

LEGEND

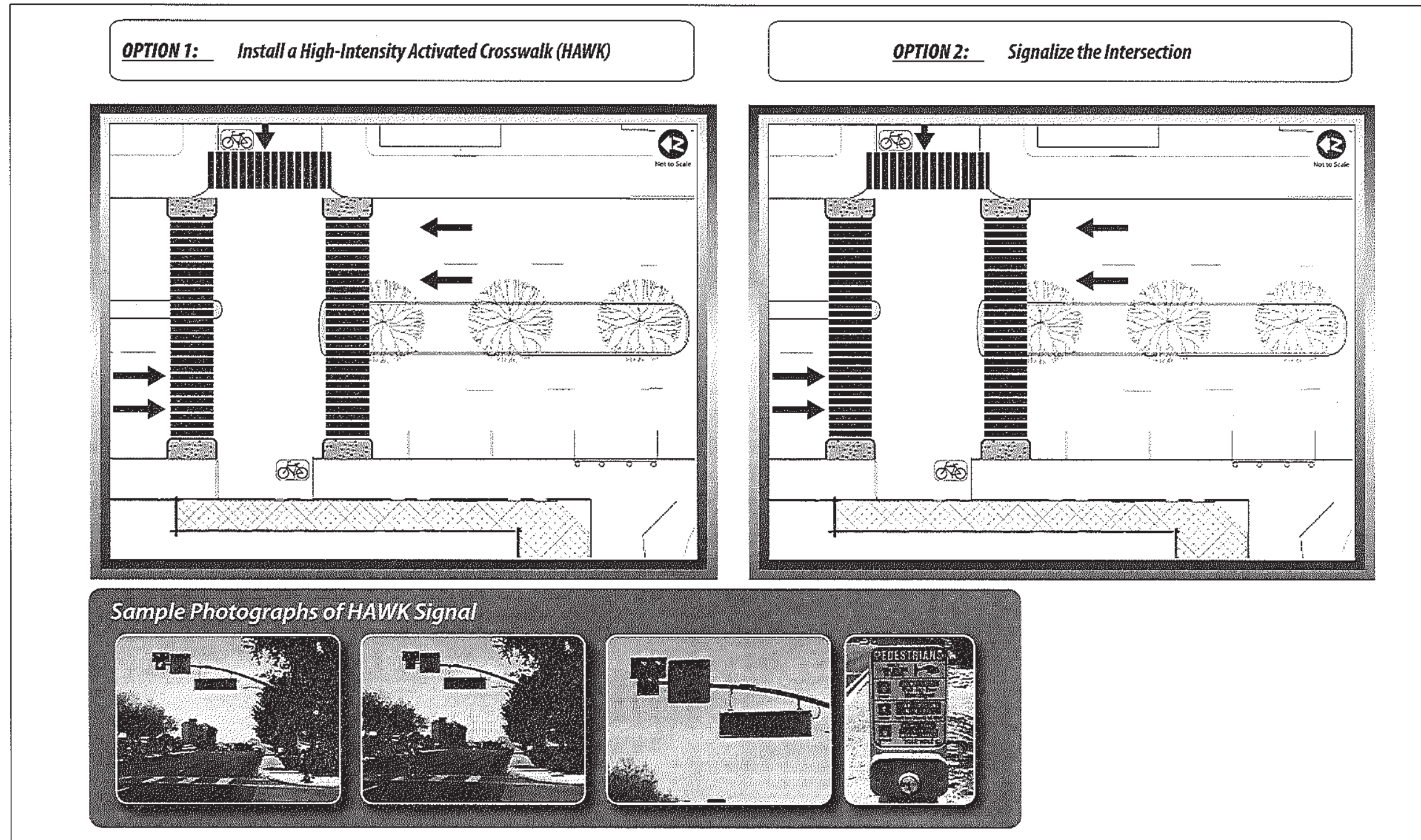
-  Existing Bicycle/ Pedestrian Paths (Class I)
-  Existing Bike Lane (Class II)
-  Existing Bike Route (Class III)
-  Proposed Bicycle/ Pedestrian Paths (Class I)
-  Proposed Bike Lane (Class II)
-  Proposed Bike Route (Class III)
-  Proposed Bike Route (Class I)
-  Codornices Creek Restoration
-  Village Creek Restoration (Complete)
-  Park
-  Retail/Commercial
-  University Village Mixed-Use Project
-  School/Civic/ Institution

