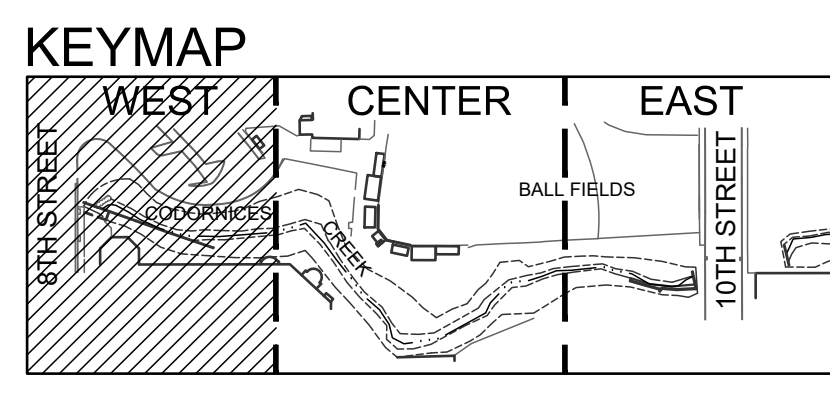
RAISED CONCRETE SPEED TABLE, SEE SHEET L-2.5

CURB PER COB STANDARD DETAIL PLAN 8146, SEE SPECIFICATIONS

STANDARD CURB PER COB STANDARD DETAIL PLAN 8146

CURB PER COB STANDARD DETAIL PLAN 8146

PATCH AC PAVING AS REQUIRED PER COB STANDARD DETAILS PLAN



REVISIONS	
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CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

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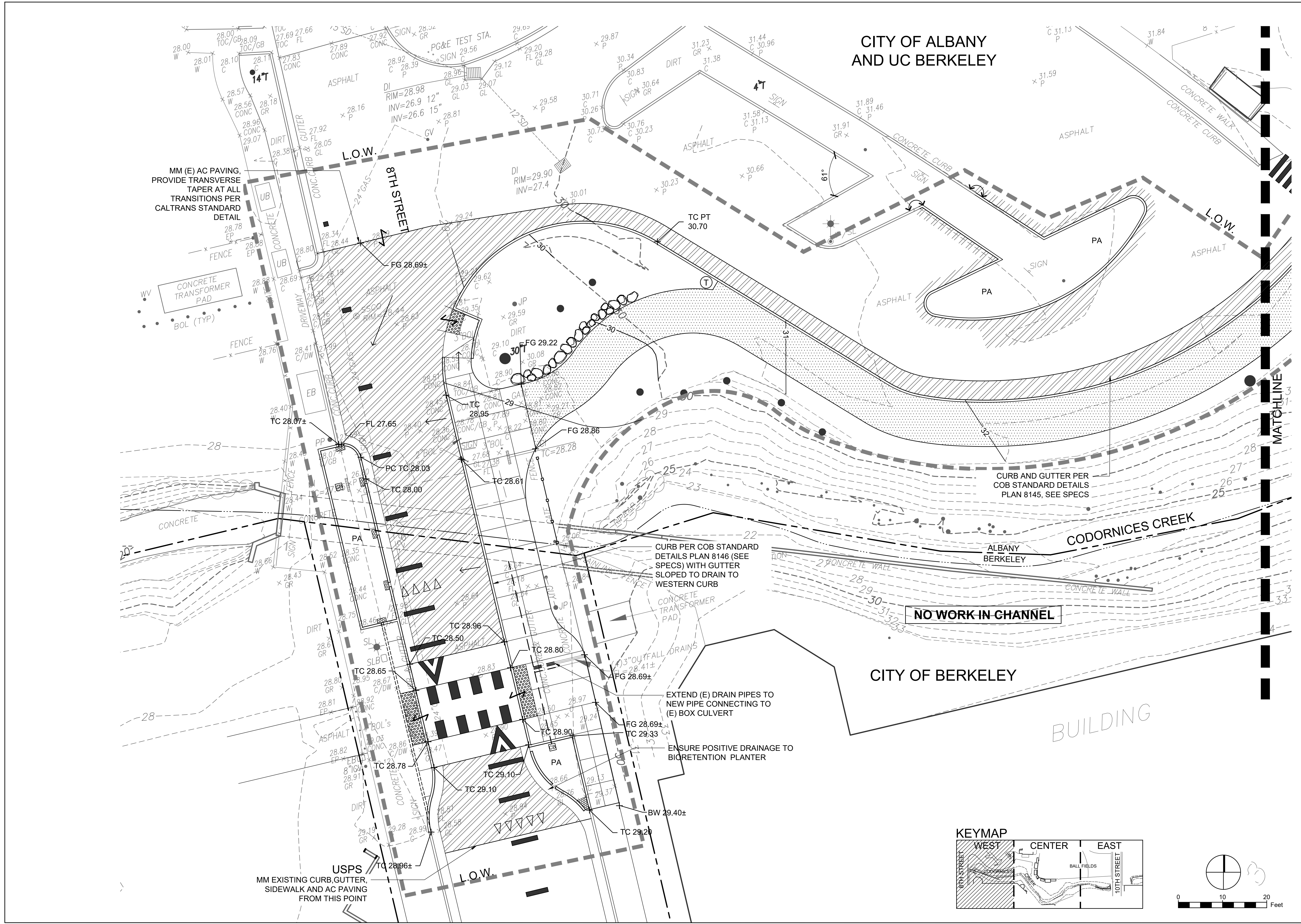
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 8TH STREET TO 10TH STREET

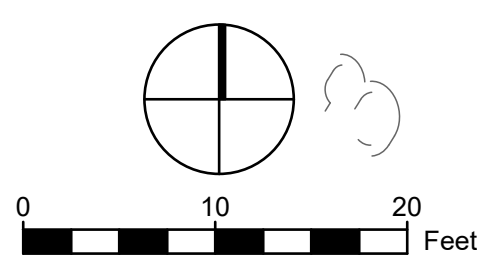
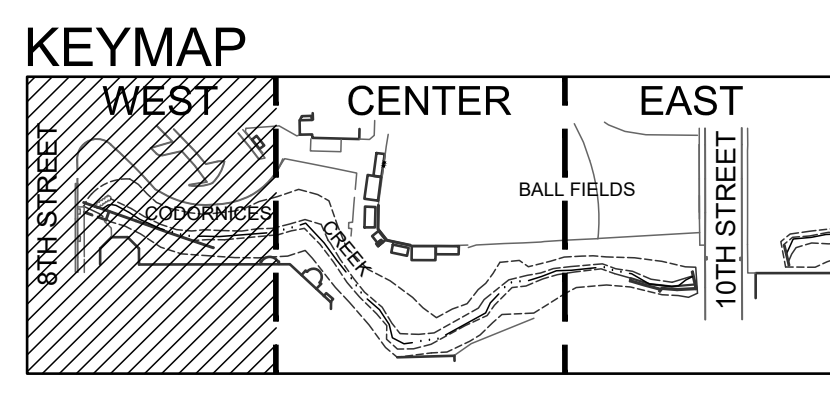
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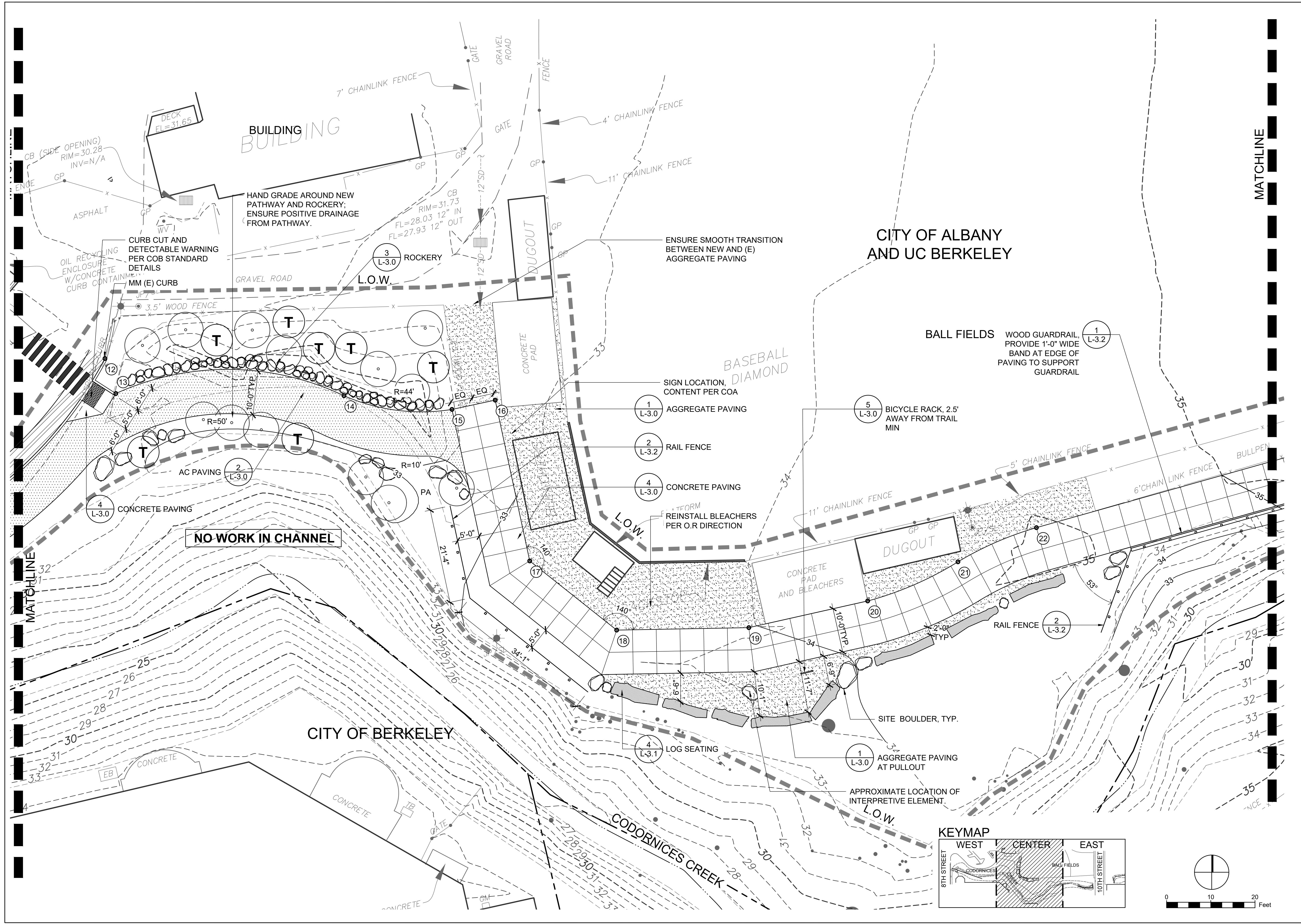
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PROJECT TITLE
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 8TH STREET TO 10TH STREET

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SHEET TITLE
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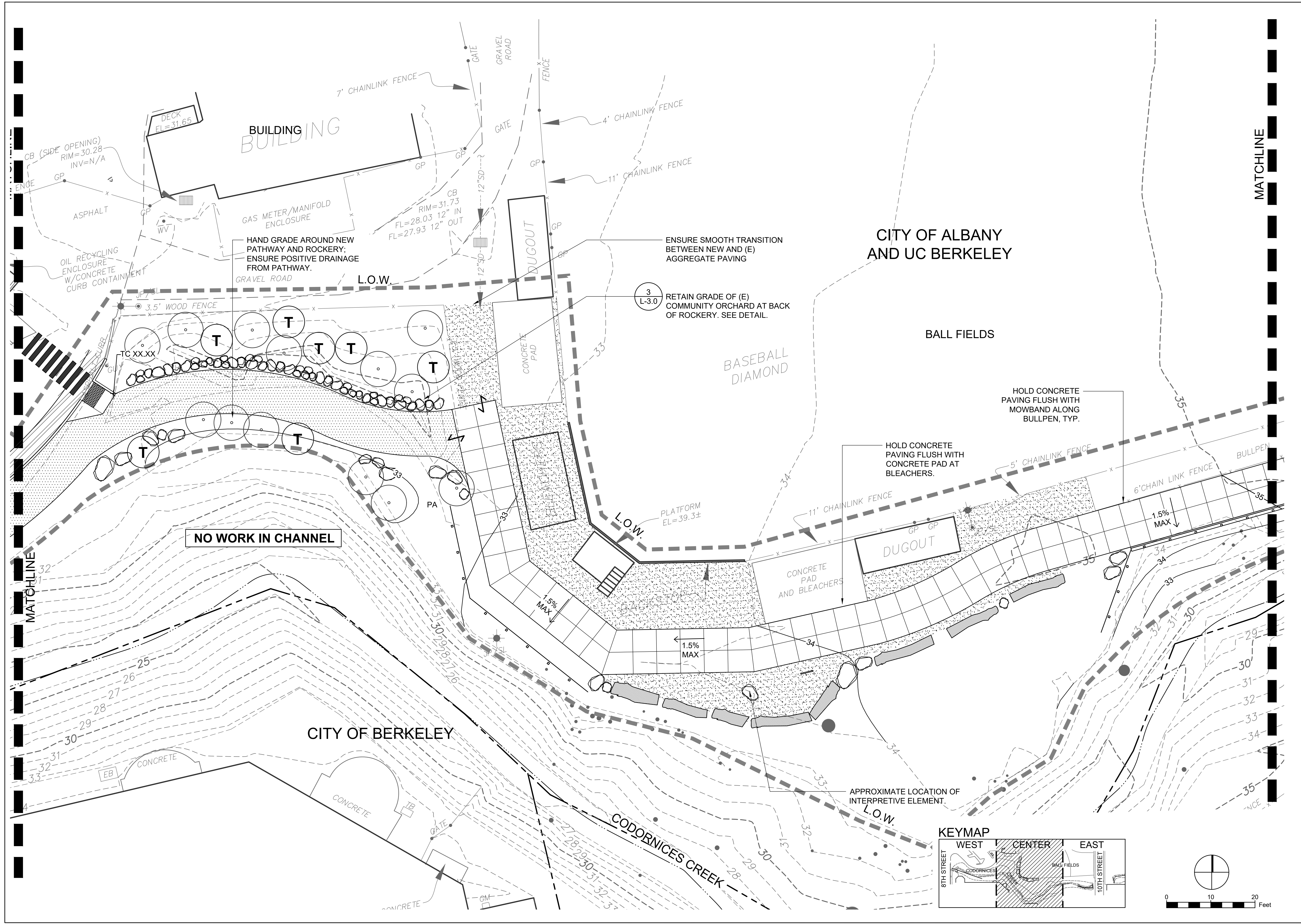
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PROJECT TITLE
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 8TH STREET TO 10TH STREET

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GRADING CENTER



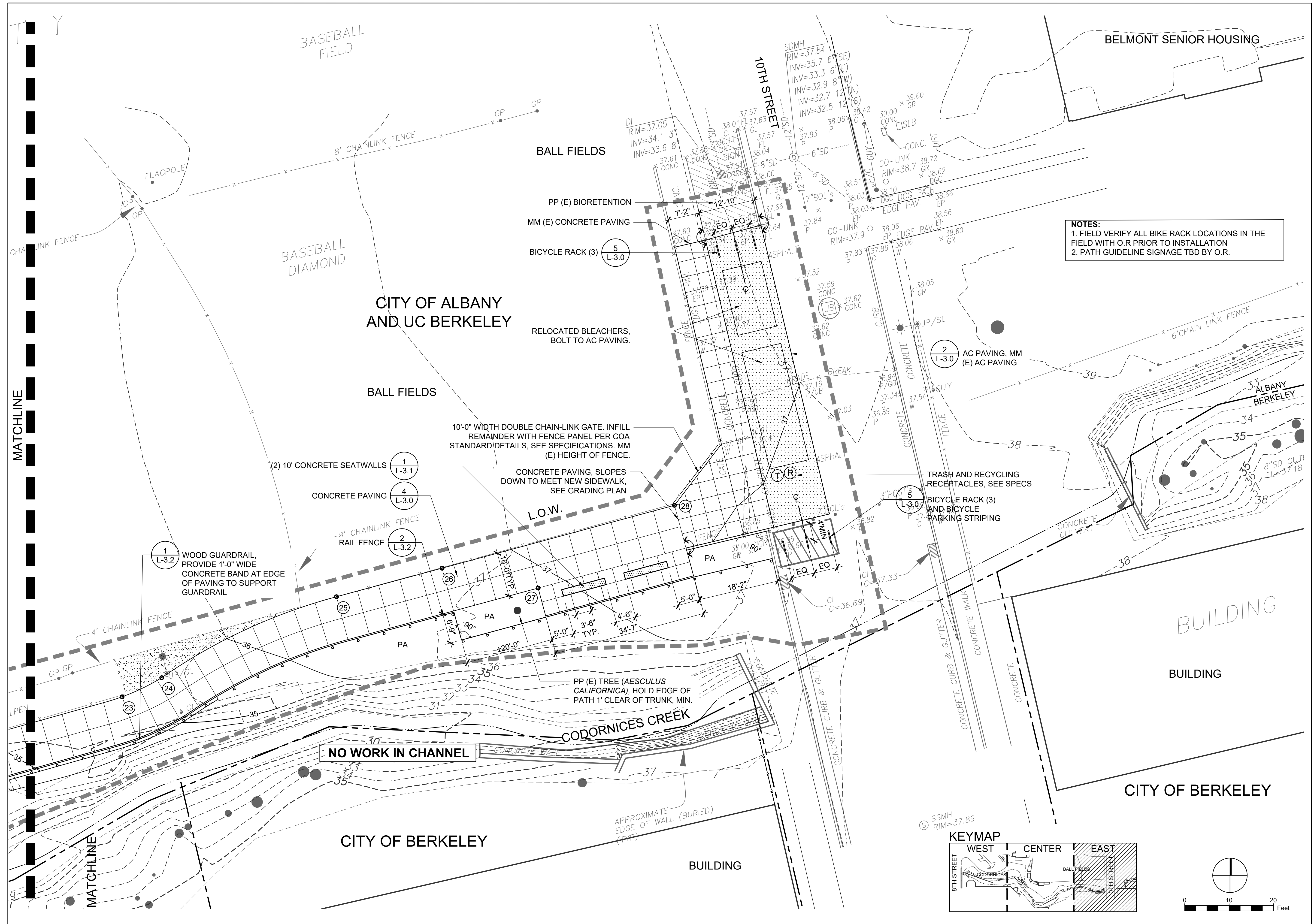
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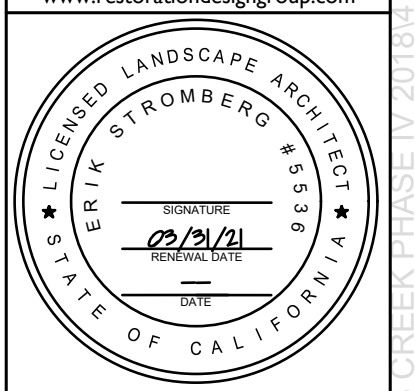
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CODORNICES CREEK PHASE IV
 8TH STREET TO 10TH STREET

SHEET TITLE
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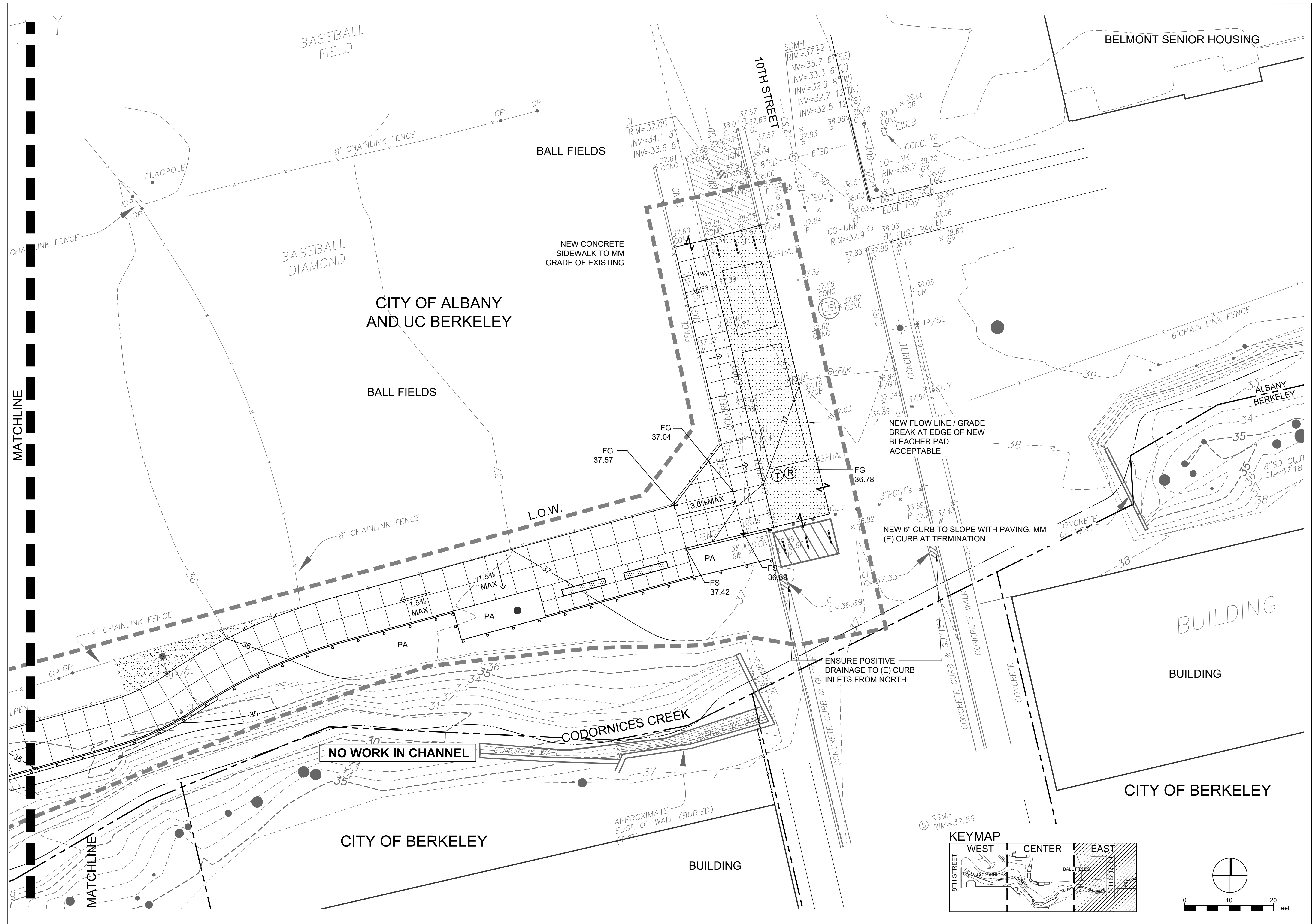
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 8TH STREET TO 10TH STREET

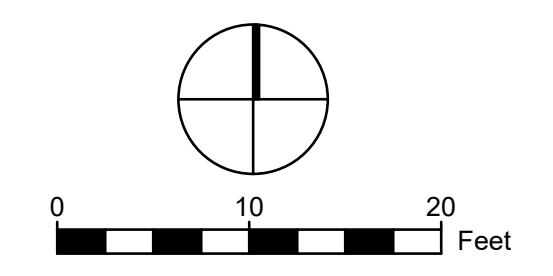
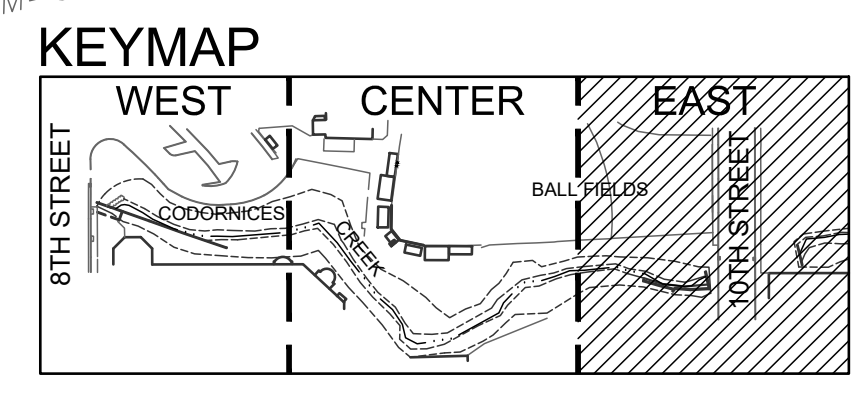
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SHEET TITLE
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SUPPLEMENT TO CODORNICES CREEK PHASE IV 2018R AND TO CORRECTING DRAWINGS SHEETS ISLS-GRADING.DWG PLOTTED ON: 06/20/2019

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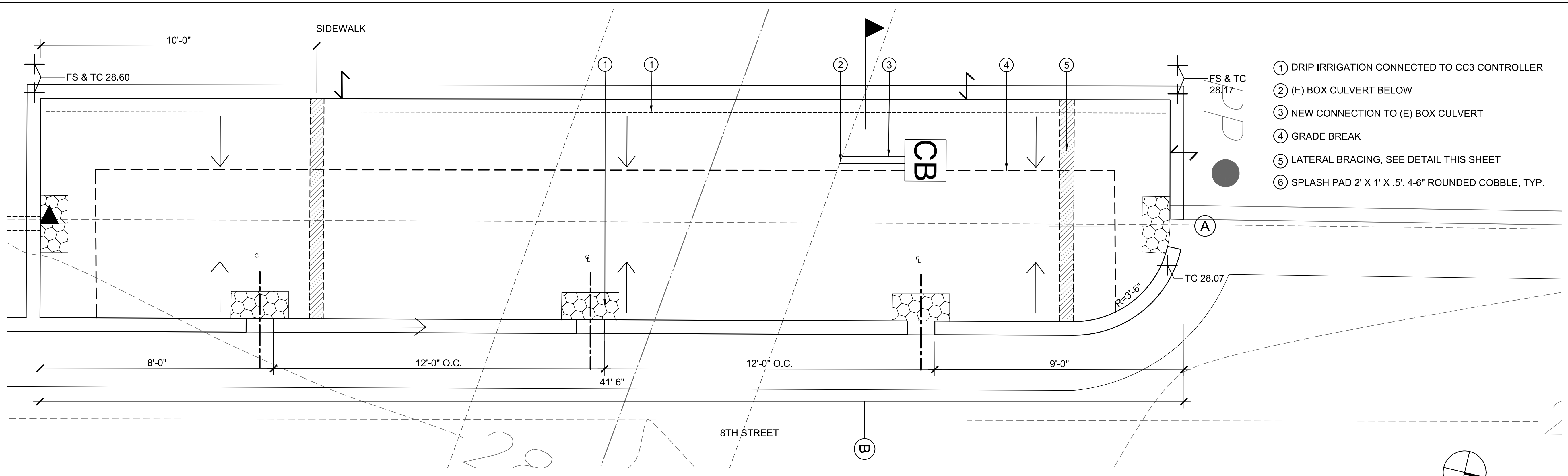
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 8TH STREET TO 10TH STREET
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DESIGN PHASE
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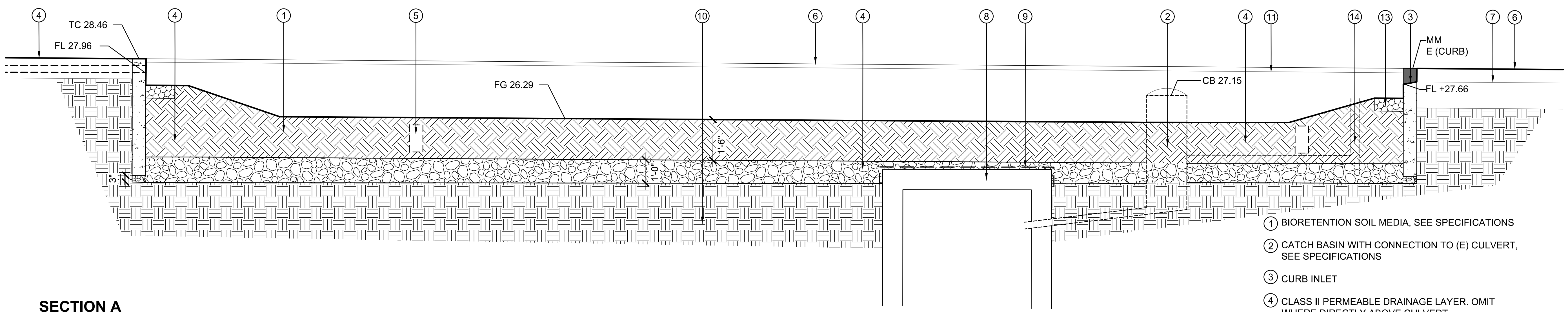


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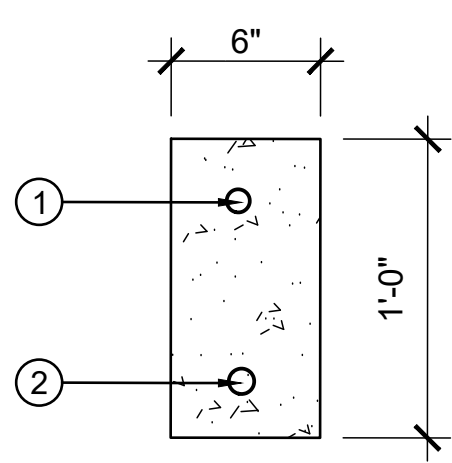
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BIORETENTION ENLARGEMENT PLAN
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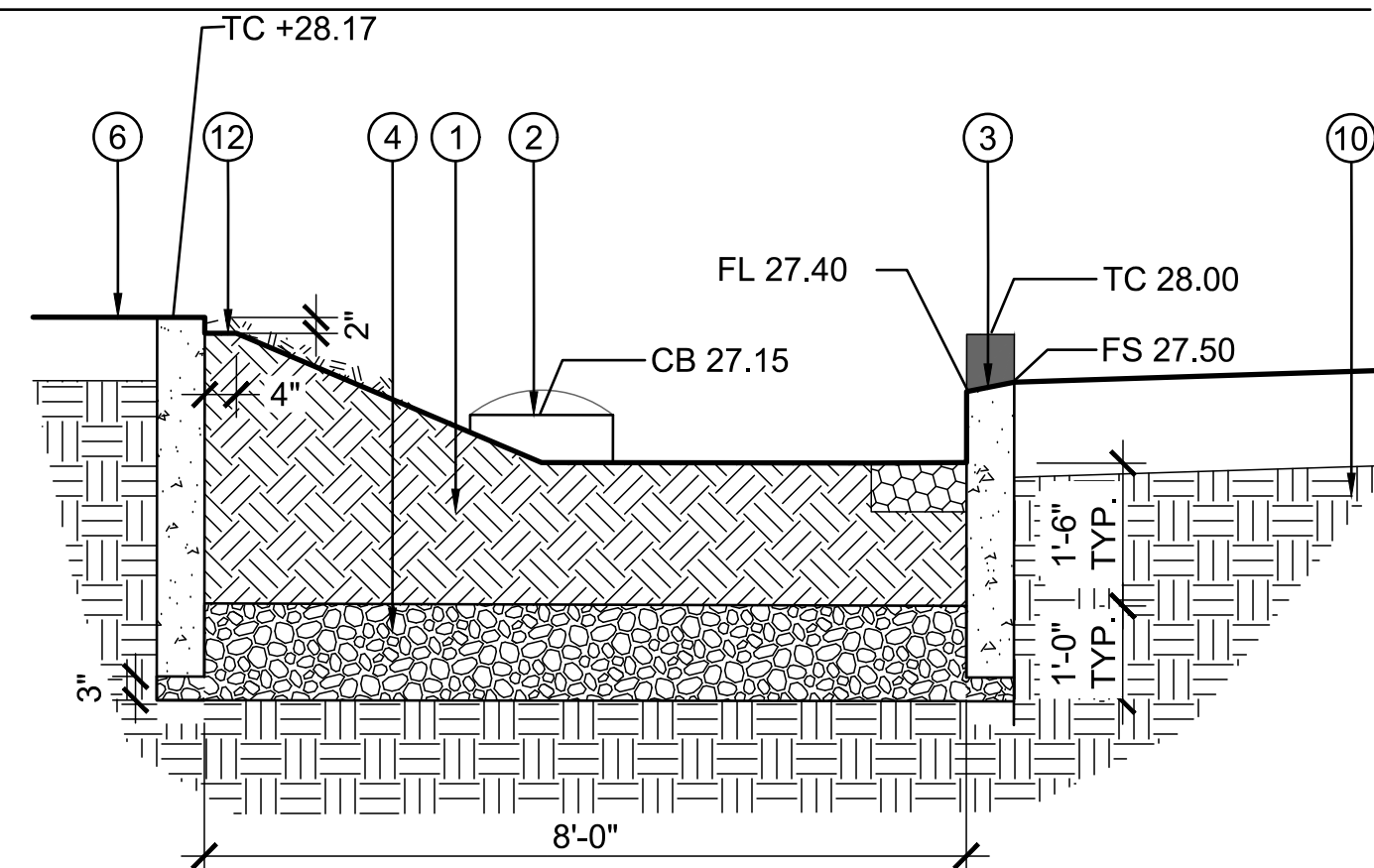


SECTION A
 SCALE: 1/2" = 1'-0"



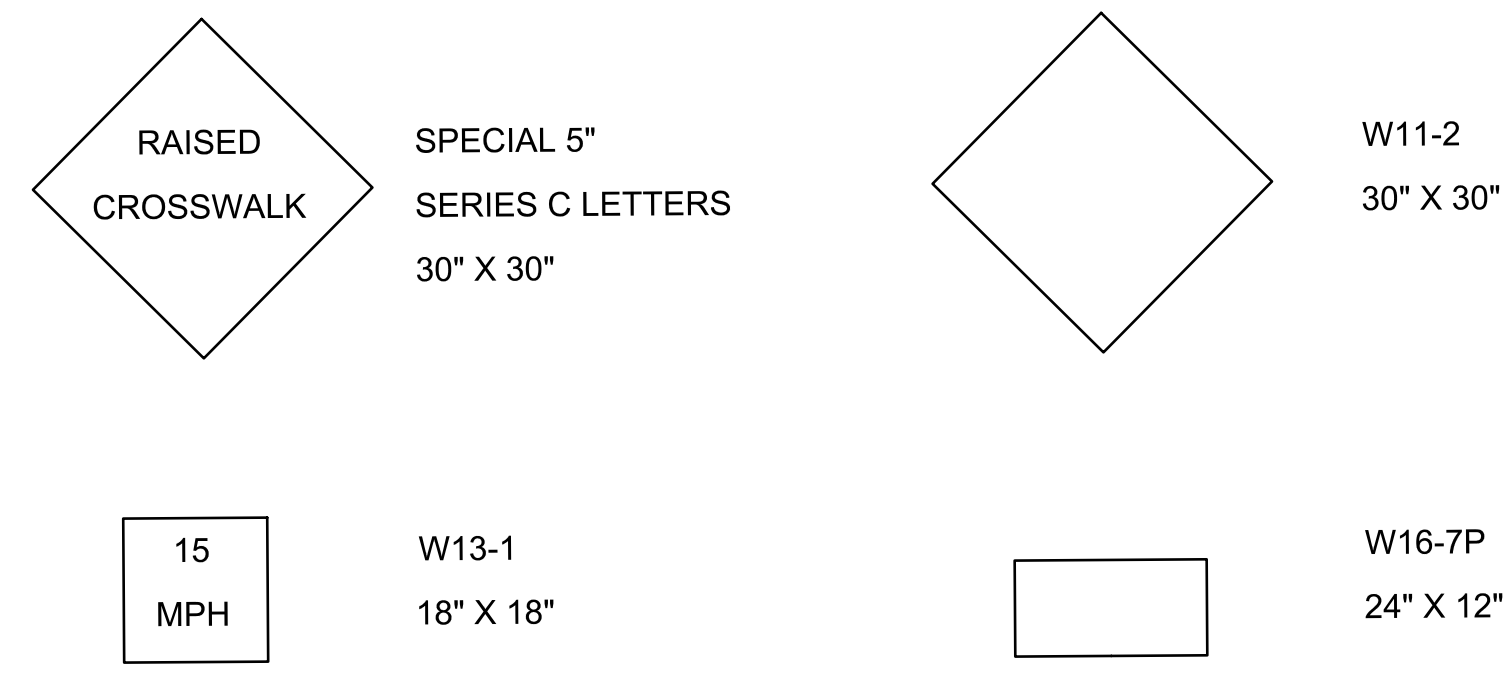
LATERAL BRACING
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- ① (1) #4 REBAR WITH 90° AT EACH END AS SHOWN
- ② (1) #6 REBAR WITH 90° HOOK AT EACH END AS SHOWN



SECTION B
 SCALE: 1/2" = 1'-0"

- ① BIORETENTION SOIL MEDIA, SEE SPECIFICATIONS
- ② CATCH BASIN WITH CONNECTION TO (E) CULVERT, SEE SPECIFICATIONS
- ③ CURB INLET
- ④ CLASS II PERMEABLE DRAINAGE LAYER. OMIT WHERE DIRECTLY ABOVE CULVERT
- ⑤ LATERAL BRACING, TYP., SEE DETAIL THIS SHEET
- ⑥ SIDEWALK
- ⑦ ROAD
- ⑧ (E) CULVERT
- ⑨ MIRAFI DRAIN NET WRAPPED TO MIDDLE OF AB LAYER, SEE SPECIFICATIONS
- ⑩ COMPACTED SUBGRADE
- ⑪ SOIL LEVEL BEYOND
- ⑫ MOUND TOP OF SOIL (TSL) TO WITHIN 2" OF SIDEWALK. HOLD LEVEL FOR 4", 3:1 MAX SLOPE.
- ⑬ SPLASH PAD, 2' X 1' X .5', 4-6" ROUNDED COBBLE
- ⑭ 6" DIAMETER PERFORATED PIPE

