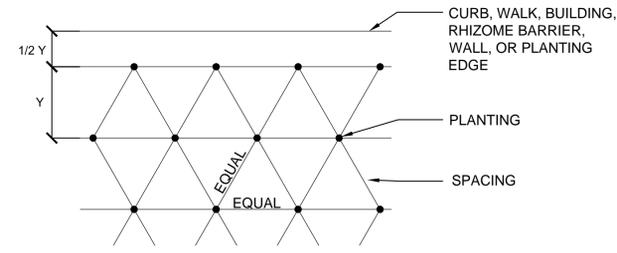


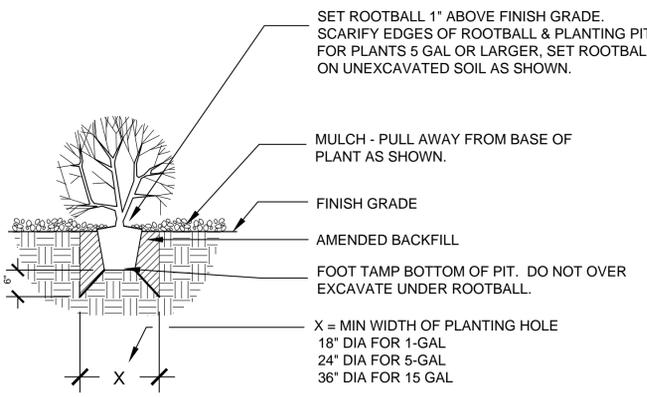
Plant List

Qty	Call Out	Botanical Name	Common Name	Size
TREES				
1	ACE CIR	Acer circinatum	Big Leaf Maple	15gal.
1	ACE MAC	Acer macrophyllum	Vine Maple	15gal.
2	CER CAN 'FP'	Cercis canadensis 'Forest Pansy'	Red Bud	15gal.
SHRUBS				
17	ARC PM	Arctostaphylos 'Pacific Mist'	Manzanita Pacific Mist	5 gal.
2	PHI LEW	Philadelphus lewisii	Wild Mock Orange	5 gal.
7	PIT UND	Pittosporum undulatum variegatum	Pittosporum Variegated	5 gal.
5	FRA CMS	Rhamnus californica 'Mound San Bruno'	Coffeeberry	5 gal.
12	RIB SAN	Ribes sanguineum glutinosum	Pink-Flowered Currant	5 gal.
PERENNIALS				
2	ANI KAN	Anigozanthos Kanga Burgundy	Kangaroo Paw Burgundy	1 gal.
8	EPI CAN	Epilobium canum 'Everett's Choice'	California Fuchsia	1 gal.
7	HEU MAX	Heuchera maxima	Island Alum Root	1 gal.
18	IRI DOU	Iris douglasiana	Douglas Iris	4"
29	LIB PER	Libertia peregrinans	Libertia	1 gal.
GRASSES				
76	CAR PAN	Carex panza	Dune Sedge	4"

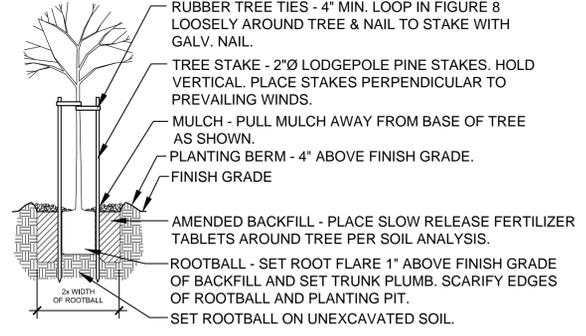
PROPOSED LANDSCAPE PLAN
1/8" = 1'-0"



1 GROUNDCOVER SPACING
Scale: NONE



2 SHRUB PLANTING
Scale: 1/2" = 1'-0"



3 TREE PLANTING AND STAKING
Scale: 1/4" = 1'-0"

LANDSCAPE NOTES

- BEFORE PLANTING, ALLEVIATE ANY COMPACTED SOILS TO A DEPTH OF 8" IN ALL LANDSCAPED AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION.
- PLANTING SOILS SHOULD BE AMENDED WITH RECYCLED, LOCAL, ORGANIC COMPOST.
- ALL PLANTING TO USE BAY-FRIENDLY PLANTING PRACTICES.
- APPLY SHEET MULCH COMPRISED OF CARDBOARD, COMPOST AND RECYCLED ARBOR MULCH TO ALL SOIL SURFACES, ACCORDING TO BAY-FRIENDLY PRACTICES. SEE [HTTP://WWW.BAYFRIENDLYCOALITION.ORG/DOWNLOAD/LYL/LYL-SHEETMULCHING-2012.PDF](http://www.bayfriendlycoalition.org/download/lyl/lyl-sheetmulching-2012.pdf)
- ALL PLANTS BROUGHT ONTO THE SITE SHALL BE WATERED AND PROTECTED FROM EXCESSIVE WIND, SUN, PHYSICAL DAMAGE, OR THEFT UNTIL PLANTING.
- TREES SHALL BE PLANTED BY PLANT PIT. WHEN PITS HAVE BEEN BACKFILLED APPROXIMATELY 2/3 THEIR DEPTH, WATER THOROUGHLY WITH A HOSE BEFORE INSTALLING REMAINDER OF PLANTING MIX TO TOP OF PIT. WHEN BACKFILLING IS PARTIALLY COMPLETED, EXTRA CARE SHOULD BE TAKEN TO SEE THAT PLANTING MIX IS WORKED AROUND ROOT BALL. ELIMINATE AIR POCKETS. BACKFILLING SHALL BE COMPLETED BY A TAMPING PROCESS. DO NOT ALLOW ROOT BALLS TO DRY OUT BEFORE PLANTING. DO NOT ALLOW SOIL OR DENSE MULCH TO BUILD UP AROUND STEM OF PLANT.
- A MOUND OF EARTH SHALL BE FORMED AROUND EACH TREE OR SHRUB TO PRODUCE A SHALLOW BASIN TO RETAIN WATER, LOCATED ON THE BACKFILL SUCH THAT WATER WILL BE FORCED THROUGHOUT THE ROOT BALL. PLANTS SHALL BE WATERED IN PLACE DURING AND AFTER BACKFILLING.
- ALL TREES SHALL BE STAKED. STAKES SHALL BE LODGEPOLE PINE, 10'X2" DIAMETER WITH CHAMFERED TOP. STAKES SHALL BE DRIVEN 2' INTO FIRM GROUND AND FASTENED SECURELY WITH TIES. ALL STAKES TO BE SET PLUMB.

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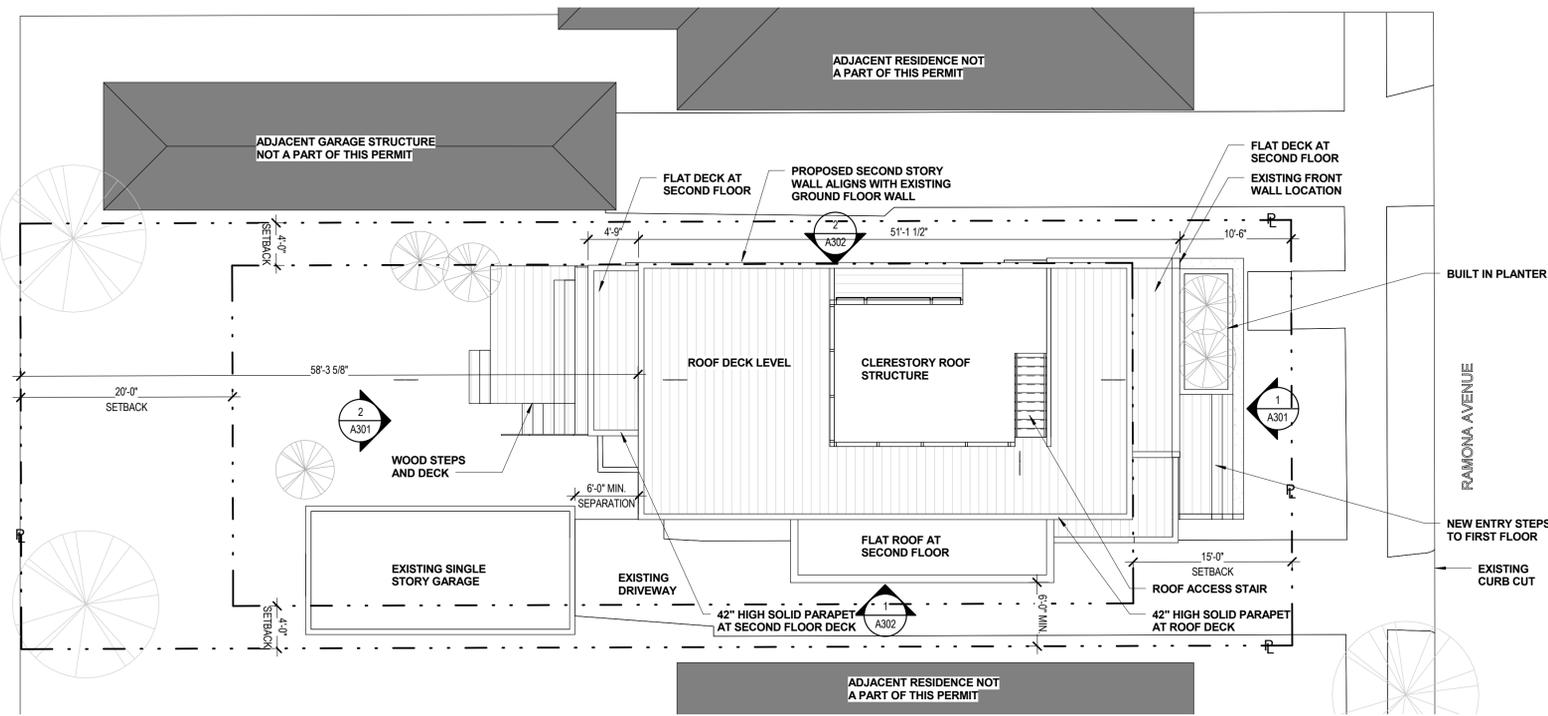
REVISIONS