NEIGHBORHOOD CONTEXT / ACCESS

A1



EXISTING SITE AERIAL




LSA

FIGURE IV.A-16a

NOT TO SCALE

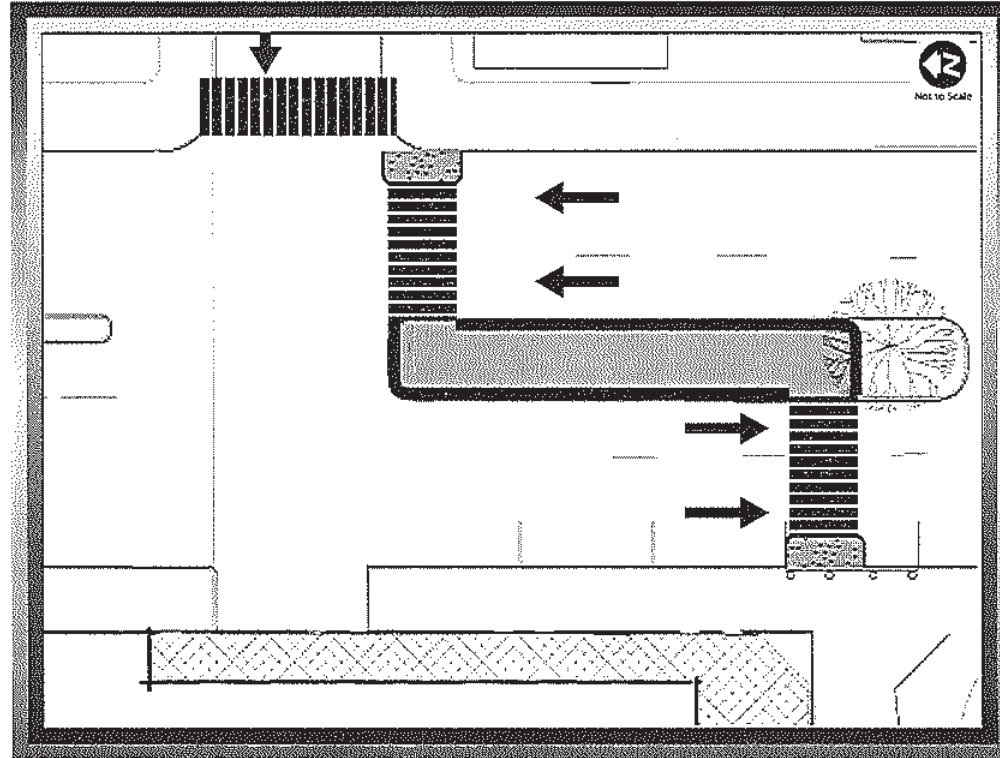
LEGEND

-  = Bulb-out
-  = Crosswalk
-  = Bicycle Loop Detector
-  = Vehicle Movements Controlled by Signal
-  = Vehicle Movement NOT Controlled by Signal

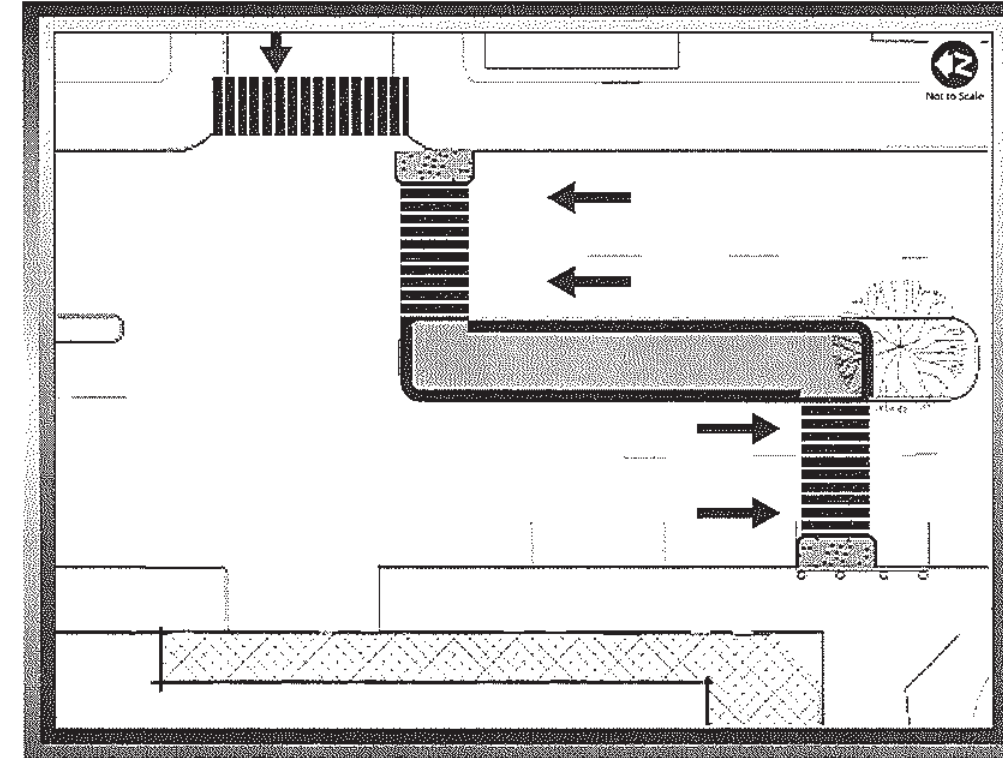
University Village at San Pablo Avenue Project EIR
 Conceptual Crossing Options on
 San Pablo Avenue at Dartmouth Street

