

# GENERAL NOTES AND CONDITIONS

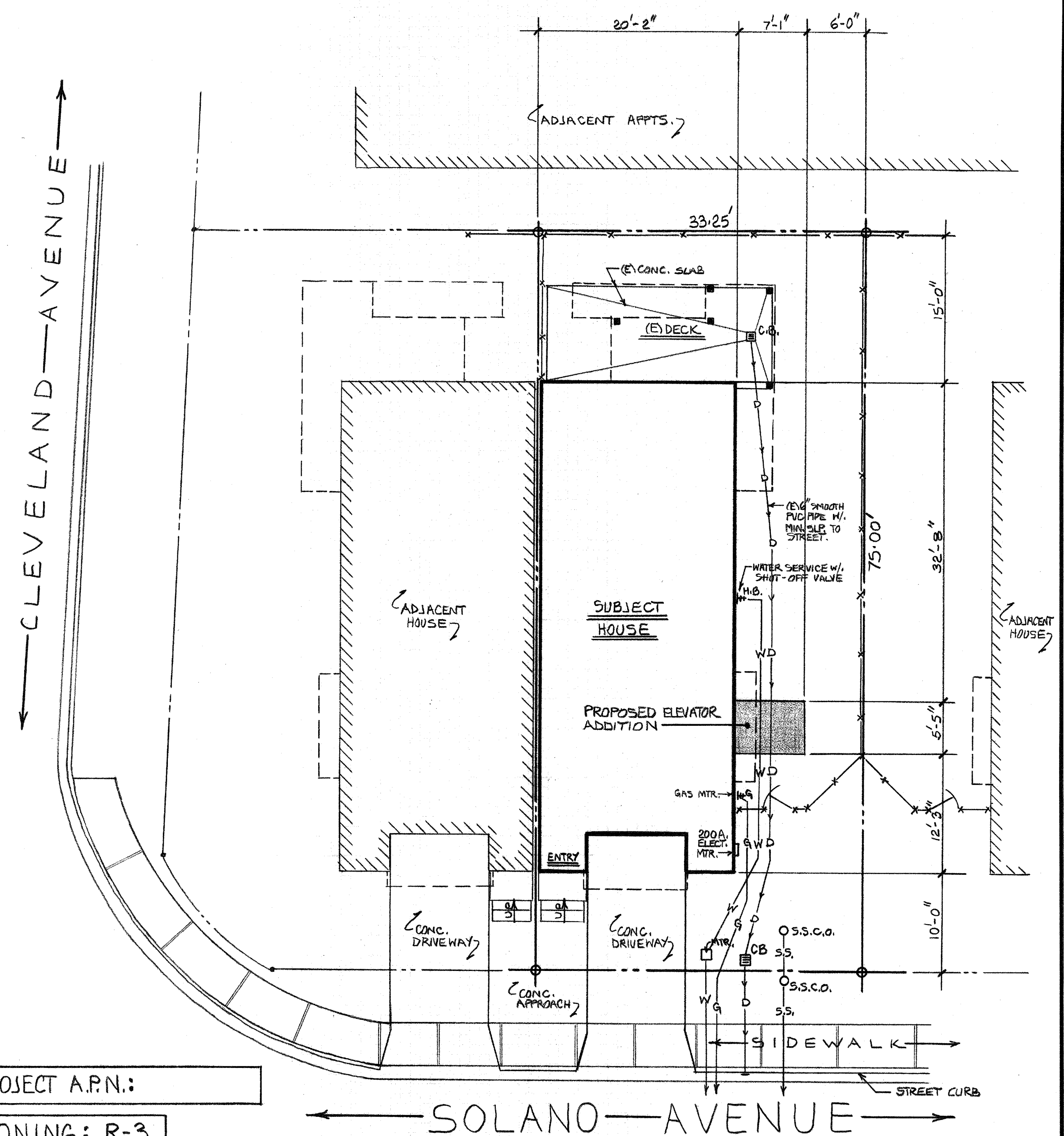
THESE PLANS ARE TO BE BUILT IN STRICT ACCORDANCE TO THE FOLLOWING CODES:

2007 CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND THE 2008 ENERGY CODES;  
2006 IBC, 2006 UPC, 2006 UMC, 2005 NEC, 2008 TITLE-24.  
(AS AMENDED BY THE STATE OF CALIFORNIA)

## SCOPE OF WORK

THIS PROJECT PROPOSES THE ADDITION OF A 5'-5" X 5'-1" (27.5 S.F.) ELEVATOR. THE ELEVATOR SHALL SERVICE THREE FLOORS OF THE EXISTING 4-STORY HOUSE. THE ELEVATOR SHALL BE LOCATED UP THE EXTERIOR EAST ELEVATION OF THE BUILDING AND SHALL INCLUDE SIX (6) WINDOWS. THE ELEVATOR SHALL BE FINISHED IN REDWOOD, V-RUSTIC LAP SIDING TO MATCH THE EXISTING HOUSE. NO IMPACT TO LANDSCAPING OR SURROUNDINGS SHALL OCCUR, AND SITE SHALL BE RESTORED TO ORIGINAL CONDITION AT PROJECT END.