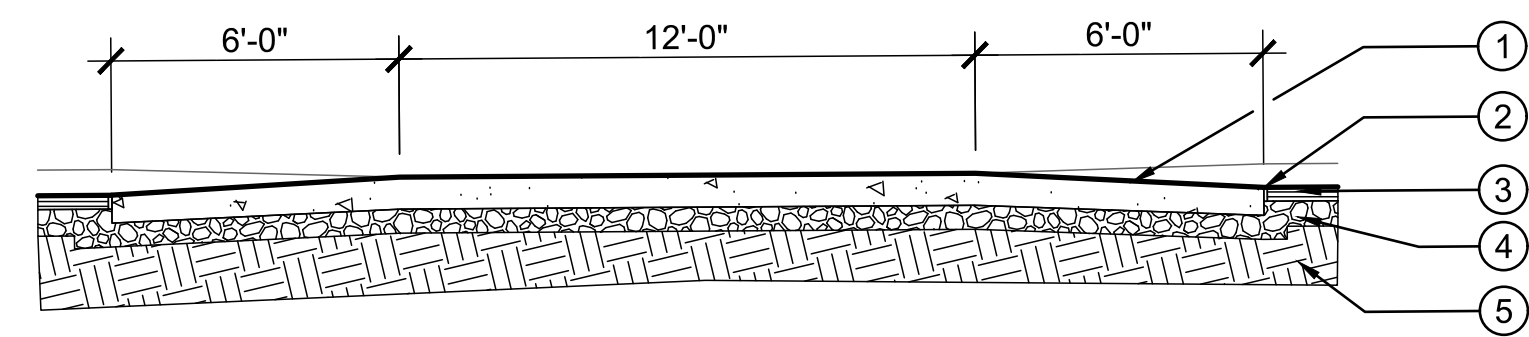


SIGNS NOT TO SCALE

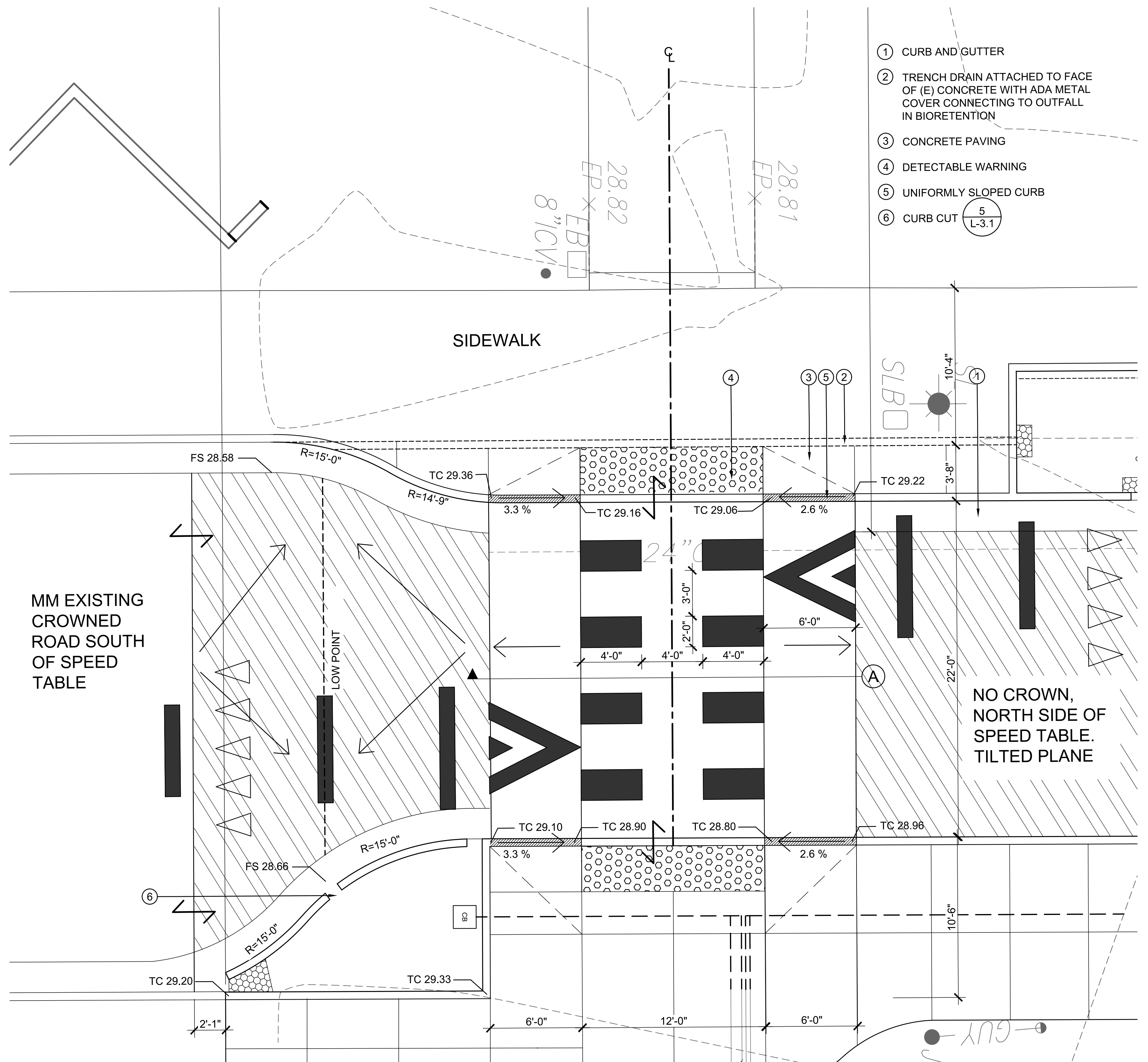
NOTES:

1. WARNING SIGN LOCATIONS WILL BE DETERMINED IN THE FIELD. RAISED SIDEWALK AND W13 SIGNS WILL BE APPROXIMATELY 100' BEFORE THE SPEED TABLE IN BOTH TRAVEL LANES. W11-2 AND W16-7P SIGNS WILL BE PLACED CLOSE TO CROSSWALK ON BOTH SIDES.
2. SEE CALTRANS 2018 STD. PLANS FOR SIGNS
3. ALL MARKINGS SHALL BE REFLECTIVE

- 1 VEHICULAR CONCRETE PAVEMENT, #4 REBAR 12" ON CENTER EACH WAY
- 2 1" ASPHALT IMPREGNATED BACKER BOARD
- 3 HMA PAVING
- 4 BASE COURSE
- 5 COMPACTED SUBGRADE



SECTION A
SCALE: 1/4" = 1'-0"



SPEED TABLE ENLARGEMENT PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	
DATE	DESCRIPTION
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PROJECT TITLE
CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

DESIGN PHASE
90% SET

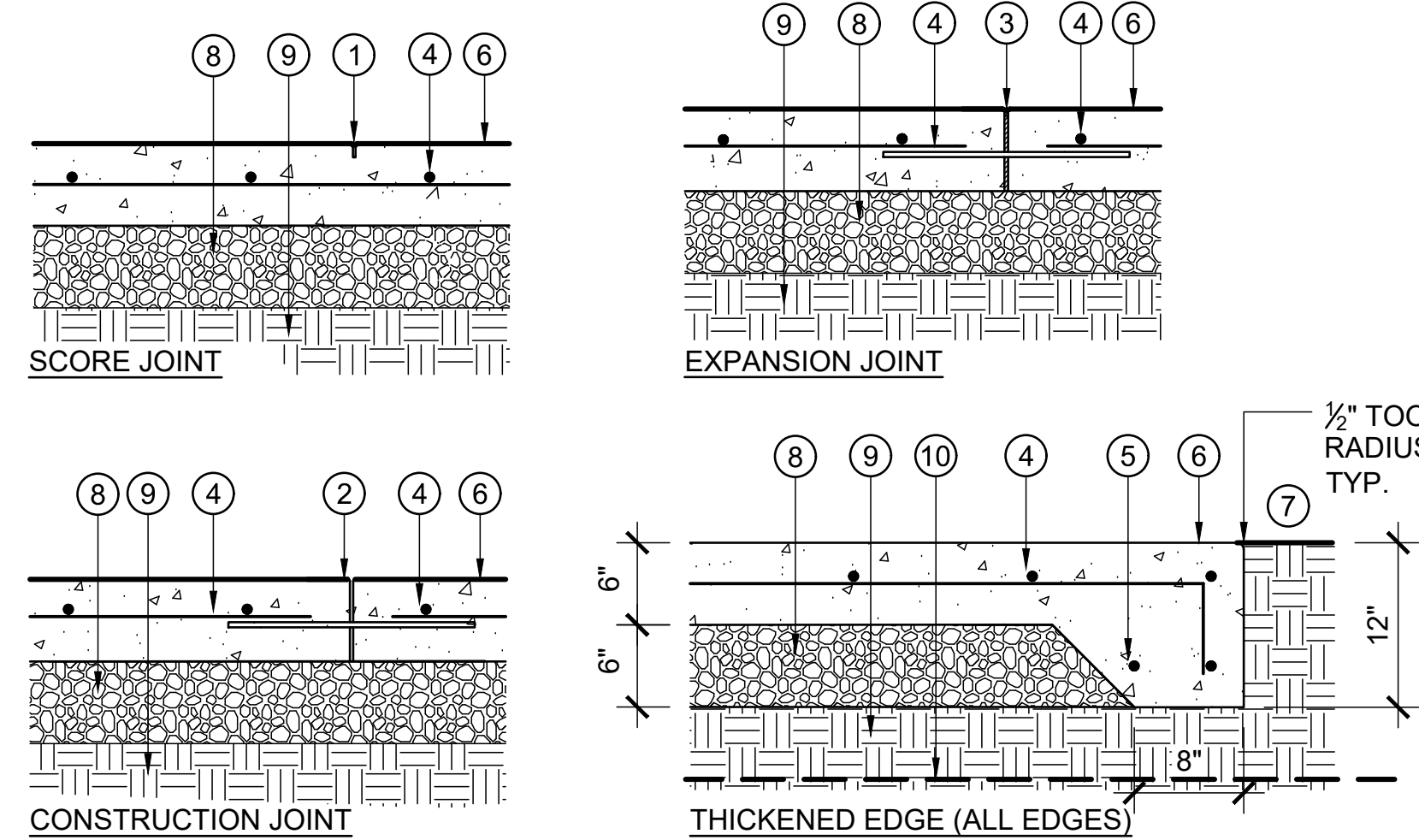
SHEET TITLE
ENLARGEMENTS

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DESIGN BY	PR, AS, KB
DRAWN BY	PR, KB
CHECKED BY	ES
SCALE	1" = 10'-0"
DATE	JUNE 3, 2019
SHEET	

L-2.5

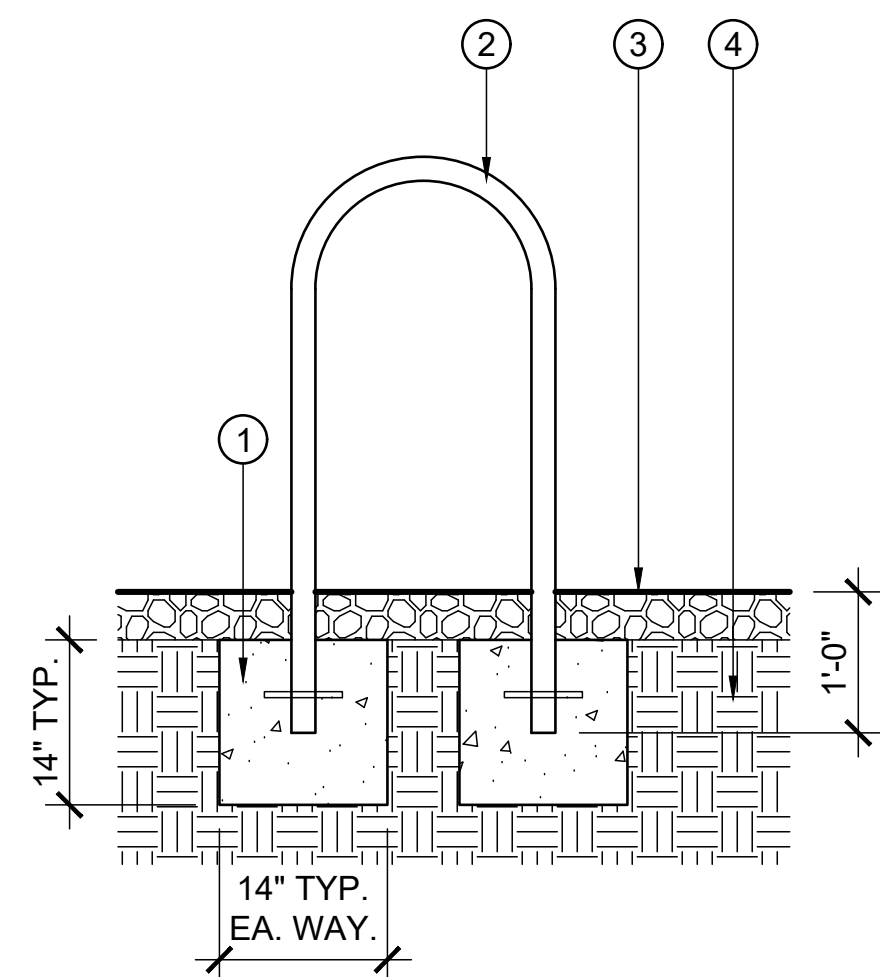
S:\PROJECTS\CODORNICES CREEK PHASE IV\2018\A01\04\DRAWING\DRAWINGS\SHEET ENLARGEMENTS\DWG\PLOTTED ON: 06/20/2019



- ① SCORE JOINT, 1" DEEP, 3/16" TO 1/4" WIDE, 1/8" RADIUS PER PLANS, CITY STANDARDS, OR O.R. DIRECTION.
- ② CONSTRUCTION JOINT WITH 18" LONG, 5/8" DIAMETER SMOOTH, GALVANIZED STEEL DOWEL AT MID-DEPTH OF SLAB.
- ③ PRE-MOLDED EXPANSION JOINT FILLER WITH JOINT SEALANT TO PROTECT FILLER (25' MAX. SPACING ALONG PATH), 3/8" WIDTH WITH 18" LONG, 5/8" DIAMETER SMOOTH GALVANIZED STEEL DOWEL, 36" O.C. AT MID-DEPTH OF SLAB.
- ④ #4 REBAR @ 18" O.C. BOTH WAYS AT CENTER OF CONCRETE SLAB. PLACE BAR 3" FROM EDGES AND EACH SIDE OF FORMED JOINTS. PLACE AT MID-DEPTH OF SLAB.
- ⑤ (2) #4 REBAR @ BOTTOM OF THICKENED EDGE. PLACE 3" CLEAR FROM EDGES.
- ⑥ CONCRETE PAVING. INSTALL THICKENED EDGE AT PERIMETER, UON. FINISH PER SPECIFICATIONS AND O.R. DIRECTION.
- ⑦ FINISH GRADE OR FINISH SURFACE FLUSH WITH CONCRETE PAVING FINISH SURFACE. SEE PLANS FOR LOCATIONS WITH AGGREGATE SHOULDER.
- ⑧ BASE COURSE, COMPACTED CLASS 2 AB. SEE GEOTECH REPORT AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ⑨ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
- ⑩ PROVIDE 6" PVC SLEEVES UNDER CONCRETE PAVING WHERE REQUIRED. COORDINATE WITH IRRIGATION CONTRACTOR PRIOR TO PAVING.

4 CONCRETE PAVING

SCALE: NTS

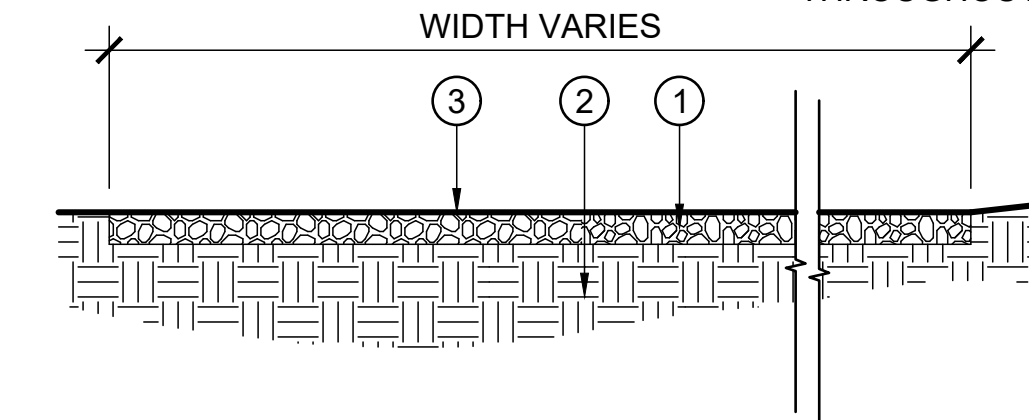


- ① CONCRETE FOOTING. SET TOP OF FOOTING FLUSH WITH BOTTOM OF PAVING SECTION PRIOR TO PAVING.
- ② BIKE RACK, EMBED MOUNT. CBBR-2URI-SS 'U' BIKE RACK BY BELSON OUTDOORS - (800) 323-5664, OR APPROVED EQUAL.
- ③ AGGREGATE PAVING (SHOWN) OR HMA PAVING
- ④ COMPACTED SUBGRADE OR FIRM, NATURAL SOIL

5 BICYCLE RACK

SCALE: NTS

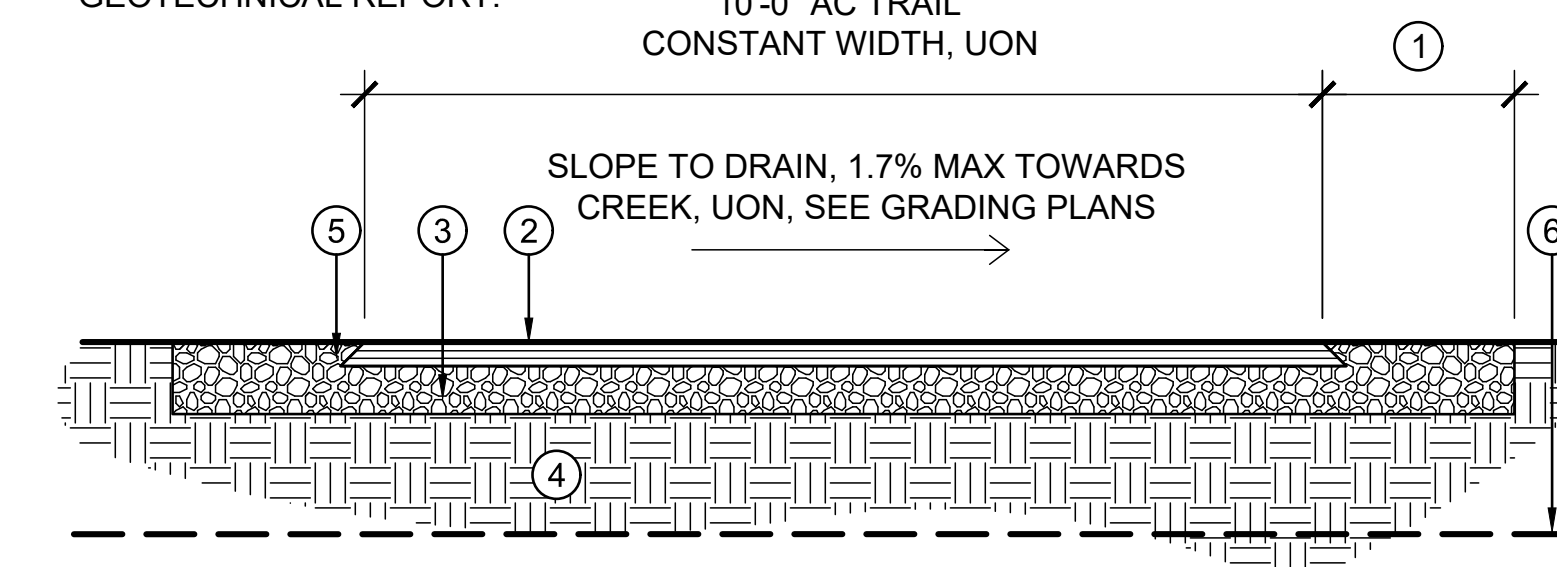
- ① BASE COURSE, 4" DEPTH, CLASS 2 AB, FLUSH WITH ADJACENT FINISH GRADE. CROSS SLOPE 2%, SEE PLANS FOR GRADING. COMPACT TO 95% TYP.
- ② COMPACTED SUBGRADE, 95%, TOP 12".
- ③ FINISH GRADE, SEE GRADING PLANS. ENSURE POSITIVE DRAINAGE THROUGHOUT.



1 AGGREGATE PAVING

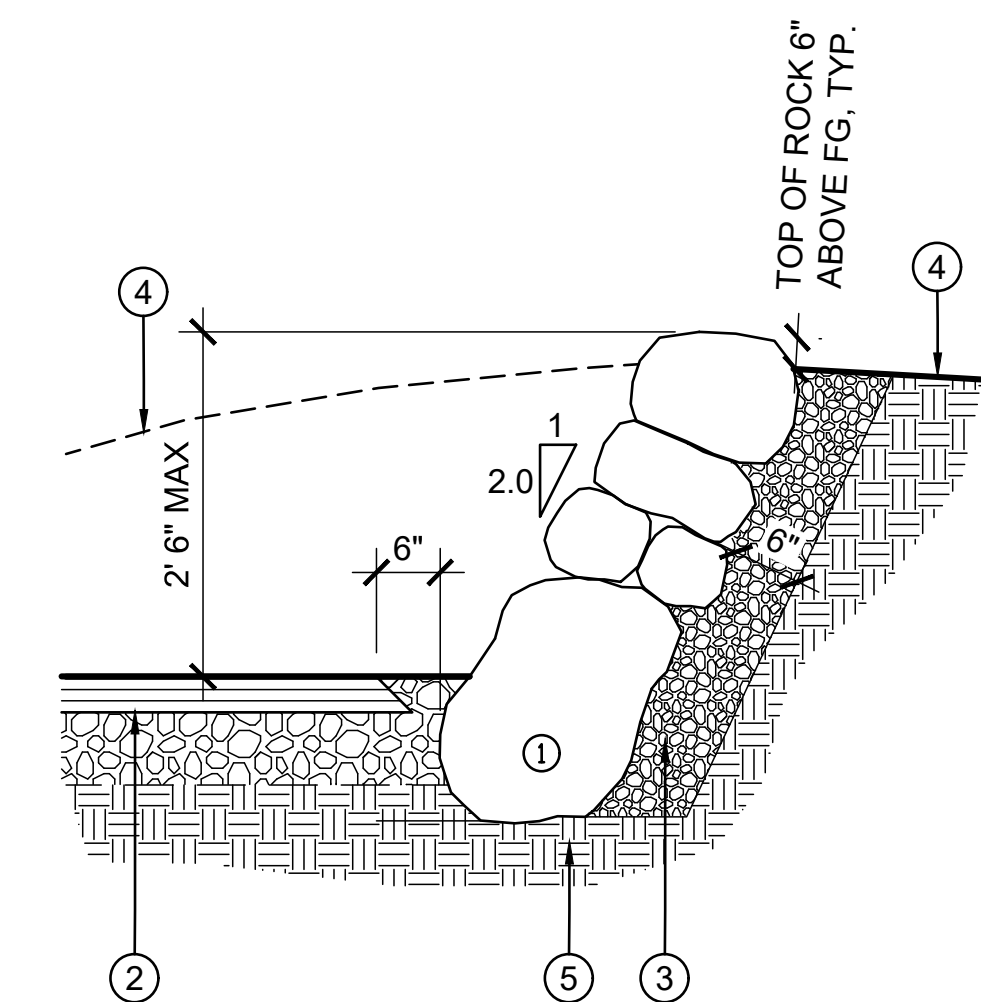
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- ① SHOULDERS, 2'-0" WIDTH BOTH SIDES, UON, COMPACTED CLASS 2 AB, F.G. FLUSH WITH F.S.
- ② AC PAVING, 3" DEPTH
- ③ BASE COURSE, 6" DEPTH, COMPACTED CLASS 2 AB. SEE GEOTECH REPORT AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ④ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
- ⑤ FINISHED EDGE OF AC PATH. PROVIDE 45 DEGREE BEVEL. PROVIDE SMOOTH, CONSISTENT TAMPED EDGE.
- ⑥ PROVIDE 6" PVC SLEEVES UNDER AC PAVING WHERE REQUIRED. COORDINATE WITH IRRIGATION CONTRACTOR PRIOR TO PAVING.



2 ASPHALT PAVING

SCALE: NTS



- ① BOULDERS, 1/16, 1/8 AND 1/4 TON ROCK MIX. BATTER INTO TIGHT FIT ROCK FACE. STEP DOWN NORTH AND SOUTH ROCKERY ENDS.
- ② AC PAVING L-3.0
- ③ BASE COURSE, 6" DEPTH.
- ④ (E) GRADE (SHOWN SCHEMATICALLY), SEE PLANS.
- ⑤ COMPACTED SUBGRADE

3 ROCKERY

SCALE: NTS

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PROJECT TITLE
CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

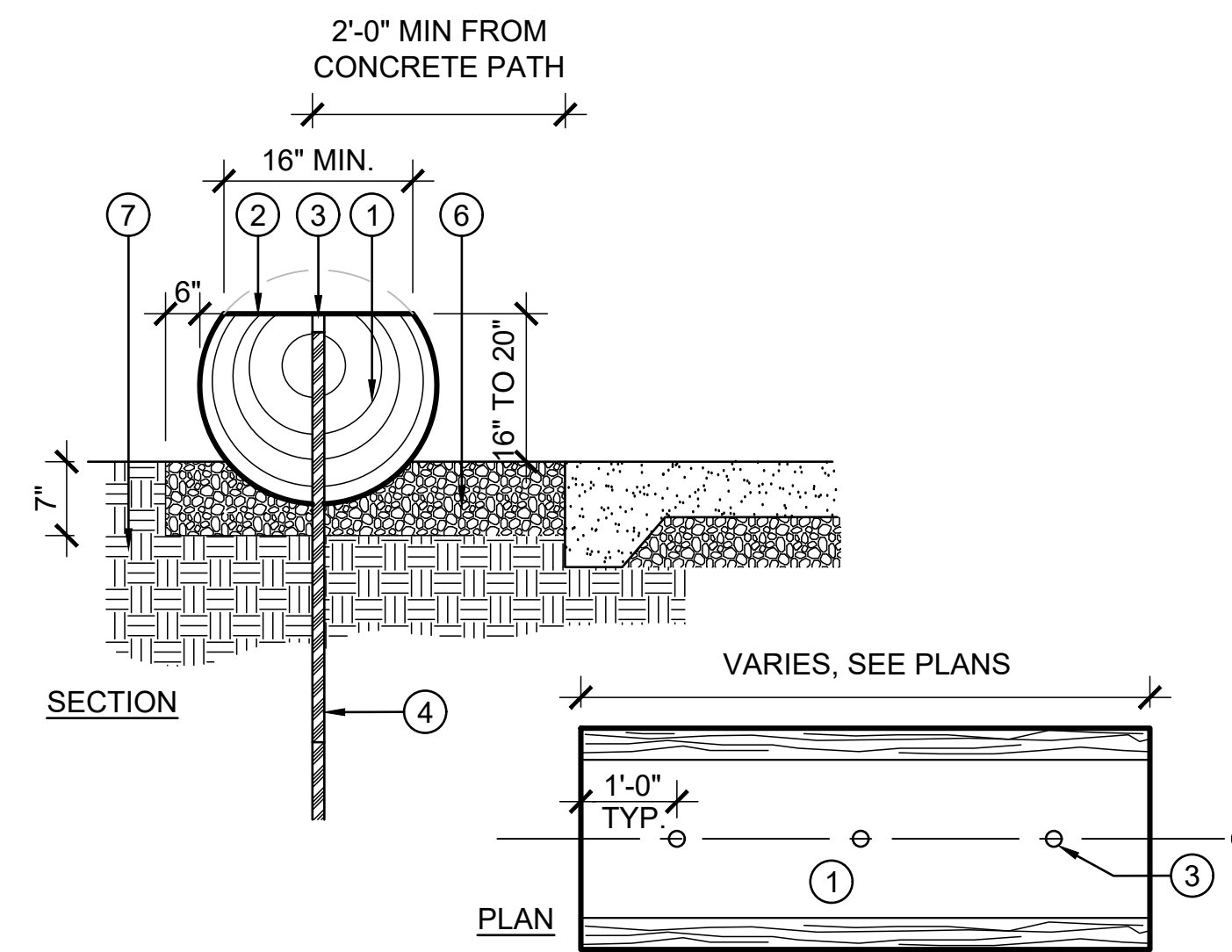
SHEET TITLE
CONSTRUCTION DETAILS

DESIGN PHASE
90% SET

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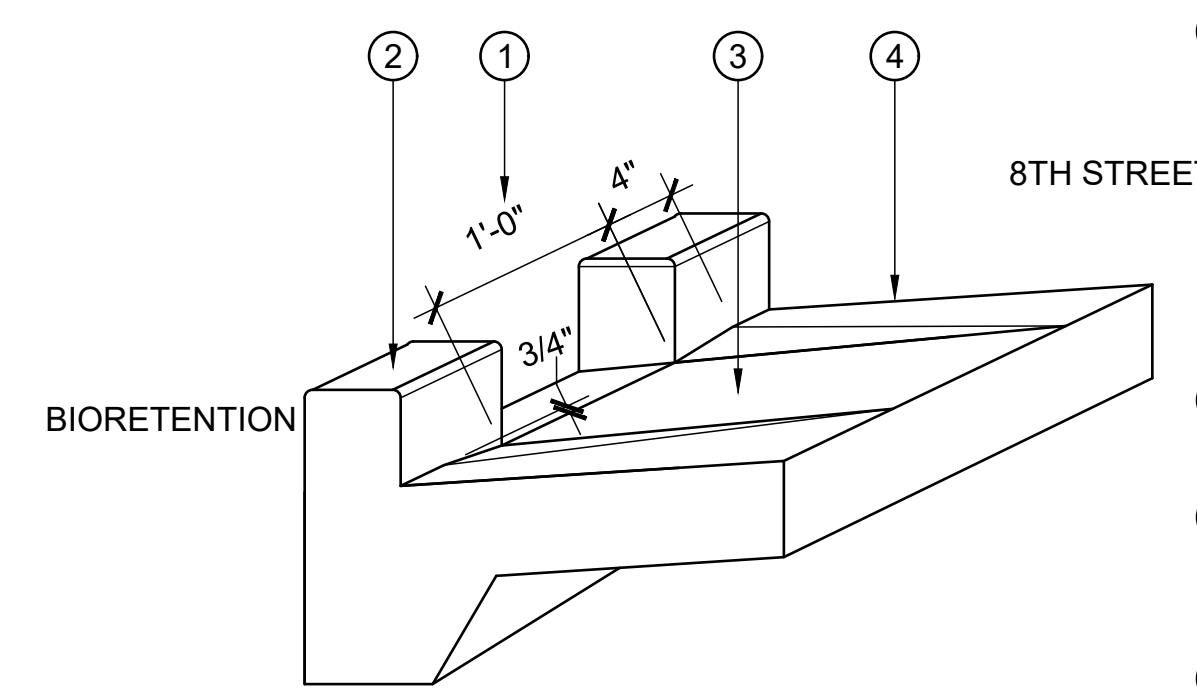
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DRAWN BY	PR, KB
CHECKED BY	ES
SCALE	AS NOTED
DATE	JUNE 3, 2019
SHEET	

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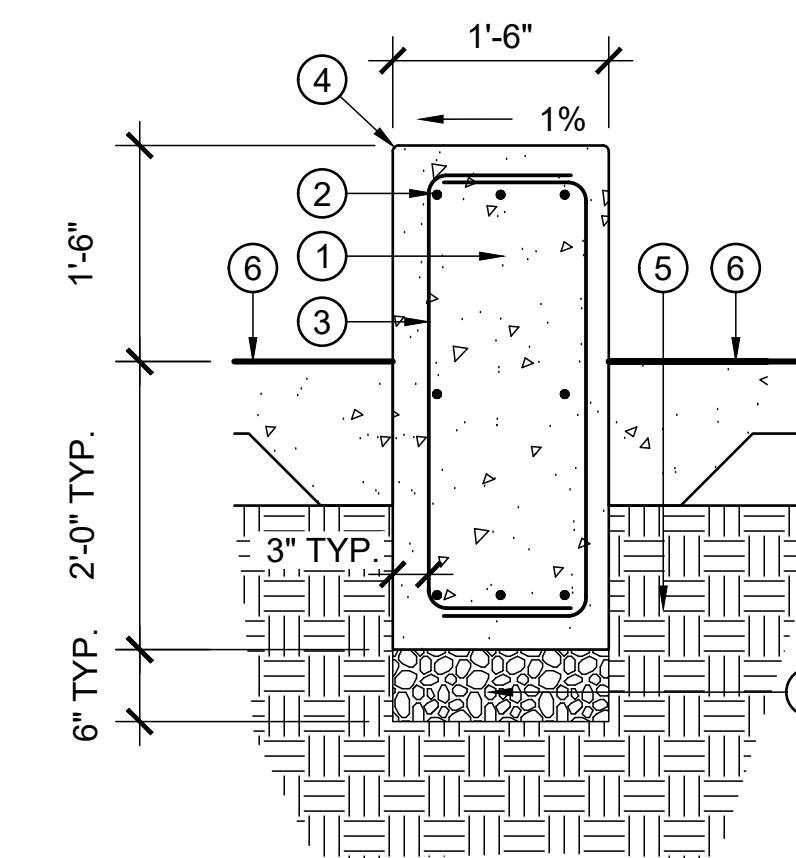
- 1 LOG, LENGTH PER PLANS. FINAL LOG SELECTION AND SEATING HEIGHT PER O.R. DIRECTION. SEE PLANS AND SPECIFICATIONS FOR SPECIES.
- 2 CUT TOP FACE OF LOG TO PROVIDE LEVEL SURFACE PER O.R. DIRECTION. SAND SMOOTH FOR SEATING AND EASE EDGES. FINISH PER SPECIFICATIONS.
- 3 CORE DRILL FOR PIPE AND FILL WITH REDWOOD CORED PLUG. INSTALL FINAL PLUG, 3" LONG. GLUE, THEN CUT PLUG FLUSH AND SAND SMOOTH.
- 4 1-1/2" DIAMETER GALVANIZED PIPE DRIVEN TO REFUSAL (6'-0" MINIMUM OVERALL LENGTH). DRIVE TOP 3" BELOW TOP OF LOG SURFACE. (3) PIPE STAKES PER 10' LOG, (4) PIPE STAKES PER 10'+ LOG.
- 5 CONCRETE PAVING (3/L-5.1)
- 6 BASE COURSE UNDER LOG TO DIMENSIONS SHOWN. EMBED LOG MIN. 4"
- 7 COMPACTED SUBGRADE

4 LOG SEATING
SCALE: NTS



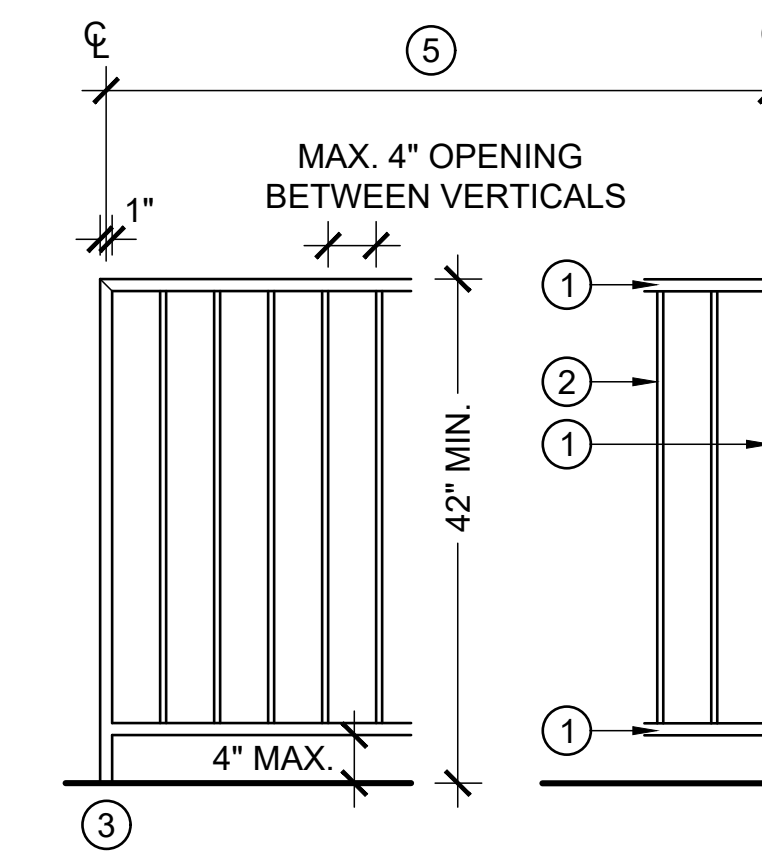
- 1 CURB CUT, 1'-0" WIDE, CONTINUE GUTTER PAN SLOPE DOWN CURB CUT INTO PLANTING AREAS (6" CURB SHOWN), AT 4" CURB ALONG EDGE OF SIDEWALK, OMIT CURB CUT DEPRESSION PER O.R. DIRECTION. ENSURE POSITIVE DRAINAGE INTO PLANTING AREAS, TYP.
- 2 CURB PER CITY OF BERKELEY STANDARD DETAILS.
- 3 CURB CUT DEPRESSION. DEPRESS GUTTER PAN 3/4" ACROSS 4" ON BOTH SIDES OF CURB CUT AS SHOWN.
- 4 GUTTER PAN PER CITY OF BERKELEY STANDARD DETAILS.