SOURCE: FEHR & PEERS, JUNE, 2009.
 I:\ABY0701\figures\Fig_IVA16a.ai (6/26/09)

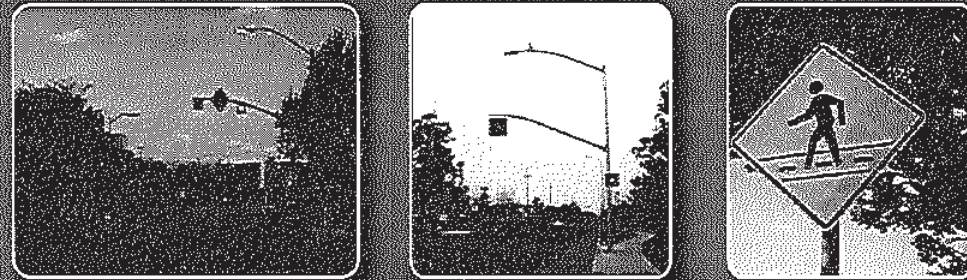
OPTION 3: Install a Two-Stage Signalized Crossing



OPTION 4: Install a Two-Stage Unsignalized Crossing with Overhead Beacons or Stutter Flashing Lights





Sample Photographs of Overhead Beacon and Stutter Flashing Lights



LSA

NOT TO SCALE

LEGEND

-  = Bulb-out
-  = Crosswalk



-  = Vehicle Movements Controlled by Signal, Beacon or Flashing Light
-  = Vehicle Movement NOT Controlled by Signal, Beacon or Flashing Light

FIGURE IV.A-16b

University Village at San Pablo Avenue Project EIR
 Conceptual Crossing Options on
 San Pablo Avenue at Dartmouth Street

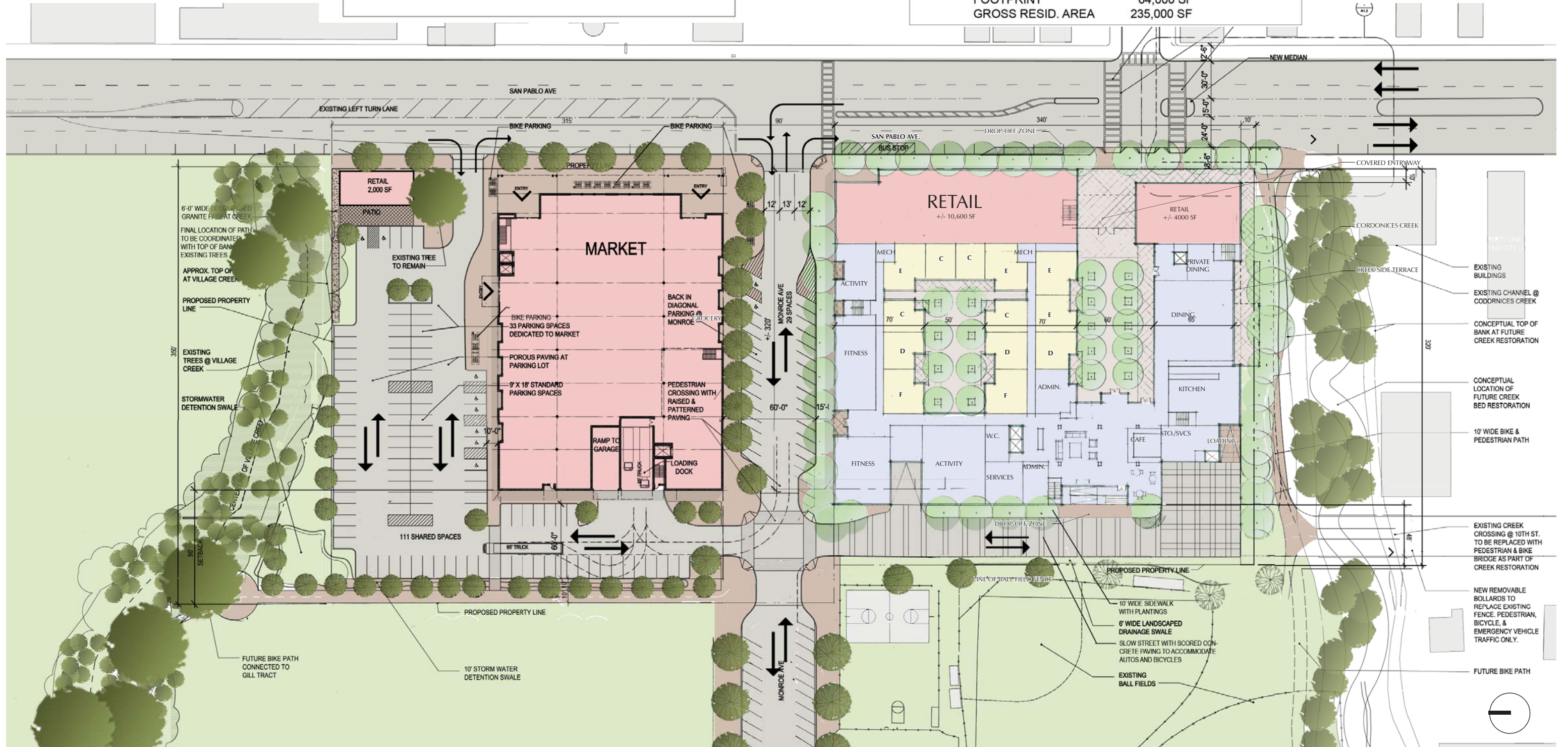
SOURCE: FEHR & PEERS, JUNE, 2009.
 I:\ABY0701\figures\Fig_IVA16b.ai (6/26/09)