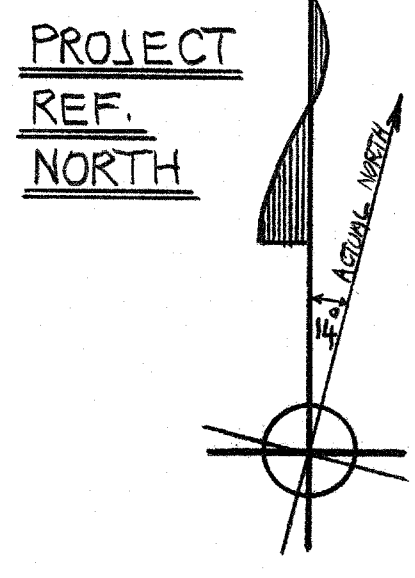
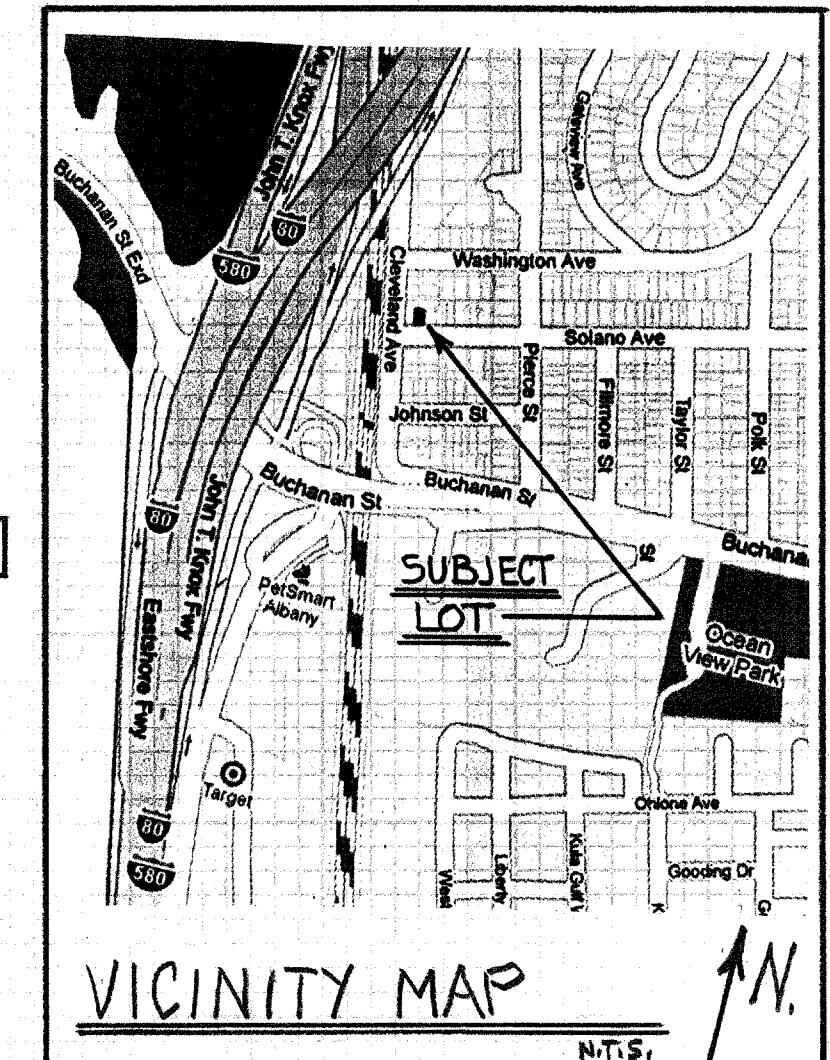
**COVER SHEET**



PROJECT A.P.N.:  
ZONING: R-3  
OCCUPANCY: R3/U1  
CONST. TYPE: VB

# SITE PLAN

PROJECT DATA:	
LOT AREA	2,474 S.F.
(E) GARAGE AREA	663 S.F.
(E) 1 <sup>ST</sup> FLR. GROSS AREA/LOT CVG.	1,209 S.F. 48%
PROP. 1 <sup>ST</sup> FLR. ADDITION	38,333 S.F.
PROP. (N) 1 <sup>ST</sup> FLR. GROSS AREA/LOT CVG.	1,247.33 S.F. 50%
(E) 2 <sup>ND</sup> FLR. GROSS AREA	1,037 S.F.
PROP. 2 <sup>ND</sup> FLR. ADDITION	27,5 S.F.
(E) 3 <sup>RD</sup> FLR. GROSS AREA	824 S.F.
PROP. 3 <sup>RD</sup> FLR. ADDITION	27,5 S.F.
(E) 4 <sup>TH</sup> FLR. GROSS AREA	434 S.F.
TOTAL (E) BLDG. GROSS AREA	3,531 S.F.
TOTAL AREA ALLOWANCES	328 S.F.
TOTAL (E) BLDG. F.A.R. AREA	3,253 S.F. 130 1/2%
TOTAL PROPOSED ADDITION	93,33 S.F.
TOTAL PROP. (N) BLDG. F.A.R. AREA	3,346.33 S.F. 134%
MAX. (E) BLDG. HEIGHT	35 FT.
MAX. PROP. ADDITION HEIGHT	23 FT.



LEGEND:	
--- (dashed line)	PROPERTY LINES
x-x-x-x	(E) 6" BOUNDARY FENCES
[Solid outline]	SUBJECT HOUSE FOOTPRINT
[Hatched outline]	ADJACENT BLDG. FOOTPRINT
--- (dotted line)	(E) UTILITY LINES / SYMBOL
[Shaded area]	PROPOSED ADDITION FOOTPRINT
--- (long dashed line)	(E) UPPER FLR. OVERHANGS

REVISIONS	BY

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918 EAST GRANT PLACE  
SAN MATEO, CA. 94402