ISSUE FOR PLANNING	DATE:
ISSUE FOR PLANNING	08/01/16
ISSUE FOR PLANNING	10/20/16

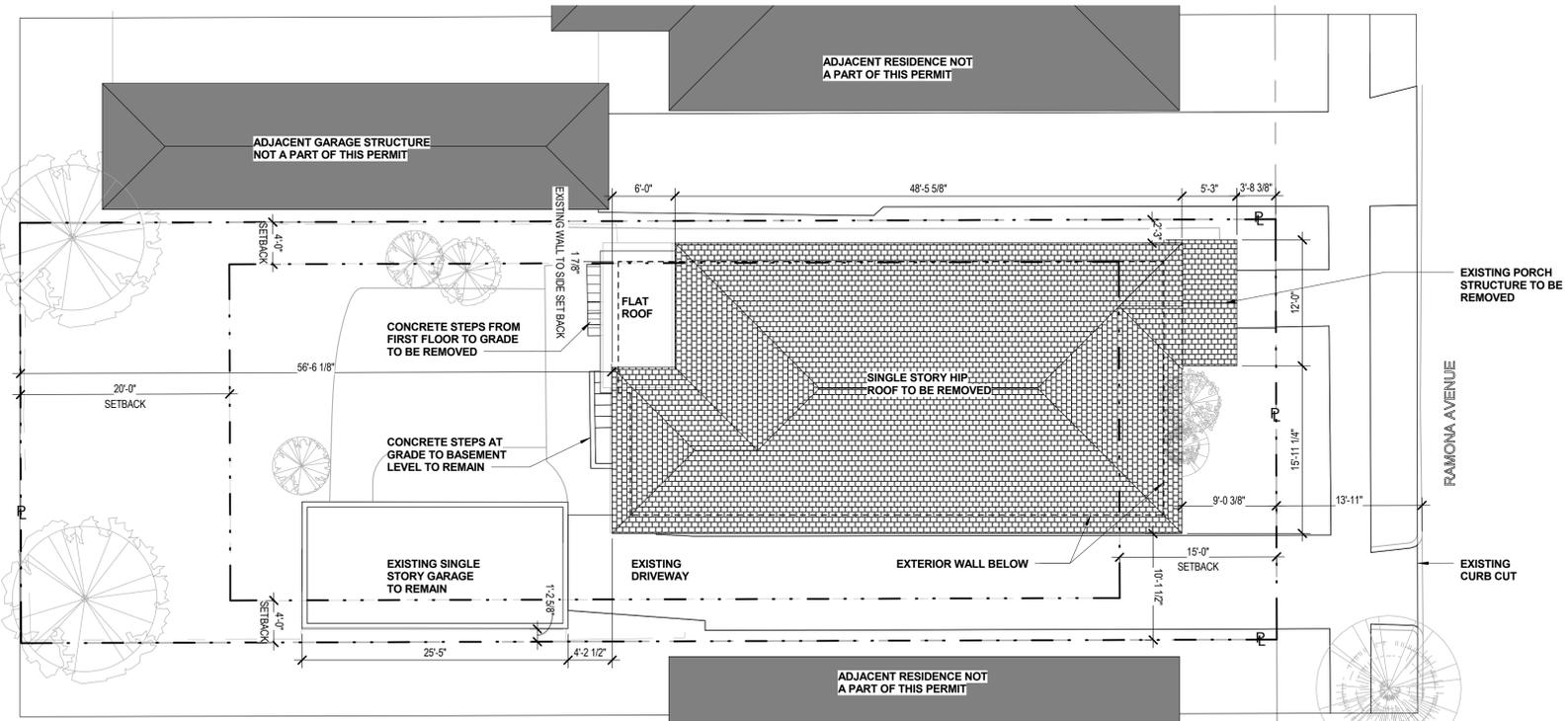
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SHEET TITLE:
PROPOSED LANDSCAPE PLAN

PROJECT NO: 1536
DRAWN BY: S.P.
DATE: 10.20.16
SCALE: As indicated
DRAWING NO. **L001**



2 PROPOSED SITE PLAN
1/8" = 1'-0"



1 EXISTING SITE PLAN
1/8" = 1'-0"

LEGEND

SHADE INDICATES STRUCTURE AT ADJACENT PROPERTY. NOT A PART OF THIS PERMIT.

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SHEET TITLE:
EXISTING & PROPOSED SITE PLAN

PROJECT NO: 1536
DRAWN BY: Author
DATE: 08.01.16
SCALE: As indicated
DRAWING NO: **A002**



