

CITY OF ALBANY
PLANNING AND ZONING AGENDA
STAFF REPORT

Agenda date: February 28, 2012
Prepared by: ALH

ITEM: 6a- SUPPLEMENTAL MEMO

SUBJECT: Planning Application #08-038. Conditional Use Permit & Design Review
AT&T Wireless Facility at 1035 San Pablo Ave.

SITE: 1035 San Pablo Ave.

APPLICANT: Gordon Bell on behalf of AT&T Wireless

PROPERTY OWNER: James & Barbara Kelly

ZONING: SPC (San Pablo Commercial)

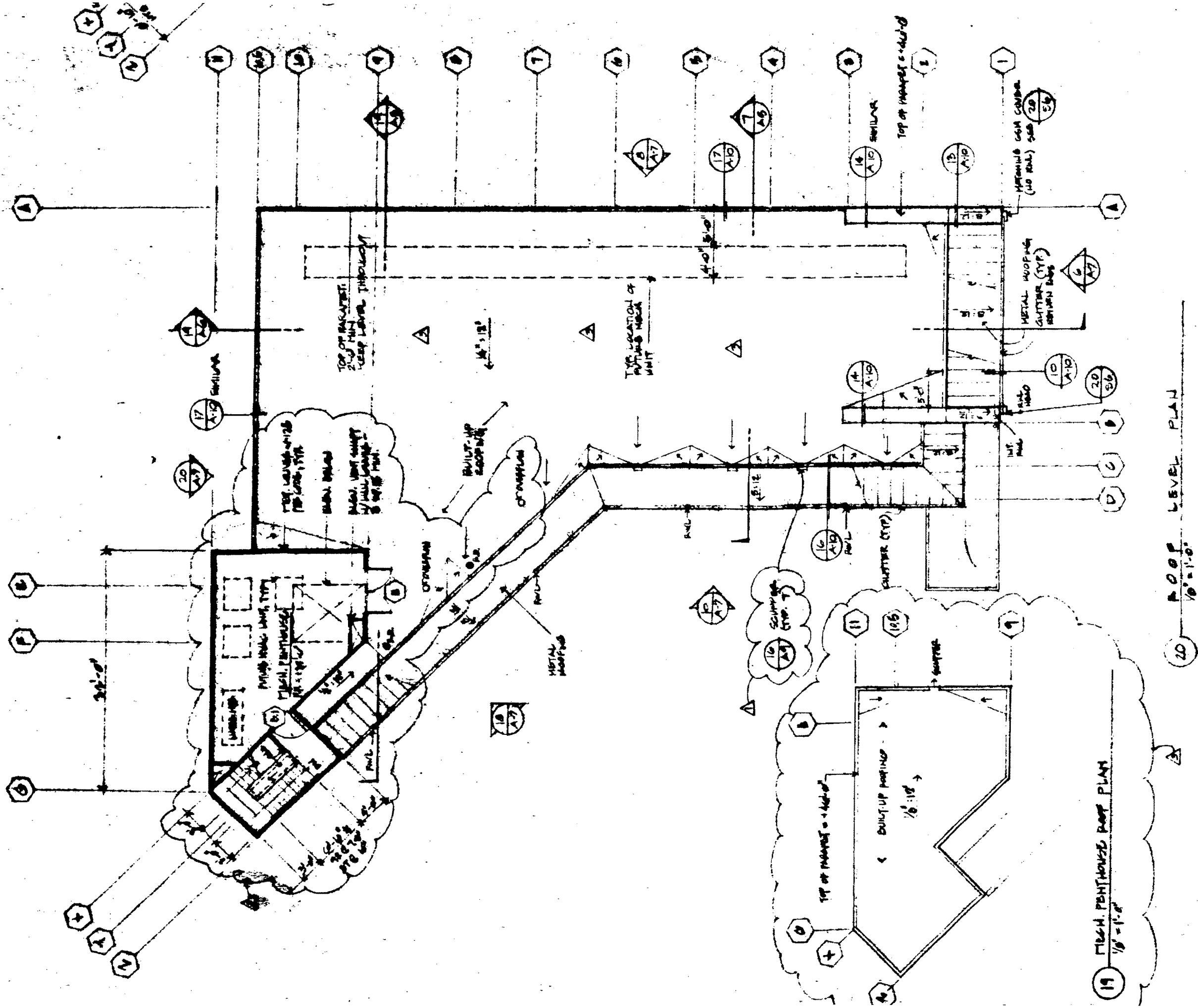
SUPPLEMENTAL MEMO

An original roof plan construction detail from 1984 is attached to this supplemental memo. The original plans indicate that the break room/penthouse was originally detailed as a mechanical penthouse. It's unclear whether the break room/penthouse was ever used as a mechanical equipment room or if it was converted to legal space at a later date. The mechanical equipment is free standing on the roof and under 6 ft. in height. At the time of construction in 1984, the Zoning Code did not have any roof top coverage provisions. If the space was converted at a later date, there are no permits on file for the conversion break room/penthouse.