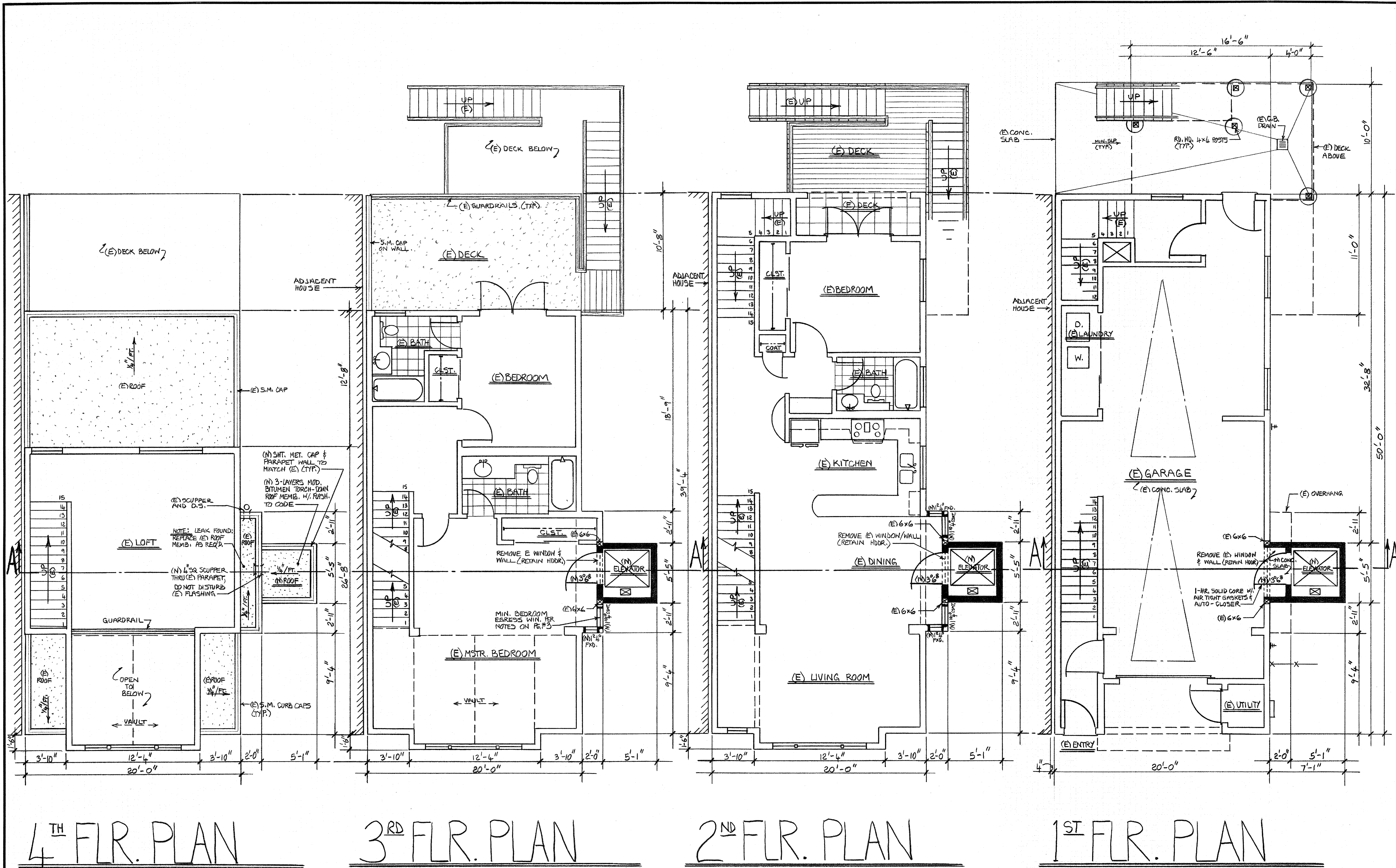
PLANS PROVIDED BY:  
BUILDING DESIGNER

**GADANI RESIDENCE**  
703 SOLANO AVENUE  
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OWNER CONTACT: AVANI GADANI (909) 437-5626

GENERAL NOTES  
PROJECT DATA  
SCOPE OF WORK  
VICINITY MAP  
SITE PLAN

Date 10/15/10  
Scale 1/8" = 1'-0"  
Drawn M.R.  
Job  
Sheet 1  
Of 1 Sheets





4<sup>TH</sup> FLR. PLAN

3<sup>RD</sup> FLR. PLAN

2<sup>ND</sup> FLR. PLAN

1<sup>ST</sup> FLR. PLAN

1/4" = 1'-0"

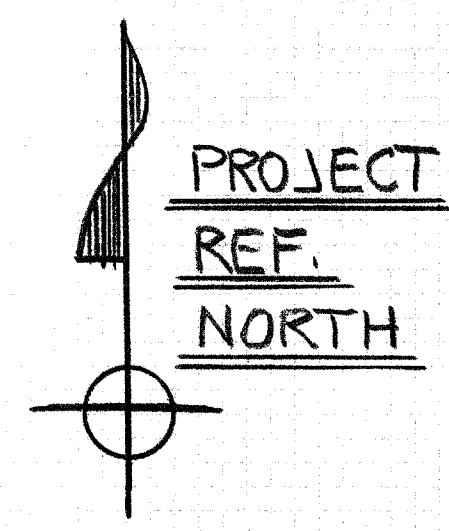
1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

**LEGEND:**

- EXISTING WALLS
- REMOVED WALLS
- NEW WALLS
- REFL. CEILING LINES
- ADJACENT HOUSE
- FLAT ROOFS
- SHEAR WALLS/SCHED. HOLDOWNS/SCHED.