6



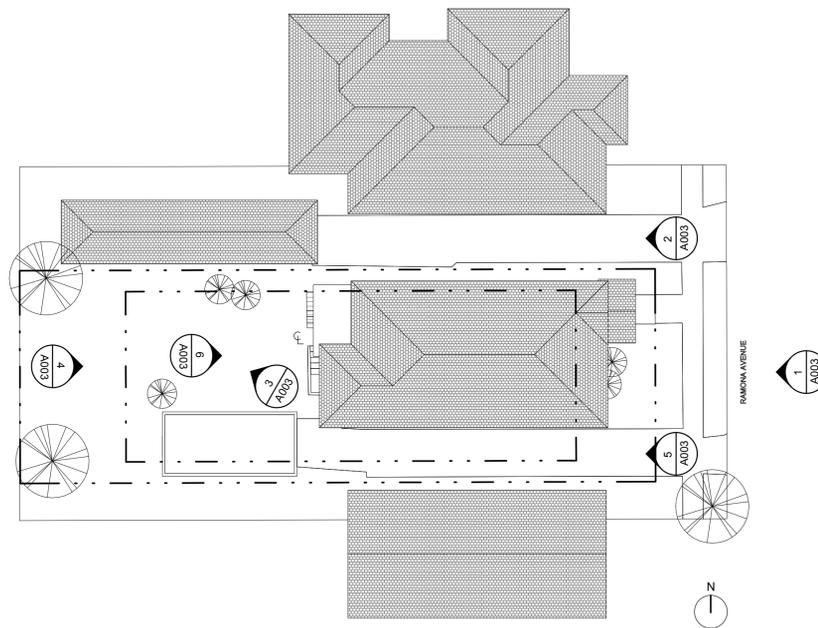
4



3



5



2



1

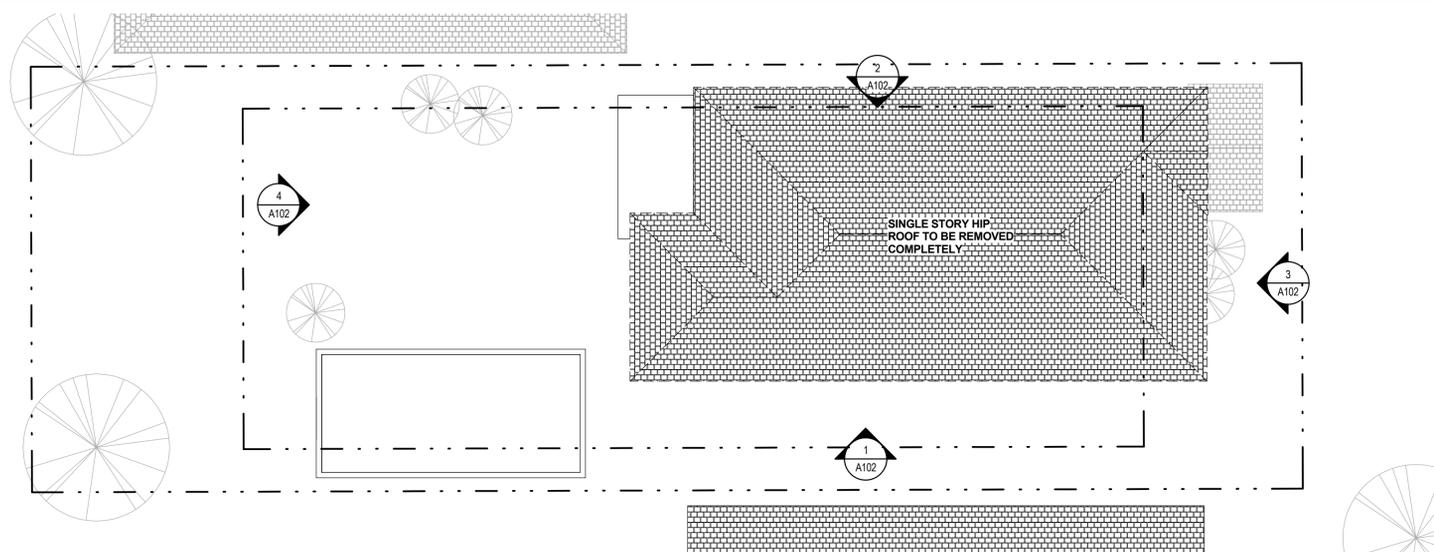
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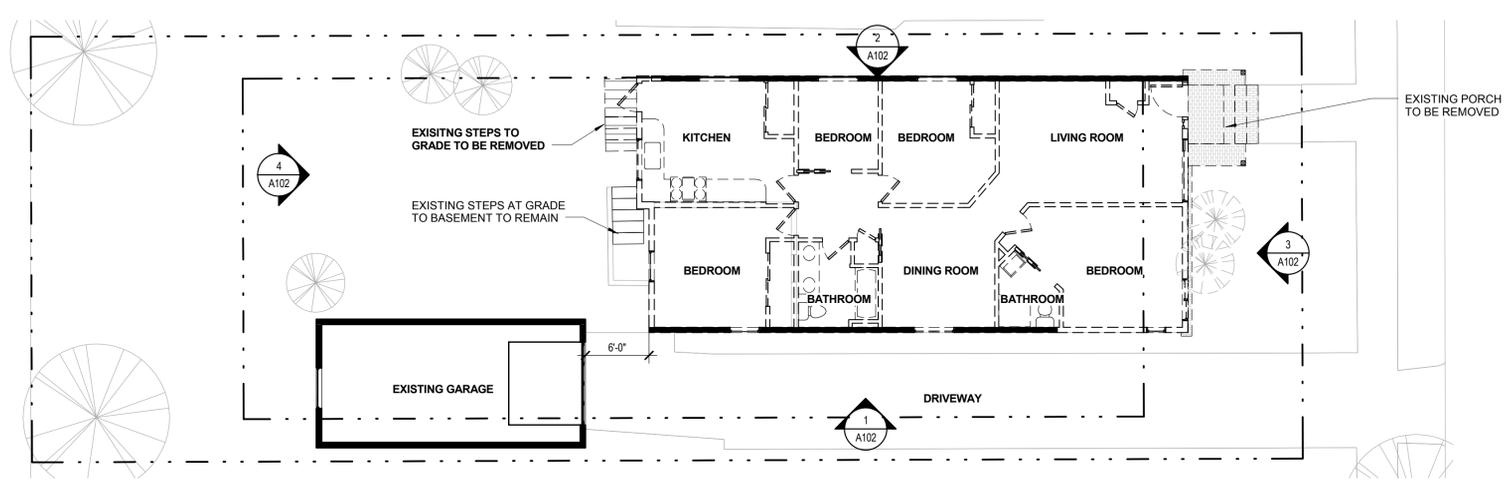
SHEET TITLE:
SITE PHOTOS

PROJECT NO: 1536
DRAWN BY: Author
DATE: 08.01.16
SCALE: 1/16" = 1'-0"
DRAWING NO. **A003**

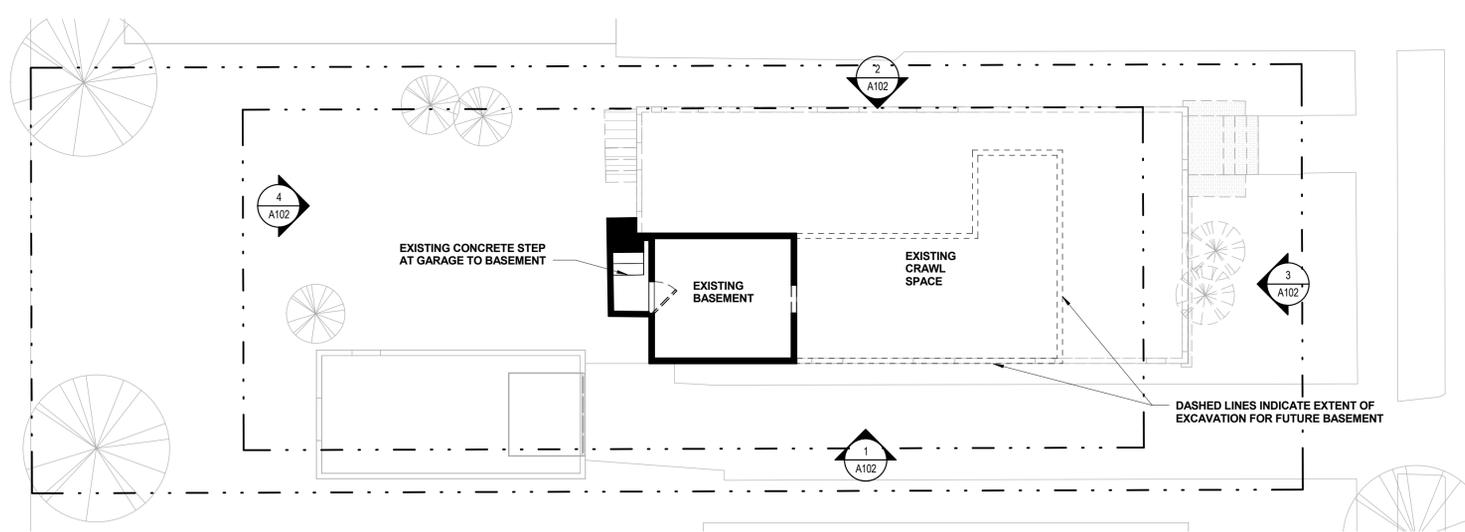
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3 EXISTING / DEMOLITION ROOF PLAN
1/8" = 1'-0"



2 EXISTING / DEMOLITION FIRST FLOOR PLAN
1/8" = 1'-0"



1 EXISTING / DEMOLITION BASEMENT PLAN
1/8" = 1'-0"



LEGEND

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES EXISTING CONSTRUCTION TO BE REMOVED

GENERAL NOTES

1. EXISTING HIP ROOF TO BE REMOVED COMPLETELY.
2. EXISTING EXTERIOR FINISHES TO BE REMOVED COMPLETELY.
3. PORTIONS OF EXTERIOR WALLS TO BE REMOVED FOR NEW CONSTRUCTION. SEE PLANS

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SHEET TITLE:
EXISTING / DEMOLITION PLANS