CROSSING OPTIONS - DARTMOUTH ST. AT SAN PABLO AVE.

A4

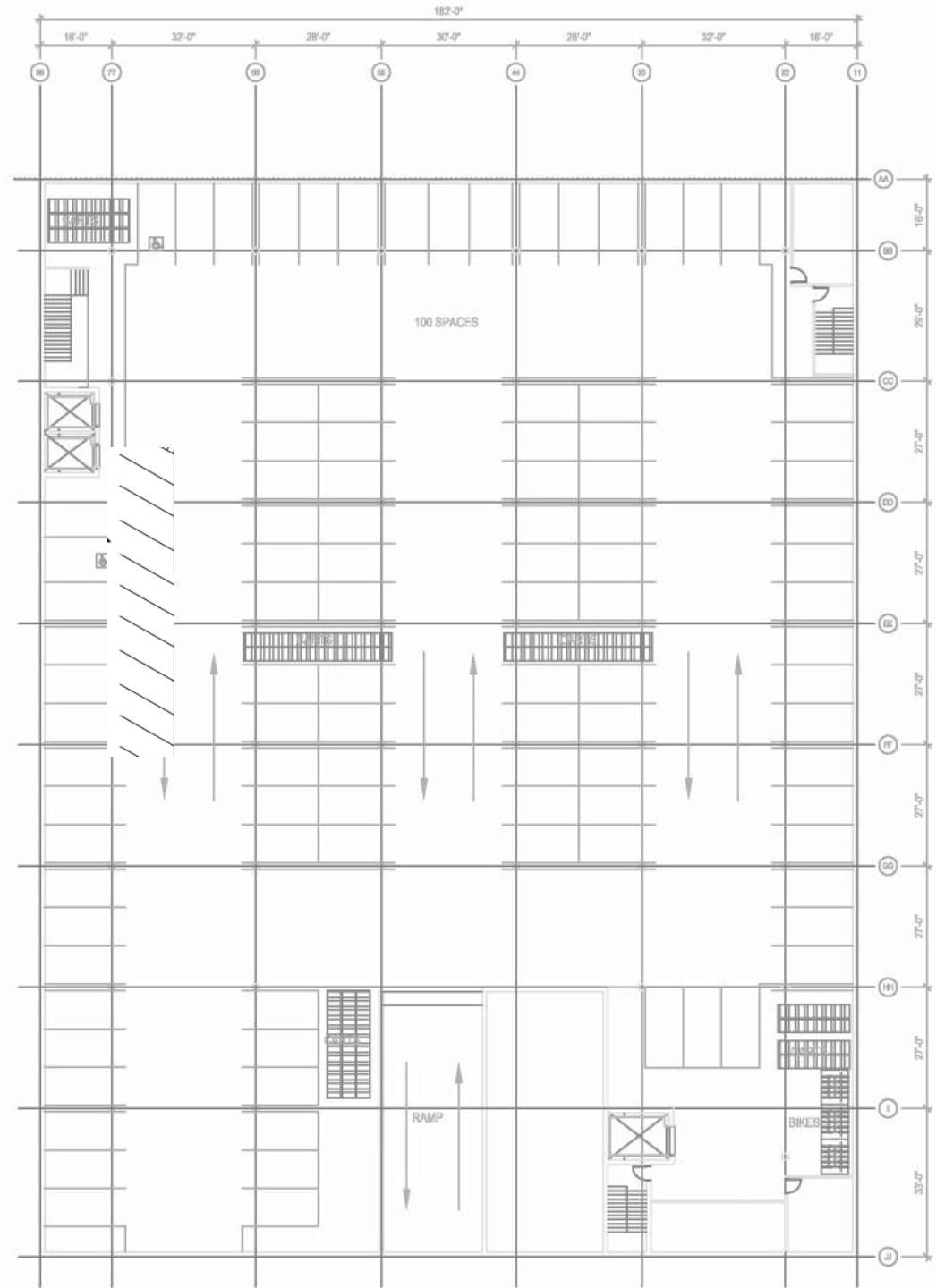
| | | | | |
|----------|---------------|------------|-------------------------|------------|
| A | MARKET | | 2.50 acres | |
| | AREAS: | | | |
| | 1ST FLOOR: | 44,000 GSF | ON-SITE PARKING: | |
| | MEZZANINE: | 11,000 GSF | SURFACE: | 107 SPACES |
| | TOTAL: | 55,000 GSF | GARAGE: | 100 SPACES |
| | | | TOTAL: | 211 SPACES |