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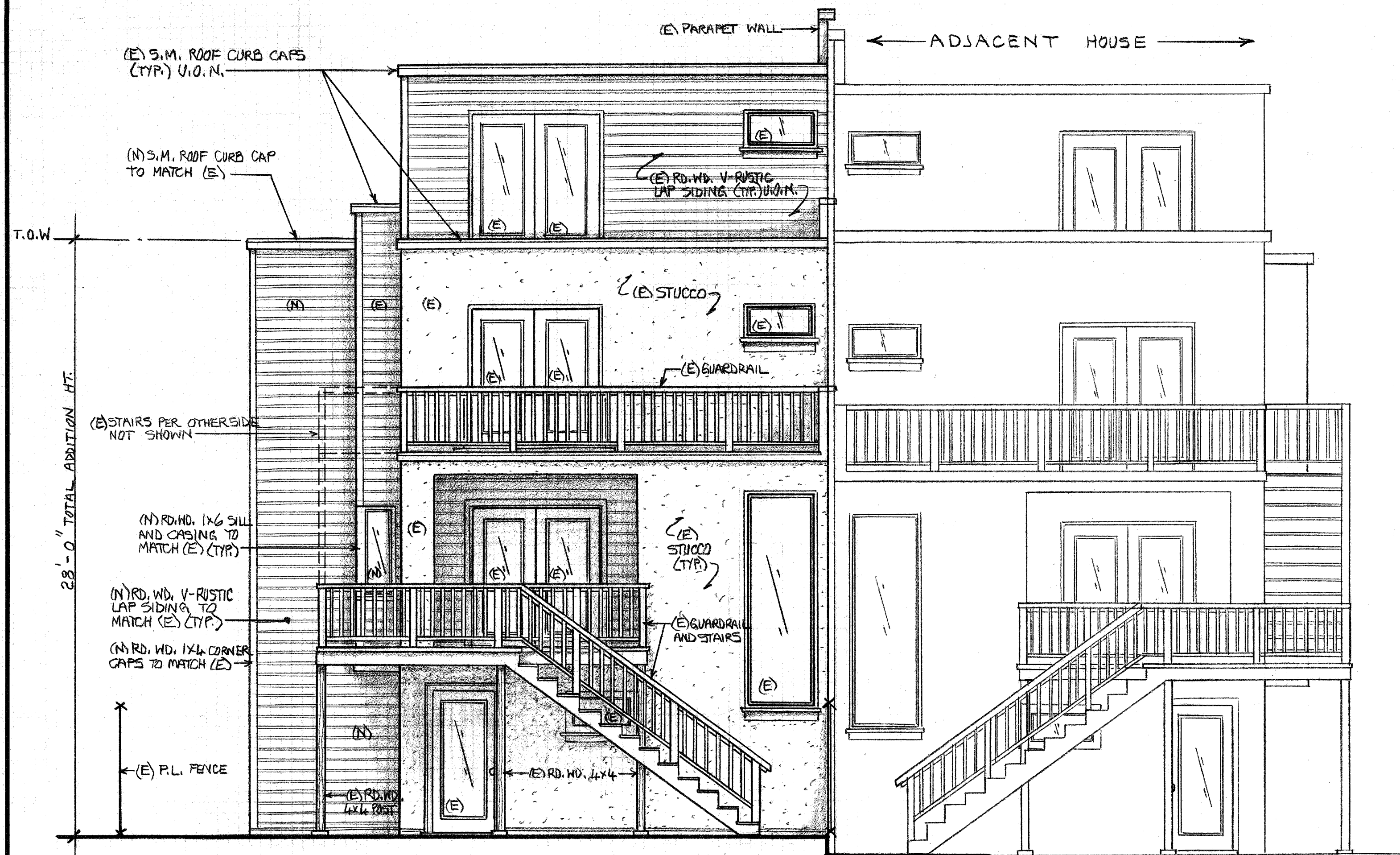
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PLANS PROVIDED BY: MARK ROBERTSON DESIGN