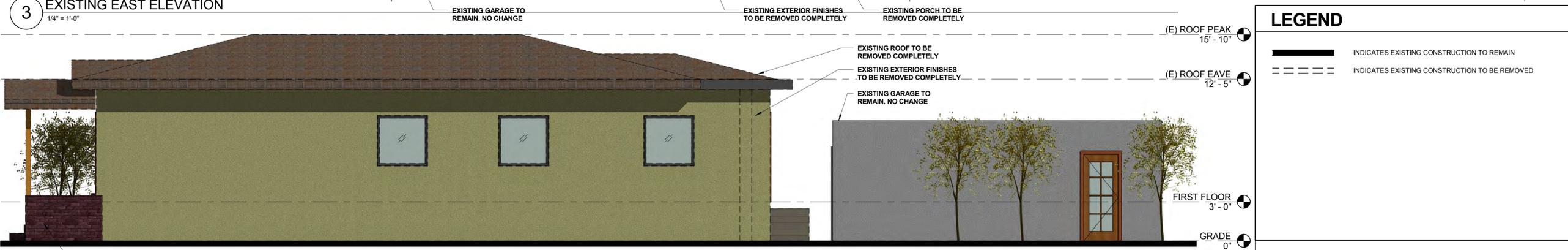
PROJECT NO: 1536
 DRAWN BY: DP
 DATE: 08.01.16
 SCALE: As indicated
 DRAWING NO: **A101**



4 EXISTING WEST ELEVATION
1/4" = 1'-0"



3 EXISTING EAST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

LEGEND

———— INDICATES EXISTING CONSTRUCTION TO REMAIN

- - - - - INDICATES EXISTING CONSTRUCTION TO BE REMOVED

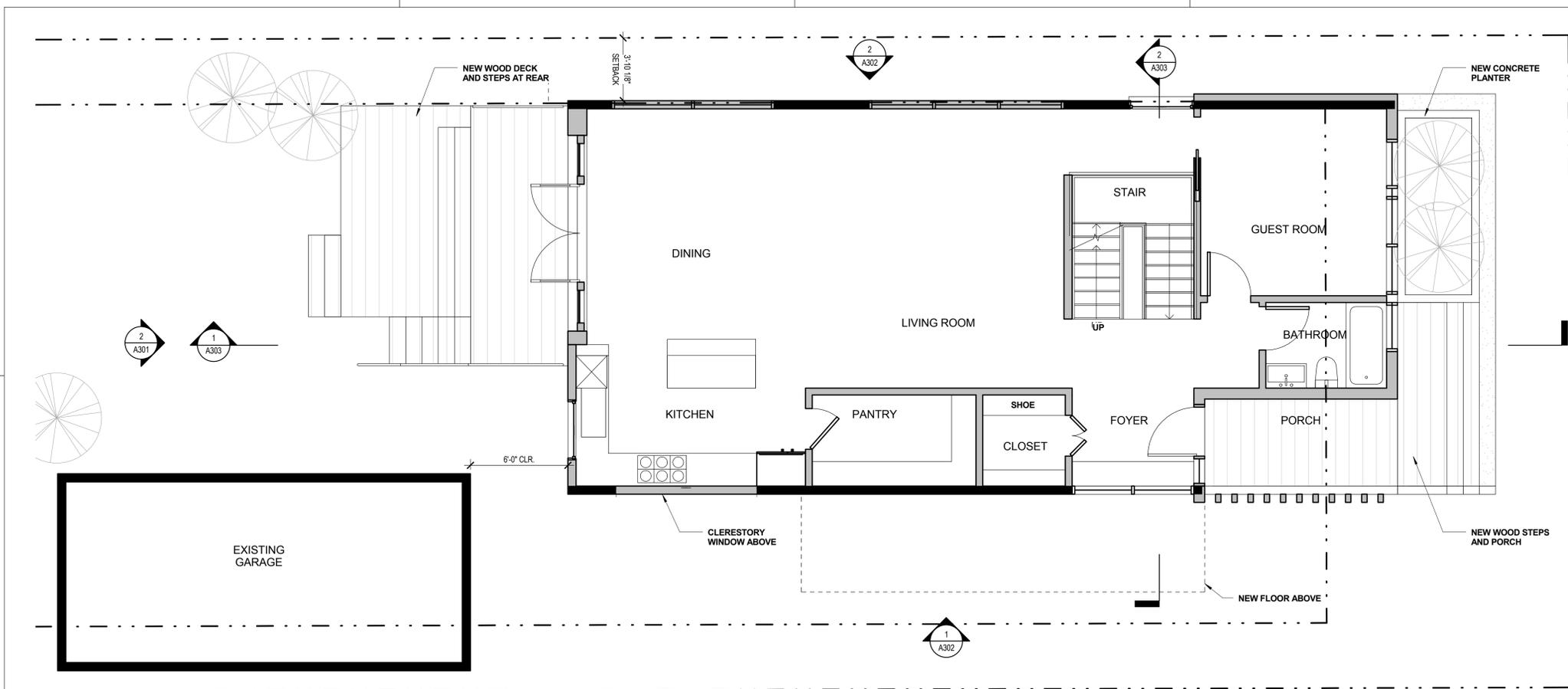
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ISSUE FOR PLANNING	08/01/16

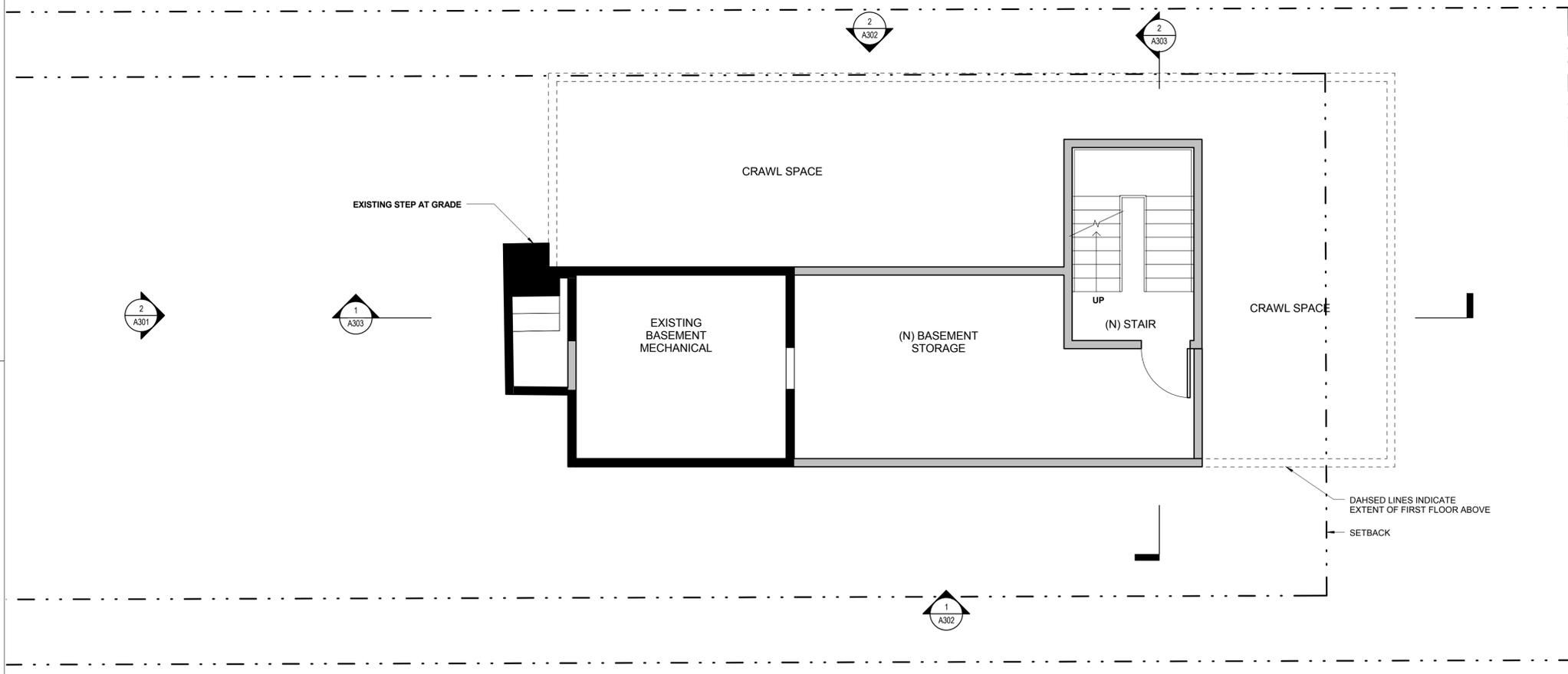
SHEET TITLE:
**EXISTING /
DEMOLITION
EXTERIOR
ELEVATIONS**

PROJECT NO: 1536
DRAWN BY: DP
DATE: 08.01.16
SCALE: As indicated
DRAWING NO: **A102**