| | | | | |
|-------------------|------------------------|-----------------|-------------------|------------|
| B | MIXED-USE BLDG. | | 2.50 acres | |
| | 5 STORIES | | | |
| | 15,000 SF ± RETAIL | PARKING: | SURFACE: | 0 SPACES |
| | 185 UNITS SENIOR | | GARAGE: | 240 SPACES |
| FOOTPRINT | | TOTAL: | 240 SPACES | |
| GROSS RESID. AREA | | 64,000 SF | | |
| | | 235,000 SF | | |

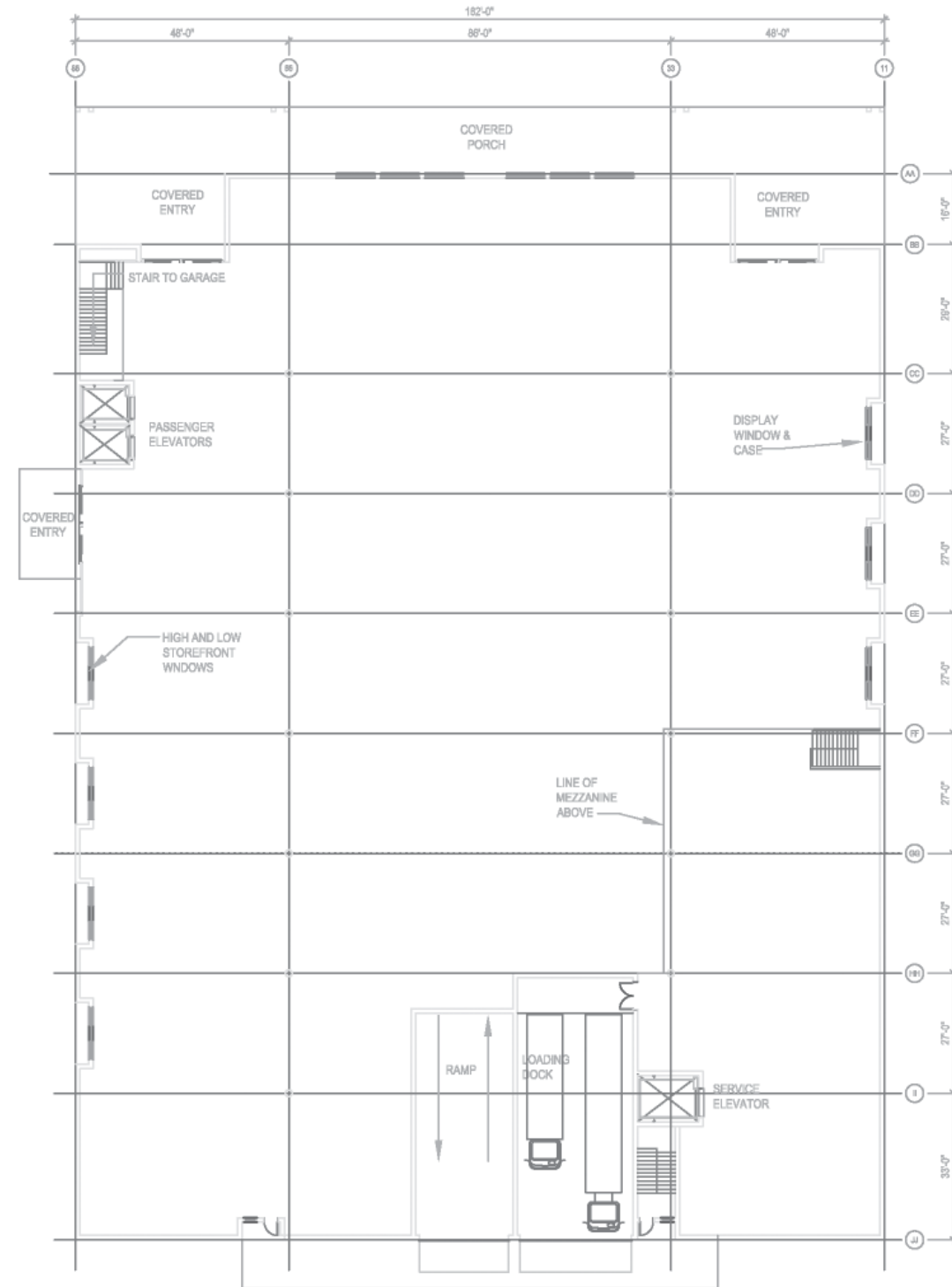


SITE PLAN (TOTAL SITE AREA = 5.7 ACRES)

A5



GARAGE LEVEL PLAN



FIRST LEVEL PLAN

Block **A**



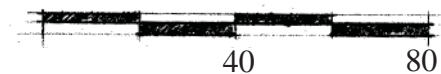
PROJECT INFORMATION:

UNIT BREAKDOWN:

| TYPE: | B | C | D | E | F |
|----------------|-------|-------|--------|--------|--------|
| ~AREAS: | 450sf | 840sf | 1150sf | 1260sf | 1400sf |
| LEVEL: | | | | | |
| 1 | | 4 | 3 | 4 | 2 |
| 2 | 18 | 10 | 11 | 3 | 3 |
| 3 | | 16 | 11 | 5 | 9 |
| 4 | | 16 | 11 | 5 | 9 |
| 5 | | 16 | 11 | 5 | 9 |
| TOTALS: | 18 | 62 | 47 | 22 | 32 |