5 CURB CUT
SCALE: NTS



- 1 CONCRETE SEATWALL. JOINTING AS DIRECTED BY O.R. IN FIELD.
- 2 SEATWALL HORIZONTAL REBAR: (3) #4 TOP, (2) #4 MID-HEIGHT AND (3) #4 BOTTOM AS SHOWN.
- 3 SEATWALL VERTICAL REBAR: #4 EACH FACE WITH 12" HOOK, TOP AND BOTTOM AS SHOWN.
- 4 1/2" TOOLED RADIUS, TYP.
- 5 COMPACTED SUBGRADE
- 6 CONCRETE PAVING, DOWEL INTO SEATWALL AT 18" OC WITH 5/8" DIAMETER SMOOTH, GALVANIZED STEEL DOWEL, MID DEPTH OF SLAB, EJ AT FACE OF WALL (4/L-3.0)
- 7 COMPACTED BASE COURSE

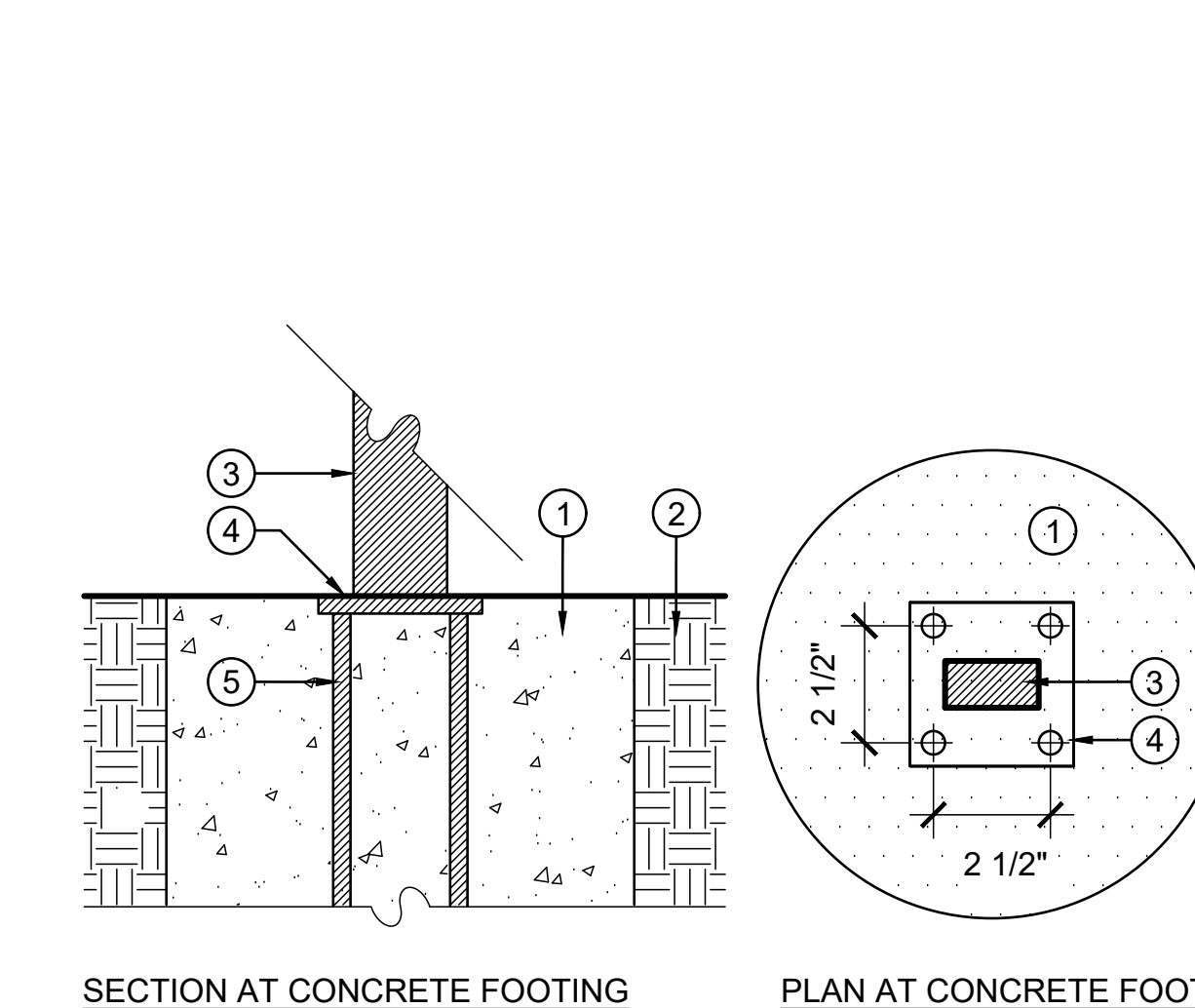
1 CONCRETE SEATWALL
SCALE: NTS



- 1 TOP AND BOTTOM RAIL AND VERTICAL POST MEMBERS: STRUCTURAL TUBING: 1-1/2" X 1" X 3/16". ALL JOINTS SHALL BE WELDED AND GROUND SMOOTH. SEE ENLARGEMENT FOR RADIUS BEND IN GUARDRAIL.
 - 2 VERTICAL PICKETS: 1/2" X 1/2" SOLID SQUARE STEEL. WELD ALL AROUND AT TOP AND BOTTOM.
 - 3 GUARDRAIL CONNECTION (7/C-5.4)
 - 4 OVERLOOK STRUCTURE (4/C-5.4)
 - 5 SPACE POSTS AT 4'-6" O.C., UON. HOLD TOP OF GUARDRAIL LEVEL.
- NOTE: GUARDRAIL SHALL BE HOT DIP GALVANIZED AFTER FABRICATION. TOUCH UP FIELD WELDS PER SPECIFICATIONS.

ELEVATION SECTION

2 GUARDRAIL
SCALE: NTS



- 1 CONCRETE FOOTING, 10" DIA. 30" DEPTH
- 2 COMPACTED SUBGRADE
- 3 GUARDRAIL POST 1-1/2" X 1" X 3/16" FIELD WELD TO BASE PLATE. NOTE: ALL JOINTS SHALL BE FULLY WELDED AND GROUND SMOOTH.
- 4 BASE PLATE 3/8" THICK, 3-1/2" SQUARE EMBEDDED STEEL PLATE WITH ANCHORS
- 5 (4)#4 REBAR STUD ANCHORS, IN 2-1/2" SQUARE PATTERN. LENGTHS VARY. SEE NOTE. USE 12" LENGTH ANCHORS AT CONCRETE FOOTING. WELD TO BOTTOM OF BASE PLATE.

SECTION AT CONCRETE FOOTING PLAN AT CONCRETE FOOTING
3 GUARDRAIL CONNECTION
SCALE: NTS

REVISIONS	
DATE	DESCRIPTION

PROJECT TITLE
CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

SHEET TITLE
CONSTRUCTION DETAILS

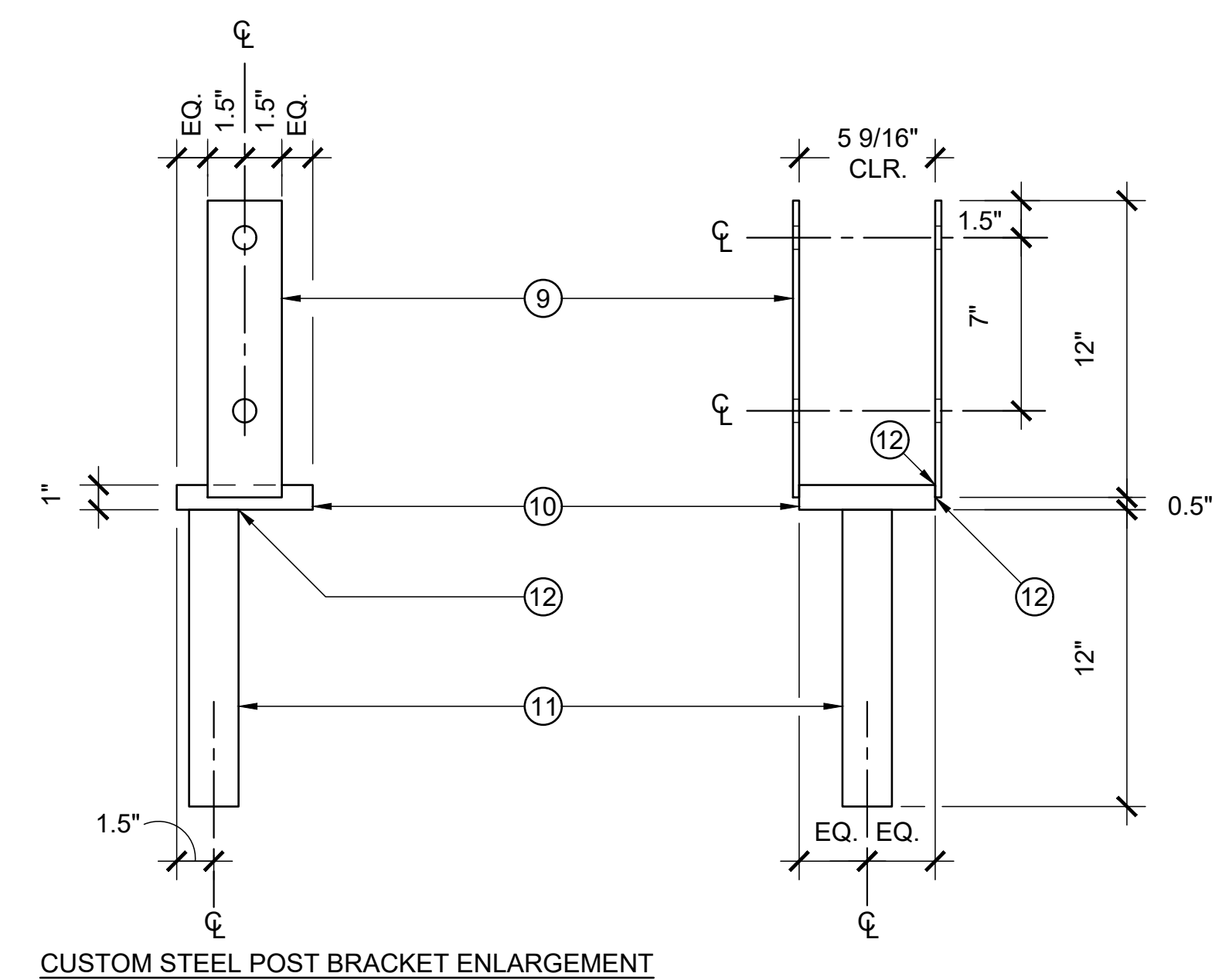
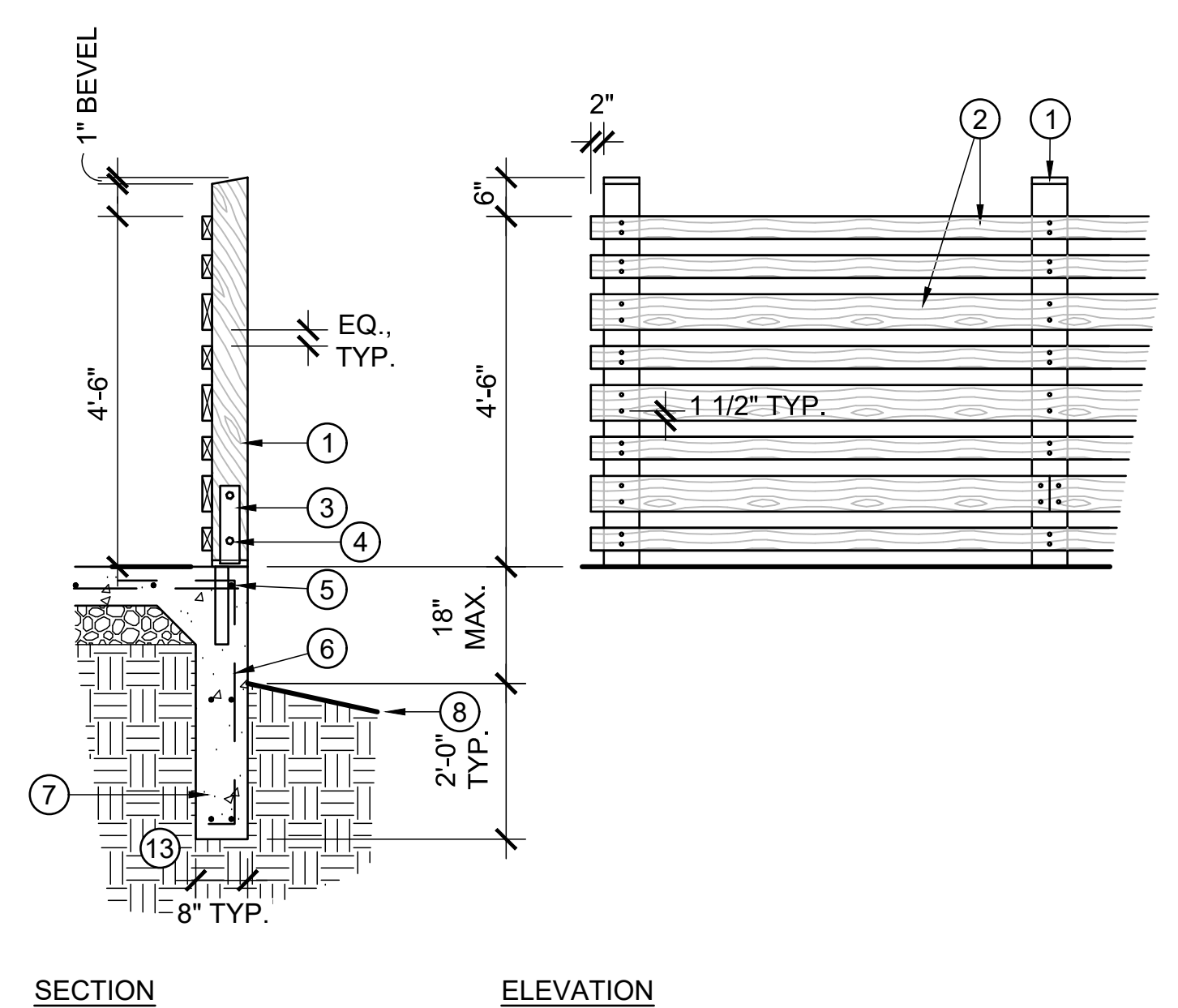
DESIGN PHASE
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BERKELEY LANDSCAPE ARCHITECTS
BRIK STROMBERG
02/21/21
STATE OF CALIFORNIA

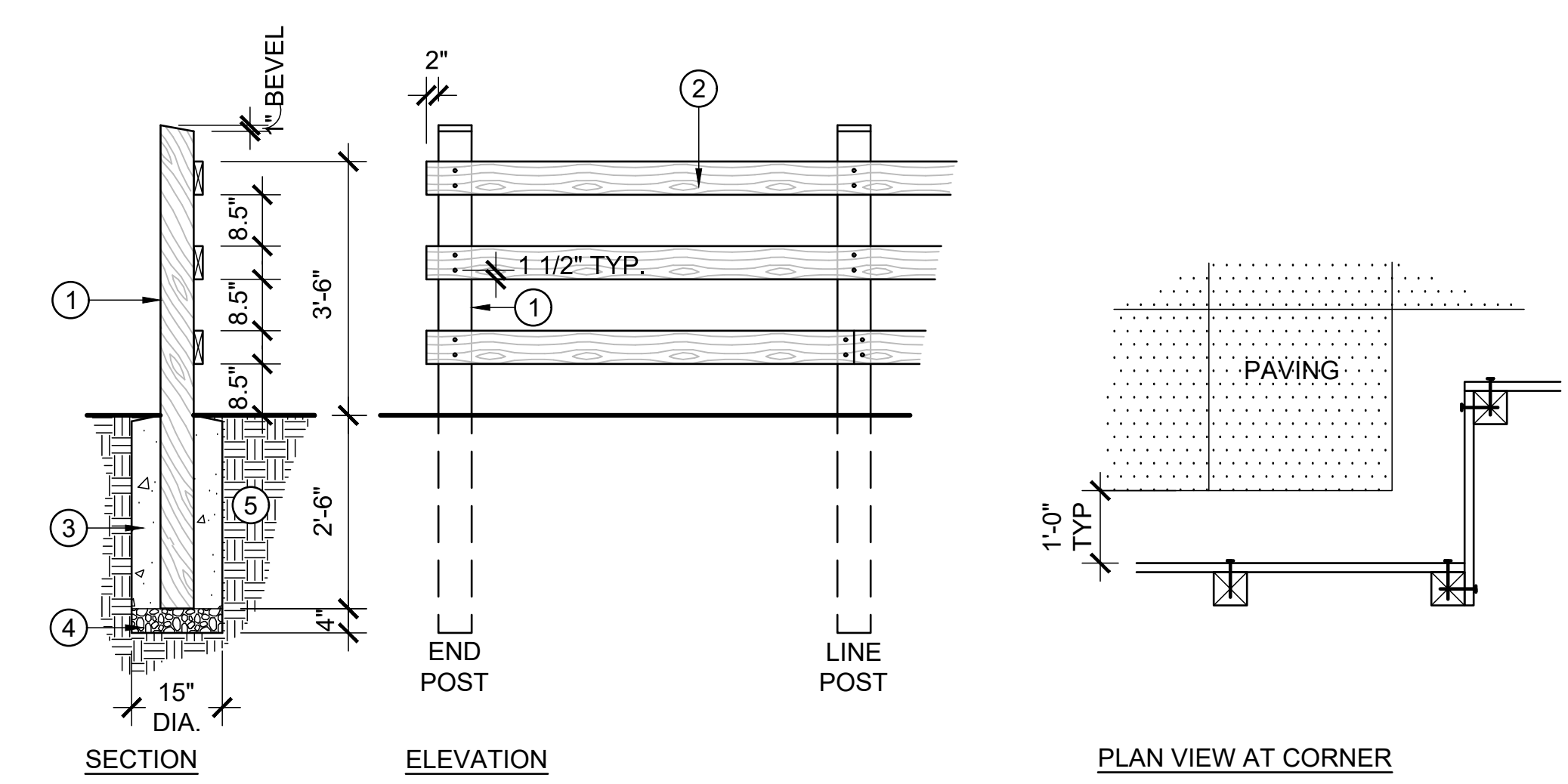
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SCALE	AS NOTED
DATE	JUNE 3, 2019
SHEET	

- ① POST, CONSTRUCTION HEART REDWOOD. USE 6X6 FOR LINE, CORNER AND END POSTS. SPACE 6'-0" O.C. MAX. LOCATE POSTS 6" CLR OF PAVING, TYP.
- ② RAILS, CONSTRUCTION HEART REDWOOD. (3) 2X6 AND (5) 2X4 CONTINUOUS ON TRAIL SIDE OF POSTS. RAILS SHALL SPAN 3 POSTS MINIMUM WHERE POSSIBLE. BUTT JOINTS AT ϕ OF POSTS (ALTERNATE JOINTS - NO ADJACENT BUTT JOINTS ALLOWED AT SINGLE POST). MITER JOINTS AT CORNER POSTS. EXTEND PAST END POSTS AS SHOWN. FASTEN AT EACH END OF EACH BOARD WITH (2) SIMPSON SWDS SCREWS, 5" LONG. WHERE WOOD GUARDRAIL TRANSITIONS TO RAIL FENCE, RAILS SHALL RUN CONTINUOUS.
- ③ CUSTOM GALVANIZED STEEL POST BRACKET, EMBED IN CONCRETE, SEE BRACKET ENLARGEMENT AND SPECIFICATIONS.
- ④ (2) 7/8" DIAMETER BOLTS AT POST BRACKET, DESTROY EXPOSED THREADS.
- ⑤ HORIZONTAL REBAR: RUN #4 ADJACENT TO AND OUTSIDE POST BRACKET AS SHOWN.
- ⑥ VERTICAL REBAR: #4 BARS AT 12" O.C., TYP. EXCEPTION: AT EACH POST BRACKET, INSTALL (1) EACH SIDE TIGHT AGAINST BRACKET, TYP.
- ⑦ THICKENED EDGE OF CONCRETE SLAB WITH (4) #4 REBAR, (2) MIDDLE AND (2) BOTTOM.
- ⑧ FINISH GRADE VARIES, SEE GRADING PLANS
- ⑨ SIDE PLATES, 1/4"X3"X12" WITH (2) 15/16" DIAMETER HOLES
- ⑩ SEAT PLATE, 1" THICK X 5-9/16" SQUARE
- ⑪ STEEL PIPE, 2" SCHEDULE 40 STANDARD STEEL
- ⑫ FILLET WELD (CONTINUOUS) ALL POST BRACKET CONNECTIONS, TYP.
- ⑬ COMPACTED SUBGRADE



1 WOOD GUARDRAIL
SCALE: NTS

- ① POST, CONSTRUCTION HEART REDWOOD. USE 6X6 FOR LINE, CORNER AND END POSTS. SPACE 6'-0" O.C. MAX. LOCATE POSTS 6" CLR OF PAVING, TYP.
- ② RAILS, CONSTRUCTION HEART REDWOOD. (2) 2X6 CONTINUOUS ON TRAIL SIDE OF POSTS. RAILS SHALL SPAN 3 POSTS MINIMUM WHERE POSSIBLE. BUTT JOINTS AT ϕ OF POSTS (ALTERNATE JOINTS - ONLY ONE BUTT JOINT ALLOWED AT EACH POST). MITER JOINTS AT CORNER POST. EXTEND PAST END POSTS AS SHOWN. FASTEN AT EACH END OF EACH BOARD WITH (2) SIMPSON SWDS SCREWS, 5" LONG. WHERE RAIL FENCE TRANSITIONS TO WOOD GUARDRAIL, RAILS SHALL RUN CONTINUOUS.
- ③ CONCRETE POST FOOTING, SLOPE TOP TO DRAIN.
- ④ COMPACTED BASE COURSE
- ⑤ COMPACTED SUBGRADE



2 RAIL FENCE
SCALE: NTS

REVISIONS	
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CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

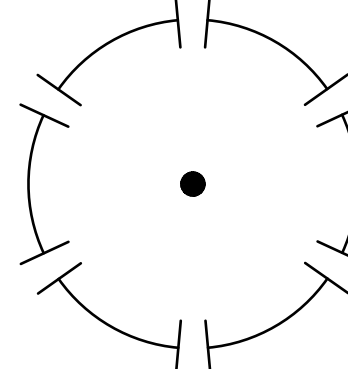
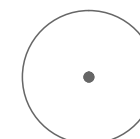
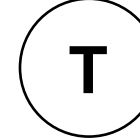
SHEET TITLE
CONSTRUCTION DETAILS

DESIGN PHASE
90% SET

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TREE SCHEDULE

SYMBOL	SCIENTIFIC	COMMON	QTY	SIZE
	QUERCUS AGRIFOLIA	LIVE OAK	4	15 GAL
	(E) TREE TO REMAIN			
	(E) TRANSPLANTED TREE			

PLANT SCHEDULE

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
①	ACHILLEA MILLEFOLIUM	YARROW	1 GAL	22
⊗	CAREX PRAEGRACILIS	SLENDER SEDGE	D-40	66
⊙	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	11
⊠	GARRYA ELLIPTICA 'EVIE'	SILK TASSEL BUSH	5 GAL	6
●	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	4
⊙	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	67
⊕	JUNCUS PATENS	GREY RUSH	D-40	6
✱	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	10
⊙	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL	21
⊙	RIBES SANGUINEUM	FLOWERING CURRANT	1 GAL	32
⊙	ROSA CALIFORNICA	CALIFORNIA ROSE	1 GAL	18
⊙	SALVIA 'BEE'S BLISS'	BEE'S BLISS SAGE	1 GAL	3
⊙	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	40

PLANTING AND IRRIGATION NOTES

- CONTAINER PLANTS SHALL BE RESTORATION GRADE NATIVE PLANTS. CULTIVARS OF NATIVE SPECIES WILL NOT BE ACCEPTED. COUNTY OF ORIGIN FOR EACH PLANT SHALL BE NOTED IN SUBMITTAL.
- FINAL LAYOUT OF CONTAINER PLANTS TO BE APPROVED BY O.R. IN THE FIELD. CONTRACTOR TO PROVIDE MEANS OF MARKING PLANT LOCATIONS.
- CONTRACTOR SHALL PROVIDE PLANTS IN CONTAINER SIZES NOTED IN LEGEND. IN SOME CIRCUMSTANCES CONTAINER SIZES MAY BE SUBSTITUTED WITH O.R. APPROVAL. THE FOLLOWING ARE PLANT QUANTITY RATIOS FOR PLANT CONTAINER SIZE SUBSTITUTIONS. CONTRACTOR TO PROVIDE A SUBMITTAL FOR ALL PROPOSED SUBSTITUTIONS. SEE SPECIFICATIONS.
 - 15 GAL POT = NO SUBSTITUTIONS
 - 5 GAL POT TO 4-GAL TREEPOT = 1:1.2
 - 1 GAL POT TO D-40 = 1:1.2
 - 1 GAL POT TO 4" POT = 1:1.4
 - 1 GAL POT TO D-16 = 1:2
- PLANTS SHALL BE UNEVENLY SPACED, UNLESS DIRECTED OTHERWISE BY O.R. IN THE FIELD.
- IRRIGATION DESIGN SHALL BE PROVIDED BY CONTRACTOR AS BIDDER DESIGN IRRIGATION PLAN(S) SUBMITTAL (SEE SPECIFICATIONS). CONTRACTOR SHALL PROVIDE BIDDER DESIGN IRRIGATION PLAN AS SHOP DRAWING FOR REVIEW AND APPROVAL BY O.R. SEE SPECIFICATIONS AND SPECIFIC NOTES ON PLAN FOR REQUIREMENTS.
- BIDDER DESIGN IRRIGATION PLAN SHALL ENSURE ALL SPRAY IRRIGATION PROVIDES HEAD TO HEAD COVERAGE, MATCHED PRECIPITATION & AVOIDS OVER-SPRAY ONTO PAVED OR NON-PLANTED AREAS.
- NO PLANTING OPERATIONS SHALL BE INITIATED PRIOR TO THE INSTALLATION, OPERATIONAL TEST AND APPROVAL OF THE SYSTEM BY O.R.
- INSTALL IRRIGATION COMPONENTS AS NOTED IN THE SPECIFICATIONS.
- COORDINATE IRRIGATION POINT OF CONNECTION AND POWER SOURCE WITH CLIENT AND PROJECT PLANNING TEAM. PROVIDE ALL NECESSARY CONNECTIONS.


REVISIONS	
DATE	DESCRIPTION
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PROJECT TITLE

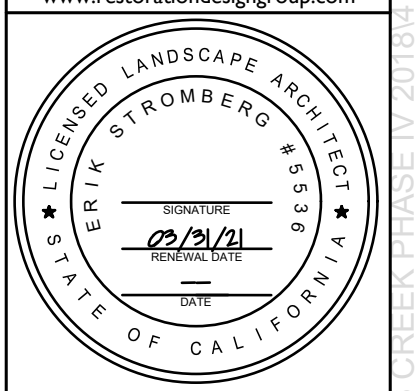
CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

DESIGN PHASE
90% SET

SHEET TITLE
REVEGETATION NOTES AND LEGEND

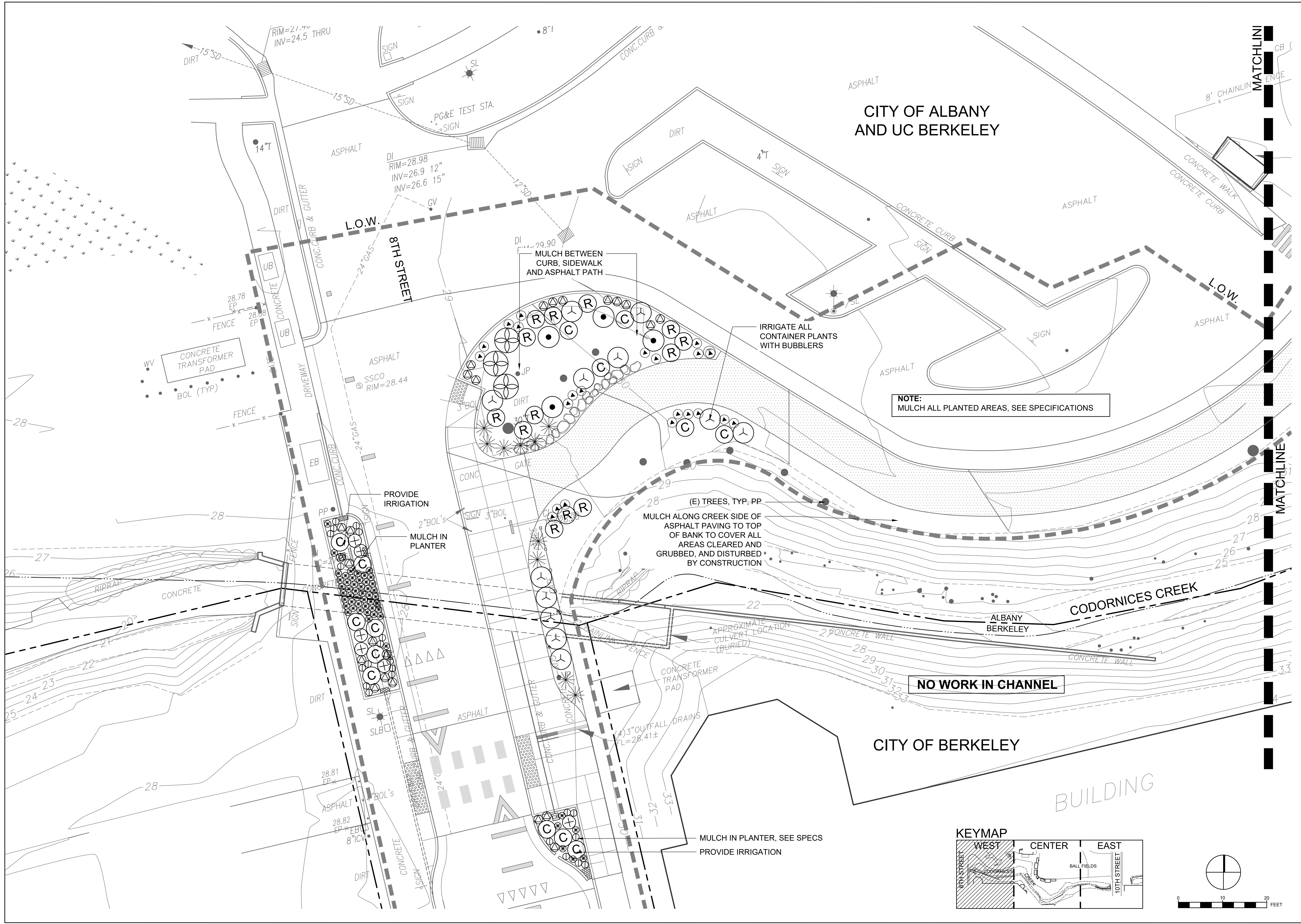


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CHECKED BY ES
SCALE 1" = 10'-0"
DATE JUNE 3, 2019
SHEET
L-4.0

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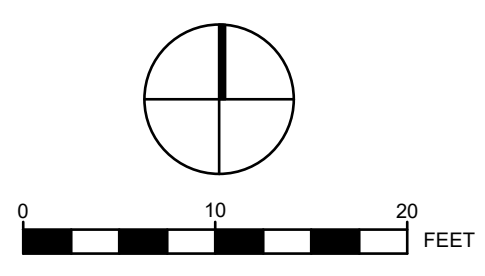
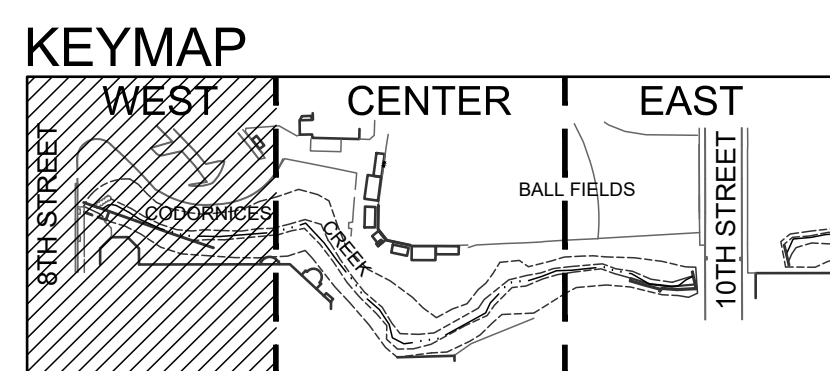


CITY OF ALBANY
AND UC BERKELEY

NOTE:
MULCH ALL PLANTED AREAS, SEE SPECIFICATIONS

NO WORK IN CHANNEL

CITY OF BERKELEY



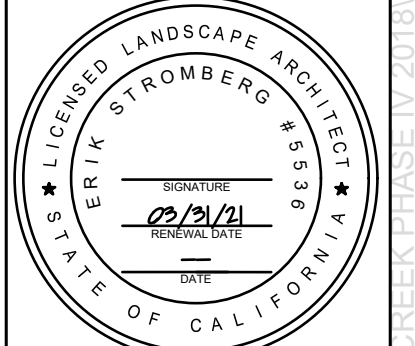
REVISIONS	
DATE	DESCRIPTION

PROJECT TITLE
CODORNICES CREEK PHASE IV
8TH STREET TO 10TH STREET

DESIGN PHASE
90% SET

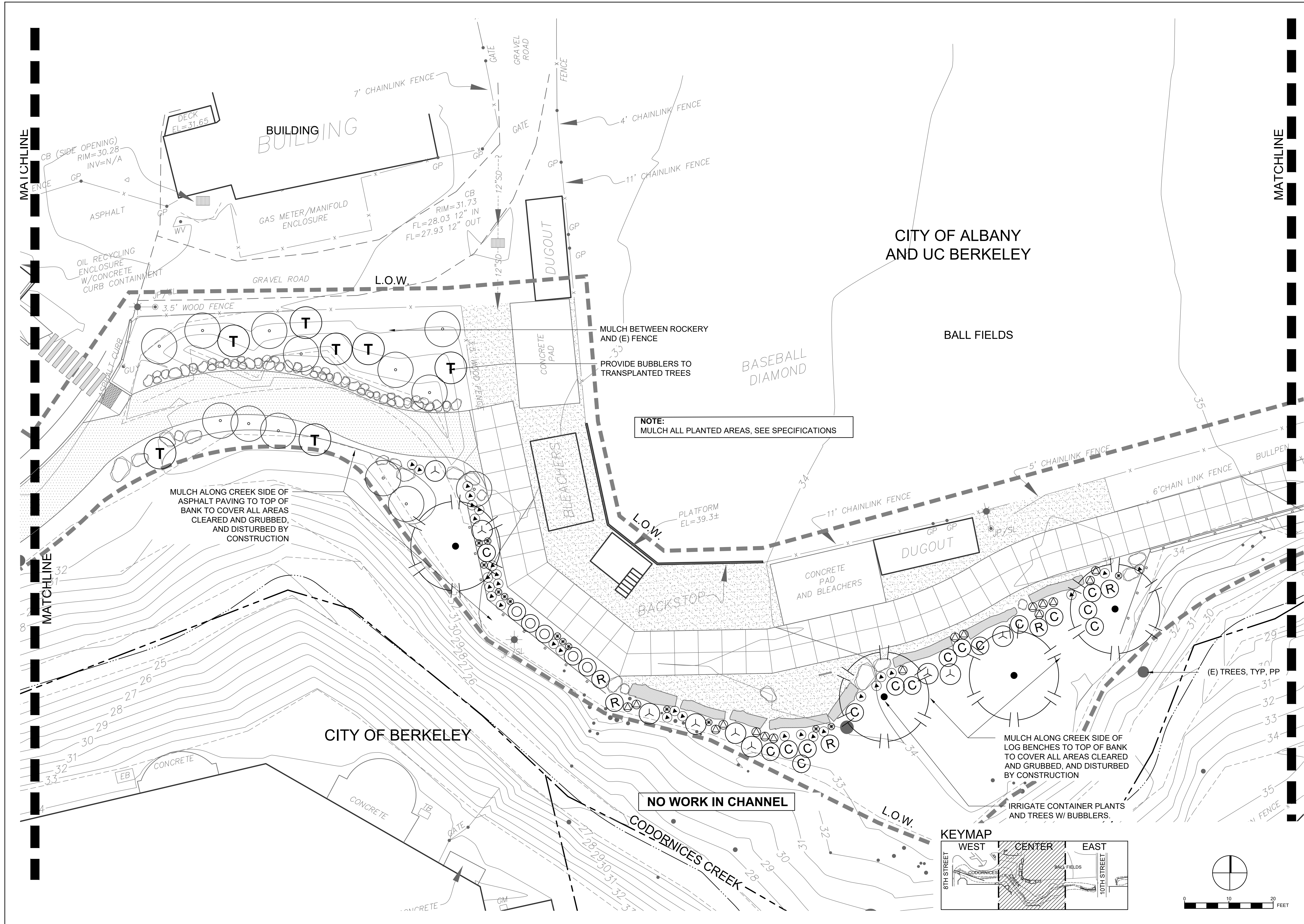
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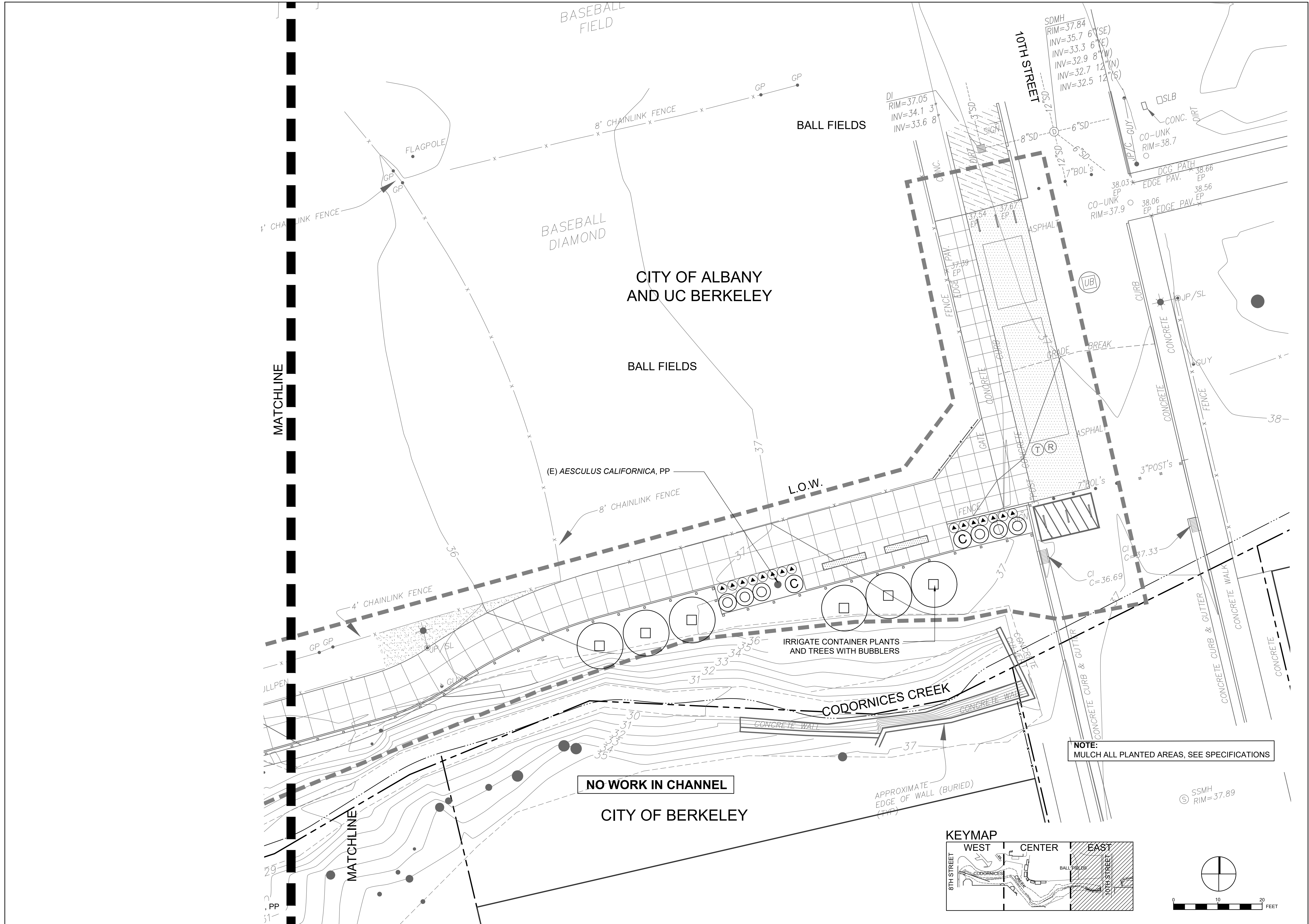
Restoration Design Group, Inc.
2332 5th Street Suite C
Berkeley, CA 94710
T 510.644.2798 F 510.644.2799
www.restorationdesigngroup.com