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2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED BASEMENT PLAN
1/4" = 1'-0"

LEGEND

INDICATES EXISTING CONSTRUCTION TO REMAIN

INDICATES NEW CONSTRUCTION

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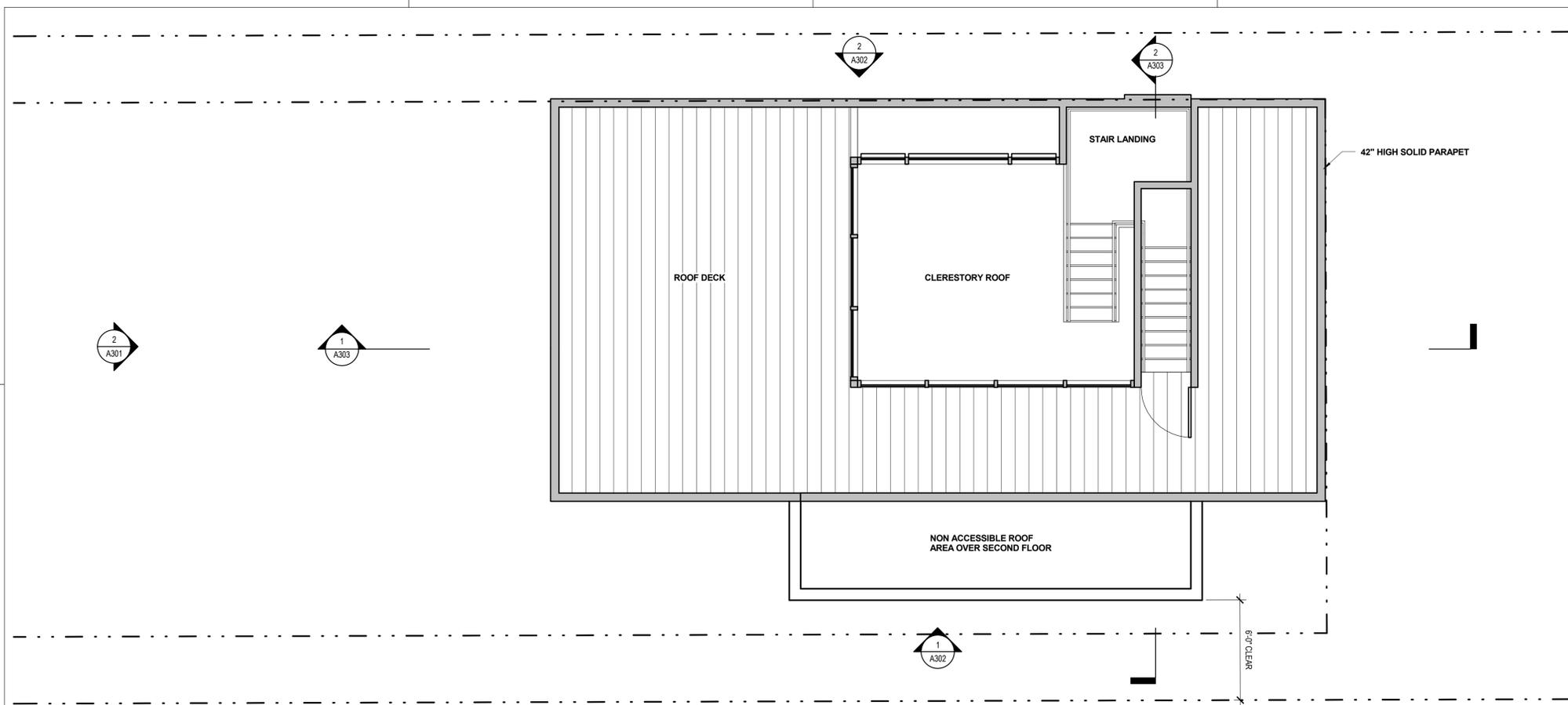
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ISSUE FOR PLANNING	08/01/16

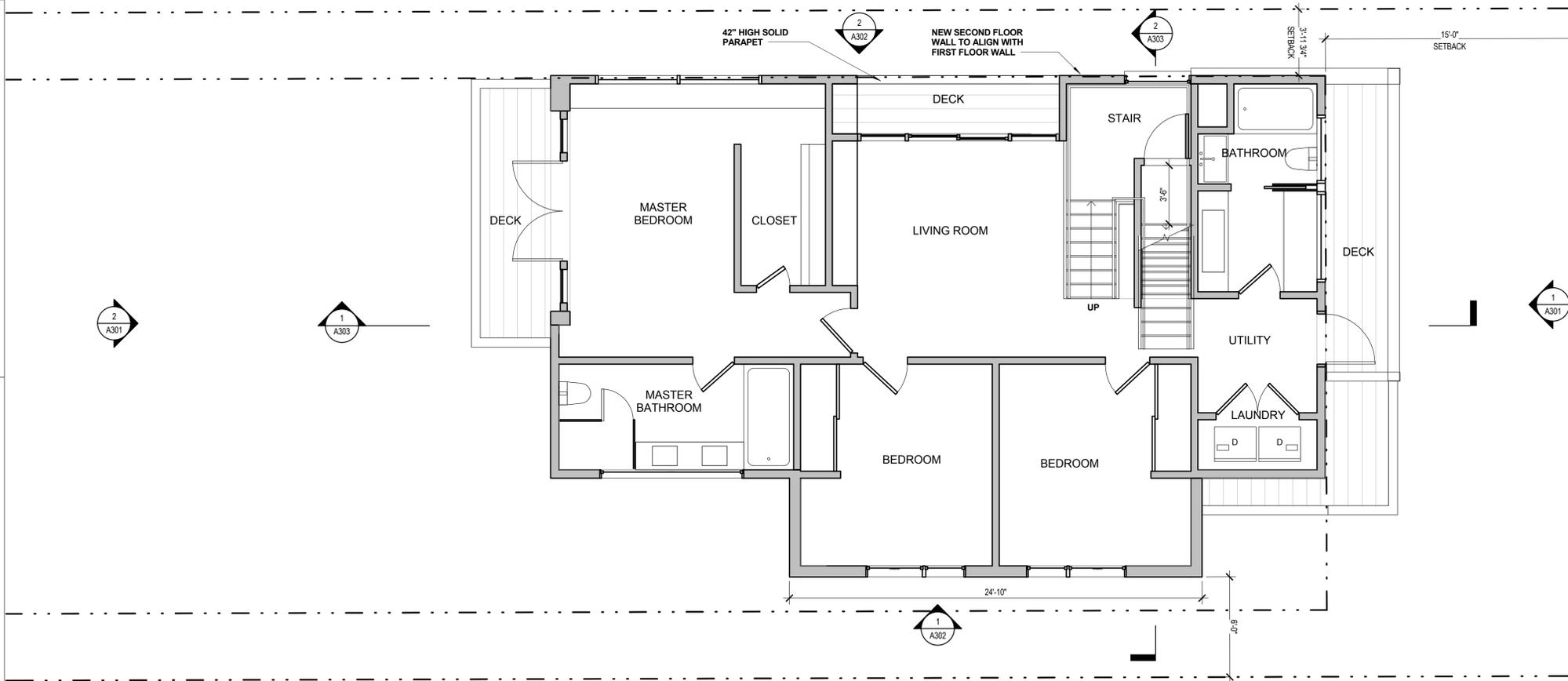
SHEET TITLE:
PROPOSED BASEMENT AND GROUND FLOOR FLOOR PLANS

PROJECT NO: 1536
DRAWN BY: DP
DATE: 08.01.16
SCALE: As indicated
DRAWING NO. **A201**

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2 PROPOSED ROOF PLAN
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