DATE: 10/15/10  
 SCALE: 1/4" = 1'-0"  
 DRAWN: M.I.R.  
 JOB:   
 SHEET: 2  
 OF: Sheets

FLOOR PLANS





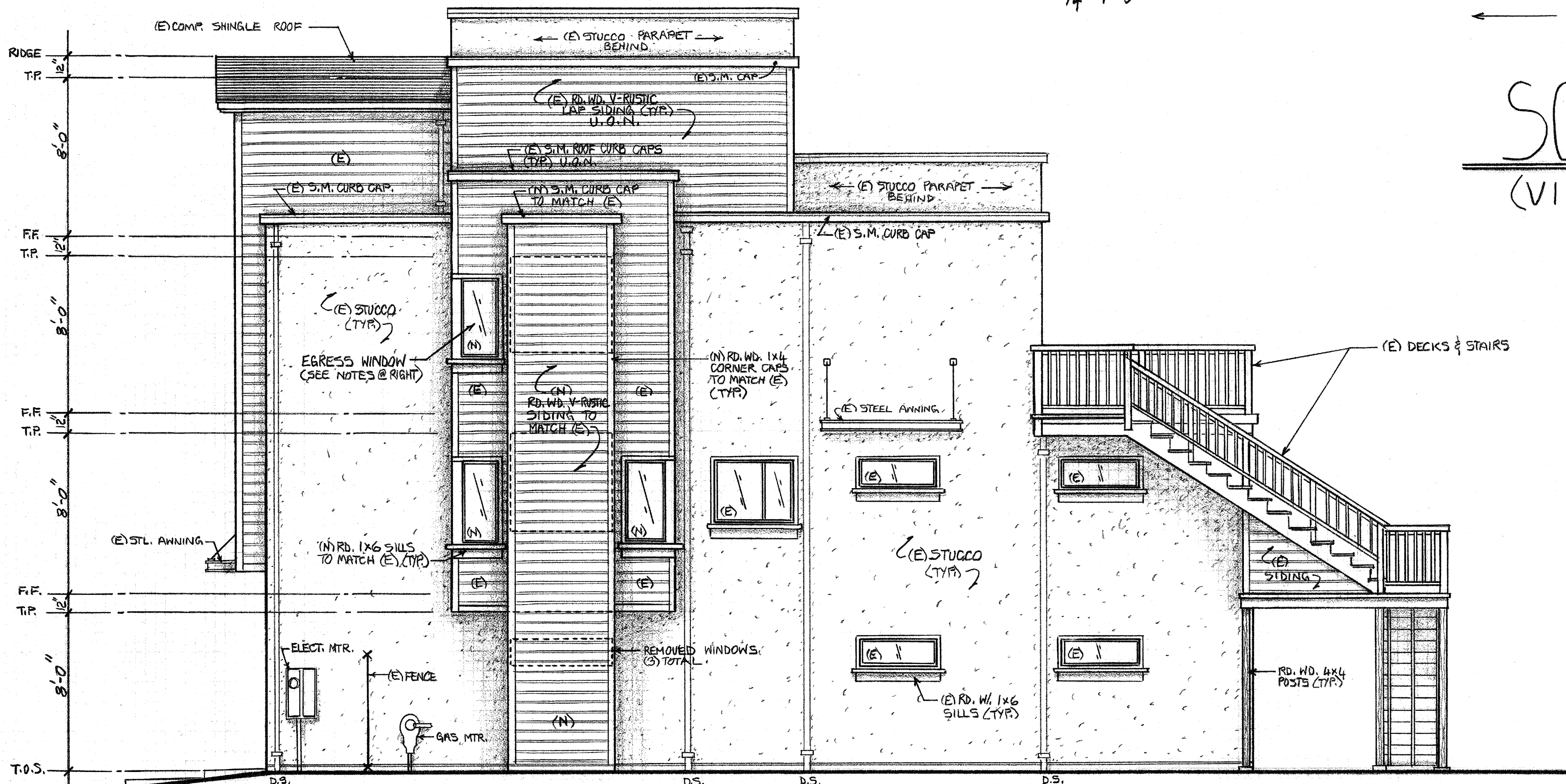
NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION  
(VIEW FROM STREET)

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE:**

ELEVATOR ADDITION SHALL MATCH (E) HOUSE FINISHES IN EVERY WAY FOR A SEAMLESS FINAL APPEARANCE AS SHOWN ON PLANS.

(N) WINDOW CASING AND TRIM-OUT AT (E) BOX BAY SHALL MATCH (E) WINDOWS AT (E) FRONT HOUSE BAY. ANY INTERFERENCE TO (E) STUCCO SHALL BE PATCHED BACK TO MATCH (E). ADDITION SHALL BE PAINTED TO MATCH (E) HOUSE COLOR SCHEME.

**GLAZING NOTE:**

ALL (N) WIDDOWS INSTALLED SHALL BE DOUBLE PANED, INSULATED GLASS TO MATCH (E) WITH MAX. U-VALUE = 0.40 PER 2008 CALIF. TITLE-24 REQUIREMENTS.  
TEMP. MFG. LABELS SHOWING WINDOW U-VALUES SHALL NOT BE REMOVED UNTIL THE BUILDING OFFICIAL GIVES THE CONTRACTOR PERMISSION TO DO SO.  
NOTE: PROJECT PROVIDES A MINOR NET DECREASE IN OVERALL GLAZING AND NO CHANGE TO (E) CONDITIONED SPACE AREA - TITLE-24 REPORT NOT REQUIRED.

**BEDROOM WINDOW EGRESS: MINIMUM WIDTH & HEIGHT REQUIREMENTS**

width	20	20.5	21	21.5	22	22.5	23	23.5	24	24.5	25	25.5	26	26.5	27	27.5	28	28.5	29	29.5	30	30.5	31	31.5	32	32.5	33	33.5	34
height	41.0	40.0	39.1	38.2	37.3	36.5	35.7	34.9	34.2	33.5	32.8	32.2	31.6	31.0	30.4	29.8	29.3	28.8	28.3	27.8	27.4	26.9	26.5	26.1	25.7	25.3	24.9	24.5	24

- 5-7/8" opening min. .... 10-5 [310.4]
- Opening 20in. min. width & 24in. .... 10-5 [310.4]
- (22in.) min. height ..... 10-5 [310.4]
- Emergency escape to public way ..... 10-5 [310.4]
- No windows <3ft. to property line ..... 10-5 [310.4]
- Security bars must have approved release hardware ..... 3110K [310.4]
- Sill height 44in. max. above finished floor ..... 10-5 [310.4]