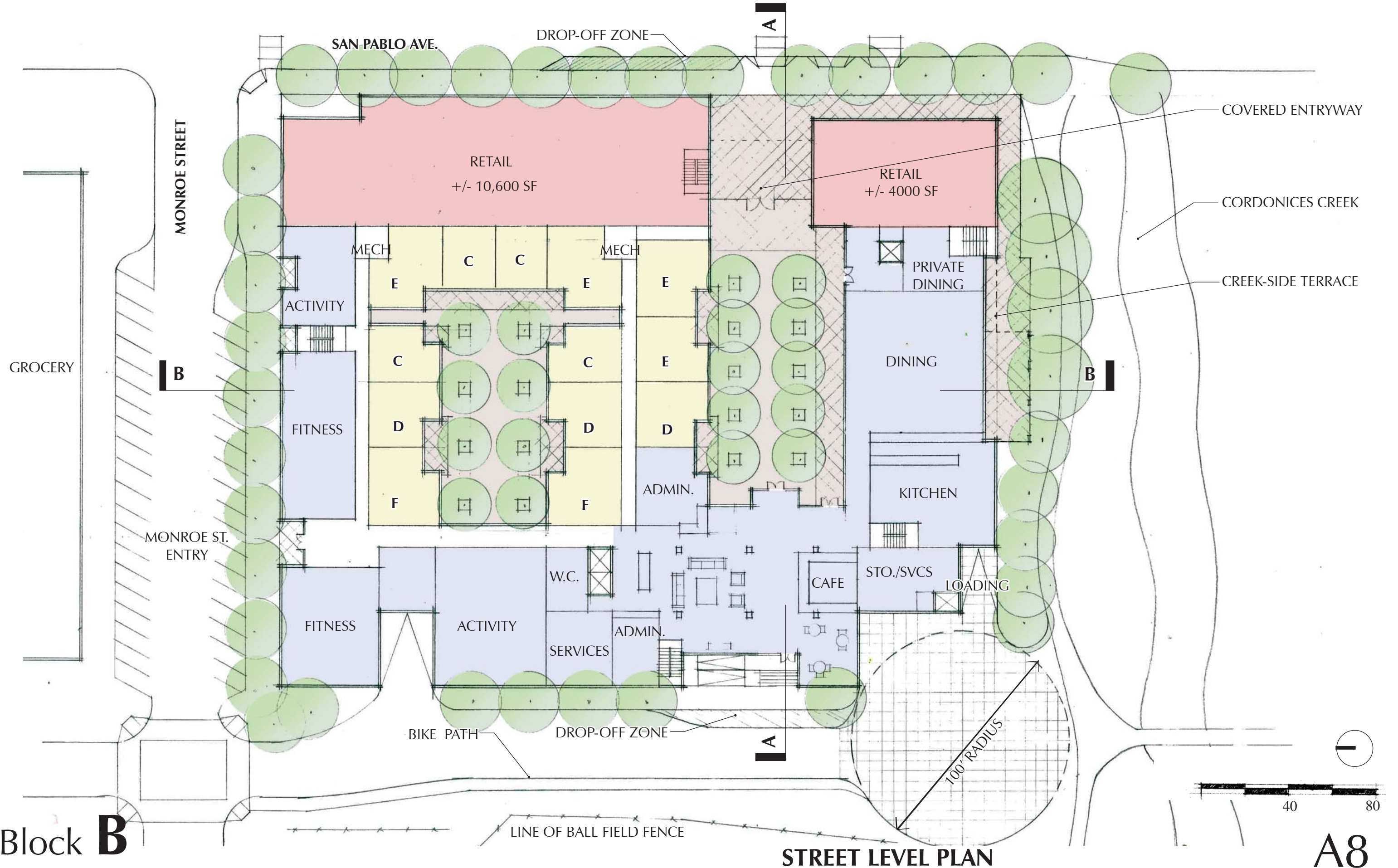
185 TOTAL UNITS

Block **B**