DESIGN BY PR, AS, KB
DRAWN BY PR, KB
CHECKED BY ES
SCALE 1" = 10'-0"
DATE JUNE 3, 2019
SHEET

L-4.1





REVISIONS	
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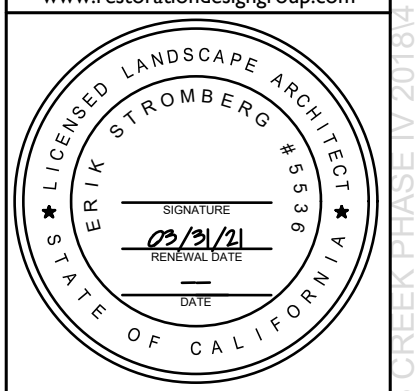
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CODORNICES CREEK PHASE IV
 8TH STREET TO 10TH STREET

DESIGN PHASE
 90% SET

SHEET TITLE
 REVEGETATION EAST



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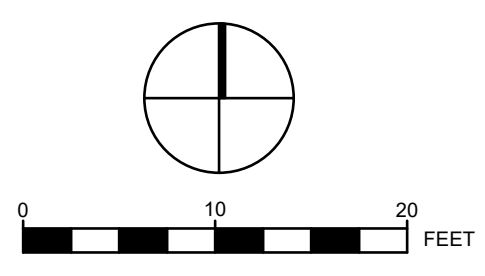
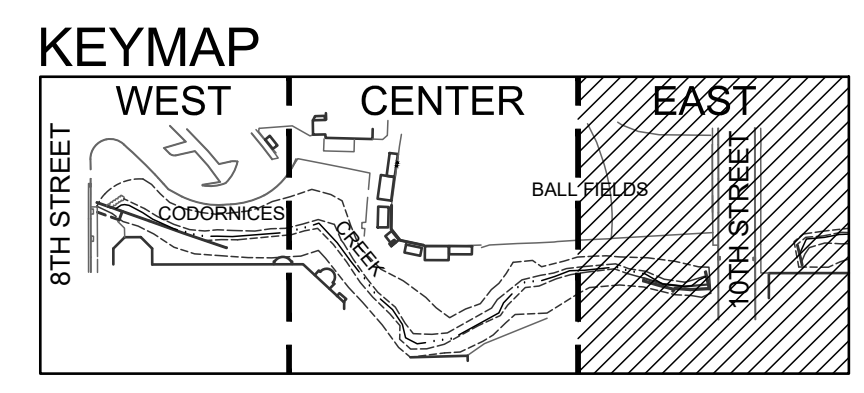


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 DATE JUNE 3, 2019
 SHEET

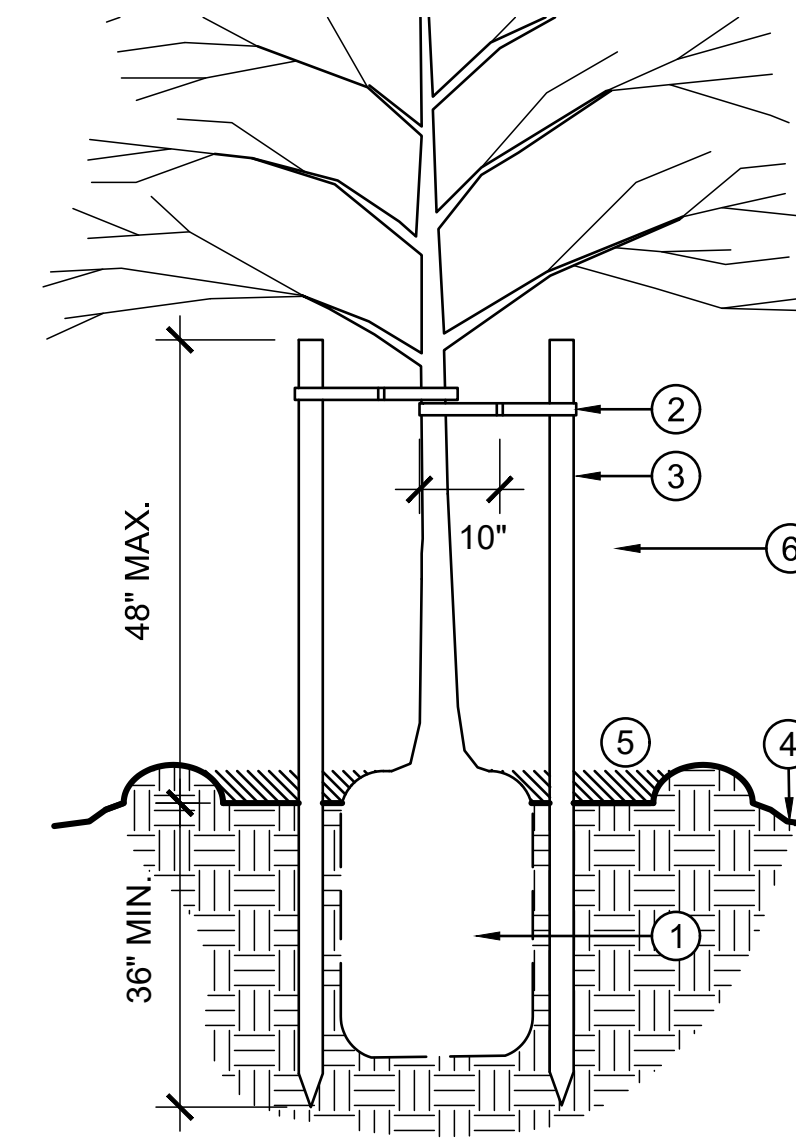
L-4.3
 OF 19

NOTE:
 MULCH ALL PLANTED AREAS, SEE SPECIFICATIONS

NO WORK IN CHANNEL

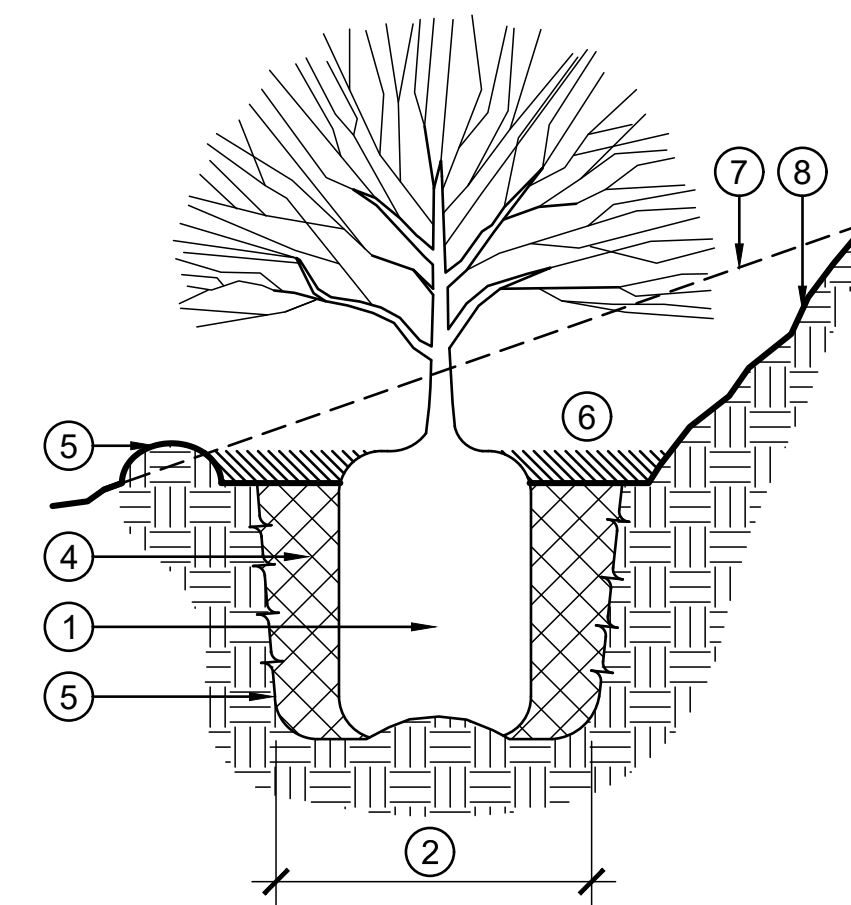


S:\PROJECTS\CODORNICES CREEK PHASE IV\2019\AUTOCAD\WORKING DRAWINGS\SHEET\SSLS-REV03.DWG PLOTTED ON: 6/3/2019



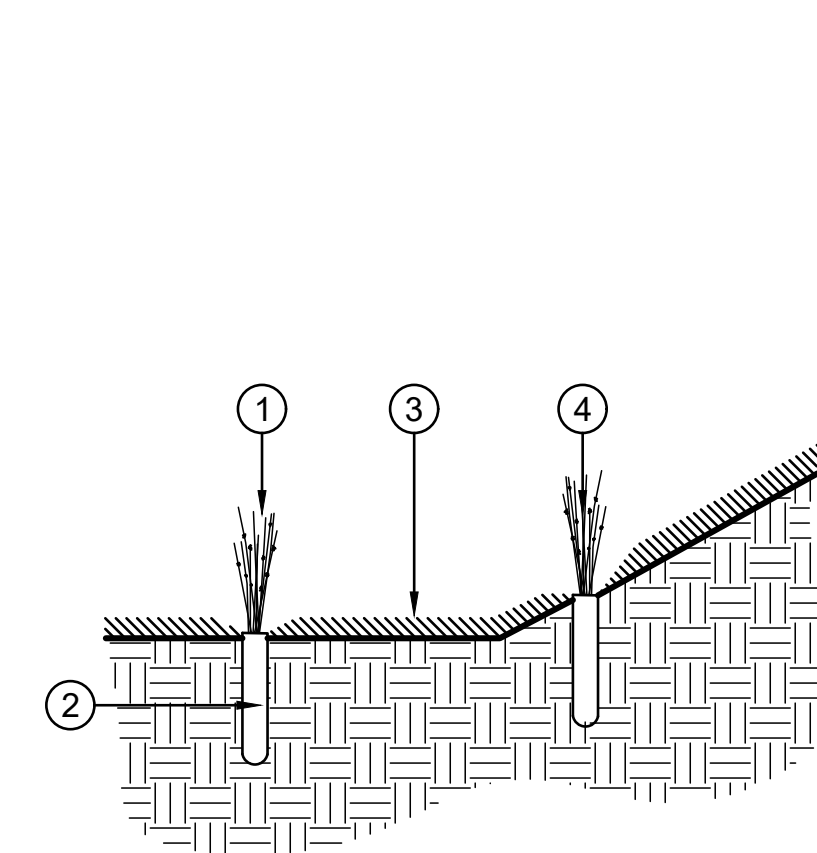
- ① LARGE CONTAINER TREE (5 GALLON OR LARGER)
- ② ARBOR TREE TIES (2), W/ 10" WIDE LOOPS AROUND TRUNK. SECURE ARBOR TIES 4" MIN FROM TOP OF STAKES. DIRECTION AND APPROVAL OF INSTALLATION BY O.R.
- ③ TREE STAKES, SET VERTICAL OUTSIDE ROOTBALL. KEEP TOP OF STAKES 6" MIN CLEAR OF LIMBS. SET IN LINE WITH CREEK FLOW DIRECTION.
- ④ FINISH GRADE
- ⑤ MULCH
- ⑥ CREEK FLOW DIRECTION

1 TREE STAKING
SCALE: NTS



- ① TREE OR SHRUB ROOTBALL (1 GALLON OR LARGER). SET CROWN 1-2" ABOVE FINISHED GRADE
- ② PIT DIAMETER, TWO TIMES THE ROOTBALL DIAMETER. EXCAVATE PIT 2" SHALLOWER THAN CONTAINER, DEEPER BEYOND ROOTBALL. PLACE ROOTBALL ON CENTER MOUND AS SHOWN.
- ③ EDGE OF PIT, FRACTURE & SCARIFY.
- ④ NATIVE SOIL, BACKFILLED. HAND COMPACT IN 6" LIFTS
- ⑤ WATERING BASIN LIP, 4" HEIGHT. DOWN SLOPE EDGE ONLY IN SLOPED CONDITION; COMPLETE PERIMETER IN LEVEL CONDITION
- ⑥ MULCH
- ⑦ ORIGINAL GRADE, SLOPED CONDITION
- ⑧ FINISHED GRADE, SLOPED CONDITION

2 PLANT - SHRUB
SCALE: NTS




- ① PLANT GROWN IN RESTORATION CONTAINER (SMALLER THAN 1 GALLON)
- ② PLANTING PIT, EQUAL DIAMETER TO CONTAINER. USE DIBBLE OR HAND SPADE. SET CROWN ABOVE FINISH GRADE. PINCH NATIVE SOIL TIGHT AGAINST ROOTS.
- ③ MULCH / SEEDING, SEE PLANS AND SPECIFICATIONS. KEEP MULCH CLEAR OF CROWN.
- ④ SLOPED CONDITION - SET PLANT PLUMB

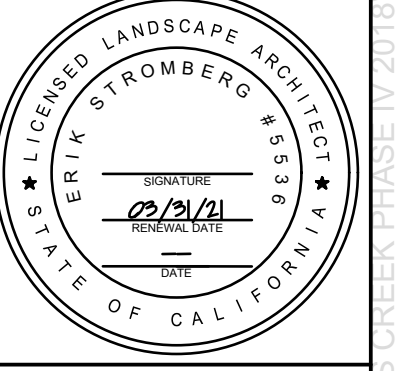
3 PLANT - SMALL
SCALE: NTS

REVISIONS	
DATE	DESCRIPTION

PROJECT TITLE
CODORNICES CREEK PHASE IV
 8TH STREET TO 10TH STREET
 SHEET TITLE
PLANTING DETAILS
 DESIGN PHASE
90% SET



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CHECKED BY	ES
SCALE	AS NOTED
DATE	JUNE 3, 2019
SHEET	

L-4.4

**CITY OF ALBANY
PARKS, RECREATION AND OPEN SPACE COMMISSION
STAFF REPORT**

Agenda Date: June 13, 2019

SUBJECT: Ocean View Park Bocce Courts 90% Designs

REPORT BY: Chelle Putzer, Recreation & Community Services Director

STAFF RECOMMENDATION

That the Commission review the 90% designs and estimates and:

- a. Approve design with selected options and recommend project to public bid;
- b. Recommend additional Measure R funds be allocated to the project budget.

BACKGROUND

In 2015, during the Commission's work on selecting Measure WW funded projects, the addition of Bocce Courts in Ocean View Park was identified.

In May 2016, the East Bay Regional Park District, through their Measure WW Local Grants Program awarded \$42,606 for the Bocce project. The budget for this project was appropriated by Council as part of the City's Capital Improvement Program last updated on March 19, 2018 (Resolution 2018-36) and included in the most recent Engineer's Report for the Landscaping and Lighting Assessment District (LLAD) 1996-1, Open Space, Recreational Playfield and Creek Restoration (Measure R).

In February 2018, the Commission decided to move the Measure WW funds from the Bocce Courts to the Memorial Park Improvement Project and fund the Bocce Courts with Measure R Recreation Playfield funds. The original 2015 budget estimate of \$50,000 has not been updated to reflect a more current estimate for the project.

On April 11, 2019, the Commission reviewed the schematic design plans for the Ocean View Bocce Courts and provided feedback to RDG.

DISCUSSION

Measure R Recreational Playfield funds can be used for:

“Playfield improvements will consist of constructing baseball, softball, soccer or other recreational fields. The work will include but not be limited to clearing, grading, planting, constructing backstops and goals, restroom facilities, parking improvements, curb gutters, paving, planting, irrigation, lighting and fencing improvements and include maintenance of the foregoing.”

The 90% Bocce Court design plans provide the Commission a detailed plan for site preparation, construction and furnishing, revegetation and irrigation and three additional options to consider in the project. The Commission may decide to move forward with the 90% plans as submitted or exclude some items from the plan. The estimated cost to complete the project as presented in the 90% plans is \$163,725.98. To date approximately \$20,000 of the original budget have been used to pay for design and surveys. The Commission can recommend increasing the budget for the project to fund the desired elements in the project design.

FINANCIAL IMPACT

The remaining Measure R fund balance in Recreational Playfields is \$180,000, this excludes the \$50,000 budget for Bocce Courts.



Ocean View Bocce Park

7 June 2019

City of Albany

MEMORANDUM

TO: Chelle Putzer (City of Albany)
FROM: Anneke Swinehart (Restoration Design Group, Inc.)
RE: **Design Development within the 90% Plans**

BACKGROUND

- The Ocean View Bocce courts are under a compressed design scope to speed them towards construction this summer.
- The committee reviewed Schematic Design sketches and material images at the April meeting, but have not seen a traditional intervening Design Development package for the improvements prior to this 90% presentation.
- Design Development decisions still need to be made by the City, and direction provided to RDG in order to complete the drawings. The PowerPoint presentation will contain more illustrative images to help facilitate those decisions, but they were not included in the 90% plans for efficiency.

DESIGN DEVELOPMENT DECISION

Lighting

- During the Schematic Design Presentation, RDG was directed to increase the number of path lights in the improved areas for consistency with existing lighting plans and for greater safety and comfort.
- Café lighting was desired, and RDG was directed to lay out proposed locations, but the café lights were not to be the primary source of light in the improved areas
- Images and layouts for the strings will be shown for discussion during the upcoming meeting, and the post locations are shown in the layout plans, but not yet in the details (pending approval and extents)

Fences and Gates

- Per the last committee meeting, RDG has shown the removal of:
 1. the chain link fence along the creek
 2. the intermediate chain link fence between the tennis courts and community garden
 3. the chain link fence and gate between the wood and wire community garden fence and the tennis courts
- Plans show the replacement of items 1 and 3 above with fences and gates to match existing community garden fencing to bring the finish level of the area up, and make it feel less like a service alley, and more like an integral part of Ocean View Park.
- Removal and replacement costs have been included for all of the above for discussion and final approval.

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MOUNT SHASTA
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Mount Shasta
California 96067

MEDFORD
1495 S Oakdale Avenue
Medford
Oregon 97501
541.238.2812

RestorationDesignGroup.com

Furnishings

- The layout plans show the locations and sizes for a selected suite of
 - Backless benches
 - Backed benches
 - Ping pong table
 - Trash + Recycling
 - (no tables were provided due to proximity to picnic area and space constraints. Renters or city can provide temporary as needed)
- Images and costs for optional alternates will be presented at the meeting for review and consideration.

Accessories

- Essential Bocce court accessories are located in the layout plans, and images will be provided for the committee's review:
 - Bocce ball racks
 - Bocce ball scoreboards
- Additional accessories have NOT been located, pending feedback and review from the City:
 - Is a 'how to bocce' sign desired?
 - Is an Information sign desired with accepted hours of play, rental info, behavior guidelines?
 - Who is allowed to use the courts and when?

Please note these are progress plans and will be revised and QA/QC'd prior to the 100% submittal.

Regards,



Anneke Swinehart, ASLA
Design Director

Cc:

Drew Goetting, Erik Stromberg
Gale Rossi

Restoration Design Group
City of Albany

OCEAN VIEW PARK BOCCÉ

CITY OF ALBANY

90% DESIGN JUNE 7, 2019

CLIENT:

CITY OF ALBANY, RECREATION & COMMUNITY SERVICES:
 CHELLE PUTZER
 RECREATION & COMMUNITY SERVICES DIRECTOR
 1000 SAN PABLO AVE.
 ALBANY, CA 94913
 (510) 559-7218
 CPUTZER@ALBANYCA.GOV

CONSULTANTS:

LANDSCAPE ARCHITECTURE AND ENGINEERING:
 RESTORATION DESIGN GROUP, INC.
 ANNEKE SWINEHART, PROJECT MANAGER
 2332 5TH STREET, SUITE C
 BERKELEY, CA 94710
 (510) 644-2798 X4
 ANNEKE@RDGMAIL.COM

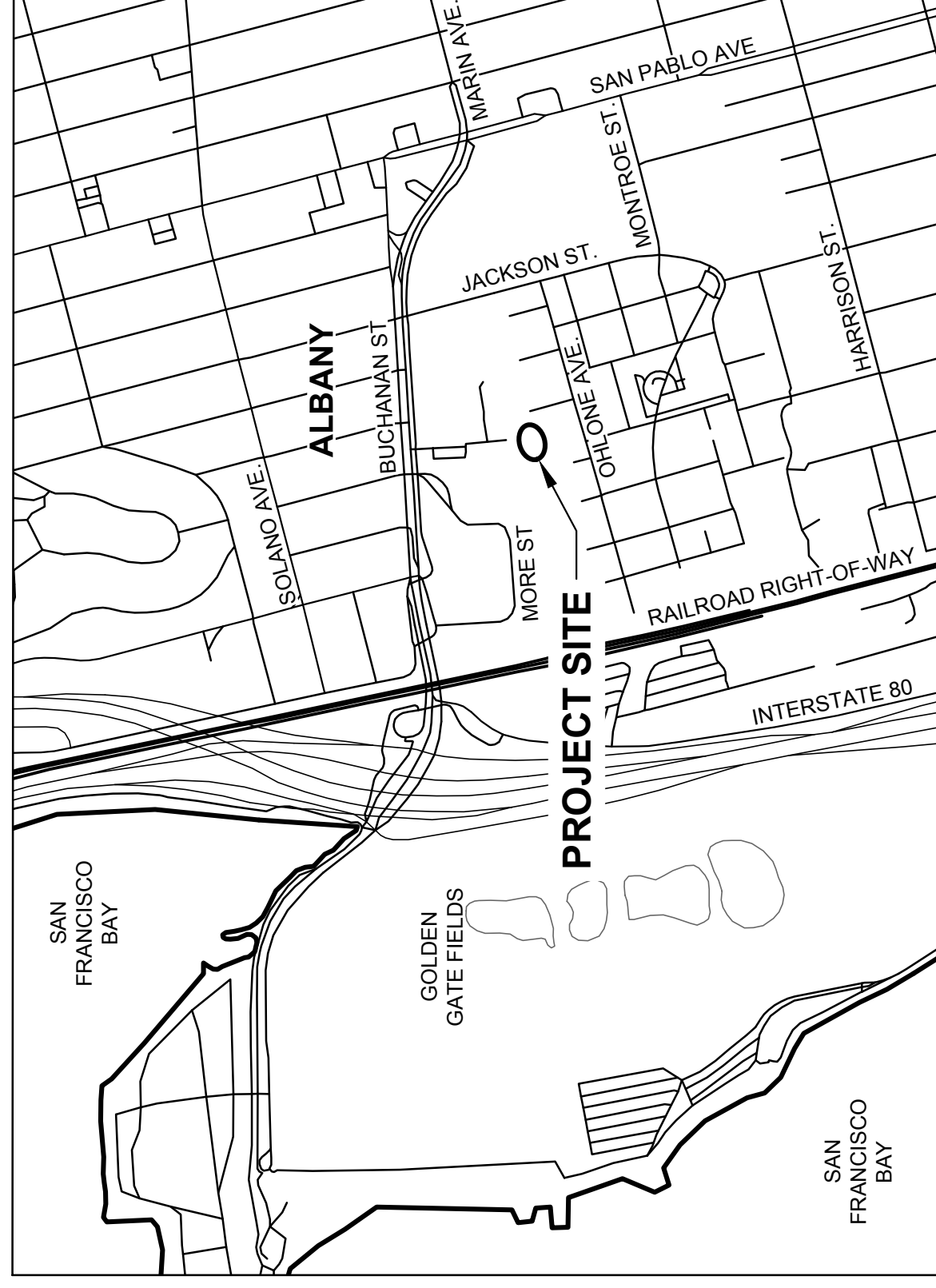
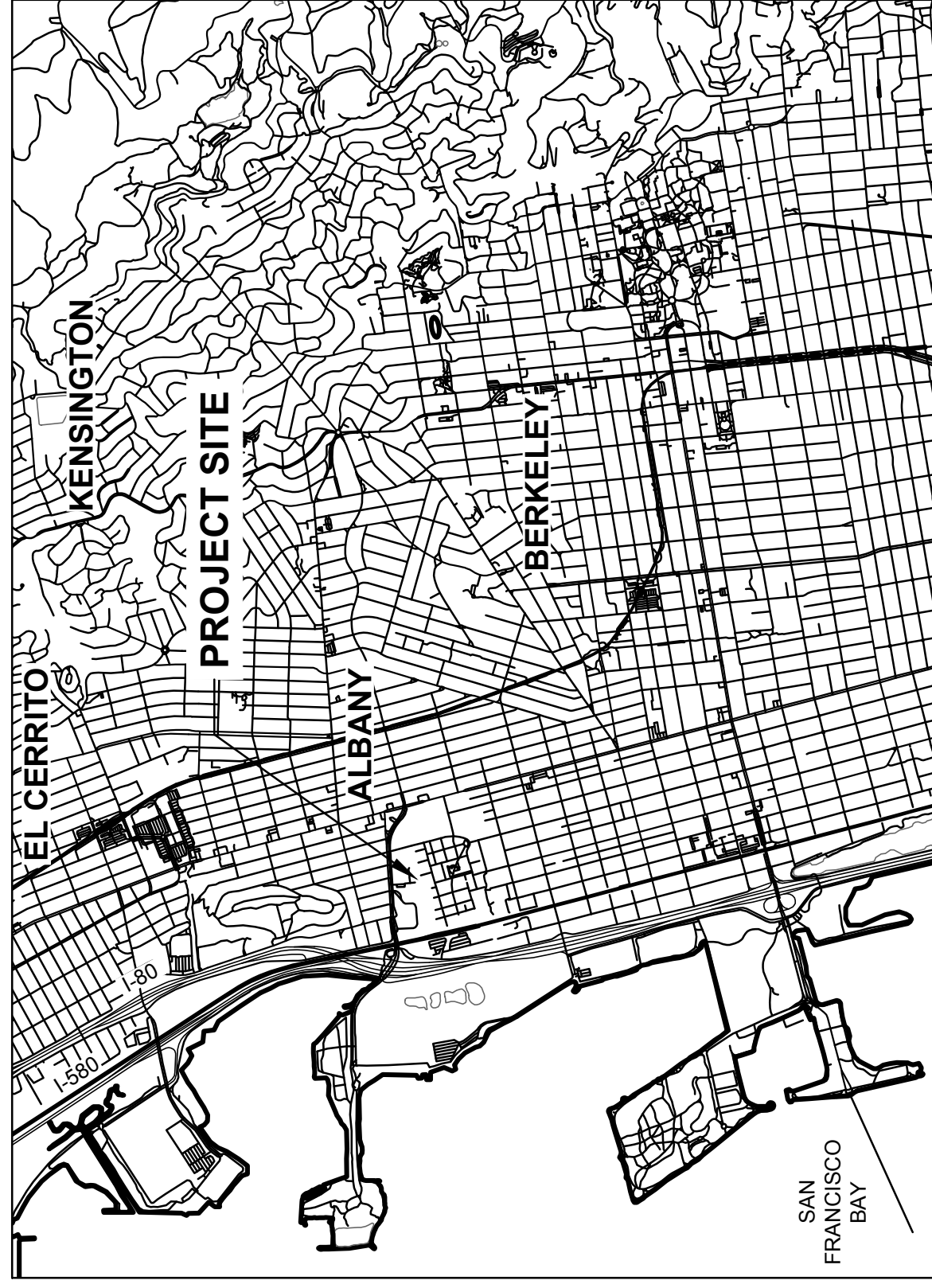
SHEET LIST TABLE

L-0.0 COVER
 L-1.0 DEMO
 L-2.0 LAYOUT AND MATERIALS
 L-2.0A ADDITIONAL ITEMS
 L-2.1 GRADING
 L-3.0 CONSTRUCTION DETAILS
 L-4.0 PLANTING SCHEDULE AND NOTES
 L-4.1 PLANTING PLAN
 L-4.2 PLANTING DETAILS


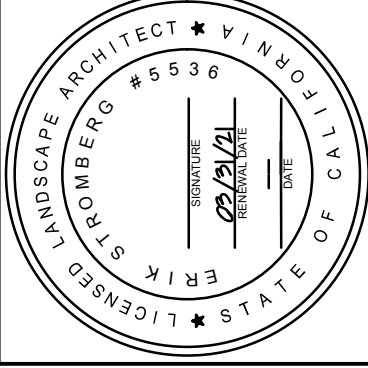
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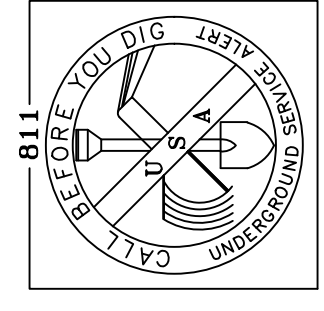
AC ASPHALT CONCRETE	O.R. OWNER'S REPRESENTATIVE
AD AREA DRAIN	OAE OR ACCEPTED EQUAL
CLR CLEAR	PA PLANTING AREA
CLR CENTERLINE	PP PRESERVE AND PROTECT
(E) EXISTING	R.O.W RIGHT-OF-WAY
FG FINISH GRADE	SS SANITARY SEWER
FL FLOW LINE	TB TOP OF BANK
FS FINISH SURFACE	TBD TO BE DETERMINED
GB GRADE BREAK	TS TYPICAL
HP HIGH POINT	UON UNLESS OTHERWISE NOTED
LP LOW POINT	VIF VERIFY IN FIELD
L.O.W. LIMIT OF WORK	
MM MEET AND MATCH	
N.I.C. NOT IN CONTRACT	
OC ON CENTER	

PROJECT LOCATION:



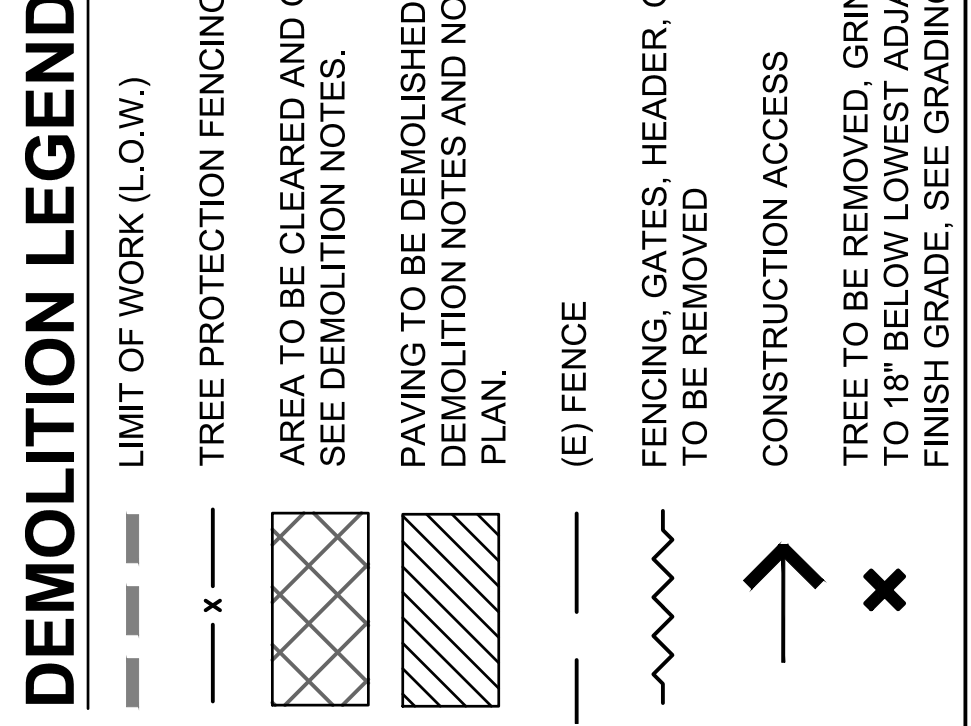
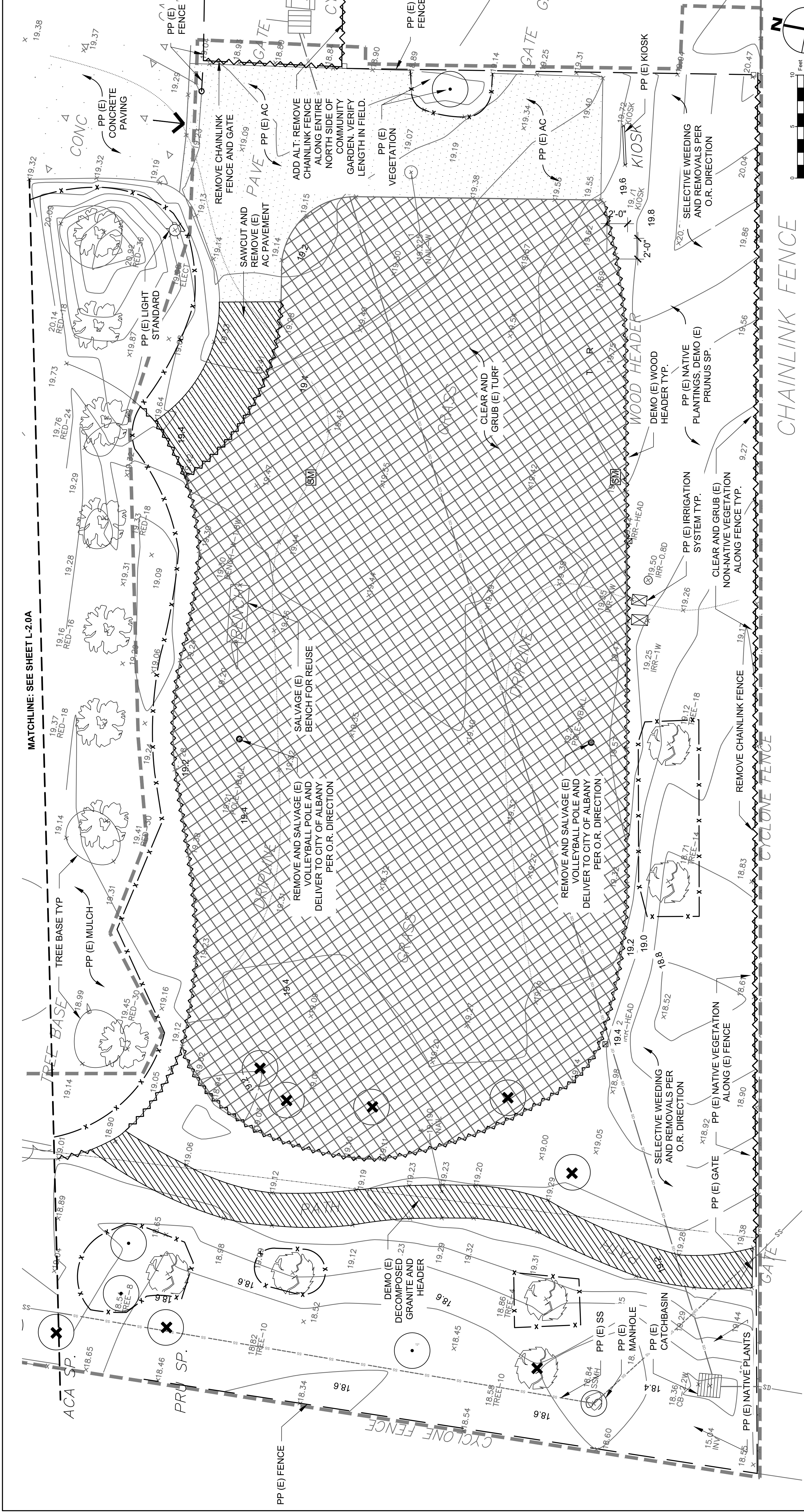
REVISIONS	DATE	DESCRIPTION

OCEAN VIEW PARK BOCCÉ CONSTRUCTION DOCUMENTS PROJECT TITLE	CONSTRUCTION DOCUMENTS DESIGN PHASE SHEET TITLE	 Restoration Design Group, Inc. 2332 5th Street, Suite C Berkeley, CA 94710 T 510.644.2798 F 510.644.2799 www.restorationdesigngroup.com		DESIGN BY AS DRAWN BY AS/IS CHECKED BY ES SCALE AS SHOWN DATE JUNE 7, 2019 SHEET
L-0.0 1 OF 9				



2 WORKING DAYS
 BEFORE YOU DIG CALL
 TOLL FREE 811 USA

P:\PROJECTS\ALBANY\OCEAN VIEW BOCCÉ\4 AUTOCALC\WORKING DRAWINGS\SHEET L-0 COVER.DWG PLOTTED ON: 6/6/2019



- ### DEMOLITION NOTES
1. MAINTAIN PROJECT PERMETER FENCE FOR THE DURATION OF THE CONSTRUCTION PERIOD AND UNTIL O.R. PROVIDES AUTHORIZATION TO REMOVE. NOTE THAT (E) SITE FENCING CAN BE USED AS PROJECT PERMETER FENCING IF DEEMED SECURE BY O.R. AND CONTRACTOR.
 2. PROTECT ALL IMPROVEMENTS NOT NOTED FOR DEMOLITION. PRESERVE AND PROTECT ALL SITE ELEMENTS AND UTILITIES UNLESS OTHERWISE NOTED (UON).
 3. PROVIDE TREE PROTECTION FENCING AT TREES TO REMAIN PER SPECIFICATIONS.
 4. NO STOCKPILING, DRIVING, OR REFUELING BENEATH (E) TREES. LEGALLY DISPOSE OF ALL MATERIAL CLEARED, GRUBBED, DEMOLISHED, OR SALVAGED BUT NOT UTILIZED FOR PROJECT OR ACCEPTED BY OWNER. STOCKPILE ALL MATERIALS NOTED ON PLANS FOR REUSE OR CITY SALVAGE AS DIRECTED BY O.R.
 5. CLEAR AND GRUB VEGETATION THAT CONFLICTS WITH PROPOSED IMPROVEMENTS AS DIRECTED BY O.R.
 6. CLEAR AND GRUB ALL (E) AGAPANTHUS, PRUNUS, ACACIA, ARAUCARIA, AND COTONEASTER UNLESS OTHERWISE DIRECTED BY O.R.
 7. CONTRACTOR TO VERIFY EXISTING IRRIGATION SYSTEM IS INSTALLED PER AS-BUILTS AND OPERATIONAL PRIOR TO COMMENCING WORK.
 8. PP OR SALVAGE IRRIGATION COMPONENTS AND SITE FURNISHINGS THAT CONFLICT WITH THE PROPOSED WORK AND STOCKPILE. RE-USE ITEMS PER PLANS AND O.R. DIRECTION.