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- EXTERIOR ELEVATIONS

Date 10/15/10  
 Scale 1/4" = 1'-0"  
 Drawn M.R.  
 Job  
 Sheet 3  
 Or Sheets



REVISIONS	BY

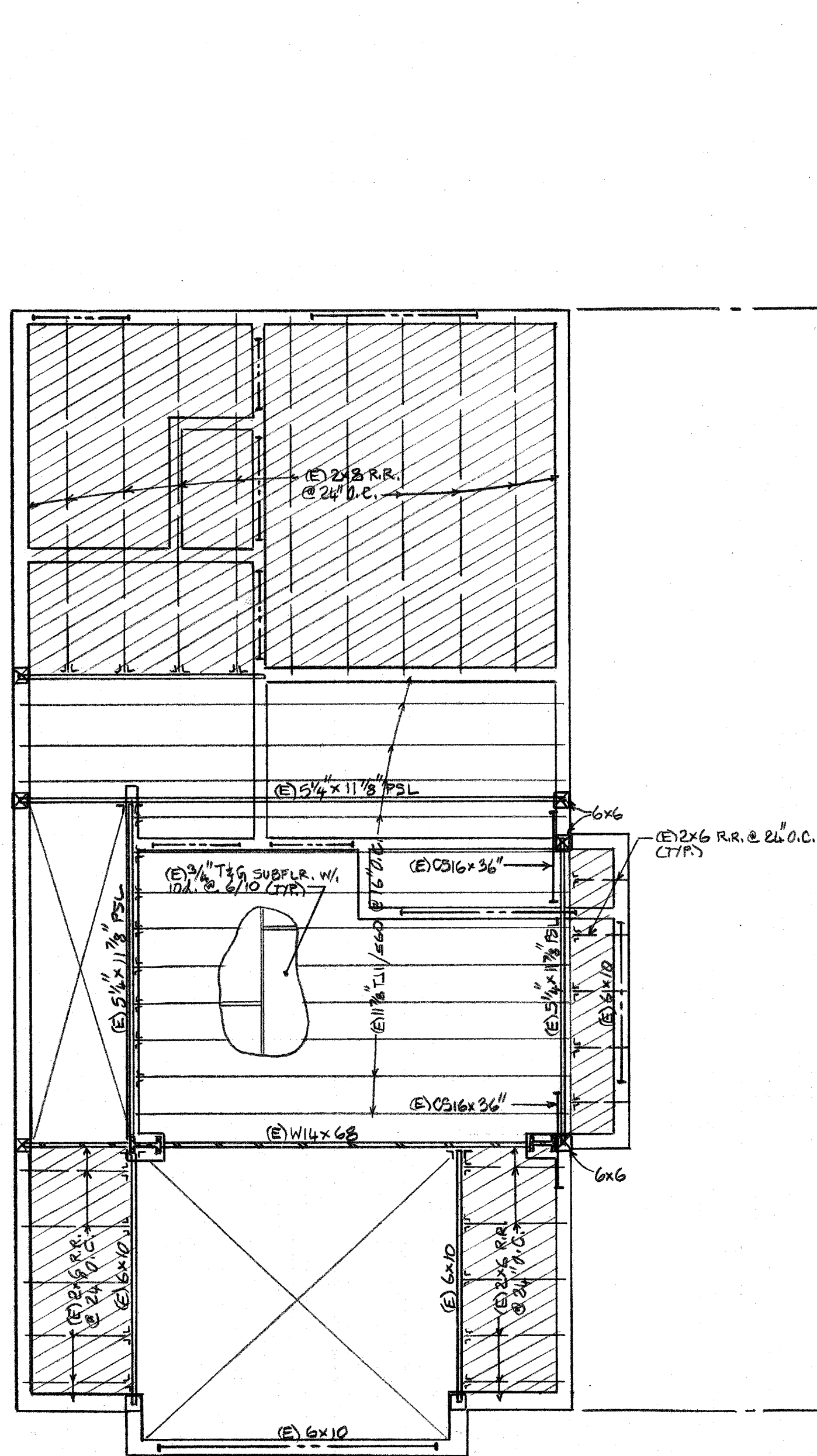
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FOUNDATION PLAN	PLAN
2 <sup>ND</sup> FLR. FRAMING PLAN	PLAN
3 <sup>RD</sup> FLR. FRAMING PLAN	PLAN
4 <sup>TH</sup> FLR. FRAMING PLAN	PLAN

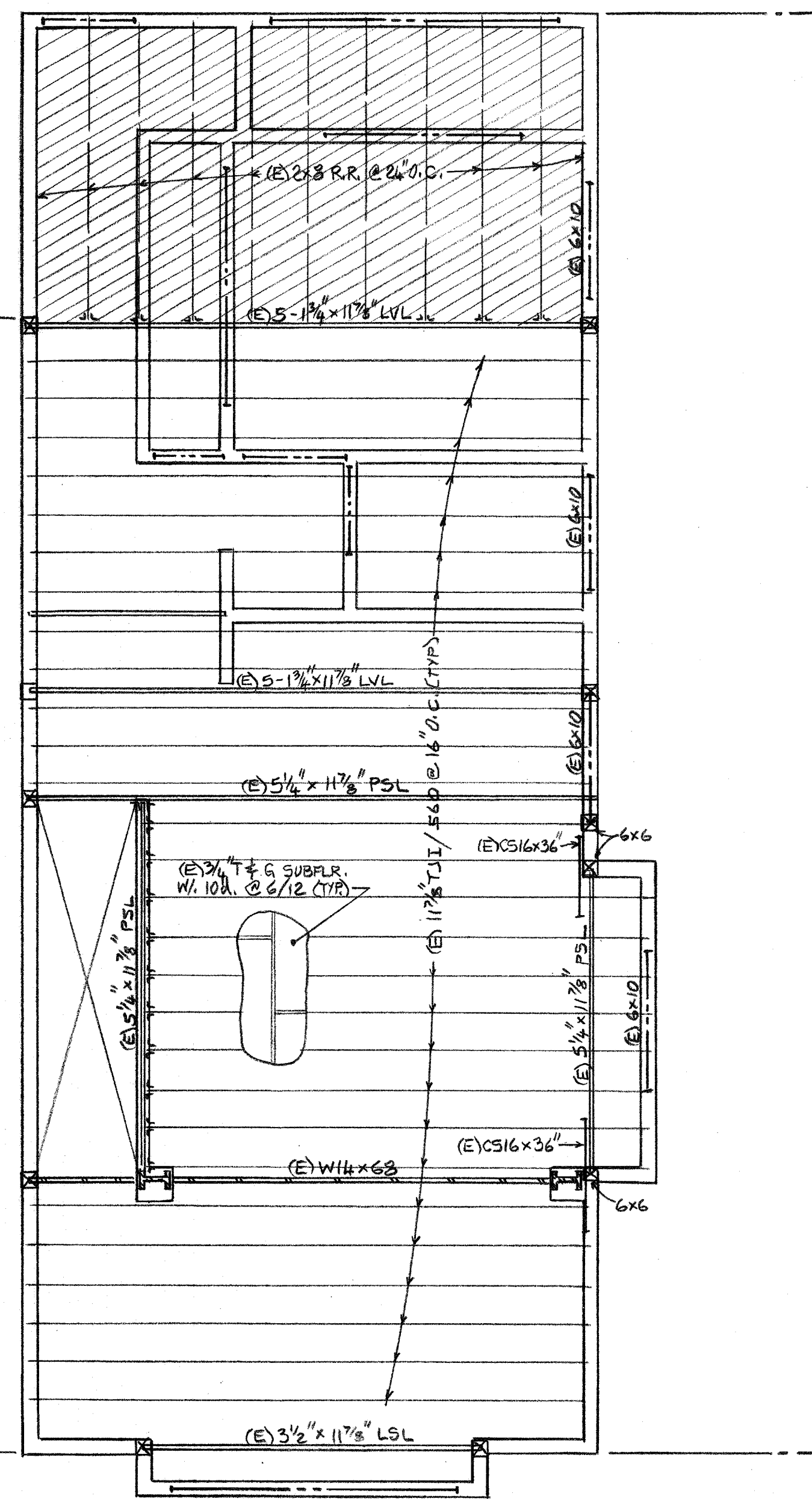
Date 10/15/10  
 Scale 1/4" = 1'-0"  
 Drawn M.I.R.  
 Job ~  
 Sheet 4  
 Of 4 Sheets