Plans on file from 1997 identify the space as a penthouse. This plan is also included as an attachment to this memo.

ATTACHMENTS

1. Roof Plan from 1984
2. Roof Plan from 1997 Sprint Plans

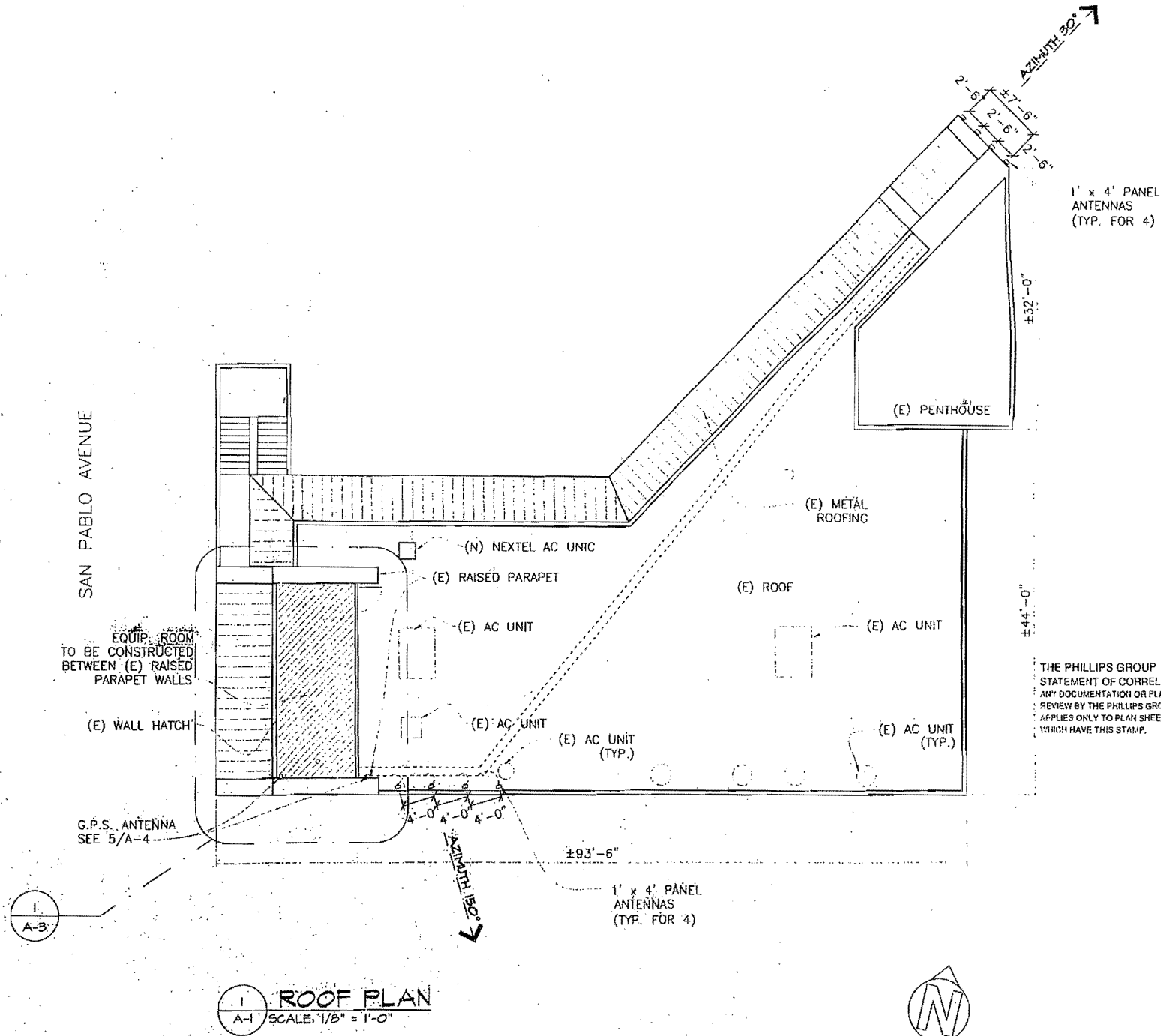


19 MECH. PENTHOUSE ROOF PLAN
1/8" = 1'-0"

20 ROOF LEVEL PLAN
1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. THE FACILITY IS AN UNOCCUPIED MOBILE RADIO FACILITY.
2. THE NET USABLE AREA OF THE MOBILE RADIO FACILITY IS 1240 SQFT.
3. THE OCCUPANCY CLASSIFICATION OF THE FACILITY IS TELECOMMUNICATIONS EQUIPMENT.
4. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY. UNLESS OTHERWISE NOTED, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPOINTANCE, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
5. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE GENERAL CONSTRUCTION. PROPOSED MECHANICAL AND ELECTRICAL INSTALLATION DEMOLITION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE NEXTEL COMMUNICATIONS AUTHORIZED PROJECT MANAGER OR ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
7. THE CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
8. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
9. CONTRACTOR SHALL NOTIFY CONSTRUCTION ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND TO BE IN THE FIELD.
10. AS A MINIMUM STANDARD ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES, NATIONAL ELECTRIC CODE, AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
11. THE DESIGN SPECIFICATIONS, PERFORMANCE AND LOCATION OF ALL RADIO EQUIPMENT AND RELATED ELECTRONIC ITEMS WITHIN THE RADIO EQUIPMENT ROOM ARE BY THE RADIO EQUIPMENT VENDOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT AND ANY OTHER RELATED PORTIONS OF THE WORK.
12. THE CONTRACTOR SHALL ASSIST ANY OTHER OTHER IN TERMS OF COORDINATION AND SITE ACCESS.
13. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED AND FIRE CODE APPROVED MATERIALS.
14. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A/10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDOUT AREA DURING CONSTRUCTION.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE UNIFORM BUILDING CODE REGARDING EARTHQUAKE PROVISIONS FOR PIPING, LIGHT FIXTURES, CEILING GRID INTERIOR PARTITIONS AND MECHANICAL EQUIPMENT. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
16. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DINED SIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
17. MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, WALLS, ELEVATORS, STAIRWELLS ETC., AND UPON COMPLETION OF WORK REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION.
18. VERIFY FINAL EQUIPMENT LOCATIONS WITH THE RADIO EQUIPMENT VENDOR.
19. KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH EQUIPMENT REMOVED AND NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SHODGES OF ANY NATURE.
20. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE BEST CONSTRUCTION SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING CERTAIN MATTERS.
21. PROVIDE ADDITIONAL BLOCKING OR BACKING PLATE IN HALLS AS REQUIRED FOR WALL MOUNTED PANELS, EQUIPMENT, CABINETS, ETC.
22. PROVIDE BLOCKINGS BEHIND GYPSUM BOARD FOR HALL STOPS WHERE SCHEDULED.
23. REPAIR ALL EXISTING HALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND WITH ADJACENT SURFACES.
24. EXISTING STRUCTURES HAVE BEEN CHECKED FOR EQUIPMENT LOADING AS NOTED AND PLACED ON THE PLANS. ANY CHANGES OR ADDITIONAL EQUIPMENT PROPOSALS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE ANY CHANGES OR ADDITIONS ARE MADE BY THE CONTRACTOR.
25. ALL EXTERIOR METAL COMPONENTS TO BE HOT DIPPED GALVANIZED.
26. THE COLOR OF THE PROPOSED ANTENNAS SHALL MATCH THE LIGHT GRAY COLOR OF THE UPPER EDGE OF THE EXISTING BUILDING.
27. THE EXTERIOR OF THE PROPOSED EQUIPMENT ROOM SHALL BE GRAY STUCCO TO MATCH THE EXISTING BUILDING, AND THE EXTERIOR OF THE DOOR TO THE EQUIPMENT ROOM SHALL BE PAINTED THE SAME COLOR.
28. THE PAINT UTILIZED FOR THE ANTENNAS AND EXTERIOR OF THE EQUIPMENT ROOM SHALL HAVE A MATTE FINISH.
29. THE ROOF OF THE EQUIPMENT ROOM SHALL BE CONSTRUCTED OF THE SAME MATERIAL AS THE EXISTING FLAT ROOF.



ROOF PLAN
A-1 SCALE: 1/8" = 1'-0"

ROUSSEAU PERKOCHA ARCHITECTS

1624 Franklin St., Penthouse
Oakland, California 94612
tel: (510) 272-0654 fax: (510) 444-0278

SMART SMR
SMART SMR OF CALIFORNIA, INC.
dba NEXTEL COMMUNICATIONS
475 14TH STREET, SUITE 200
OAKLAND, CA 94612
OFFICE: (510) 645-1400
FAX: (510) 645-1414

CA-0141B
SOUTH ALBANY
NEXTEL
1035 SAN PABLO AVE
ALBANY, CA



APPROVALS

| | |
|------------------|-------|
| PROJECT MANAGER: | DATE: |
| MOTOROLA REVIEW: | DATE: |
| SMART SMR: | DATE: |

PROJECT NUMBER
CA-0141B

DRAWN BY
SDF

CHECKED BY
MRP

| NO. | DATE | ISSUE |
|-----|---------|--------|
| 1 | 7/21/97 | PERMIT |

THE PHILLIPS GROUP
STATEMENT OF CORRELATION:
ANY DOCUMENTATION OR PLAN
REVIEW BY THE PHILLIPS GROUP
APPLIES ONLY TO PLAN SHEETS
WHICH HAVE THIS STAMP.

SHEET TITLE

ROOF PLAN
PROJECT GENERAL
NOTES

SHEET NUMBER

A-1