- ### EROSION CONTROL NOTES
1. PROVIDE STORM INLET PROTECTION MEASURES AT ALL DRAIN INLETS WITHIN THE PROJECT SITE.


REVISIONS	DATE	DESCRIPTION

OCEAN VIEW PARK BOCCÉ

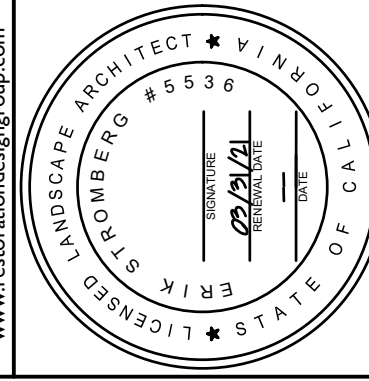
DESIGN PHASE 90% DESIGN

SHEET TITLE LAYOUT AND MATERIALS

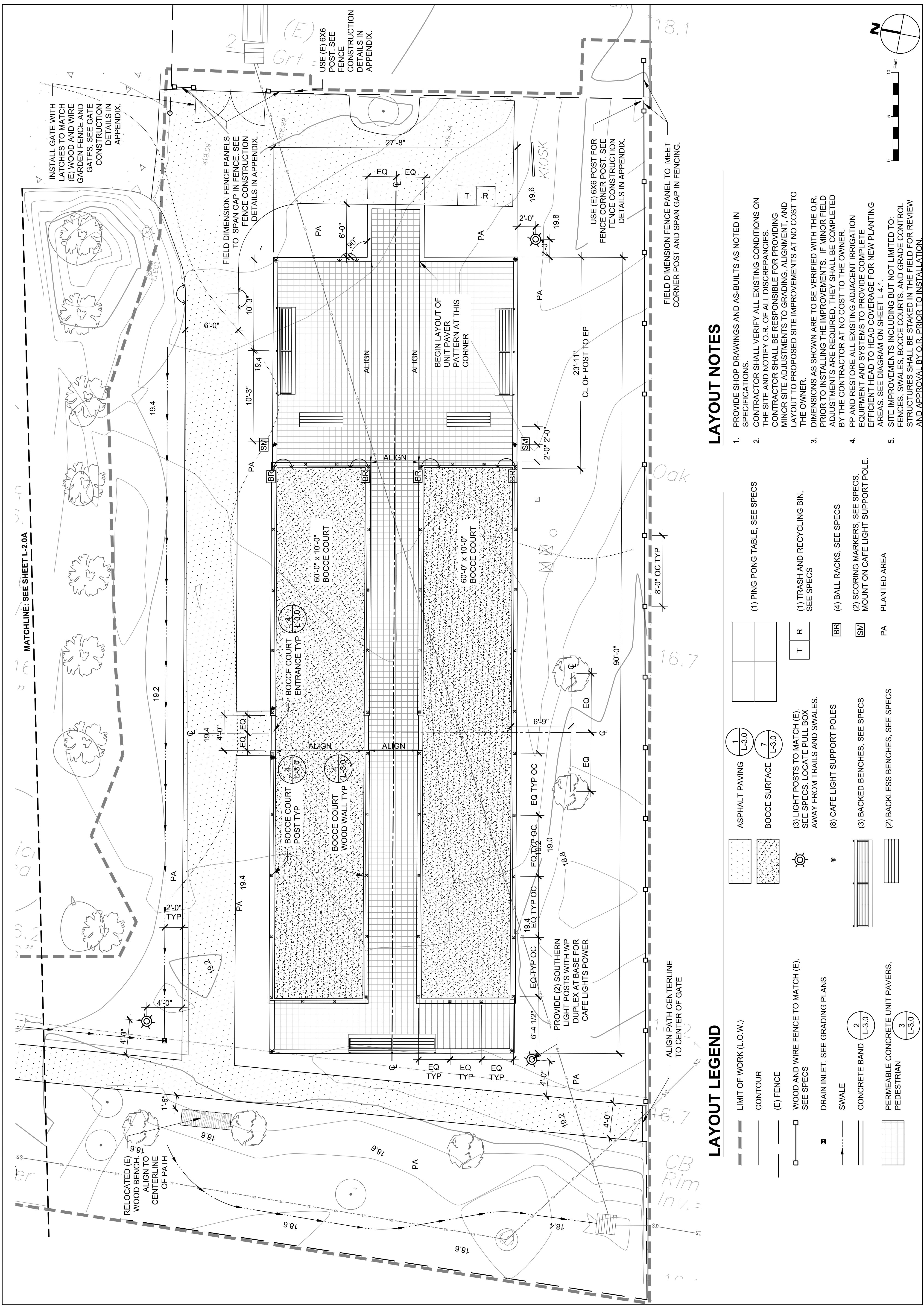
PROJECT TITLE



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 CHECKED BY ES
 SCALE 1" = 5'-0"
 DATE JUNE 7, 2019
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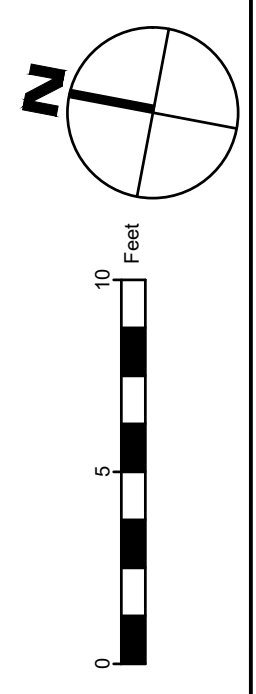


LAYOUT NOTES

- PROVIDE SHOP DRAWINGS AND AS-BUILTS AS NOTED IN SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE SITE AND NOTIFY O.R. OF ALL DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MINOR SITE ADJUSTMENTS TO GRADING, ALIGNMENT, AND LAYOUT TO PROPOSED SITE IMPROVEMENTS AT NO COST TO THE OWNER.
- DIMENSIONS AS SHOWN ARE TO BE VERIFIED WITH THE O.R. PRIOR TO INSTALLING THE IMPROVEMENTS. IF MINOR FIELD ADJUSTMENTS ARE REQUIRED, THEY SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- PP AND RESTORE ALL EXISTING ADJACENT IRRIGATION EQUIPMENT AND SYSTEMS TO PROVIDE COMPLETE EFFICIENT HEAD TO HEAD COVERAGE FOR NEW PLANTING AREAS. SEE DIAGRAM ON SHEET L-4.1.
- SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO: FENCES, SWALES, BOCCÉ COURTS, AND GRADE CONTROL STRUCTURES SHALL BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY O.R. PRIOR TO INSTALLATION.

LAYOUT LEGEND

	LIMIT OF WORK (L.O.W.)		(1) PING PONG TABLE, SEE SPECS
	CONTOUR		(1) TRASH AND RECYCLING BIN, SEE SPECS
	(E) FENCE		(4) BALL RACKS, SEE SPECS
	WOOD AND WIRE FENCE TO MATCH (E), SEE SPECS		(2) SCORING MARKERS, SEE SPECS. MOUNT ON CAFE LIGHT SUPPORT POLE.
	DRAIN INLET, SEE GRADING PLANS		(8) CAFE LIGHT SUPPORT POLES
	SWALE		(3) BACKED BENCHES, SEE SPECS
	CONCRETE BAND		(2) BACKLESS BENCHES, SEE SPECS
	PERMEABLE CONCRETE UNIT PAVERS, PEDESTRIAN		PLANTED AREA




REVISIONS	DATE	DESCRIPTION

OCEAN VIEW PARK BOCCIE

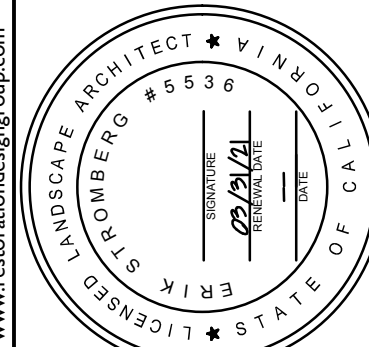
PROJECT TITLE

DESIGN PHASE
90% DESIGN

SHEET TITLE
ADDITIONAL ITEMS

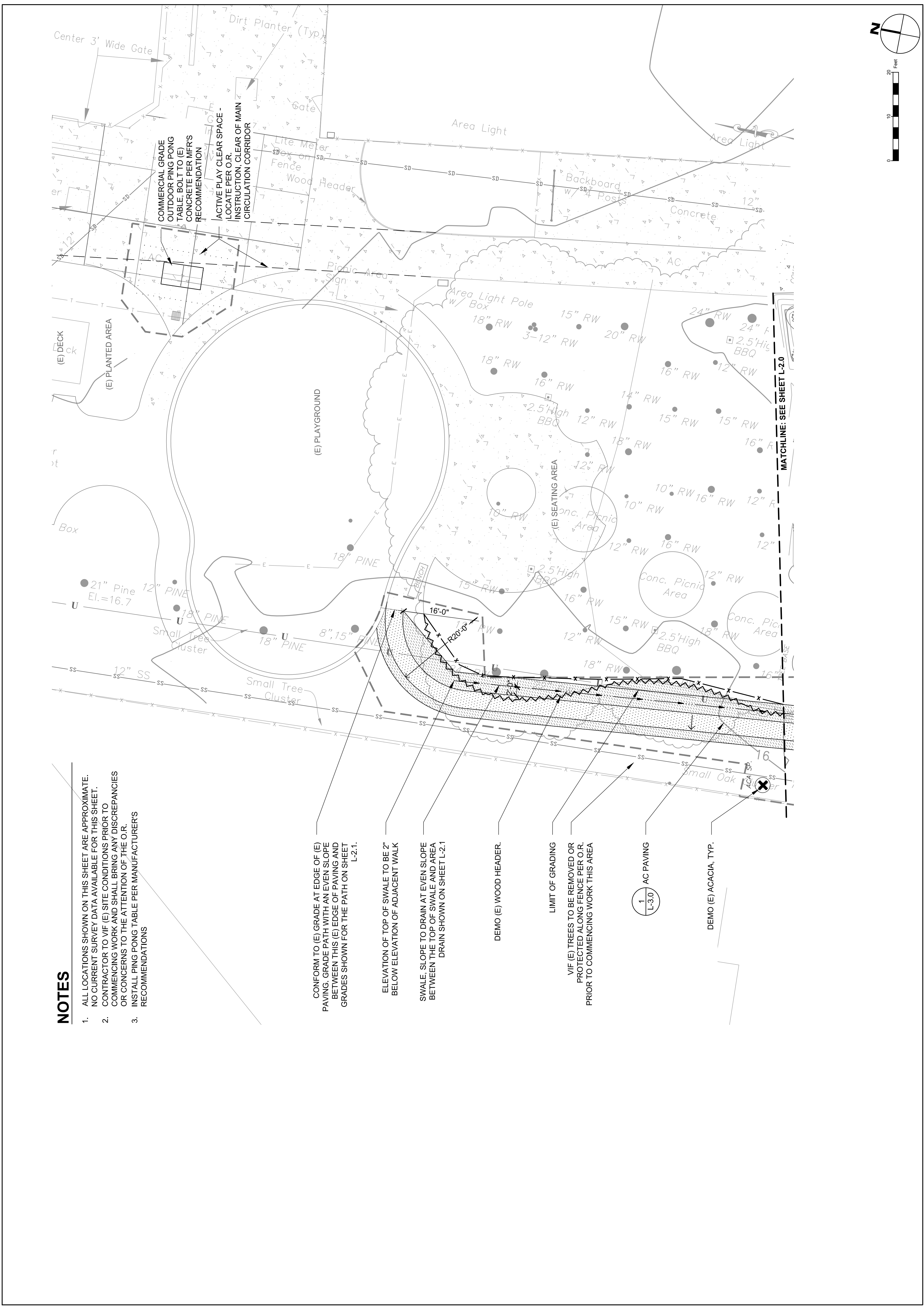


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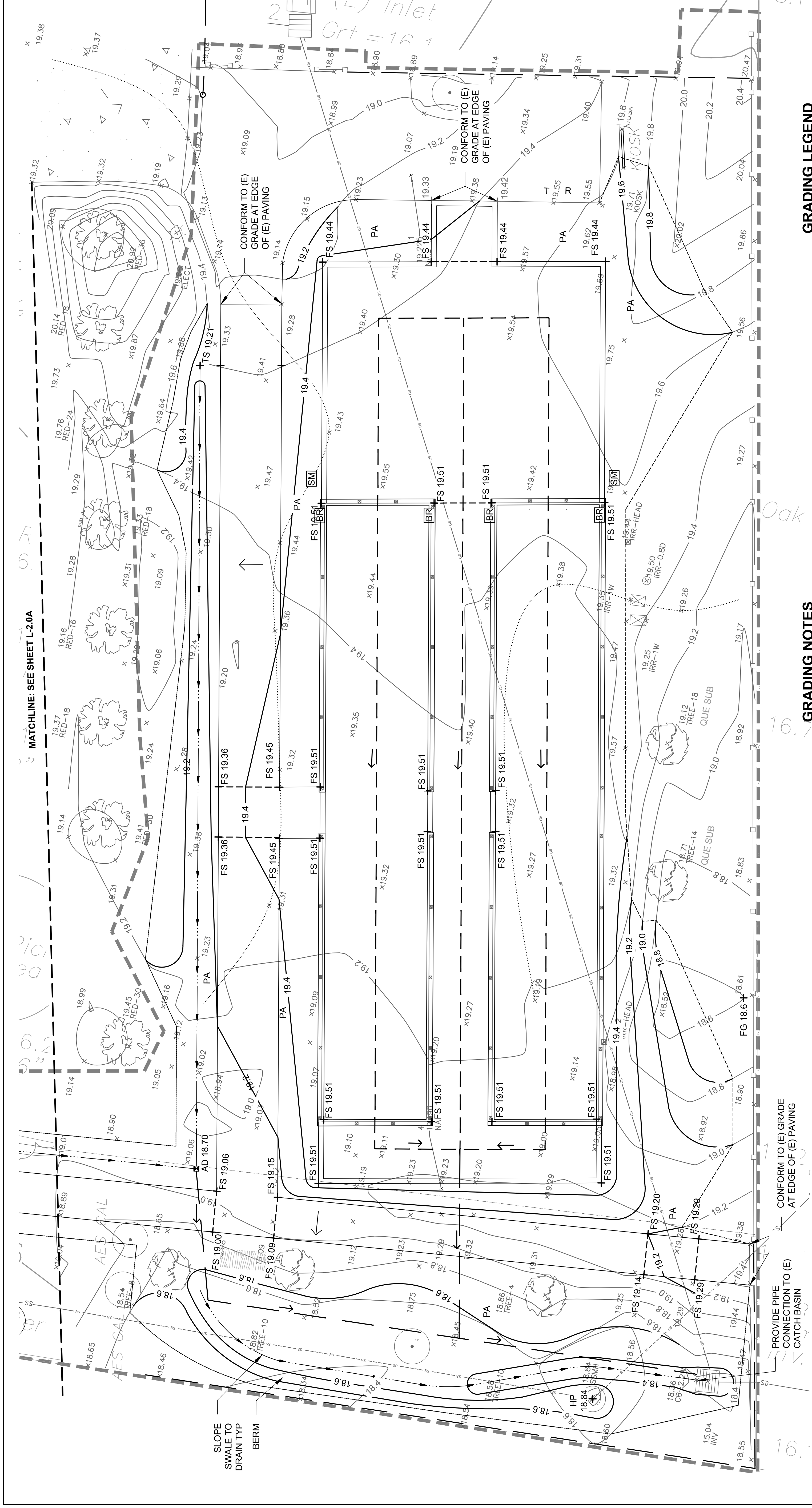
LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
No. 12566
DATE: 02/21/11

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CHECKED BY ES
SCALE 1" = 10'-0"
DATE JUNE 7, 2019
SHEET



- NOTES**
1. ALL LOCATIONS SHOWN ON THIS SHEET ARE APPROXIMATE. NO CURRENT SURVEY DATA AVAILABLE FOR THIS SHEET.
 2. CONTRACTOR TO VIF (E) SITE CONDITIONS PRIOR TO COMMENCING WORK AND SHALL BRING ANY DISCREPANCIES OR CONCERNS TO THE ATTENTION OF THE O.R.
 3. INSTALL PING PONG TABLE PER MANUFACTURER'S RECOMMENDATIONS

- CONFORM TO (E) GRADE AT EDGE OF (E) PAVING. GRADE PATH WITH AN EVEN SLOPE BETWEEN THIS (E) EDGE OF PAVING AND GRADES SHOWN FOR THE PATH ON SHEET L-2.1.
- ELEVATION OF TOP OF SWALE TO BE 2" BELOW ELEVATION OF ADJACENT WALK
- SWALE. SLOPE TO DRAIN AT EVEN SLOPE BETWEEN THE TOP OF SWALE AND AREA DRAIN SHOWN ON SHEET L-2.1
- DEMO (E) WOOD HEADER.
- LIMIT OF GRADING
- VIF (E) TREES TO BE REMOVED OR PROTECTED ALONG FENCE PER O.R. PRIOR TO COMMENCING WORK THIS AREA
- AC PAVING
- DEMO (E) ACACIA, TYP.



REVISIONS	DATE	DESCRIPTION

PROJECT TITLE: OCEAN VIEW PARK BOCCÉ

DESIGN PHASE: 90% DESIGN

SHEET TITLE: GRADING

DATE: JUNE 7, 2019

SCALE: 1" = 5'-0"

DESIGNED BY: AS

CHECKED BY: ES

DRAWN BY: AS, IS

RDG

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 www.restorationdesigngroup.com

RESTORATION DESIGN GROUP

GRADING LEGEND

- LIMIT OF WORK (L.O.W.)
- LIMIT OF GRADING
- (E) CONTOUR
- 20.2
- 20.2
- GRADE BREAK
- (E) SANITARY SEWER LINE
- SWALE CENTERLINE, SEE PLANS
- 3" PERFORATED PIPE
- 6" SOLID PIPE
- 6" ATRIUM DRAIN
- 25.41+ SPOT ELEVATION
- 25.41+ (E) SPOT ELEVATION

GRADING NOTES

1. SEE DETAILS FOR ADDITIONAL GRADING INFORMATION.
2. CONTRACTOR RESPONSIBLE FOR PROVIDING A STAKED SURVEY BY A LICENSED SURVEYOR OF THE FINAL AS-BUILT GRADING FOR O.R. REVIEW AND APPROVAL. SEE SPECIFICATIONS FOR REQUIREMENTS.
3. SEE SPECIFICATIONS FOR SOIL PREPARATION REQUIRED PRIOR TO PLANTING.
4. WHERE EXCAVATION IS REQUIRED ADJACENT TO (E) UTILITIES, HAND EXCAVATE TO VERIFY CONDITION AND LOCATION.
5. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE SITE AND NOTIFY O.R. OF ALL DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MINOR SITE ADJUSTMENTS TO GRADING, ALIGNMENT, AND LAYOUT TO PROPOSED SITE IMPROVEMENTS AT NO COST TO THE OWNER.
6. GRADING IS INTENDED TO BE IMPLEMENTED WITH SMOOTH, EVEN SLOPES AND CONTOURS. NO ABRUPT CHANGES SHALL BE ALLOWED. VERTICAL DATUM: UNKNOWN. CONTRACTOR TO VERIFY IN FIELD.
- 7.

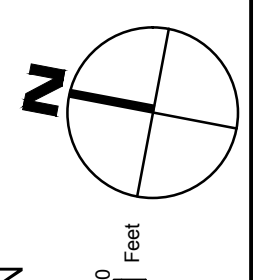
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE SITE AND NOTIFY O.R. OF ALL DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MINOR SITE ADJUSTMENTS TO GRADING, ALIGNMENT, AND LAYOUT TO PROPOSED SITE IMPROVEMENTS AT NO COST TO THE OWNER.

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE SITE AND NOTIFY O.R. OF ALL DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MINOR SITE ADJUSTMENTS TO GRADING, ALIGNMENT, AND LAYOUT TO PROPOSED SITE IMPROVEMENTS AT NO COST TO THE OWNER.

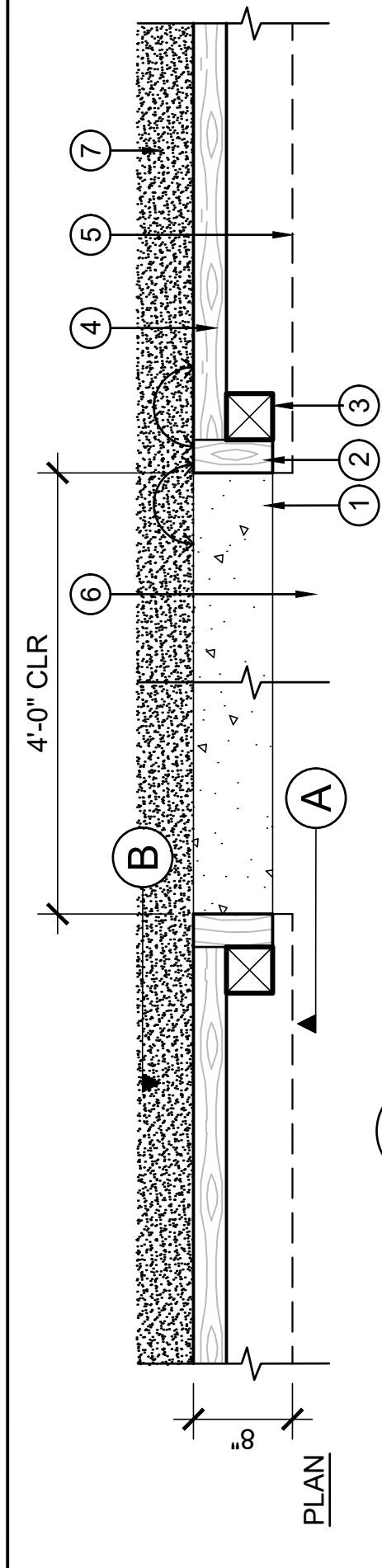
GRADING IS INTENDED TO BE IMPLEMENTED WITH SMOOTH, EVEN SLOPES AND CONTOURS. NO ABRUPT CHANGES SHALL BE ALLOWED. VERTICAL DATUM: UNKNOWN. CONTRACTOR TO VERIFY IN FIELD.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE SITE AND NOTIFY O.R. OF ALL DISCREPANCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MINOR SITE ADJUSTMENTS TO GRADING, ALIGNMENT, AND LAYOUT TO PROPOSED SITE IMPROVEMENTS AT NO COST TO THE OWNER.



L-2.1

5 OF 9

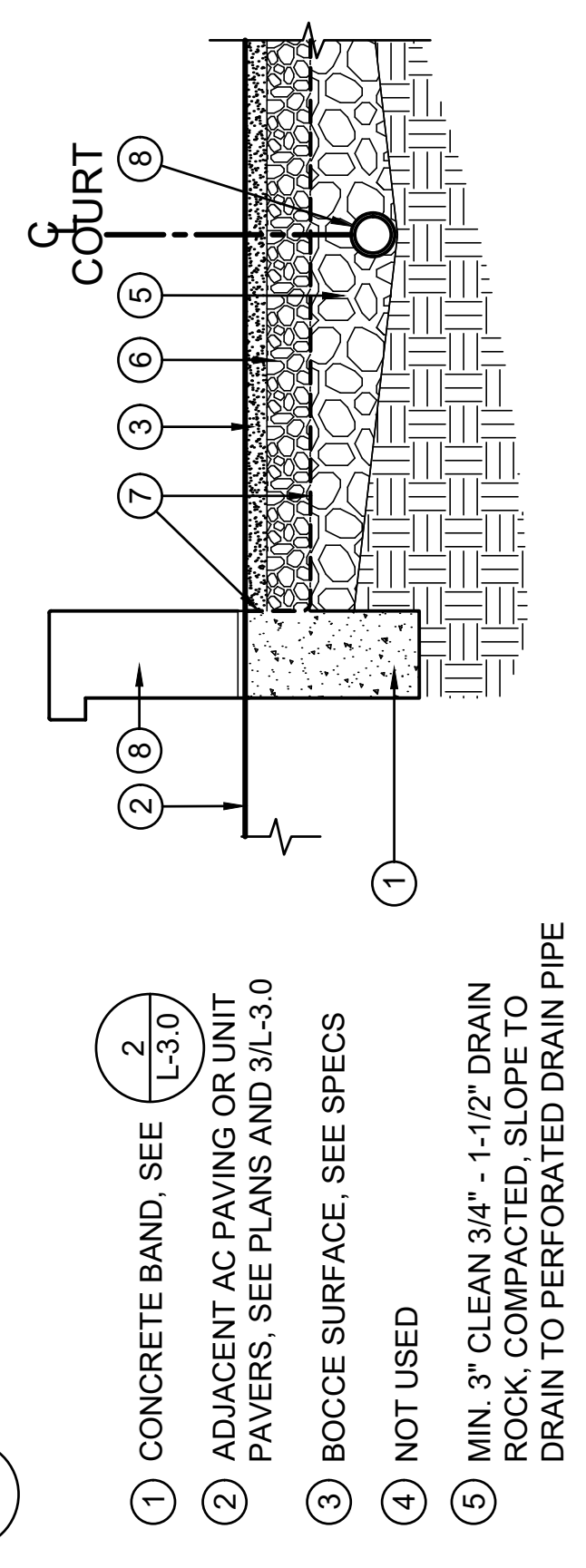


- 1 CONCRETE BAND, SEE (2) L-3.0
- 2 END CAP, 3X12 HEART B REDWOOD CUT TO FIT, SANDED, AND SEALED, SEE SPECS.
- 3 POST, 4X4 PT DOUGLAS FIR
- 4 BOARD, 3X8 PT DOUGLAS FIR
- 5 CAP, 3X8 HEART B REDWOOD, SANDED AND SEALED, TOP EDGES TO HAVE 1/8" R, ALL SIDES, SEE SPECS.
- 6 ADJACENT AC PAVING OR UNIT PAVERS, SEE PLANS AND 3/L-3.0
- 7 BOCCÉ SURFACE, SEE (7) L-3.0
- 8 WOOD SCREW TYP
- 9 CONCRETE FOOTER, SLOPE 1/2" AT TOP OF CONCRETE AS SHOWN.
- 10 SUBGRADE
- 11 CLEAN CLASS 2 AGGREGATE

- NOTES
1. EXPOSED WOOD SURFACES TO BE SANDED TO 120 GRIT OR FINER.
 2. FASTENERS SHALL BE STAINLESS STEEL OR EPOXY COATED, COUNTERSUNK AND PLUGGED.
 3. FASTEN CAP AND SIDE BOARDS WITH WOOD SCREWS AT EVEN AND ALIGNED SPACING, ALL FACES OF BOARDS.
 4. REDWOOD SEALER; READY SEAL REDWOOD EXTERIOR WOOD STAIN AND SEALER.
 5. TOP OF BOCCÉ CURB/WALL TO BE HELD LEVEL AT LISTED ELEVATION MEASURED FROM PLAYING SURFACE. WHERE ADJACENT PAVING ELEVATION VARIES, RIP BOTTOM SIDE BOARDS TO FOLLOW GRADE WITH LISTED GAP.
 8. DELIVERY TAGS ARE REQUIRED TO VERIFY CONSISTENCY WITH APPROVED MATERIAL.
 10. SEE PLANS FOR LOCATION AND WIDTH OF WHEELCHAIR ACCESSIBLE CURB OPENINGS.

4 BOCCÉ COURT PLAN AND POST ASSEMBLY

SCALE: NTS



- 1 CONCRETE BAND, SEE (2) L-3.0
- 2 ADJACENT AC PAVING OR UNIT PAVERS, SEE PLANS AND 3/L-3.0
- 3 BOCCÉ SURFACE, SEE SPECS
- 4 NOT USED
- 5 MIN. 3" CLEAN 3/4" - 1-1/2" DRAIN ROCK, COMPACTED, SLOPE TO DRAIN TO PERFORATED DRAIN PIPE
- 6 3" LAYER OF COMPACTED CLASS 2 AGGREGATE BASE
- 7 FILTER FABRIC - MIRAFI 140N O.A.E.
- 8 3" PERFORATED DRAIN PIPE, CONTINUOUS FULL LENGTH OF COURT. SEE GRADING PLANS.
- 9 BOCCÉ COURT WALL (6) L-3.0

- NOTES
2. COURT SURFACE SHALL BE LEVEL, COMPACTED, SMOOTH, AND CONSISTENT THROUGHOUT, TO O.R.'S SATISFACTION.
 3. CONTRACTOR TO PROVIDE SAMPLES OF SPECIFIED BOCCÉ SURFACE MATERIAL AND PREPARE MOCK-UP OF BOCCÉ SURFACE (4' X 4' MIN) FOR O.R. APPROVAL PRIOR TO DELIVERY.
 4. DELIVERY TAGS ARE REQUIRED TO VERIFY CONSISTENCY WITH APPROVED MATERIAL.
 5. PROVIDE HOSE BIBS OR QUICK COUPLER VALVES AS NEEDED TO REACH ENTIRE SURFACE WITH A 50 FT. HOSE. COORDINATE WITH IRRIGATION PLANS.
 6. SEE PLANS FOR LOCATION AND WIDTH OF ADA CURB OPENINGS.

7 BOCCÉ COURT SURFACE

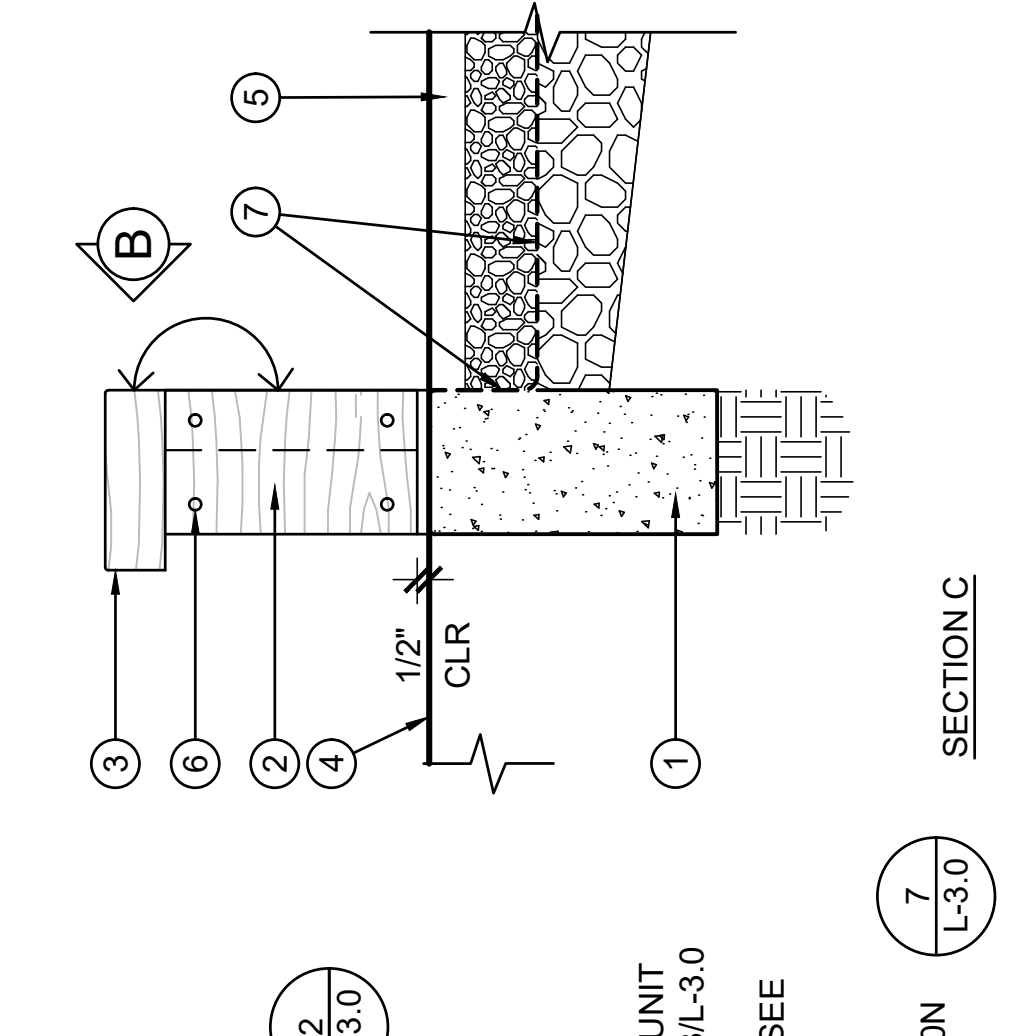
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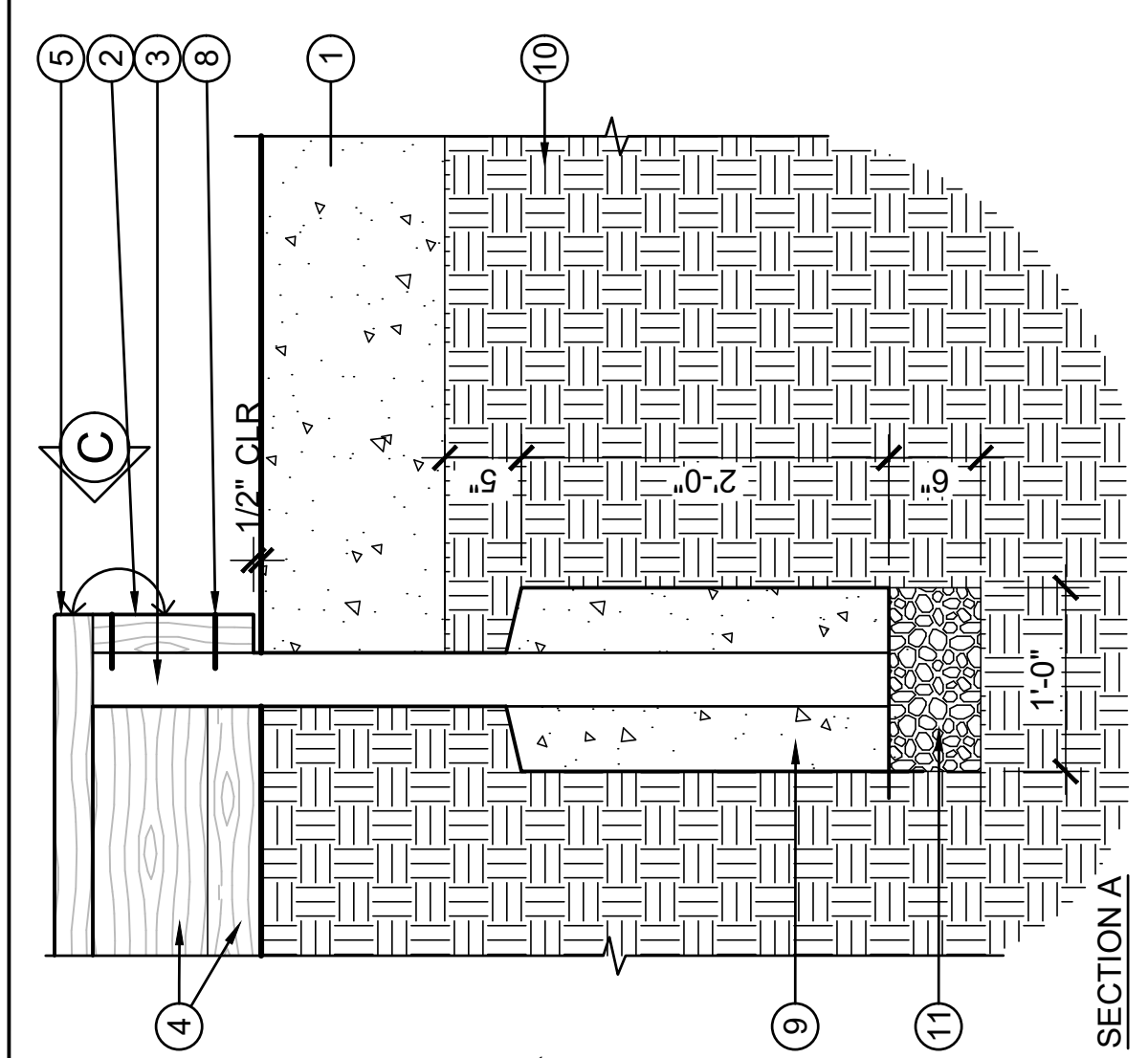
- 1 CONCRETE BAND, SEE (2) L-3.0
- 2 END CAP, SEE (4) L-3.0
- 3 WALL CAP, SEE (4) L-3.0
- 4 ADJACENT AC PAVING OR UNIT PAVERS, SEE PLANS AND 3/L-3.0
- 5 BOCCÉ COURT SURFACE, SEE (7) L-3.0
- 6 WOOD SCREW TYP
- 7 FILTER FABRIC - MIRAFI 140N O.A.E.