4<sup>TH</sup> FLR. FMG. PLAN  
 1/4" = 1'-0"

**LEGEND:**

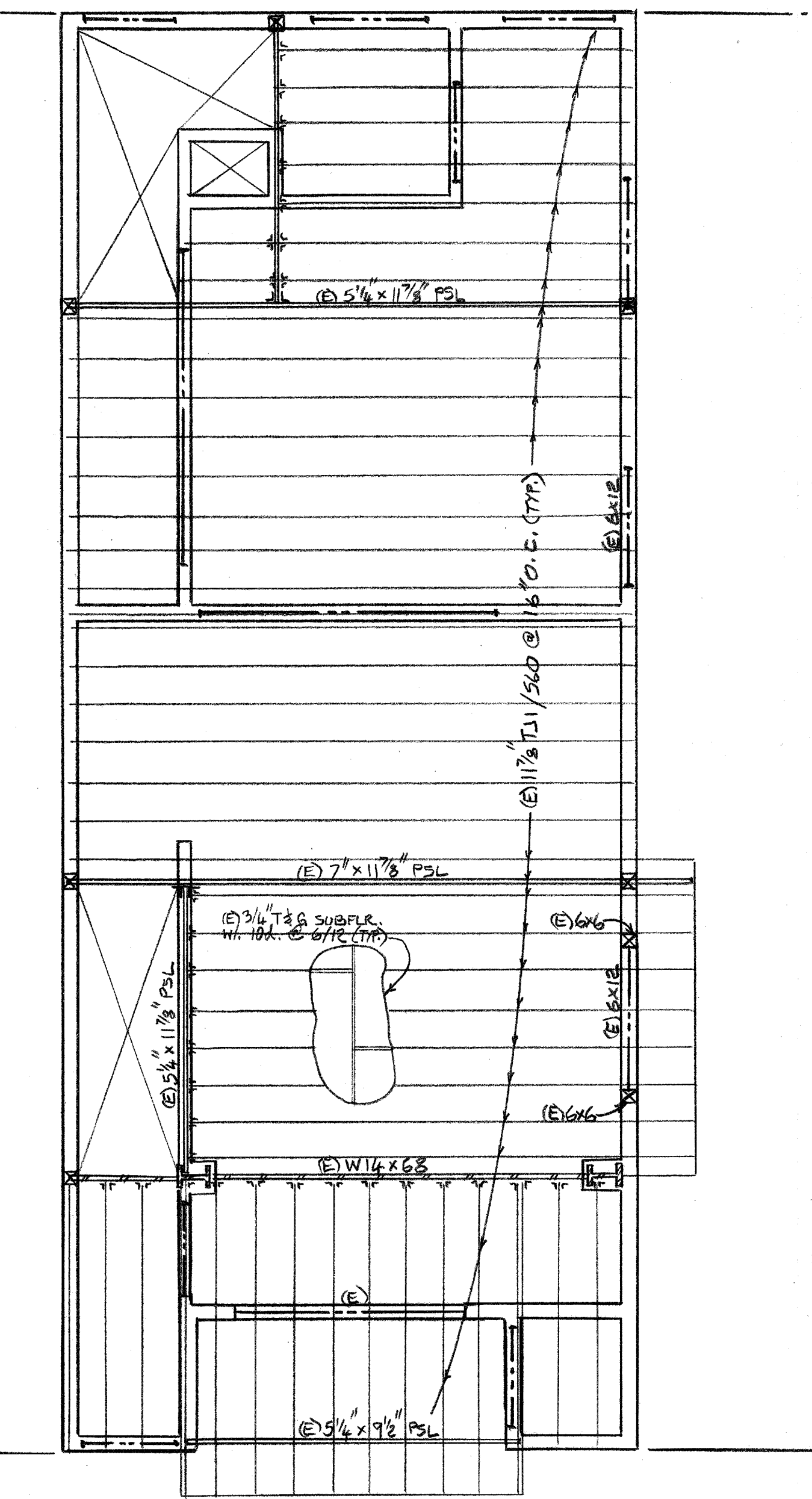
- (E) LOWER WALLS
- (E) DR./WINDOW HDRS.
- (E) STL. MOMENT FRAME
- (E) PSL/D.F.#2 BEAMS
- (E) 11/8" TJI @ 16" O.C.
- (E) 6x POSTS
- (E) R.R. @ 24" O.C.
- (E) LOWER FLR. ROOFS
- (N) WALLS
- (N) 2x6 R.R. @ 24" O.C.
- (N) ROOF
- (N) SHEAR WALLS/SCHED.
- (N) HOLD-DOWNS/SCHED.