LEGEND

INDICATES EXISTING CONSTRUCTION TO REMAIN

INDICATES NEW CONSTRUCTION

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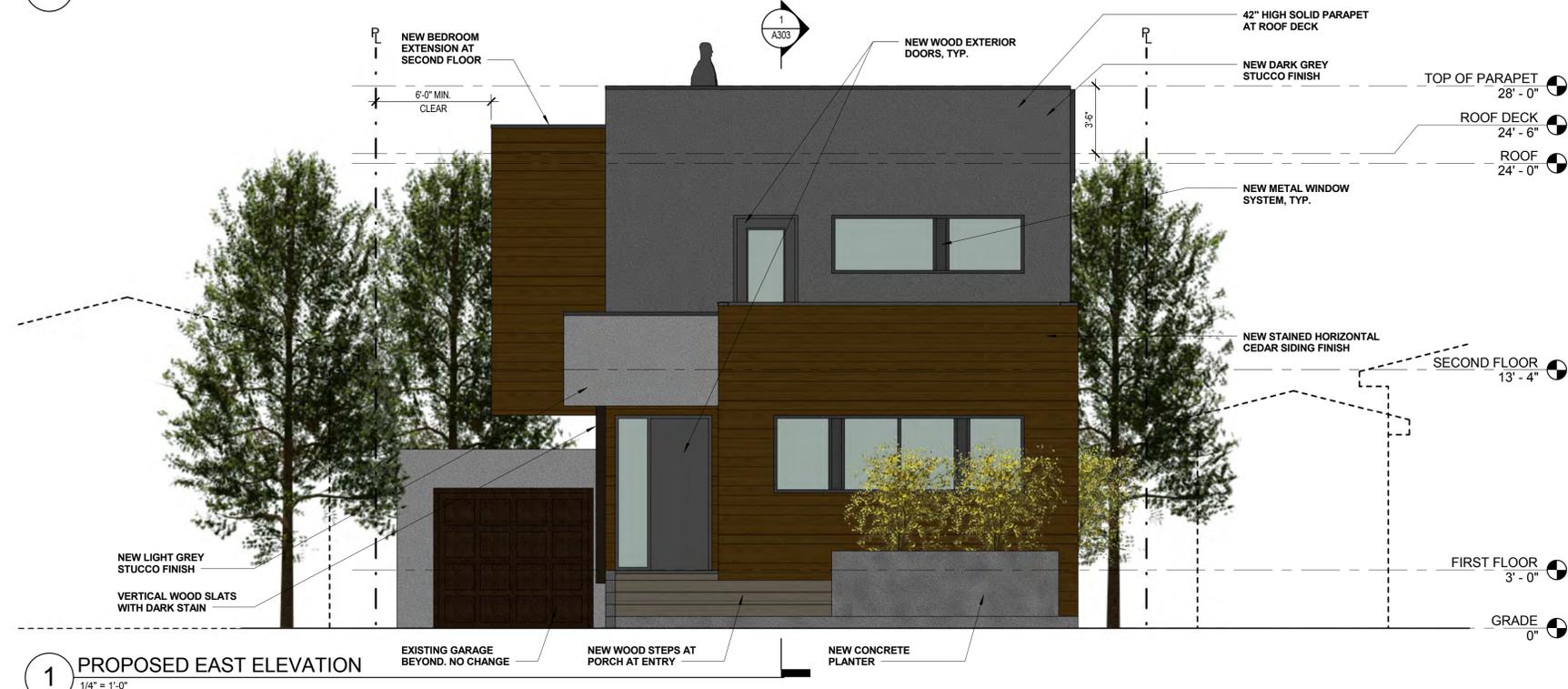
SHEET TITLE:
PROPOSED SECOND FLOOR AND ROOF PLAN

PROJECT NO: 1536
DRAWN BY: Author
DATE: 08.01.16
SCALE: As indicated
DRAWING NO. **A202**

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2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

LEGEND

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES NEW CONSTRUCTION
- HEAVY DASHED LINE INDICATES OUTLINE OF ADJACENT BUILDING AT ADJACENT PROPERTY

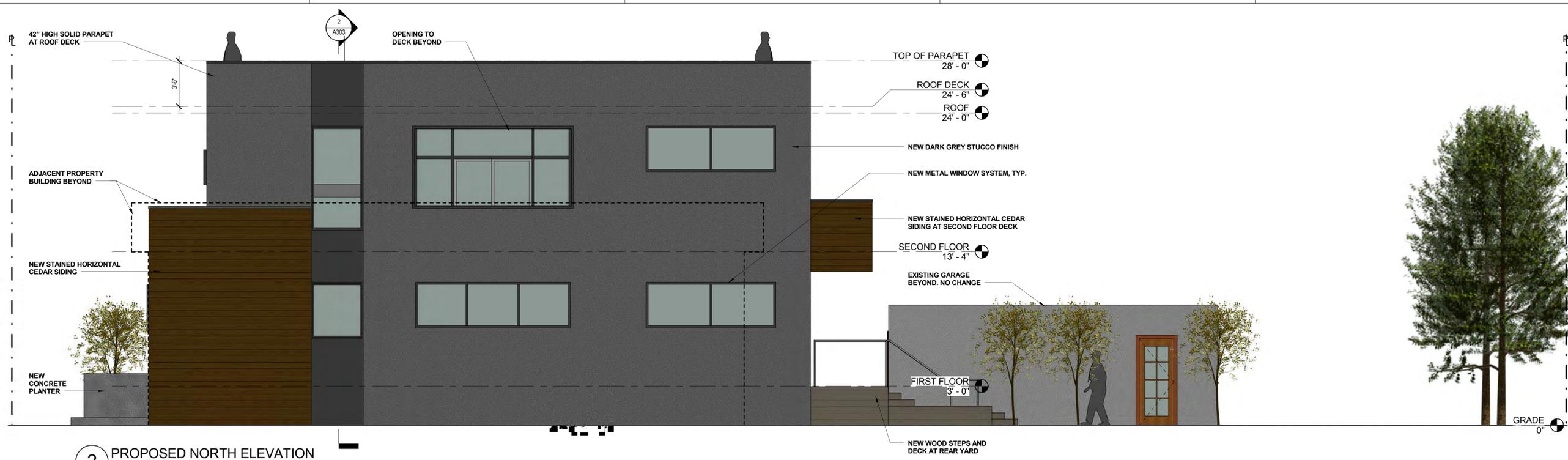
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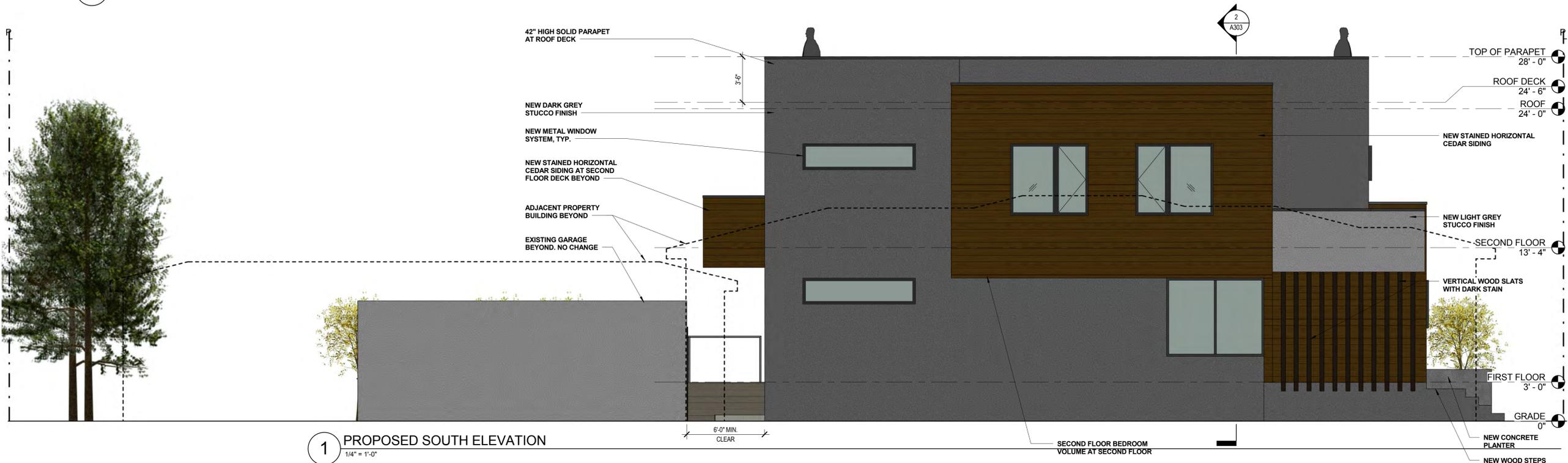
SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT NO: 1536
 DRAWN BY: Author
 DATE: 08.01.16
 SCALE: As indicated
 DRAWING NO. **A301**