5 BOCCÉ COURT CURB ELEVATION

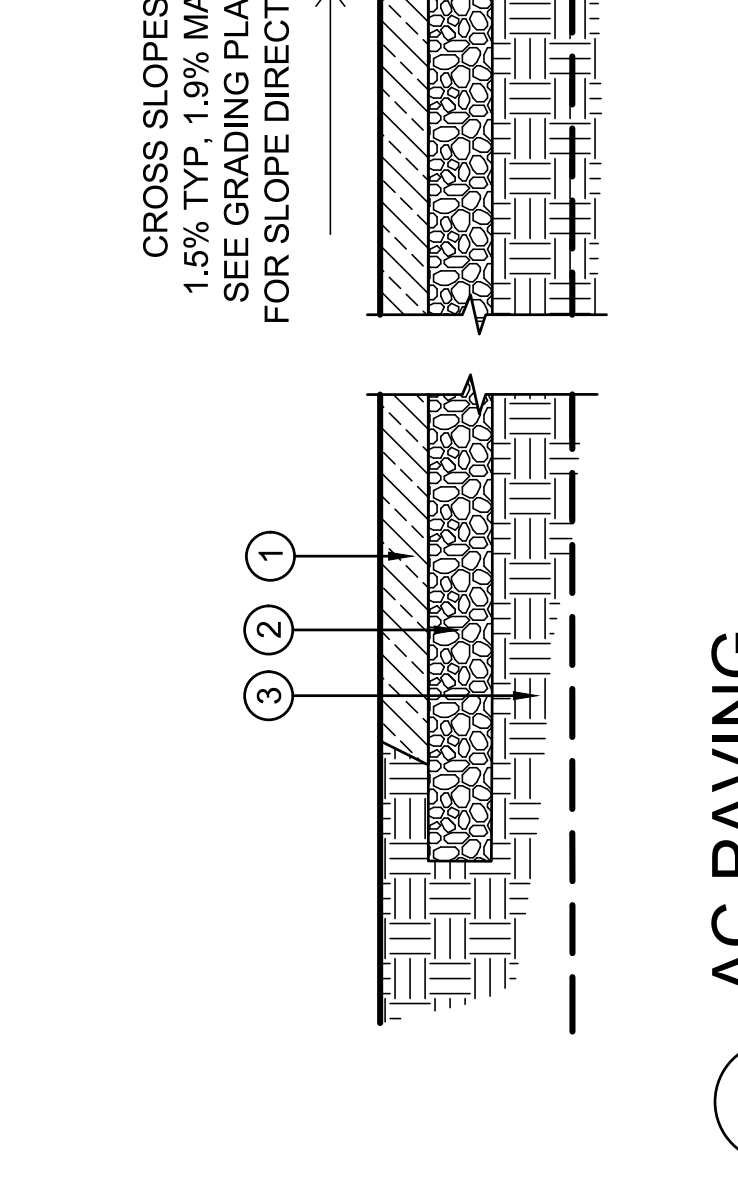
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- 1 CONCRETE BAND, SEE (2) L-3.0
- 2 END CAP, SEE (4) L-3.0
- 3 WALL CAP, SEE (4) L-3.0
- 4 ADJACENT AC PAVING OR UNIT PAVERS, SEE PLANS AND 3/L-3.0
- 5 BOCCÉ COURT SURFACE, SEE (7) L-3.0
- 6 WOOD SCREW TYP
- 7 FILTER FABRIC - MIRAFI 140N O.A.E.



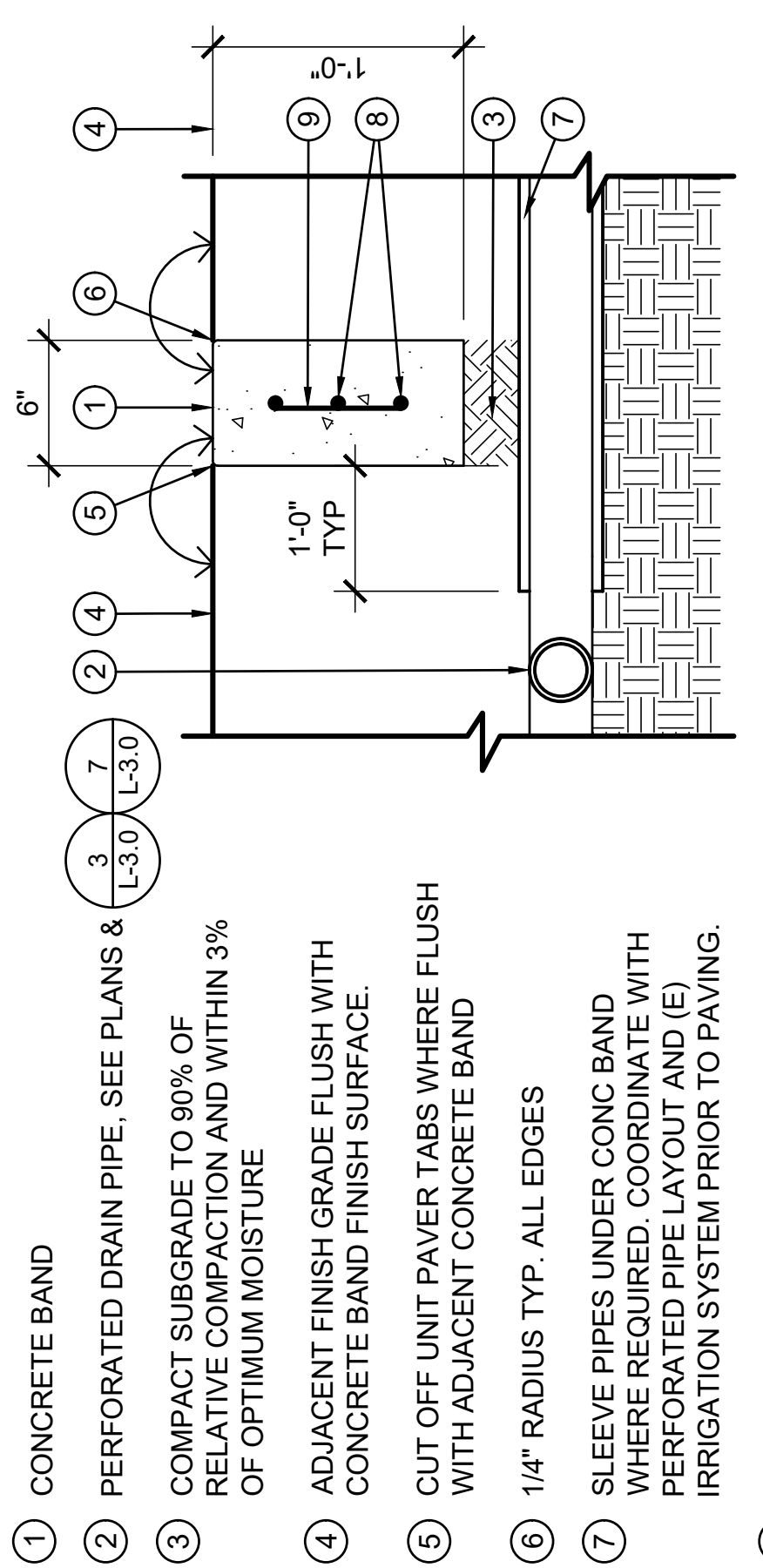
- 1 HMA PAVING (AC PAVING), 3" DEPTH, SEE SPECIFICATIONS
- 2 BASE COURSE, 4" DEPTH, SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- 3 COMPACTED SUBGRADE, SEE SPECIFICATIONS
- 4 SHOULDERS, MATCH EDGE CONDITION OF (E) AC PAVEMENT TO REMAIN.



- 5 FINISHED EDGE, PROVIDE 45 DEGREE BEVEL, PROVIDE SMOOTH CONSISTENT TAMPED EDGE.
 - 6 PROTECT (E) SLEEVES FOR IRRIGATION, OR PROVIDE (N) IF NEEDED UNDER AC PAVING WHERE REQUIRED. COORDINATE WITH (E) IRRIGATION SYSTEM AND NOTES PRIOR TO PAVING.
- CROSS SLOPES
1.5% TYP, 1.9% MAX.
SEE GRADING PLANS
FOR SLOPE DIRECTION

1 AC PAVING

SCALE: NTS

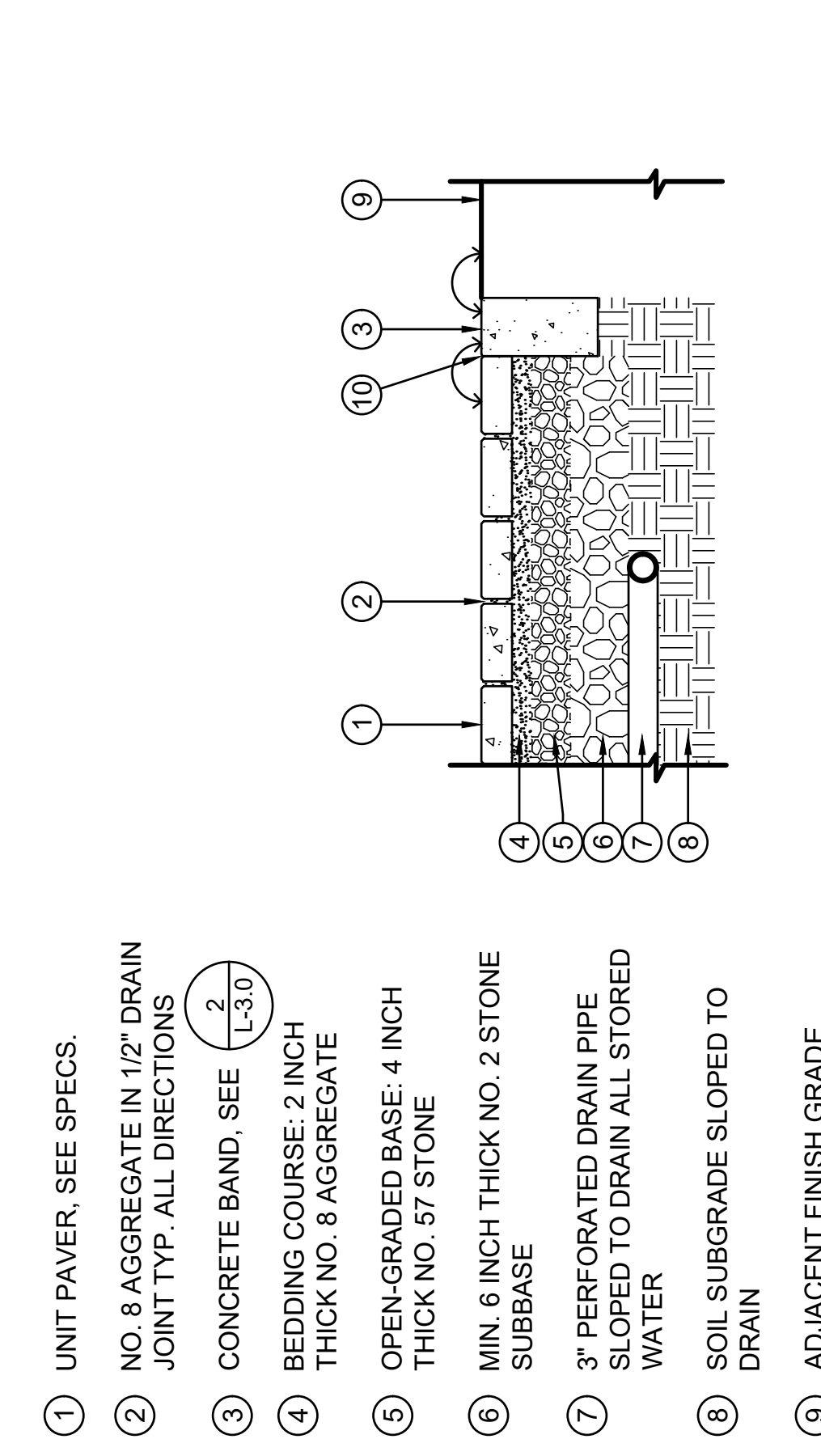


- 1 CONCRETE BAND
- 2 PERFORATED DRAIN PIPE, SEE PLANS & (3) L-3.0
- 3 COMPACT SUBGRADE TO 90% OF RELATIVE COMPACTION AND WITHIN 3% OF OPTIMUM MOISTURE
- 4 ADJACENT FINISH GRADE FLUSH WITH CONCRETE BAND FINISH SURFACE.
- 5 CUT OFF UNIT PAVER TABS WHERE FLUSH WITH ADJACENT CONCRETE BAND
- 6 1/4" RADIUS TYP. ALL EDGES
- 7 SLEEVE PIPES UNDER CONC BAND WHERE REQUIRED. COORDINATE WITH PERFORATED PIPE LAYOUT AND (E) IRRIGATION SYSTEM PRIOR TO PAVING.
- 8 #4 REBAR, CONTINUOUS. PLACE REBAR 3" CLEAR FROM EDGES.
- 9 #4 REBAR @ 18" O.C. VERTICALLY AT CENTER OF CONCRETE SLAB. PLACE REBAR 3" CLEAR FROM EDGES AND EACH SIDE OF JOINTS.

- NOTES
1. PROVIDE SCORE JOINTS, 1" DEEP, 3/16" TO 1/4" WIDE, 1/8" RADIUS AT 10'-0" O.C. OR PER O.R DIRECTION.
 2. PROVIDE EXPANSION JOINT FILLER WITH JOINT SEALANT TO PROTECT FILLER WHERE CONCRETE BAND JOINTS AC PAVING.
 3. BROOM FINISH TYP.

2 CONCRETE BAND

SCALE: NTS



- 1 UNIT PAVER, SEE SPECS.
- 2 NO. 8 AGGREGATE IN 1/2" DRAIN JOINT TYP. ALL DIRECTIONS
- 3 CONCRETE BAND, SEE (2) L-3.0
- 4 BEDDING COURSE, 2 INCH THICK NO. 8 AGGREGATE
- 5 OPEN-GRADED BASE, 4 INCH THICK NO. 57 STONE
- 6 MIN. 6 INCH THICK NO. 2 STONE SUBBASE
- 7 3" PERFORATED DRAIN PIPE SLOPED TO DRAIN ALL STORED WATER
- 8 SOIL SUBGRADE SLOPED TO DRAIN
- 9 ADJACENT FINISH GRADE
- 10 CUT OFF UNIT PAVER TABS WHERE FLUSH WITH ADJACENT

3 PERMEABLE UNIT PAVERS

SCALE: NTS

DATE	REVISIONS DESCRIPTION

OCEAN VIEW PARK BOCCÉ

PROJECT TITLE

SHEET TITLE

CONSTRUCTION DETAILS

DESIGN PHASE

90% DESIGN

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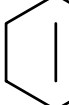
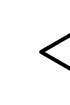


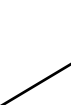
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DATE JUNE 7, 2019
SHEET

L-3.0
6 OF 9

PLANTING AND IRRIGATION NOTES

- CONTAINER PLANTS SHALL BE APPROVED BY O.R. PRIOR TO INSTALLATION.
- FINAL LAYOUT OF CONTAINER PLANTS TO BE APPROVED BY O.R. IN THE FIELD. CONTRACTOR TO PROVIDE MEANS OF MARKING PLANT LOCATIONS.
- CONTRACTOR SHALL PROVIDE PLANTS IN CONTAINER SIZES NOTED IN LEGEND. IN SOME CIRCUMSTANCES CONTAINER SIZES MAY BE SUBSTITUTED WITH O.R. APPROVAL. THE FOLLOWING ARE PLANT QUANTITY RATIOS FOR PLANT CONTAINER SIZE SUBSTITUTIONS. CONTRACTOR TO PROVIDE A SUBMITTAL FOR ALL PROPOSED SUBSTITUTIONS. SEE SPECIFICATIONS.
 - 15 GAL POT = NO SUBSTITUTIONS
 - 5 GAL POT TO 4-GAL TREEPOT = 1:1.2
 - 1 GAL POT TO D-40 = 1:1.2
 - 1 GAL POT TO 4" POT = 1:1.4
 - 1 GAL POT TO D-16 = 1:2
- PLANTS SHALL BE INSTALLED PER FINAL APPROVED LAYOUT BY O.R., UNLESS DIRECTED OTHERWISE BY O.R. IN THE FIELD.
- SEE DEMO PLANS FOR NOTES ON (E) IRRIGATION SYSTEM. IRRIGATION DESIGN SHALL BE PROVIDED BY CONTRACTOR AS BIDDER DESIGN (IRRIGATION PLANS) SUBMITTAL. (SEE SPECIFICATIONS). CONTRACTOR SHALL PROVIDE BIDDER DESIGN IRRIGATION PLAN AS SHOP DRAWING FOR REVIEW AND APPROVAL BY O.R. SEE SPECIFICATIONS AND SPECIFIC NOTES ON PLAN FOR REQUIREMENTS.
- BIDDER DESIGN IRRIGATION PLAN SHALL ENSURE ALL SPRAY IRRIGATION PROVIDES HEAD TO HEAD COVERAGE. MATCHED PRECIPITATION & AVOIDS OVER-SPRAY ONTO PAVED OR NON-PLANTED AREAS.
- NO PLANTING OPERATIONS SHALL BE INITIATED PRIOR TO THE INSTALLATION, OPERATIONAL TEST AND APPROVAL OF THE SYSTEM BY O.R.
- INSTALL IRRIGATION COMPONENTS AS NOTED IN THE SPECIFICATIONS.
- COORDINATE IRRIGATION POINT OF CONNECTION AND POWER SOURCE WITH CLIENT AND PROJECT PLANNING TEAM. PROVIDE ALL NECESSARY CONNECTIONS.

PLANT SCHEDULE

SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	QTY
 ACHILLEA MILLEFOLIUM	YARROW	1 GAL	2' O.C.	6
 CAREX PRAEGRACILIS	SLENDER SEDGE	1 GAL	2' O.C.	32
 CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	5' O.C.	4
 CEANOTHUS THRYSIFFLORUS VAR. GRISEUS	BLUEBELL CREEPER	1 GAL	5' O.C.	17
 CLEMATIS LASIANTHA	PIPESTEM CLEMATIS	5 GAL	SEE PLAN.	3
 ELYMUS GLAUCA	BLUE WILD RYE	1 GAL	2' O.C.	23
 FRAGERIA VESCA	WOODLAND STRAWBERRY	1 GAL	2' O.C.	20
 FRANGULA CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL	6' O.C.	3
 HOLIDISCUS DISCOLOR	CREAM BUSH	5 GAL	6' O.C.	5
 IRIS DOUGLASIANA	DOUGLAS IRIS, PCH	1 GAL	2' O.C.	31
 POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3' O.C.	20
 RIBES SANGUINEUM	FLOWERING CURRANT	1 GAL	5' O.C.	8
 ROSA CALIFORNICA	CALIFORNIA ROSE	1 GAL	4' O.C.	16
 WESTRINGINA FRUTICOSA 'MUNDI'	DWARF COAST ROSEMARY	1 GAL	3.5' O.C.	33
 WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	1 GAL	5' O.C.	7

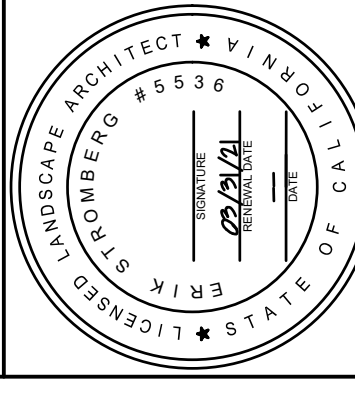
REVISIONS	DATE	DESCRIPTION

PROJECT TITLE
OCEAN VIEW PARK BOCCIE
SHEET TITLE
PLANTING SCHEDULE AND NOTES

DESIGN PHASE
90% DESIGN



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DATE JUNE 7, 2019
SHEET

L-4.0
7 OF 9

DATE	DESCRIPTION

PROJECT TITLE
OCEAN VIEW PARK BOCCIE

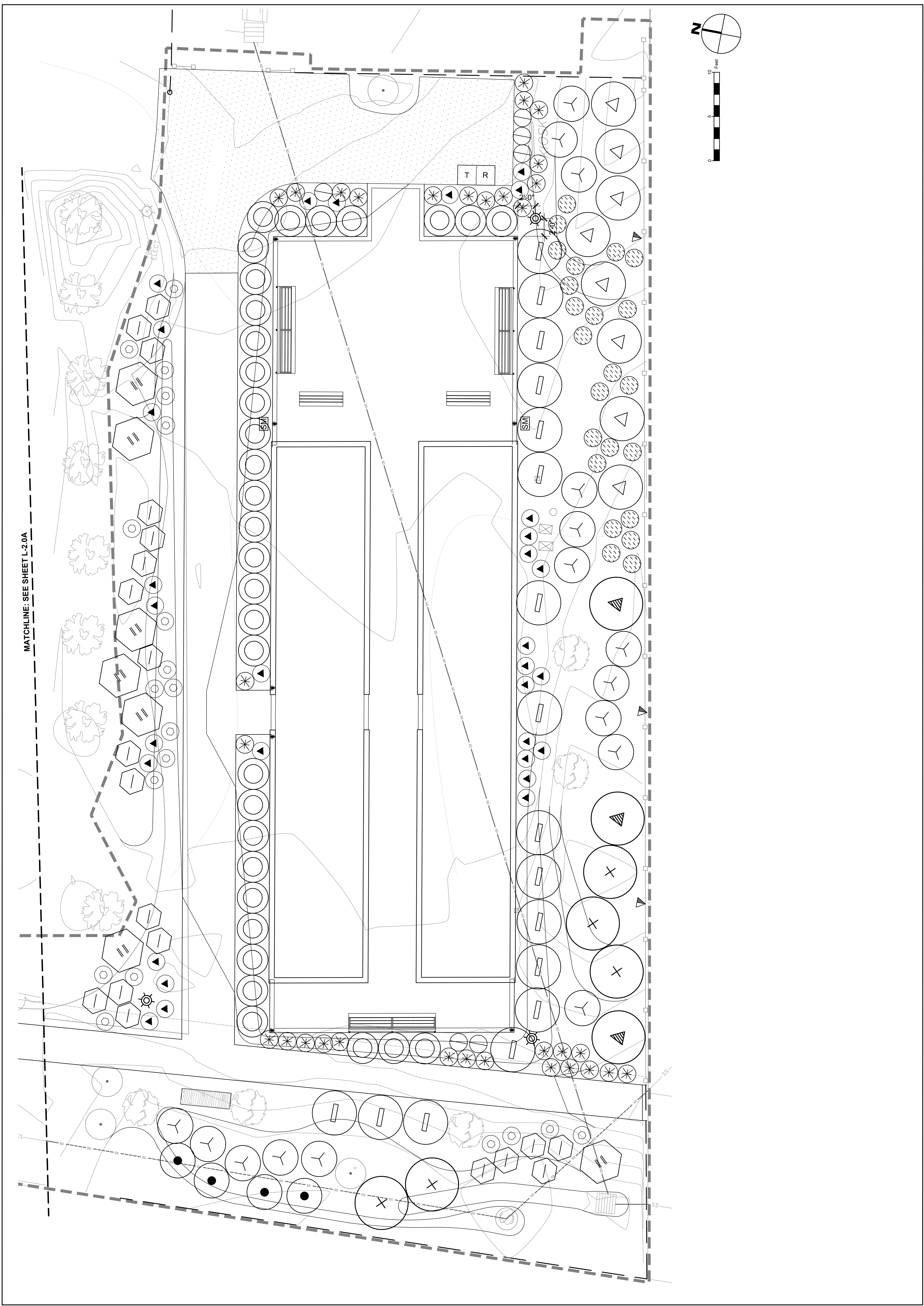
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90% DESIGN

SHEET TITLE
PLANTING PLAN



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SCALE 1" = 5'-0"
DATE JUNE 7, 2019
SHEET

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8 OF 9

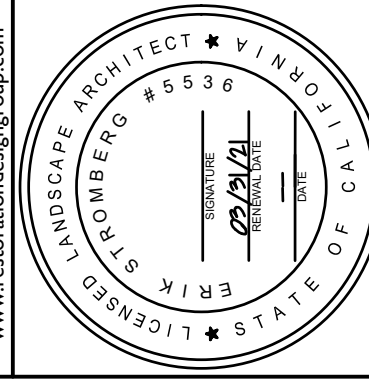


REVISIONS	DATE	DESCRIPTION

PROJECT TITLE	SHEET TITLE
OCEAN VIEW PARK BOCCO	PLANTING DETAILS

DESIGN PHASE
90% DESIGN

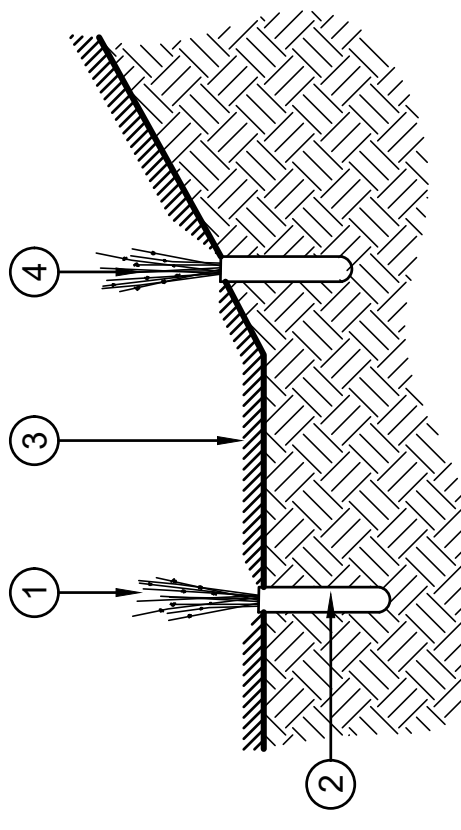
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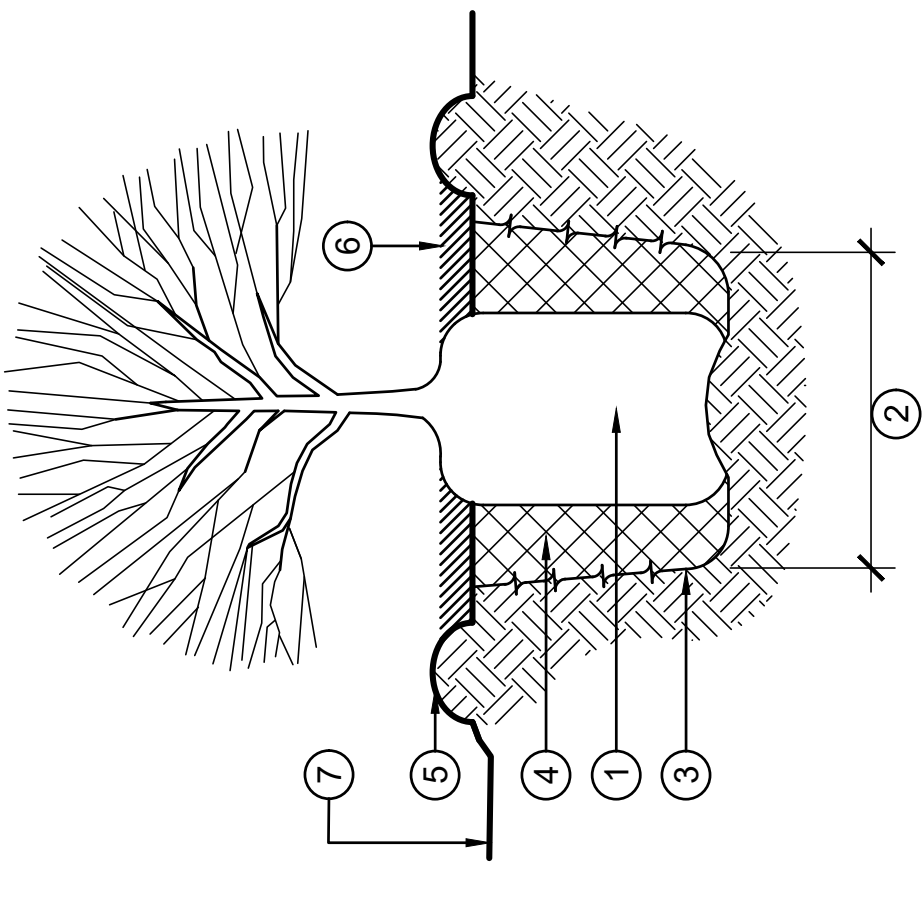
L-4.2
9 OF 9

- 1 PLANT GROWN IN SMALL CONTAINER (SMALLER THAN 1 GALLON)
- 2 PLANTING PIT, EQUAL DIAMETER TO CONTAINER. USE DIBBLE OR HAND SPADE. SET CROWN ABOVE FINISH GRADE. PINCH SOIL TIGHT AGAINST ROOTS.
- 3 MULCH, SEE PLANS AND SPECIFICATIONS. KEEP MULCH CLEAR OF CROWN.
- 4 SLOPED CONDITION - SET PLANT PLUMB



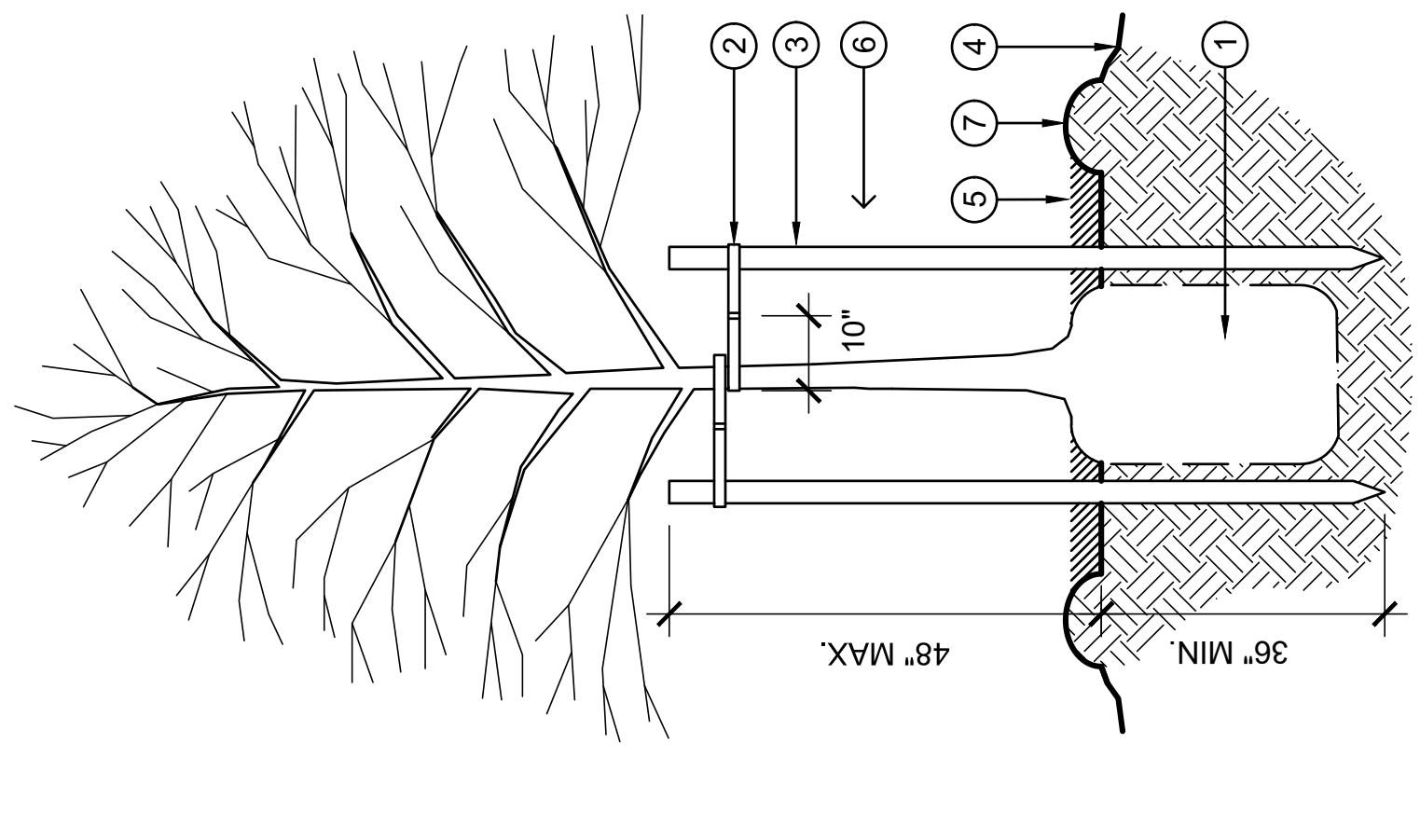
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- 1 LARGE CONTAINER TREE OR SHRUB ROOTBALL (1 GALLON OR LARGER). SET CROWN 1'-2" ABOVE FINISHED GRADE
- 2 PIT DIAMETER, TWO TIMES THE ROOTBALL DIAMETER. EXCAVATE PIT 2" SHALLOWER THAN CONTAINER, DEEPER BEYOND ROOTBALL. PLACE ROOTBALL ON CENTER MOUND AS SHOWN.
- 3 EDGE OF PIT, FRACTURE & SCARIFY.
- 4 NATIVE SOIL, BACKFILLED, HAND COMPACT IN 6" LIFTS
- 5 WATERING BASIN LIP, 4" HEIGHT, COMPLETE PERIMETER
- 6 MULCH, SEE SPECIFICATIONS
- 7 FINISH GRADE



2
SCALE: NTS

- 1 LARGE CONTAINER TREE (5 GALLON OR LARGER)
- 2 ARBORIE TREE TIES (2) W/ 10" WIDE LOOPS AROUND TRUNK. SECURE ARBORIES 4" MIN FROM TOP OF STAKES. DIRECTION AND APPROVAL OF INSTALLATION BY O.R.
- 3 TREE STAKES, SET VERTICAL OUTSIDE ROOTBALL. KEEP TOP OF STAKES 6" MIN CLEAR OF LIMBS.
- 4 FINISH GRADE
- 5 MULCH, SEE SPECIFICATIONS
- 6 PREVAILING WIND DIRECTION
- 7 WATERING BASIN LIP. SEE DETAIL L-3.0 FOR SOIL PREPARATION. INSTRUCTIONS, SEE SPECIFICATIONS.