3<sup>RD</sup> FLR. FMG. PLAN  
 1/4" = 1'-0"

**LEGEND:**

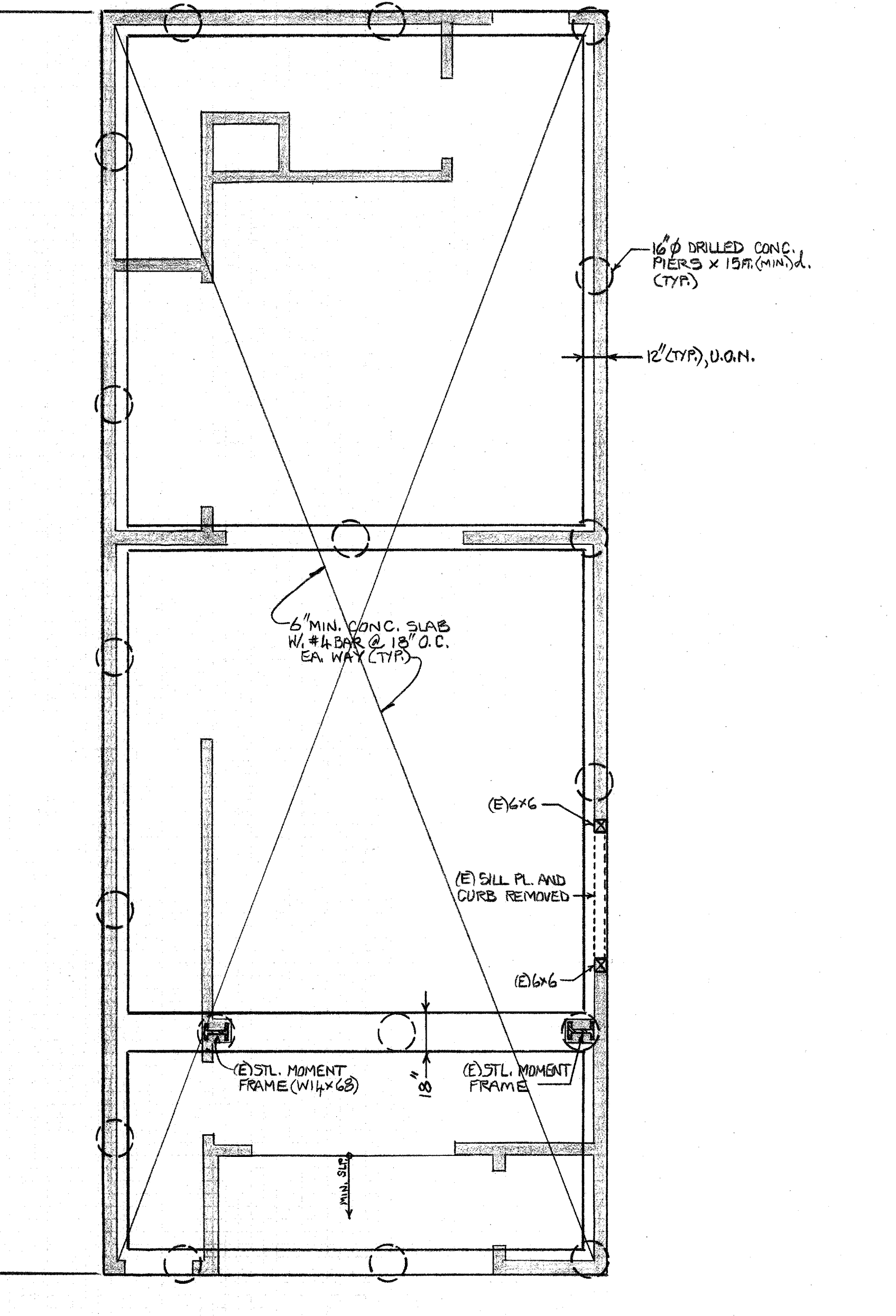
- (E) LOWER WALLS
- (E) DR./WINDOW HDRS.
- (E) STL. MOMENT FRAME
- (E) PSL/LSL/LVL BMS.
- (E) 11/8" TJI @ 16" O.C.
- (E) 6x POSTS
- (E) 2x8 R.R. @ 24" O.C.
- (N) WALLS
- (N) SHEAR WALLS/SCHED.
- (N) HOLD-DOWNS/SCHED.



2<sup>ND</sup> FLR. FMG. PLAN  
 1/4" = 1'-0"

**LEGEND:**

- (E) LOWER WALLS
- (E) DR./WINDOW HDRS.
- (E) STL. MOMENT FRAME
- (E) PSL BEAMS
- (E) 11/8" TJI @ 16" O.C.
- (E) 6x POSTS
- (N) SHEAR WALLS/SCHED.
- (N) HOLD-DOWNS/SCHED.
- (N) WALLS



FOUNDATION PLAN  
 1/4" = 1'-0"

**LEGEND:**

- (E) PIER @ GRADE BEAM FTG.
- (E) P.T. SILLS @ WALLS
- (E) CONC. SLAB
- (E) REMOVED WALLS
- (N) CONC. MONO-FTG. SLAB
- (N) P.T. 3x6 SILLS
- (N) SHEAR WALLS/SCHED.
- (N) HOLD-DOWNS/SCHED.

PROJECT REF. NORTH