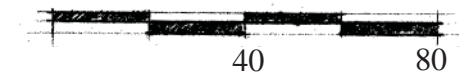
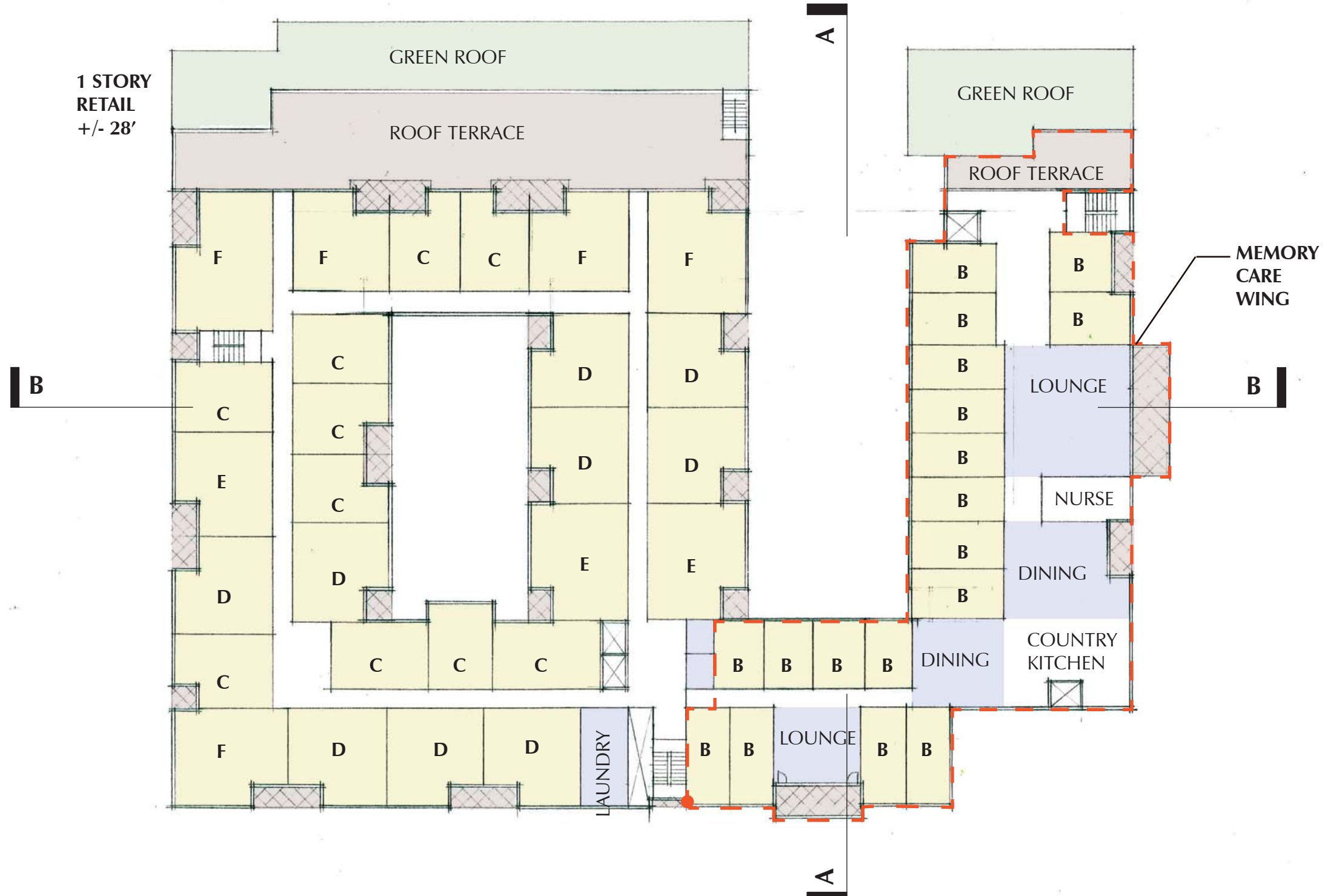