3
SCALE: NTS



CITY OF ALBANY

Ocean View Park Bocce Courts

Preliminary Estimate of Probably Construction Costs - 90%

Project Element	Task / Item	QTY	Unit	Unit Cost	Subtotal	TOTAL	Notes
SITE PREPARATION							
Demolition							
	Demolish AC Paving	100	SF	\$10.00	\$1,000.00		
	Demolish DG Paving	215	SF	\$3.00	\$645.00		may be done prior by Staff
	Demolish Wood header	450	LF	\$1.00	\$450.00		may be done prior by Staff
	Demolish Fence	130	LF	\$5.00	\$650.00		
	Remove and Salvage Ex Items (Vball, bench)	3	EA	\$100.00	\$300.00		
Clear/Grub							
	Tree removal (> 6" diameter)	2	EA	\$15.00	\$30.00		
	Tree protection fencing	150	LF	\$8.00	\$1,200.00		
	Clear and Grub (includes trees < 6")	6,000	SF	\$0.31	\$1,860.00		
	Silt Fencing	150	LF	\$2.65	\$397.50		
					Subtotal	\$6,532.50	
GRADING							
Drainage							
	3" perf pip underdrain at bocce	200	LF	\$20.00	\$4,000.00		
	6" solid SD pipe	80	LF	\$46.00	\$3,680.00		
	6" Atrium Drain	1	EA	\$125.00	\$125.00		
	Modify Connection at CB	1	EA	\$500.00	\$500.00		
Grading							
	Regrade site for drainage plans	6,000	SF	\$0.21	\$1,260.00		
					Subtotal	\$9,565.00	
SITE CONSTRUCTION AND FURNISHINGS							
Relocate Existing Elements							
	Wood Bench	1	EA	\$100.00	\$100.00		
					Subtotal	\$100.00	
Site Paving							
	Permeable unit pavers (Basalite)	1,135	SF	\$20.00	\$22,700.00		
	Asphalt paths	810	SF	\$12.00	\$9,720.00		
	concrete band	140	LF	\$20.00	\$2,800.00		
					Subtotal	\$35,220.00	
Bocce Courts							
	Redwood Cap and fascia						
	3x Grade B Clear	180	SF	\$40.00	\$7,200.00		
	3x Construction Heart	180	SF	\$25.00	\$4,500.00		
	4x4x8 FSC PT posts	48	EA	\$24.00	\$1,152.00		12/ea material
	PT boards	840	LF	\$7.00	\$5,880.00		
	Concrete footings	6	CY	\$75.00	\$414.00		
	Bocce surfacing	6	CY	\$770.00	\$4,620.00		
	Bocce surface freight	1	LS	\$845.00	\$845.00		
	Class II AB	12	CY	\$48.00	\$576.00		
	Drain Rock	12	CY	\$50.00	\$600.00		
	Geotextile filter fabric	1,350	SF	\$2.00	\$2,700.00		
	Bocce furnishings (racks, boards, rake)	1	LS	\$1,000.00	\$1,000.00		650
					Subtotal	\$24,987.00	using Grade B caps
Site Furnishings							
	Wood and Wire Fence + Gate	140	LF	\$35.00	\$4,900.00		
	Recycling/Trash unit	1	EA	\$5,000.00	\$5,000.00		
	Path lights - 10' posts	3	EA	\$5,500.00	\$16,500.00		2825 ea materials
	Café Lights	1	LS	\$2,200.00	\$2,200.00		(Outdr Comm, LED, 2800k)
	Run new conduit for new lights	264	LF	\$45.00	\$11,880.00		
	Café light support Posts (galv steel square tube with cap and hook)	8	EA	\$200.00	\$1,600.00		
	Backless benches (players)	2	EA	\$1,880.00	\$3,760.00		940 materials
	Backed benches (general use)	3	EA	\$4,860.00	\$14,580.00		2430 materials
					Subtotal	\$60,420.00	
REVEGETATION / IRRIGATION							
Irrigation							
	Extend existing irrigation to new planting	1	LS	\$10,000.00	\$10,000.00		
					Subtotal	\$10,000.00	



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 Berkeley, California 94710


06.05.2019

CITY OF ALBANY

Ocean View Park Bocce Courts

Preliminary Estimate of Probably Construction Costs - 90%

Project Element	Task / Item	QTY	Unit	Unit Cost	Subtotal	TOTAL	Notes
Planting							
	Shrubs 1 G	213	EA	\$25.00	\$5,325.00		
	Shrubs 5 G	15	EA	\$60.00	\$900.00		
	Mulch: General Planting Areas (4"throughout)	6,000	SF	\$0.48	\$2,880.00		
					Subtotal	\$9,105.00	
Estimated Project Construction Subtotal					TOTAL	\$155,929.50	
	Excluded: bond, traffic control						
	Mobilization (5% max)				\$7,796.48		
	Contingency (5%)				\$7,796.48		
Project Total with Mobilization, Contingency						\$163,725.98	
	Low range expected (-10%)				\$147,353.38		
	High range expected (+15%)				\$188,284.87		
Additional Item 1: Removal of chainlink fence between Tennis fence and garden fence							
	Fence removal	135	LF	\$5.00	\$675.00		
	(no replacement)				Subtotal	\$675.00	
Additional Item 2: Path extension to play area							
	clear and grub	1,400	SF	\$0.31	\$434.00		
	Asphalt paths	400	SF	\$12.00	\$4,800.00		
					Subtotal	\$5,234.00	
Additional Item 3: Concrete Ping Pong table near play area							
	Concrete Table (2500 lbs)	1	LS	\$10,790.00			doubled material cost
	Joola City Outdoor Table (1 yr warranty, 400lbs)	1	LS	\$7,000.00			doubled material cost
	Cornilleau Park Outdoor (10yr warranty, 350 lbs, custom net 485 exta)	1	LS	\$9,200.00			doubled material cost
					Subtotal	\$0.00	dependent on selection



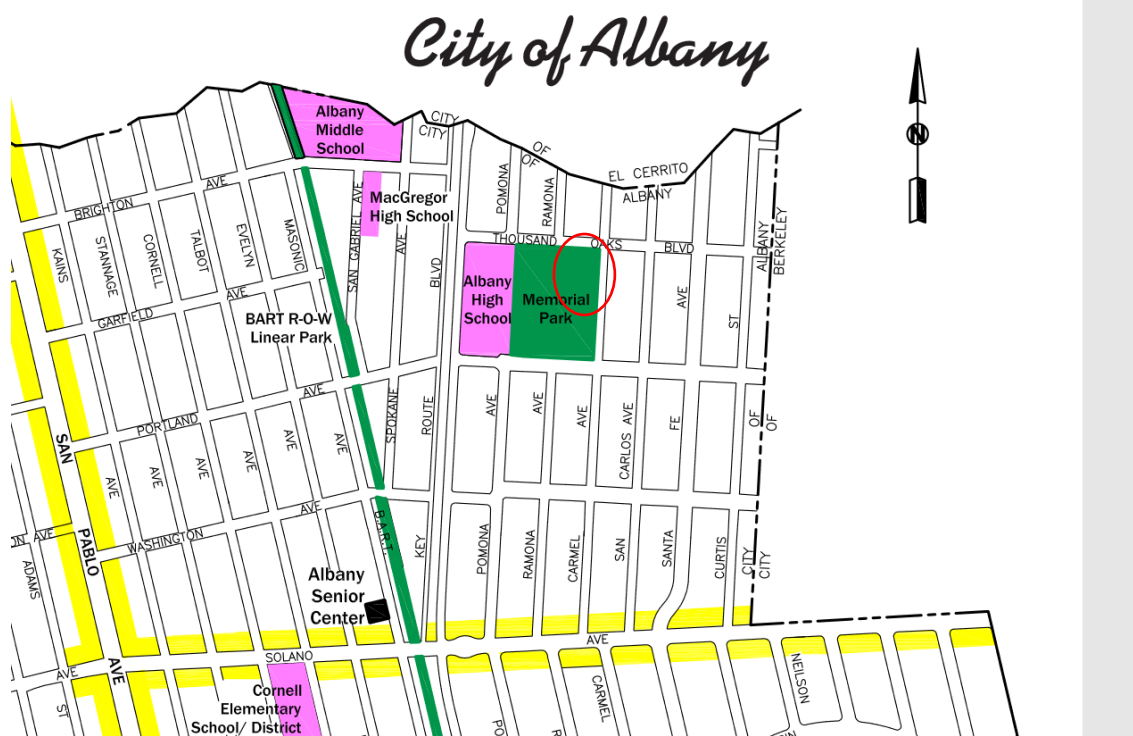
MEMORIAL PARK, SECTION B
USER SURVEY
(REPORT 1 OF 2)

Memorial Park, Section B User Survey

Parks, Recreation, Open Space Commission

In November 2018, the Parks and Recreation Commission Dog Park Subcommittee administered surveys to Section B users. "Section B" is a fenced-in, off-leash dog area located in the northeast boundary of Memorial Park, at the corner of Thousand Oaks Boulevard and Carmel Avenue. See the map below, Section B is indicated by the red circle.

Our objective was to solicit feedback from Section B users, who are primarily dog owners, to better understand their concerns, opinions, and recommendations for improving the area.



Outreach method

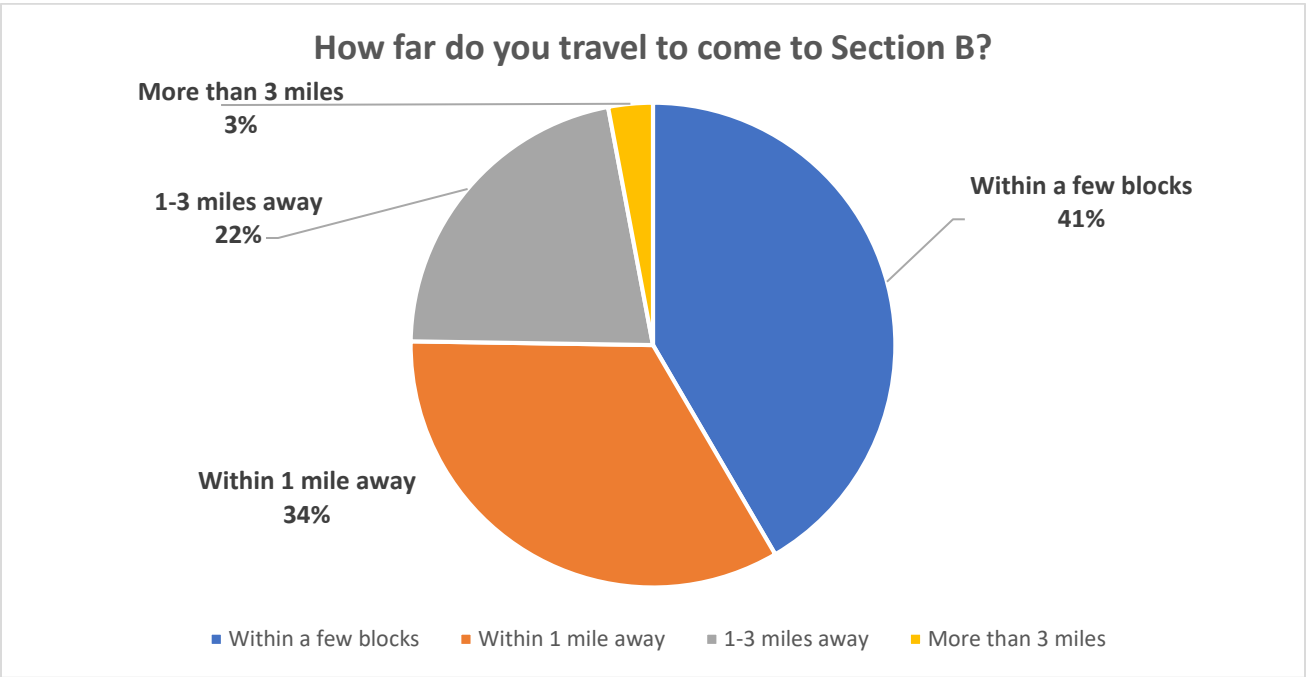
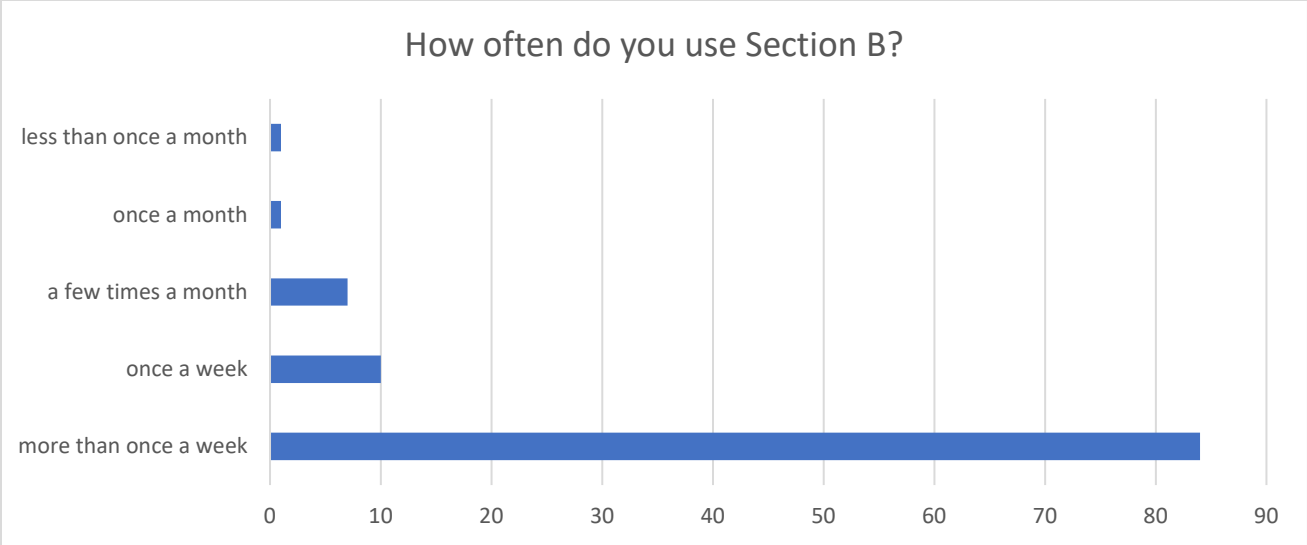
Over the course of 9 days, including two weekends, Park and Recreation Commissioners visited Section B during the weekdays and weekends, and at the morning, noon, afternoon, and evening hours, to administer the surveys. The Commissioners handed out paper surveys on clipboards to dog owners at Section B and collected the surveys after they were completed. A notice was posted at Section B with the hyperlink to an online survey. Two surveys were completed online.

Through this extensive outreach effort, we collected **107 survey responses**.

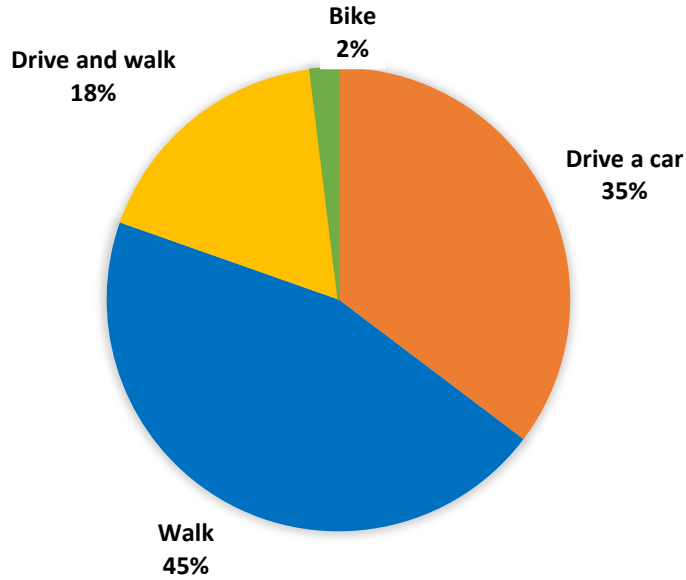
Survey results from Section B users

Multiple-choice survey questions

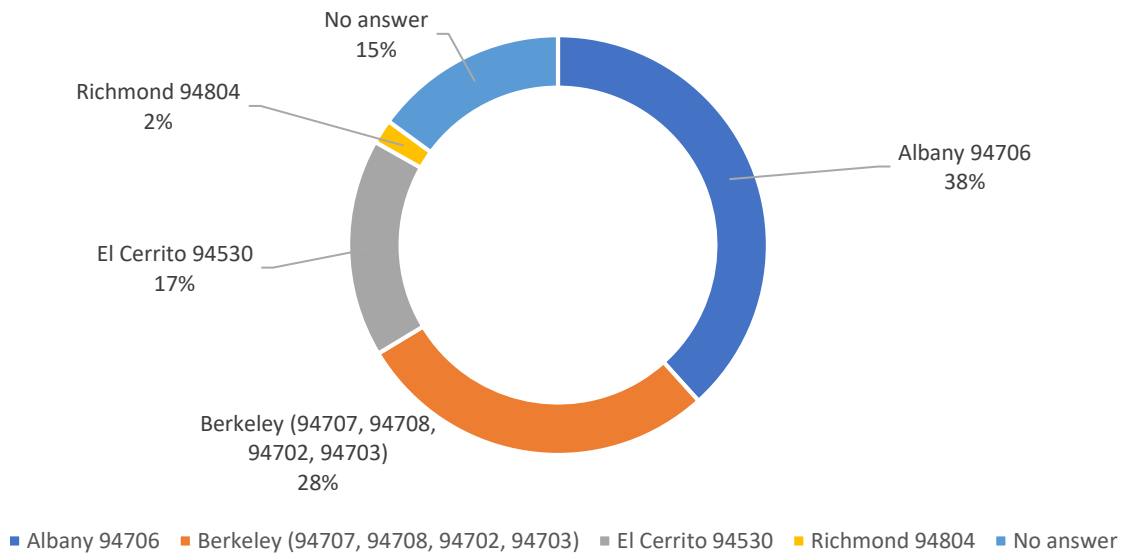
Most survey questions were multiple choice and are presented below:

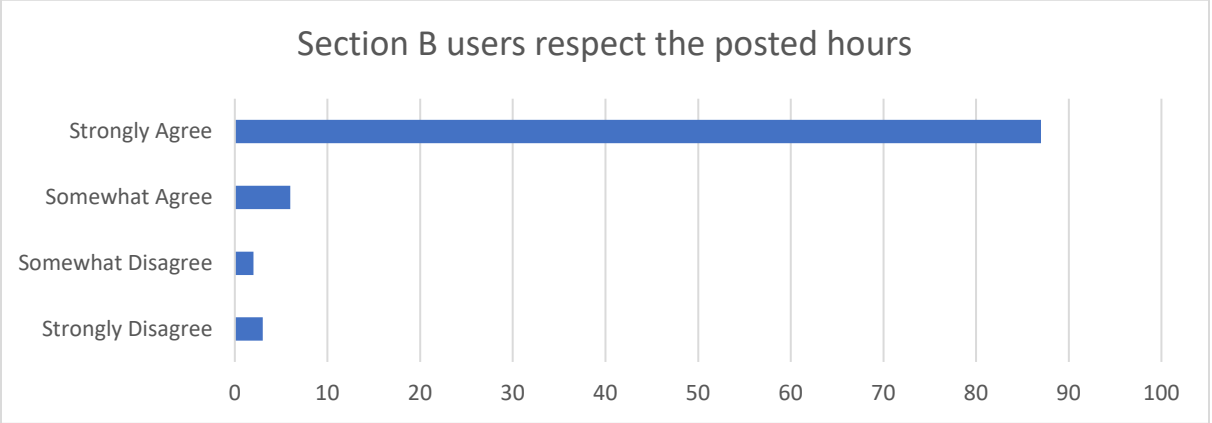
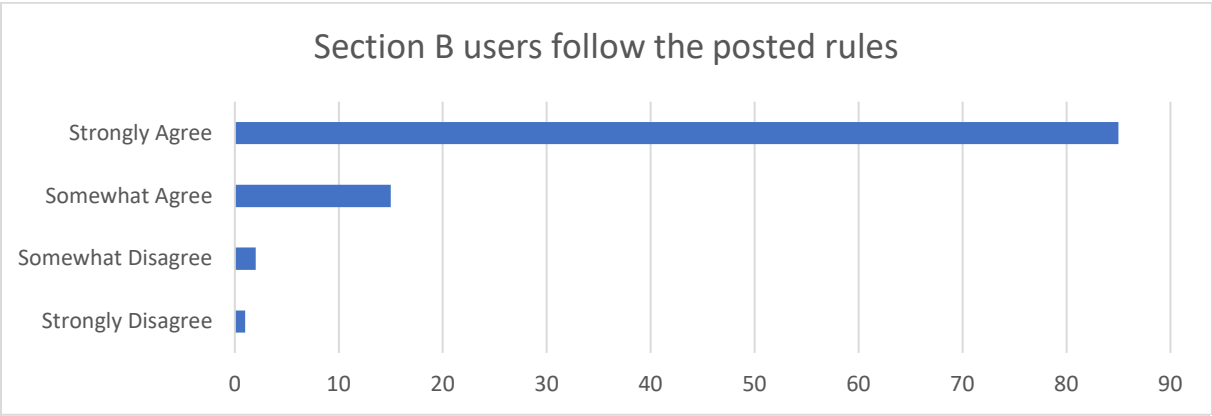
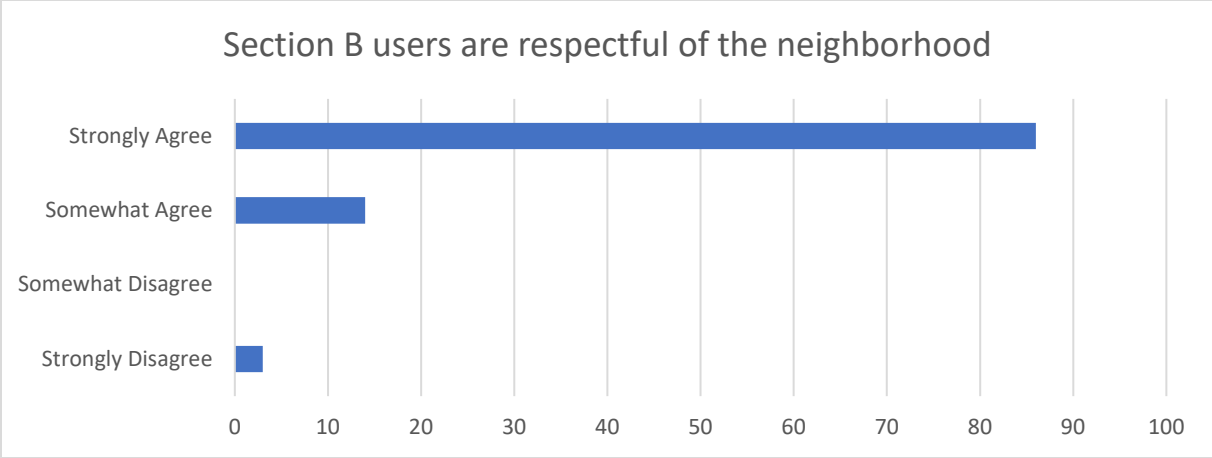


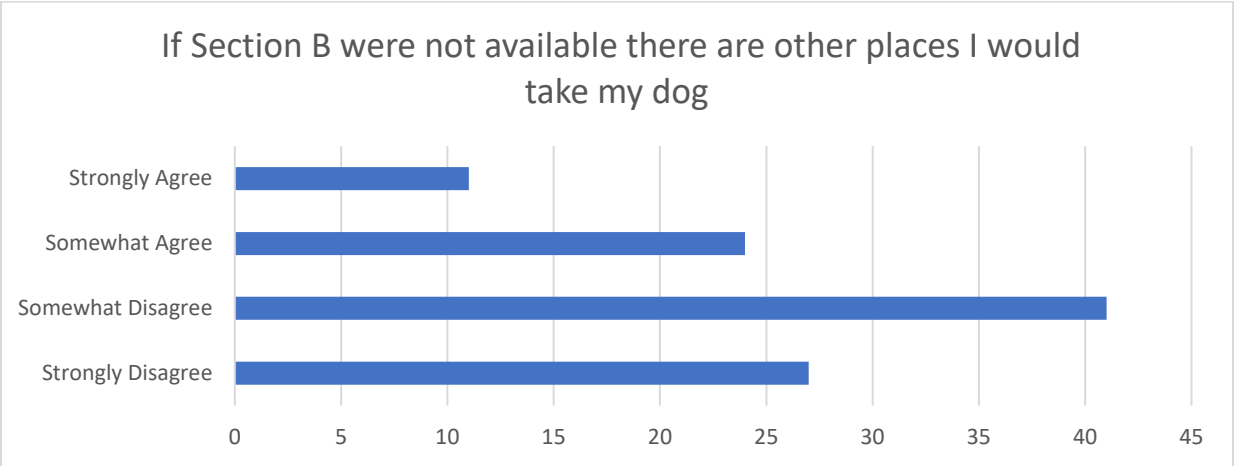
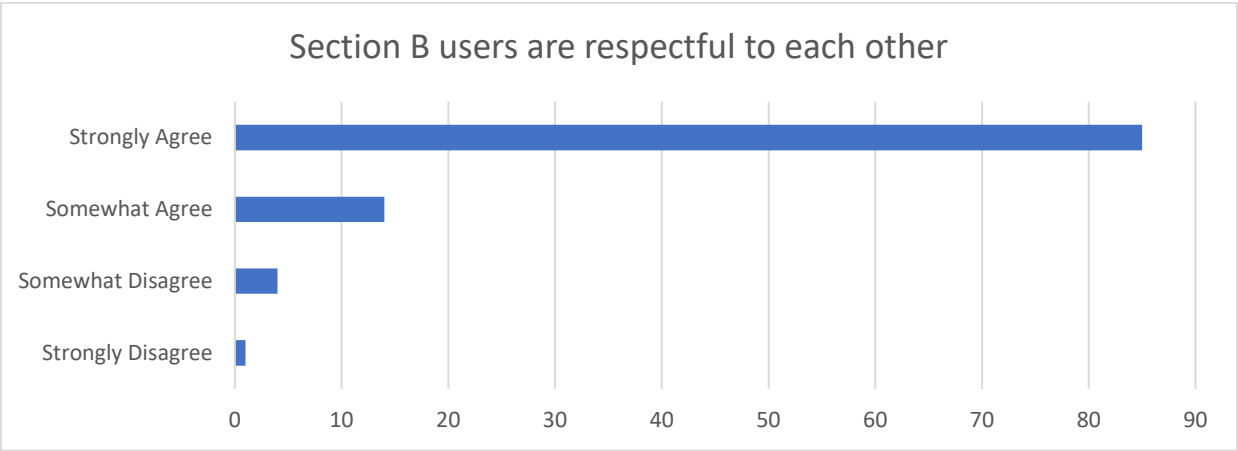
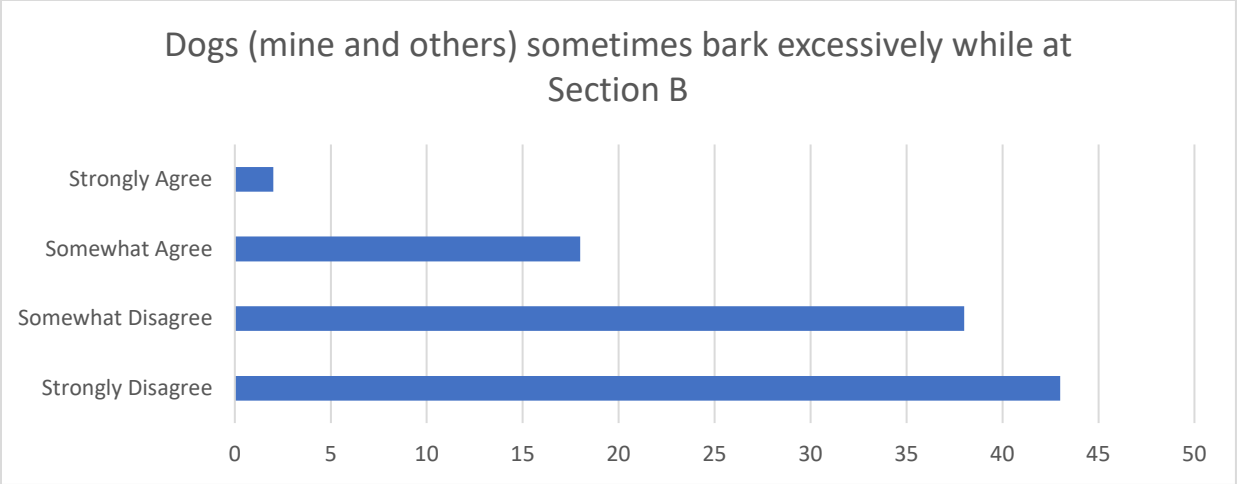
How do you get to Section B?

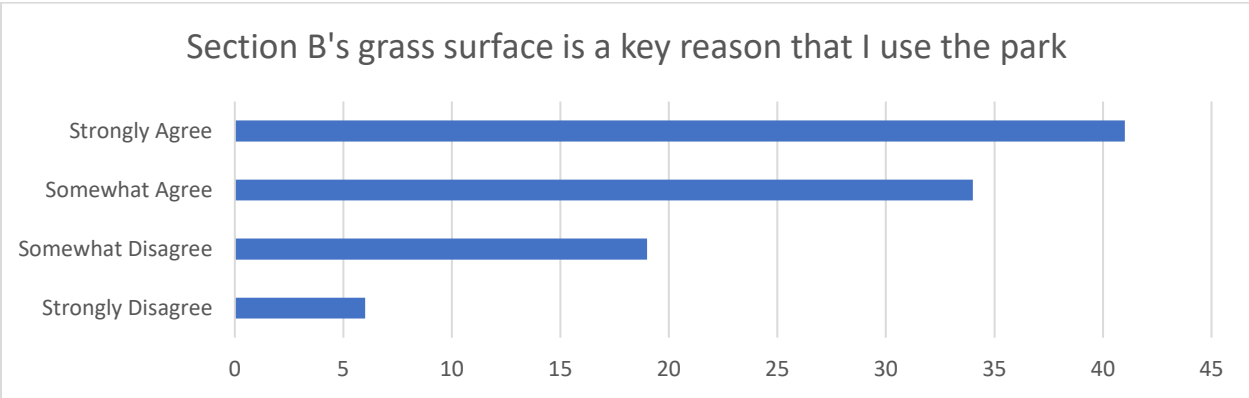
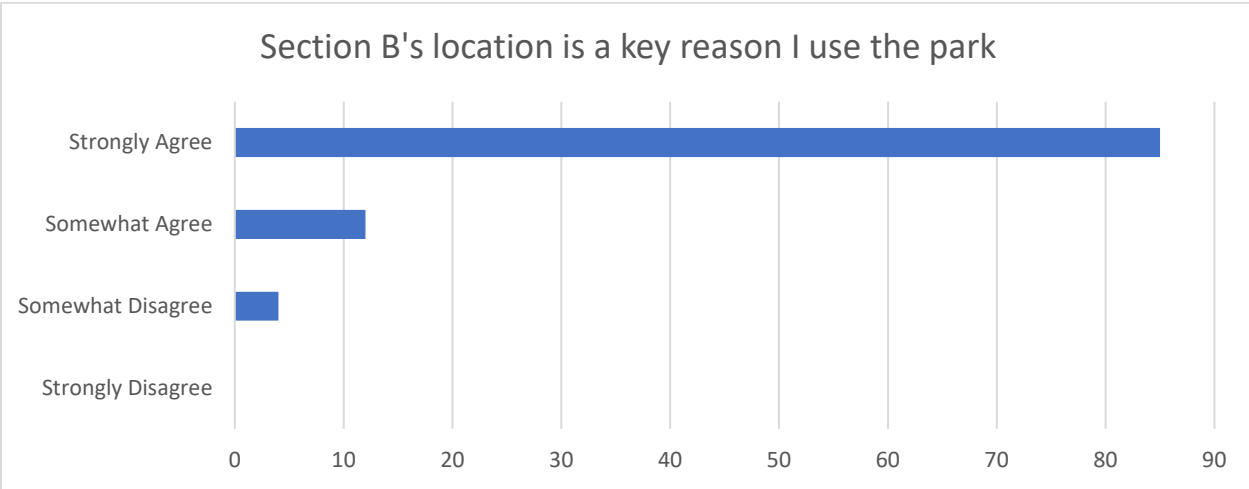
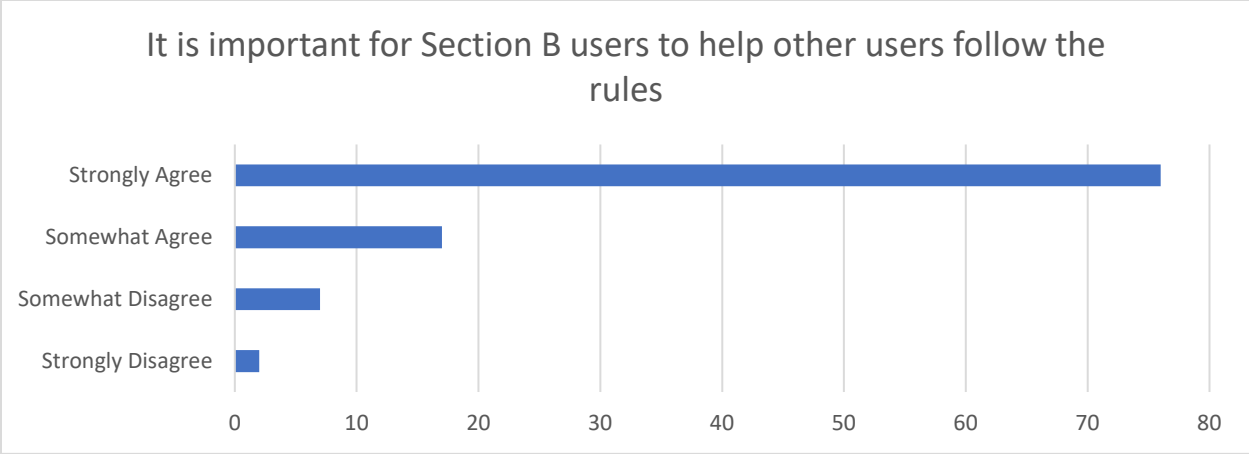


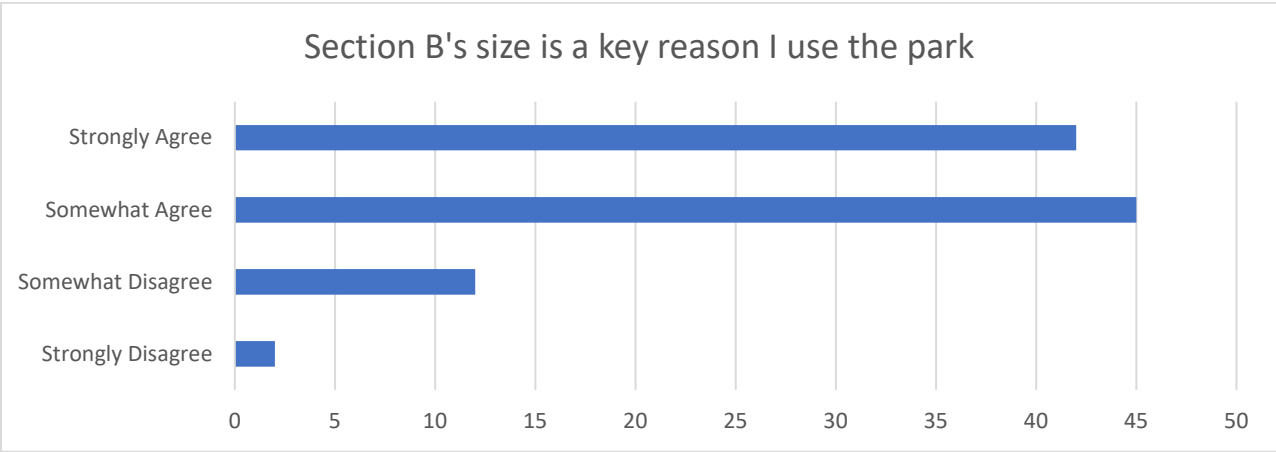
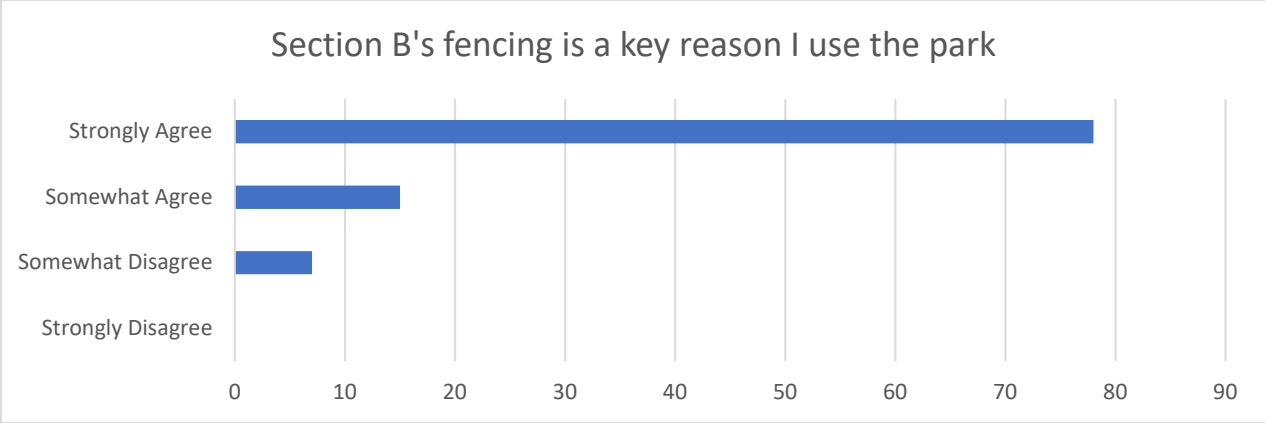
Zipcode of Survey Respondents at Section B











Open-ended survey questions

"I choose Section B over other local dog parks because:"

Several themes emerged in response to this question: location/convenience, community, well-behaved dogs/respectful owners, and safety.

Location/Convenience: The great majority, **over 59 responses**, indicated that location and/or convenience as "the reason I choose Section B over other local dog parks." The following is just a sample of those responses:

- It's 1 1/2 blocks from my house!
- Location! Also, I like the idea of a central dog park for neighborhood usage and public space.
- So close to my house and fenced.
- Location. I don't want to drive, and this is very convenient.
- Closest and in my community.
- It is close to walk my dog here.
- It is close to where I live. It's a good size but size is not the reason I would choose a park.
- It's most convenient, it's the only walkable dog park from where I live.
- It's local -- we can walk there.
- It is close to my home, safe due to other pedestrian traffic in the area, and other dog owners are friendly and respectful.
- My kids can walk here with our dog after school.
- Its location -- a few blocks from home. My dog as many doggie friends he likes to socialize with that also come here regularly.
- It's part of the neighborhood park.
- It is close to where my swim team practice is and before practice I need to give my dog exercise.
- Is walking distance from my apartment.
- It's close by from where we live so I can walk here with my dog. That helps since my dog doesn't like going in the car for long distances.

Community:

- It's in our neighborhood & a great way for our dog to socialize and meet neighbors and their dogs. Builds community.
- I like knowing the neighborhood people and dogs.
- Close to my home. Neighborhood feeling. Community of dog owners.
- Local -- nice talking with other Albany dog people.
- close, nice dogs + owners
- The people are great, and the dogs are happy and friendly!
- The dogs are friendlier here, as are the people. Also, a restroom close by, if needed.
- Section B is why I moved here. It is close, clean, and friendly. It brings neighbors together. Dogs create positive communities, they bring people together.
- Section B is very convenient and beneficial for the community.
- *Love* "B." Mostly a fantastic group of dogs and people.

Community (continued):

- It's a communal space and folks are respectful conscientious dog owners; it's an enjoyable respite to be here for both me and my dog.
- Our community at the dog park is wonderful!
- We can walk here, and the community is mostly friendly, helpful, and good with their dogs. (Some dogs would need more training.)

- The owners are nice to my 9-year old.
- Tall fence. Generally nice people.
- It's close, fenced off and there are always other dogs to play with my dog.
- It's a great value to the community.

Well-behaved dogs/respectful owners:

- Vast majority of owners are responsible re: their dog's behavior (poop scooping, curbing aggressive dog behavior) and are friendly and respectful toward others. Most pay attention to their dogs (i.e., hardly any are more focused on their phones).
- Both people and dogs are respectful.
- Users follow the rules.
- Well behaved dogs and nice owners. Well-used so almost always a fun/good exercise.
- I can bring work and let my dogs run around while I work. The other users (humans and dogs) are generally very nice.
- Calmness overall; owners largely taking responsibility for dogs' behavior, good mix of small and large dogs due to owners overseeing whether separation of both are necessary. Dog owners are friendly, interactive and knowledgeable about dogs' behavior.
- Dogs are friendlier, owners are respectful, location. I've met people here and have friends nearby. We frequently go to dinner on Solano Avenue after meeting at Section B.
- Proximity and temperament of dogs and people
- Dogs here are better controlled than Pt. Isabel and Ohlone
- Respectful owners -- general safer. Nicer dogs.
- It's mellow for a dog park. Owners pay attention to dogs. No agro dogs very often and when there are-- dogs leave.
- Both the owners and dogs are well behaved and friendly. I have had nothing but great experiences here.
- The people and dogs are all well behaved. It has a great community vibe and my dog loves being able to meet with and play with other dogs there.
- Friendly, responsible dog owners, nice dogs
- good mix of neighborhood dogs, fenced in, good size
- It is a friendlier place to small dogs. Owners control their dogs better than elsewhere.
- It's smaller and the other dogs and owners are very friendly and well behaved (dogs).
- Grass, fence, well-behaved dogs and mindful owners.
- My dog is elderly +15 years old. This is a great, safe and respectful place to socialize dogs.

Fenced-in/Safe:

- It is fenced with a high fence and has grass
- I like how people can feel safe when dogs run around.
- It is close by and fenced in (I have a puppy)
- I'm in the day-group -- safe environment. responsible day stewards (mainly) fenced-in is *very important*

“Do you have any other comments or suggestions you’d like to make regarding Section B?”

- Open year-long and longer hours requested – 18 responses
- Benches requested – 12 responses

- Water source for dogs requested – 14 responses
- Double-door entry to prevent dogs from escaping – 5 responses
- Other responses included requests for trees for shade, lighting, signage, and enforcement.



MEMORIAL PARK, SECTION B
NEIGHBORHOOD SURVEY
(REPORT 2 OF 2)

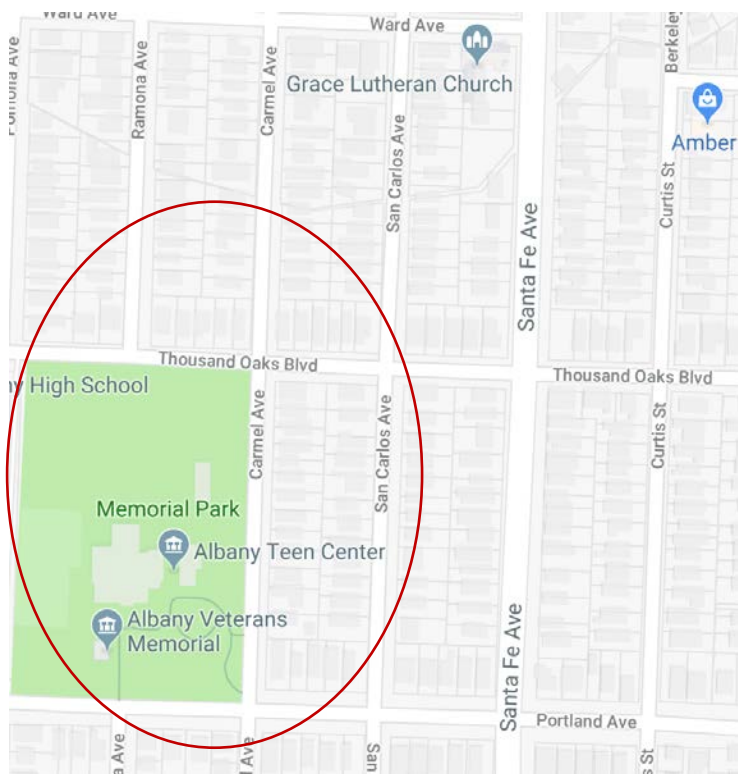
Memorial Park, Section B Neighborhood Survey – Parks, Recreation, and Open Space Commission

In September of 2018, the Parks and Recreation Commission Dog Park subcommittee conducted in-person surveys of households adjacent to the Section B off-leash dog area in Memorial Park. “Section B” is a fenced-in, off-leash dog area located on the northeast boundary of Memorial Park, at the corner of Thousand Oaks Boulevard and Carmel Avenue.

Our objective was to solicit feedback from residents that are most impacted by Section B to better understand their concerns, opinions, and recommendations for improving the area.

Target area & outreach methods

Our target area included 43 households residing on Carmel Avenue, Thousand Oaks Blvd, and San Carlos Avenue, and located within 500 feet of Section B, represented in the map below:

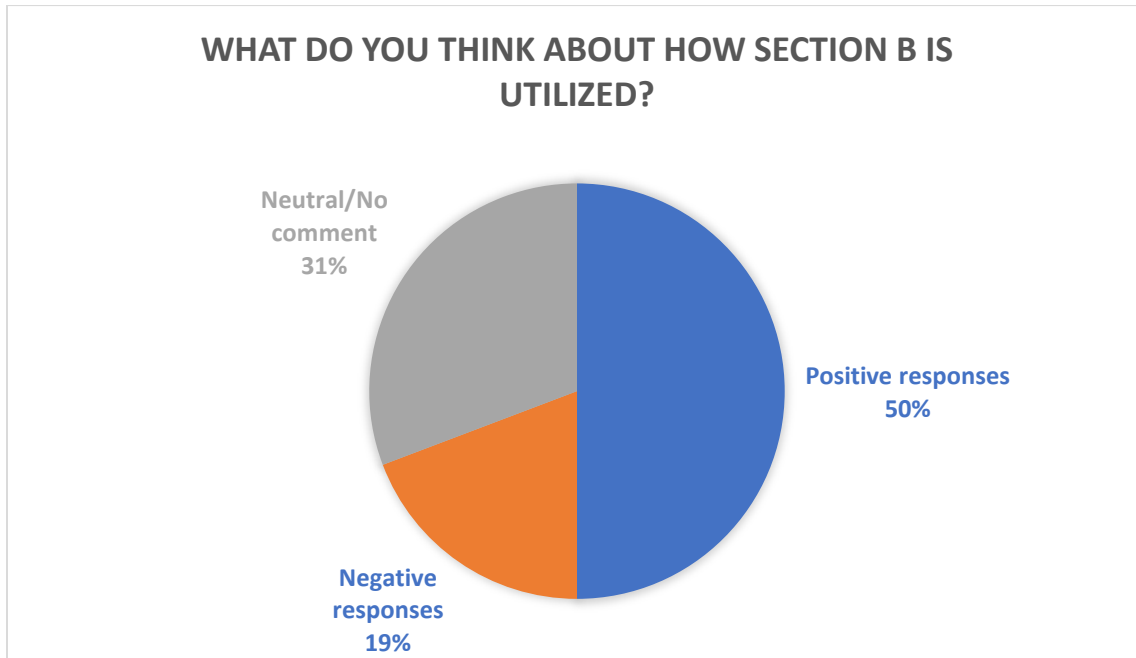


We reached 26 of the 43 households, (a response rate of 60%), using the following methods:

- **Door hangers** notifying residents that a Parks and Recreation Commissioner would soon visit and ask them to participate in a survey. This notification included an email address and an online survey hyperlink so that residents could participate online instead.
- **Two in-person visits** by a Parks and Recreation Commissioner on the weekend. We knocked on the door of each household to administer the survey. If there was no answer, we returned on a subsequent weekend to try again.
- **Written notification.** If no resident answered after two visits, we left another door hanger notification that included an email address and an online survey hyperlink so that residents could participate online instead.

Survey results from Memorial Park, Section B neighborhood households

The following questions were asked in-person and recorded by handwritten notes. Specific answers are anonymized and included below.



What do you think about how Section B is utilized?

Positive (50%, 13 of 26 households):

- Great we need a dog park here. We use it often.
- It's great! Keep it open more hours!
- I love it! Not only does my pup get his exercise, but I can meet and socialize with neighborhood residents I would never have met. A sense of community is developed as neighbors come together after work to socialize.
- I like having a place to play with my dog.
- Looks great.
- Fine with it.
- Pretty happy with it at this point. The mix of people has changed -- it's currently calmer, less crazy. There's less yelling than before, maybe they're self-enforcing. Used to see sabotaging or messing with the gate, but not so much anymore.
- We like it.
- We use it regularly. It's almost always well-used.
- No problem. People need to bring dogs there.
- I think the use of Section B for dogs is a great use - it provides a valuable opportunity for dogs to exercise and for their owners to get out and socialize. Memorial Park provides plenty of other locations for other uses (e.g., sports).
- Seems fine, it gets a lot of use, there's always people in there.
- Fine

What do you think about how Section B is utilized? (continued)

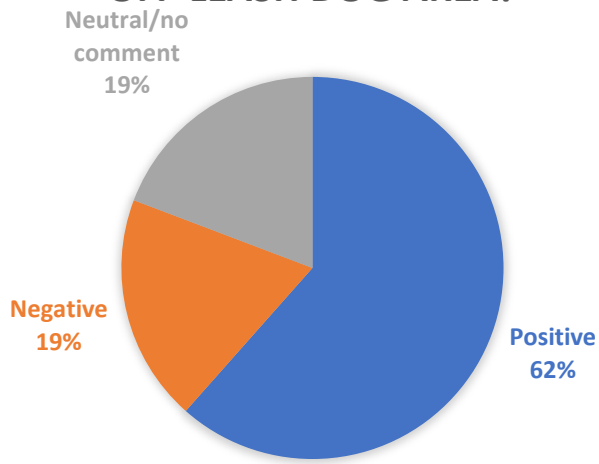
Negative (19%, 5 of 26 households):

- Against it. It should be moved.
- Better used as a community garden.
- Strongly opposed. Not enough alternative usage. When there was no gate, before Section B was fenced in to be separate from the ballpark, there was a better culture there and used by the whole community. Very negative energy from dog owners there.
- I do not like its utilization as a dog area. It's inappropriate for off-leash dogs.
- Wish people would walk instead of drive. It creates parking and traffic issues. Order of annoyance: 1) vehicles, 2) people, 3) dogs.

Neutral/No comment (19%, 8 of 26 households):

- No idea.
- I had been opposed to the park, but now I'm more neutral. The problems have mostly been addressed. Parking hasn't really been a problem for me. Because of the timed gate, the field can't be as multi-use as possible. It's only open at the time that dogs are allowed.
- I don't use it and find it in no way offensive. No opinion.
- No comment. (5 responses)

WHAT DO YOU THINK ABOUT SECTION B AS AN OFF-LEASH DOG AREA?



What do you think about Section B as an off-leash dog area?

Positive (62%, 16 of 26 households):

- Very useful. Please keep it.
- Wonderful! Such a great community.
- I love it! Dog owners here keep their pets under close supervision and respect one another's pets.
- I like it, but it is not really big enough for all the people who use it. We need a larger space that's centrally located so we can walk instead of drive. Also, the time limits are very inconvenient. Many people need a place they can use before work.
- Good. Our kids like seeing dogs go by house to/from section B.
- The gate is important. Made a huge difference. I have seen people sabotaging the gate. The gate was broken for a few weeks recently, and I think I saw a person breaking it (intentionally or not). I like the fence dividing Section B from the ball field and the timed gate. I like that the area is closed for a few months to recover from use.
- We wish it was open earlier. We're big users and would like to see earlier hours (before work).
- There is a community of dog-area users.
- Good for people to have an area at park that is separate. It keeps dogs & kids separate. Because of Section B, I don't see dogs in the playground area.
- Love it. Convenient. Just got a dog 1 week ago. Get lots of advice from owners there. Supportive community. New dog is less aggressive off leash so off-leash dog area nearby helps. Great for socialization. Worry about what happens in Nov when it closes for winter.
- A big positive for us. Like proximity - take bigger dog every day. Gate works well. Times ok until 8pm helps. Little dog does better less confined.
- Great.
- Seems fine.
- I like it.
- It's a good idea. Unfortunately, I see a lot of off-leash dogs in other parts of Memorial Park. Even though we have (very small) dogs, I avoid walking them in the main park other than early morning for that reason.

What do you think about Section B as an off-leash dog area? (continued)

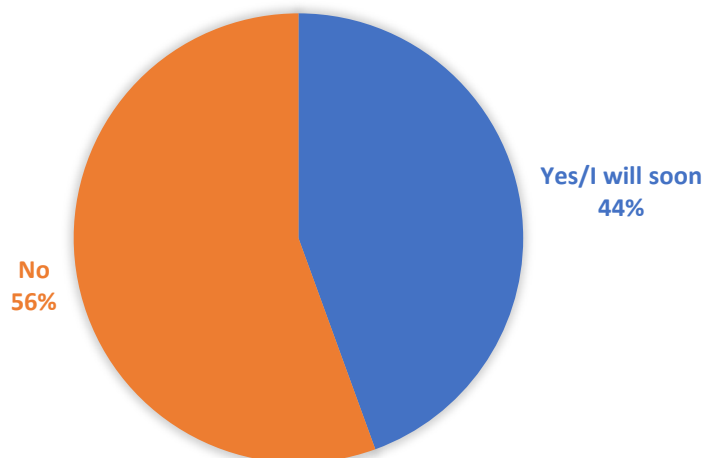
Negative (19%, 5 of 26 households):

- The worst impacts are traffic and parking. It fills the parking for kids visiting the park. I often find dog mess around my property. It's mostly El Cerrito people causing the problem. The dog park should be where they put the park by the freeway [Pierce Street Park]. No one uses that, but it would be a good place for a dog park.
- Too small for dogs. Far enough away from home that noise is not a problem. See lots of cars parked there. Many may not be from Albany. Some of them come speak at P&R meetings.
- I am very opposed. I do not like the area for off-leash dogs. It's too small for the number of dogs. Dogs are fighting every day, they need somewhere they can roam and move. Last week, people were arguing about their dogs.
- I strongly feel that it's not a good place for off-leash dogs. Inappropriate.
- Too big, too many dogs at one time. People are more annoying than the dogs -- shouting and laughing is noisy.

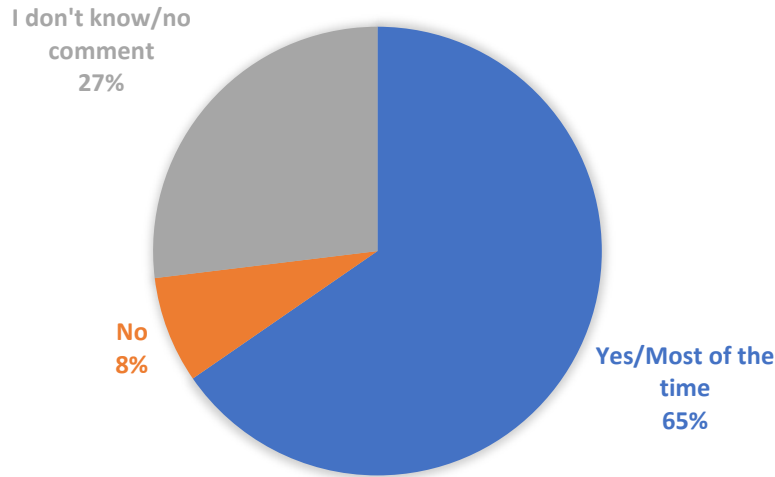
Neutral/No Comment (19%, 5 of 26 households):

- I don't mind it. Noise (barking) has been a problem, but I don't notice it anymore. The better trashcans are an improvement, work much better.
- Doesn't bother us. Can see impact for people nearby.
- Hard to say. Fun to see dogs in there.
- No comment. (2 responses)

DO YOU USE SECTION B OR A DOG PARK WITH OR WITHOUT A PET?



DO YOU THINK SECTION B USERS ARE RESPECTFUL OF THE RULES?



Do you think Section B users are respectful of the rules?

Yes, most of the time (65%, 17 of 26 households):

- Absolutely. Especially the regular users. We are very careful about disturbing the neighbors
- Absolutely.
- Yes. I observe people being very conscientious about noise, the time limits and picking up poop
- Mostly.
- Generally, people are respectful. They used to violate the hours but not anymore.
- Yes. (3 responses)
- Yes. Following time-rules is pretty good, clean up is OK. There is barking occasionally, but we don't hear it from our house
- Yes, no problem.
- As respectful as can be expected. Dogs bark, just a fact of life.
- Yes. Barking is not a problem.
- Yes. People monitor each other
- Yes - no dog poop, owners monitor aggressive dogs, works well, good behavior.
- Yes. I often see people waiting outside until the gate opens
- For the most part. There are a few bad actors.
- Generally, yes. Most people keep their dogs under control.

No (8%, 2 of 26 households)

I don't know/no comment. (27%, 7 of 26 households)

Do you have any suggestions about how Section B can better work with the neighborhood?

A few themes emerged from this question—improved aesthetics, better amenities for dogs and dog owners, and clear signage and enforcement of rules.

Aesthetics:

- The chain link fence around Section B is not particularly attractive, maybe it could have some vines or something growing on it? Or some other sort of fence that's a little nicer to look at?
- Fence around the baseball field looks like a Vacaville Prison. No comment about aesthetics. If it remains a place for dogs, should keep the same hours (palatable that way). Limited hours have improved the noise impacts significantly (as compared to before Section B when gate was open all the time).
- The area is a little unsightly, but I'm used to it.
- Aesthetics: Flat grass not interesting.
- Aesthetics - baseball fence is ugly, tarp is ugly, bowls of water and chairs in Section B look bad.
- Re-seed more frequently. Sprinklers on a timer.
- Reseed lawn. Perhaps have two sections -- one for small dogs and one large dogs.
- Improve aesthetics.
- Fence and tarp are ugly.
- Trees would be helpful around Section B.

Amenities for dogs and dog owners (water, benches, trash disposal):

- Would want to see water spigot for dogs in section B.
- Improving the dog facilities would make it nicer. If there was water for dogs, people would not leave water bottles laying around. If there was a double dog gate, dogs would be less likely to get out. If there were benches, people would not bring lawn furniture.
- Water for dogs.
- We'd like to see earlier hours for dog use. Maybe just on week days or weekends. We would use it in the mornings if it opened at 8:30 or 9:00. Some supply of water for dogs.
- Could be a place for people to discard dog poop.
- Sanitation has not been bad lately. Garbage used to be worse. People used to bring their own chairs in.
- Faucet/hose for water for dogs.
- Sanitation/health-- bags filled with dog poop are hung on fence.
- Water for dogs. Double door. Benches.
- Water for dogs.
- Earlier open hours. Water for dogs.

Signage & enforcement of rules:

- A sign that says to "pick up your dog's litter in neighborhood."
- Noise-- already discussed. Hours --people violate the hours at evening.
- Maybe have the sprinklers on a timer to run at 8:00 to enforce time restriction. Re-seed more frequently. Stop leaving junk (especially chairs -- happened in the past, not a problem now). Crew to clean up the park? Better, clearer signage could be a big improvement. Now the signs are too subtle or are walls of text. A clear sign on the gate that has the hours in large lettering is an obvious need.
- Enforce hours. Reduce noise of dog barking.
- Reduce barking noise.
- Generally, people follow the rules and it's not a problem.
- No problems. I like it and it works fine. Hours are fine.
- Regarding noise: The barking doesn't bother me. I have double-paned windows. The hours are OK too.
- Reduce dog litter in neighboring yards.

Any other comments you'd like to make regarding Section B?

- Perhaps having two sections -- for small dogs and big dogs could reduce noise. The dirt patch near the entrance doesn't look so good.
- More opportunity to connect. Maybe a forum?
- Please keep the off-leash dog park!
- Sites under freeway or BART tracks are bad for gardening but maybe good for dog parks.
- I believe the neighborhood would be better with open access to a sports field. I also think that section A should be open to people with dogs when no one is using it for sports, as it used to be.
- It would be nice if the sidewalk in front of Section B extended up to Thousand Oaks Boulevard. It stops 30 feet south of Thousand Oaks for some reason and it means if you are walking from our house you either have to walk on the section without the sidewalk or cross San Carlos in the middle of the street.
- It (dog park) should be moved to Pierce St. Park. People from El Cerrito use it now.
- Section B site would make wonderful community garden. Does not have own space at Open View garden but as Alameda County Master Gardener she has access to 2 plots there. Master Gardener program has Sat workshops at OV garden but no parking there Sat AM so would prefer Section B location.
- Save the dog park! We know it's controversial
- Main issue: not a good place for a dog park of any size. Noise and traffic are a problem.
- It's a nice place to be. It would be nice to see better police patrolling. I do see pot-smoking in the park at night. I don't see a lot of police patrolling. I've called the police about people in Section B after hours, and they were slow to respond, and then ended up apologizing to the them (violators of the rule).
- Having this dog area reduces dog-use of the rest of the park, so it's good for the dogs and the other park users.
- Don't like that it shuts down for winter. Want more months open. Install light in evening when days get shorter.
- Love living across street. Chose to live here. Grateful that people use it.
- Very positive

Albany Dog Park Survey Results

As of 5/28/19

Own or walk a dog?	yes	no							
Total Responses	235	25							
	90.38%	9.62%							
Right amount of space for dogs:	not enough	right amount	too much	no opinion					
Total Responses	136	90	14	18					
	52.71%	34.88%	5.43%	6.98%					
How often do you use an off-leash dog area with your pet (in Albany or not)?	once+/day	once+/week	once/week	once/month	few/month	<month			
Total Responses	108	70	21	4	13	24			
	45.00%	29.17%	8.75%	1.67%	5.42%	10.00%			
How far do you travel to go to an off-leash	few blocks	< mile	1 - 3 miles	3+ miles					
Total Responses	61	51	48	80					
	25.42%	21.25%	20.00%	33.33%					
How do you usually get to your preferred off-leash dog area?	drive	walk	both	bike*					
Total Responses	80	43	45	4					
	46.51%	25.00%	26.16%	2.33%					
What area(s) in Albany do you normally use with your off-leash dog?	Albany Beach	Albany Bulb	Section B	Memorial Park	Terrace Park	Greenway near Dartmouth			
Total Responses	101	129	85	27	59	25			
	23.71%	30.28%	19.95%	6.34%	13.85%				
What area(s) OUTSIDE Of Albany (top fill-in answers)	Pt. Isabel	Tilden & Wildcat Canyon	Berk. Marina	El Cerrito D. Park	Ohlone Dog Park	Pt. Pinole			
	122	56	30	8	14	21			
Thinking of your preferred off-leash dog									
Location is a key reason I use the area	strongly disagree	somewhat disagree	somewhat agree	strongly agree					
Total Responses	27	22	70	117					
	11.44%	9.32%	29.66%	49.58%					
The ground surface is a key reason I use the	strongly disagree	somewhat disagree	somewhat agree	strongly agree					
Total Responses	24	43	109	59					
	10.21%	18.30%	46.38%	25.11%					
The ground surface is	grass	bark or wood shaving	dirt & misc. veg	paved	other				
Total Responses	163	26	96	6	16				
	53.09%	8.47%	31.27%	1.95%	5.21%				"other" mostly sand

* includes responses marked "both and bike," and "drive and bike"

The presence of fencing is a key reason I use the area I use	Total Responses		strongly disagree	somewhat disagree	somewhat agree	strongly agree
	238		54 22.69%	56 23.53%	68 28.57%	60 25.21%
The area's size is a key reason I use the park	Total Responses		strongly disagree	somewhat disagree	somewhat agree	strongly agree
	236		11 4.66%	31 13.14%	103 43.64%	91 38.56%
What is more important, a grass surface for a dog park, or a park that is open for dogs all	Total Responses		Grass	Open all year	no opinion	
	137		47 34.31%	68 49.64%	22 16.06%	
I need:	Total Responses					
	872					
Open all year	166		19.04%			
A varied area	133		15.25%			
A large area	132		15.14%			
Open early	99		11.35%			
An area that doesn't get muddy without small children	85		9.75%			
Closes late	67		7.68%			
An area with shade	57		6.54%			
An area just for small dogs	39		4.47%			
An area where more barking is permissible	32		3.67%			
An area just for large dogs	26		2.98%			
A small area	23		2.64%			
Separate area	12		1.38%			
	1		0.11%			
The Commission knows of a few possible locations for a dog park. Which do you prefer	Total Responses		First Choice	Second choice	Third Choice	
	1378					
Somewhere along the Ohlone Greenway under the BART tracks	193		59	70	64	
score	381					
	27.65%					
Next to the train tracks near and under the	190		61	33	96	
score	345					
	25.04%					
The back of Ocean View Park near the UC Village fence	161		64	45	52	
score	334					
	24.24%					

A partial block of the Key Route Median between Portland and Washington score	178	38	64	76		
	318					
	23.08%					
None of these options are appealing to me Location/Distance Noise Dog needs fence, grass characteristics of site (see responses on next sheet)	55					

Amenities Desired for a Dog Park	Indication of Support	
	Checks	Dots
Fencing (higher than hip)	6	7
...at least 4 ft	4	4
Water spigot	9	5
Year-round availability	6	2
Small dog section	1	
Seating/benches (elderly + physically challenged)	2	2
Tables	1	1
Signage (no barking, dogs must be spayed/neutered facing into park)		5
Double gates	3	4
Year-round surface (bark)	1	
I am strongly against high chain-link fences (aesthetically) what are the alternatives for fencing, and do		1
No bark. Hard on feed, and some dogs ingest it		
Trees (shade. aesthetics)	5	4
Hillocks - not just flat, fenced rectangle		1
Tall fencing (around 6ft)	1	3
wheelchair access		
poop bags	1	2
garbage pickup		2
Netting to protect from baseballs	2	1

Key Route "Pro" for Dog Park location	Indication of support	
	Checks	Dots
Statement		
Close to many neighborhoods	1	2
centrally located	1	
Bright, safe, easy to patrol	1	
Noise-tolerant area (close to BART)	2	3
Close enough to Section B that it might lessen congestion there (by splitting up usage)	1	
Key Route "Con" for Dog Park location	Indication of support	
Statement	Checks	Dots
Too narrow	2	3
Possibly dangerous for dogs to escape and run into continuous vehicular traffic	1	
Too close to Memorial Park Section B	3	3
Neighbors? Same possible issues as Section B	1	
Too close to Albany High School		
Lack of parking when school is in session	2	

Memorial Park, Section B – "CON" Dog Park Location		Indication of support	
Statement	Checks	Dots	
Not enough dog rules signs "no barking"			
No water (response: <i>needs City to improve it not reason for CON</i>)			
Bench especially for elderly and physically disabled (response: <i>amenity needed</i>)	1	1	
Already pretty much a dog park, anti-dog park residents of the area expressing their disapproval on "Nextdoor" (response: <i>small number, just vocal</i>)			1
Proximity to homes (50 feet) (<i>this issue will be true anywhere in Albany</i>) (<i>not as bad under fwy or Albany Bulb</i>)			2
Congested area (baseball park, day care)			2
No dog park amenities (water, gates, year around surface)			
Too tall fencing, there is too much chain link in Memorial Park already			1
Needs to be open all year			1
Memorial Park, Section B – Alternate usage		Indication of support	
Statement	Checks	Dots	
Open space!! Tall chain link is inappropriate for this urban park			
None			

Open Space near train tracks/freeway – "PRO" Dog Park Location		Indication of support	
Statement	Check s	Dots	
Interesting option to explore further! Could be whole new model for great use of "desolate" spaces			3
Far away from public, big enough for dogs to play and recreate.			2
No worries of disappearing anti-dog park residents	1		1
No problem re: dog bark noise pollution			
Very intriguing idea -- lots of "pros" -- open space, large, parking, lack of neighbors to disturb, no noise problems. Please explore this further!	1		
I like it if fences are high to secure to keep dog off freeway and foxtails clear			1
Westside of San Pablo Ave in Albany is most desperately in need of a fenced dog park!			1
Open Space near train tracks/freeway – "CON" Dog Park Location		Indication of support	
Statement	Check s	Dots	
If I'm driving all the way here, I might as well go to the Bulb which is bigger.	1		1
Feels isolated, thus --unsafe. How, who will respond when issues with people using, drinking, etc. use space? This happens at King.			3
Air quality near freeway? And noise?	2		
Not close to neighborhood - not easy to walk to			
Unclear on access/crossing tracks?			
Would there be water to drink?			
Safety --Is it too isolated?			
Noise pollution, safety, access, parking			1

Ohlone @ Dartmouth - "PRO" - Existing Usage		Indication of support	
Statements	Checks	Dots	
nice spot for community to gather w/ dog			
near BART (tolerance to noise implied)		1	
kids use for games - soccer/catch etc.			
seems perfect. Keep it the way it is! (maybe fenced). Love it.		1	
Ohlone @ Dartmouth - "CON" - Existing Usage		Indication of support	
Statements	Checks	Dots	
no fence along street		1	
creek area tends to invite transient population			
neighbors noise complaints			

Albany Bulb - "PRO" - Existing Usage		Indication of support	
Statements	Checks	Dots	
Great area for dogs & people to walk together		2	
great open space			
Keep the buulb wild!!! Maintain its uniqueness			
Some of us like to have a large space to work with our dogs. We love the bulb for that I do not want ot sit around. My dog is my exercise machine.		3	
Beach is great, dogs love it, I have never seen any poop on the beach. And families do bring little kids there, and dogs & kids both get along well, no problems.		3	
Nieck/bulb/plateau an excellet as-is for dog recreation + human enjoyment		3	
Wildness feeling/small trails		1	
doesn't feel crowded		1	
Excellent multi-use space that works well for all kinds of dogs.		5	
Love the Bulb, ALDOG (Albany Landfill Dog Owners Group) & others very active in beach cleanups, native plants, etc.		2	
Wild! Great for people's spirits as well as dogs. Dual purpose.		1	
ART		3	
Kids love to come and see the birds & other wild things			
Albany Bulb - "CON" - Existing Usage		Indication of support	
Statements	Checks	Dots	
no water to drink human/dogs			
commercial dog walkers need to be regulated and limit on number of dogs per walker. No "bunching" with multiple walkers. Enforce cleanup rules.		1	
fox tails - would you weed whack?		1	
poison oak is getting a real foothold ... ough so bad		2	
Need more community clean up events		1	
possible wild animals/ticks			
there's no fence		7	
dogs eat dead things			
dog climb down cliff			
safety - can feel very isolated (yes, night safety issues, crime/car break-ins? transients, drug use, no real security??)			
some people are scared of/do not like dogs. They used not to be able to use the bulb at all		1	

Ohlone Greenway "PRO" for Dog Park location		Indication of support	
Statement	Checks	Dots	
Depends on where			
Dartmouth toward Gilman	1		
Near lots of people with dogs. I think it would be well used	2	1	
Safe feeling - open		2	
Ohlone Greenway "CON" for Dog Park location		Indication of support	
Statement	Checks	Dots	
BART could be disruptively loud			
People go running/exercising/biking, cutting off a section could affect access for some of these people			
Same issue as at Section B problems to neighbors - noise, parking, small space	1		

Terrace Park - "Pro" Existing Usage		Indication of support	
Statements	Checks	Dots	
Very popular w/ locals (with & w/o dogs & kids). Works!			
Terrace Park - "Con" Existing Usage		Indication of support	
Statements	Checks	Dots	
Right smack in the middle of homes?			
How will homeowners react?			
Very limited parking			
So many young children play there	1		3
No parking/lack of access			1
Surrounded by neighbors			
No fence			

**CITY OF ALBANY
PARKS, RECREATION AND OPEN SPACE COMMISSION
STAFF REPORT**

Agenda Date: June 13, 2019

SUBJECT: Terrace Park 5-12 Year-Old Playground Surfacing

REPORT BY: Chelle Putzer, Recreation & Community Services Director

STAFF RECOMMENDATION

That the Commission approve the installation of engineered wood fiber (EWF/Fibar) in the 5-12 year-old playground at Terrace Park.

BACKGROUND

Each year, the City of Albany contracts with Certified Playground Inspector to inspect each playground in Albany. The inspector identifies various maintenance and repair items that need to be corrected, such as replacing equipment or parts and replenishing playground surfacing. Playground surfacing must meet certain standards for cushioning falls and wheelchair accessibility. The three types of surfacing used in Albany playgrounds are poured in place rubber surface, engineered wood fiber (EWF/ brand name “Fibar”) and sand. The type of surface is determined by the fall height of the equipment in the playground. Of the three, EWF/Fibar is the preferred surfacing because it is a natural product, the most cost effective and meets the required standards for impact absorption and ADA access.

The City of Albany has the following playgrounds/surfacing:

- Ocean View Park: Mixed 2-5 year-old and 5-12 year-old (EWF/Fibar)
- Memorial Park: 2-5 year-old (mixed rubber surface/EWF/Fibar) and sand pit, 5-12 year-old (EWF/Fibar)
- Dartmouth: 2-5 year-old (mixed rubber surface/sand)
- Terrace Park: 2-5 year-old (mixed rubber surface/sand), 5-12 year-old (mixed rubber surface/sand)
- Peggy Thomsen Pierce Street Park: Mixed 2-5 year-old and 5-12 year-old (rubber surface)

DISCUSSION

The most recent playground inspection identified several recommendations including refilling the sand at Terrace Park 5-12 year-old playground to the level of the poured in place rubber surface to improve access. The estimate to refill the playground with sand is \$7,800. Staff has held off on moving forward with work so that the Commission could consider converting the sand to EWF/Fibar for three reasons. First, EWF/Fibar is recommended as a preferred surface under playground fall zones and is ADA accessible. The playground currently has a rubber surface that provides ADA access only to the play structure but nowhere else in the playground due to fact that the sand surfacing is not accessible. Secondly, if an additional piece of equipment (such as a tire swing) is installed in the future, sand would need to be removed and replaced with a surface that has a higher impact absorption and is ADA accessible such as a rubber surface or EWF/Fibar. Lastly, the cost to replenish sand in this playground is approximately \$7,800 as compared to the cost to replenish with annually EWF/Fibar of \$1400.

The Terrace Park 5-12 year-old playground is the only older kids' playground in Albany with sand surfacing, so converting it to EWF/Fibar would make it consistent with those parks. All 2-5 year-old playgrounds in Albany have a combination of tot turf and sand and staff is not recommending any changes to those surfaces. If the Commission approves the conversion to EWF/Fibar, the sand that is currently in the 5-12 year-old playground would be re-used to replenish the Terrace, Dartmouth and Memorial Parks 2-5 year-old playgrounds.

FINANCIAL IMPACT

The initial fill of EWF/Fibar will be approximately 140 cubic yards at a cost of \$4600. Annual replenishment of 25 cubic yards will cost approximately \$1400.

The repair costs for the playground equipment is split between the Recreation Reserves fund and the Public Works maintenance fund.