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2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

LEGEND

	INDICATES EXISTING CONSTRUCTION TO REMAIN
	INDICATES NEW CONSTRUCTION
	HEAVY DASHED LINE INDICATES OUTLINE OF ADJACENT BUILDING AT ADJACENT PROPERTY

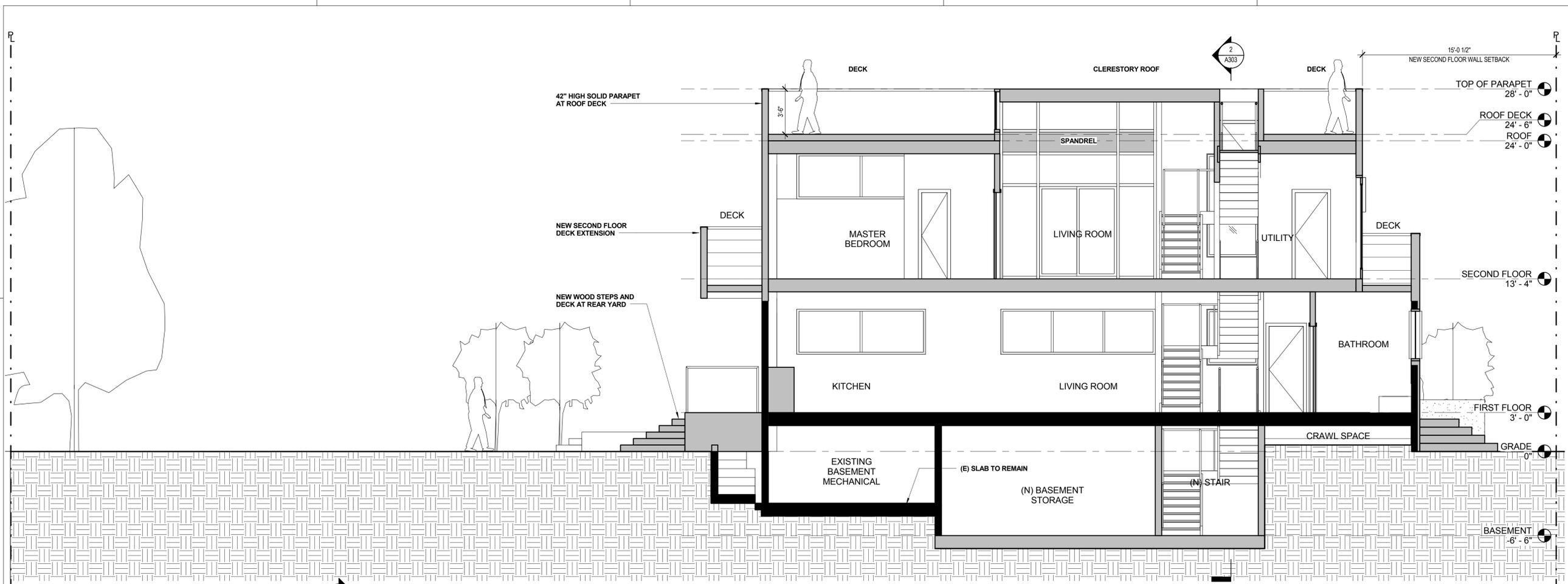
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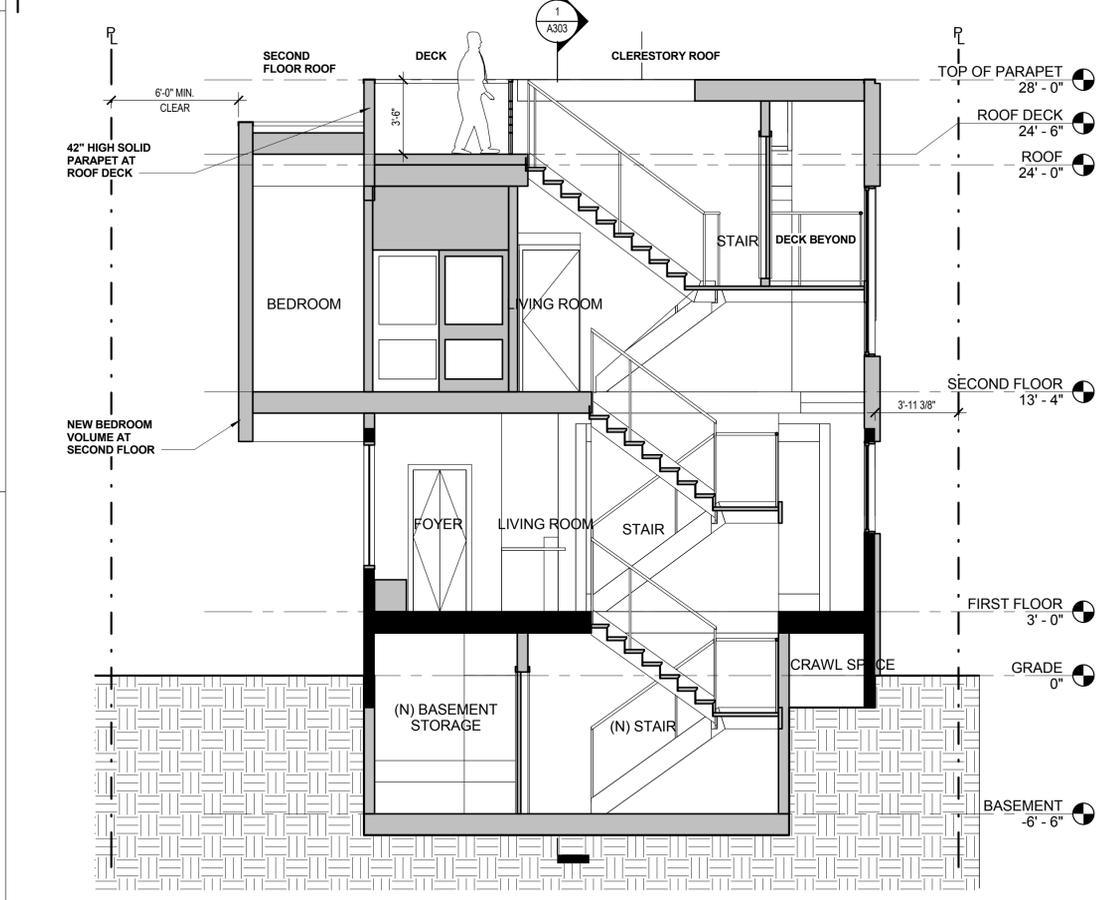
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SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT NO: 1536
DRAWN BY: Author
DATE: 08.01.16
SCALE: As indicated
DRAWING NO: **A302**



1 PROPOSED EAST/WEST SECTION
1/4" = 1'-0"



2 PROPOSED NORTH/SOUTH SECTION
1/4" = 1'-0"

LEGEND

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES NEW CONSTRUCTION
- HEAVY DASHED LINE INDICATES OUTLINE OF ADJACENT BUILDING AT ADJACENT PROPERTY