PARKING LEVEL PLAN- BELOW GRADE

A7



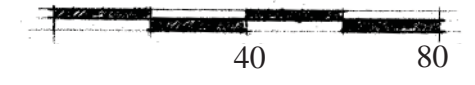
1 STORY
RETAIL
+/- 28'



Block **B**

3RD AND 4TH LEVEL PLANS

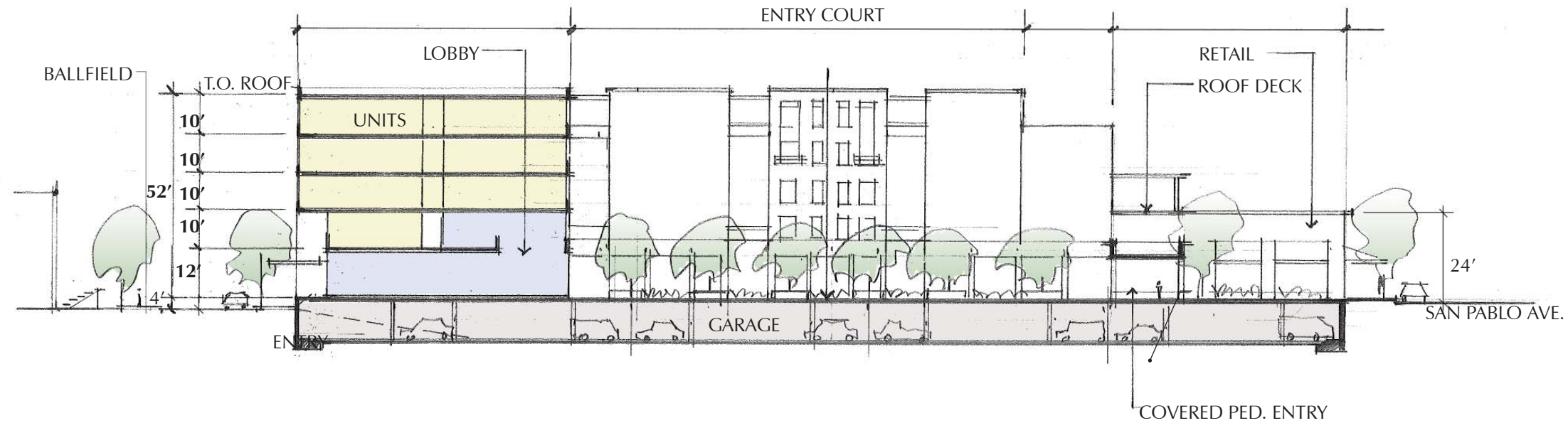
A9



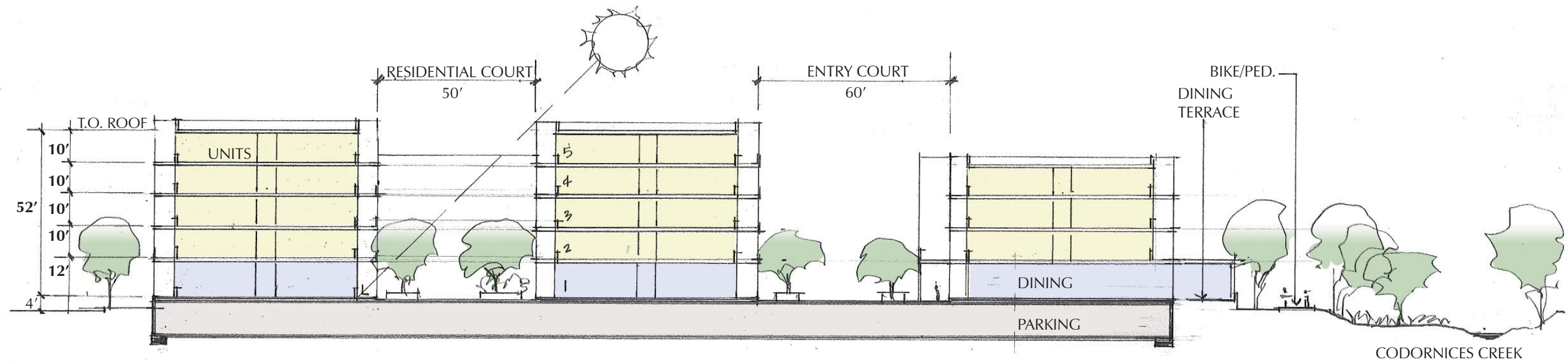
Block **B**

5TH LEVEL PLAN

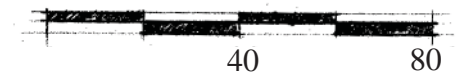
A10



SECTION A-A



SECTION B-B



Block **B**

SECTIONS

A11