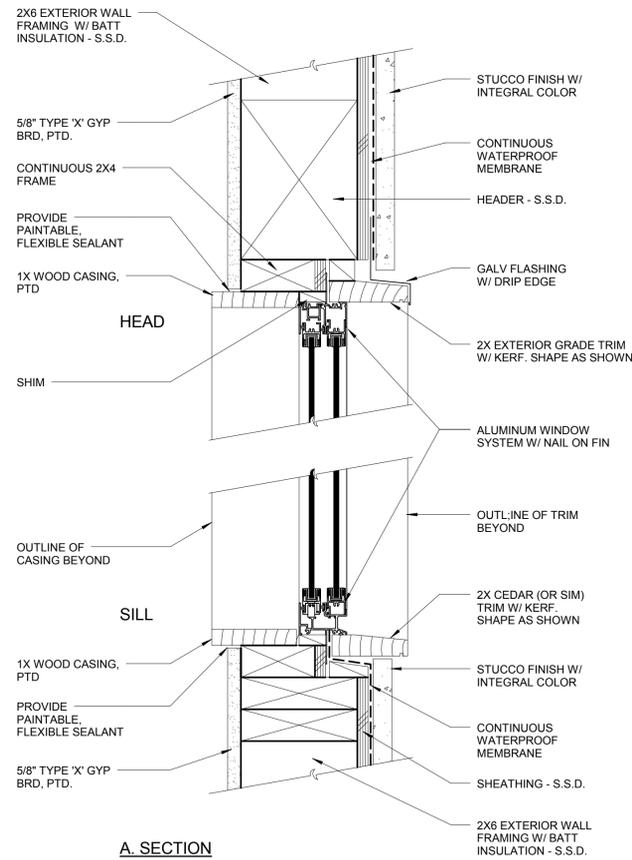
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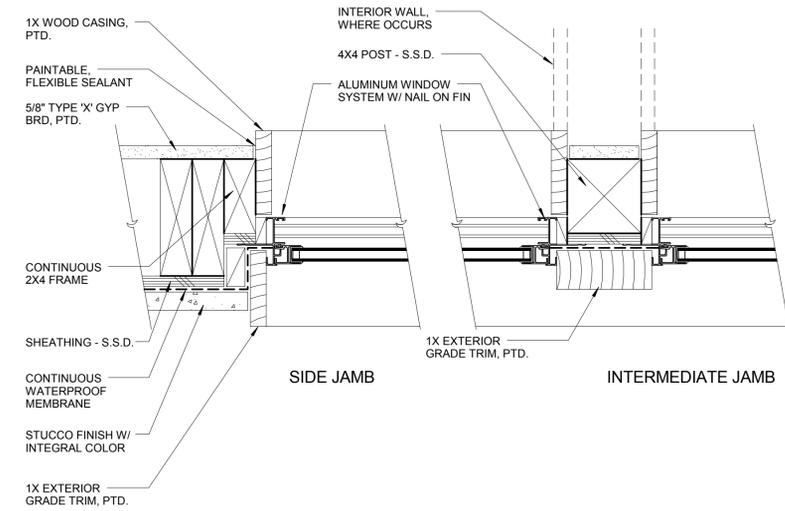
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SHEET TITLE:
PROPOSED BUILDING SECTION

PROJECT NO: 1536
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A. SECTION



B. PLAN

1 WINDOW DETAIL
3" = 1'-0"

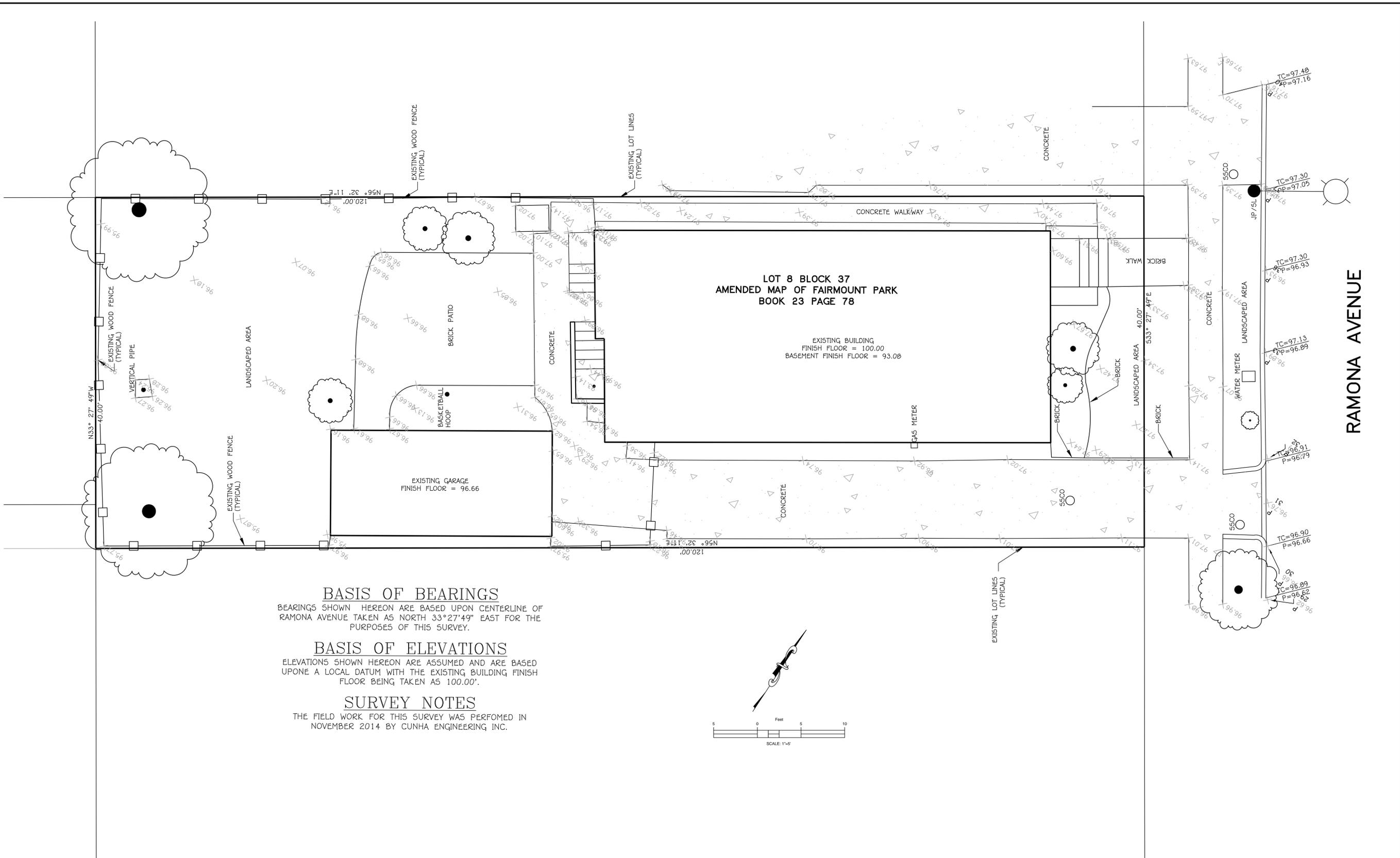
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SHEET TITLE:
DETAILS

PROJECT NO: 1536
DRAWN BY: Author
DATE: 08.01.16
SCALE: 3" = 1'-0"
DRAWING NO: **A401**



BASIS OF BEARINGS

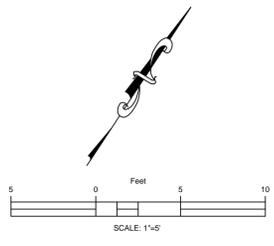
BEARINGS SHOWN HEREON ARE BASED UPON CENTERLINE OF RAMONA AVENUE TAKEN AS NORTH 33°27'49" EAST FOR THE PURPOSES OF THIS SURVEY.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN HEREON ARE ASSUMED AND ARE BASED UPON A LOCAL DATUM WITH THE EXISTING BUILDING FINISH FLOOR BEING TAKEN AS 100.00'.

SURVEY NOTES

THE FIELD WORK FOR THIS SURVEY WAS PERFORMED IN NOVEMBER 2014 BY CUNHA ENGINEERING INC.

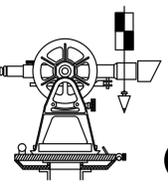


RAMONA AVENUE

LOT 8 BLOCK 37
AMENDED MAP OF FAIRMOUNT PARK
BOOK 23 PAGE 78

EXISTING BUILDING
FINISH FLOOR = 100.00
BASEMENT FINISH FLOOR = 93.00

EXISTING GARAGE
FINISH FLOOR = 96.66



CUNHA ENGINEERING INC.

PREPARED UNDER THE DIRECTION OF:

Scott V. Cunha

SCOTT V. CUNHA
L.S. 8525 EXPIRES: 12-31-2016
SIGNED AND PRINTED ON 8/26/16



DESIGNED BY: S.V.C. DRAWN BY: V.H.C. CHECKED BY: S.V.C. SCALE: 1" = 5'	CUNHA ENGINEERING INC. 701 BELMONT WAY, STE. A PINOLE, CALIFORNIA 94564 (510) 741-8290	APPROVED BY:	R.C.E. No.	DATE
		APPROVED BY:		
		APPROVED BY:		
		APPROVED BY:		
Boundary and Topographic Survey 1010 Ramona Avenue Lot 8 Block 37 Amended Map of Fairmount Park CALIFORNIA	SHEET NUMBER 1 OF 1 SHEETS DRAWING NO. 1010 Ram	BY: DATE: DESCRIPTION:	APPR. BY: CITY: DATE:	APPR. BY: CITY: DATE: