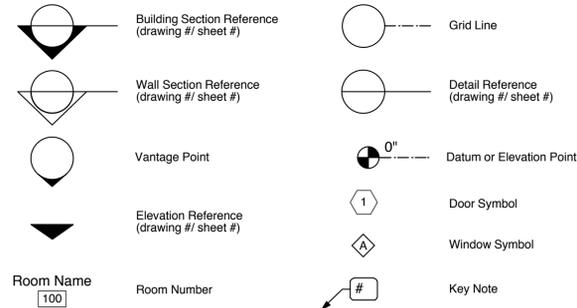


General Notes

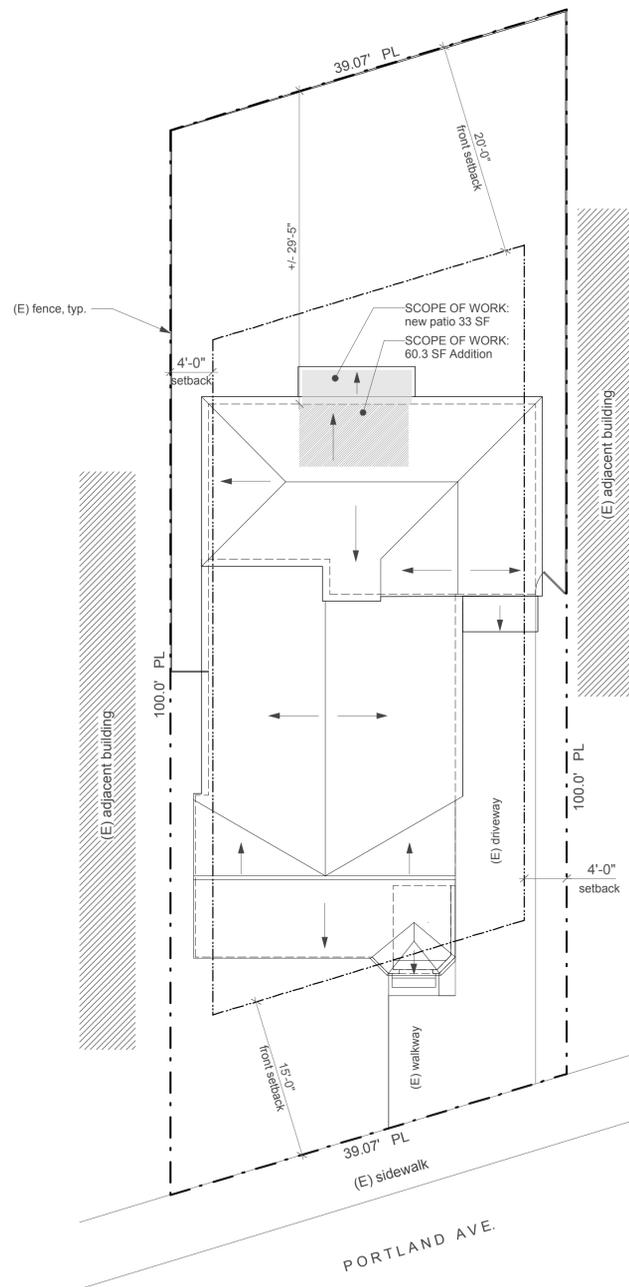
- All work and materials to conform to the requirements of local and state codes and the specifications of the National Board of Fire Underwriters. All work shall be done in accordance with the requirements of the city and/or appropriate authority having jurisdiction over construction where the project is located.
- Current applicable codes: 2013 California Building Code; 2013 California Residential Code; 2013 California Mechanical Code; 2013 California Electrical Code; 2013 California Plumbing Code; 2013 California Green Building Code; 2013 California Energy Code.
- Contractor shall check and verify all plan dimensions and conditions before proceeding with construction and shall report any discrepancies to the Architect for correction before beginning any work.**
- Do not scale drawings. All written dimensions govern.
- The Architect is not responsible for any deviations from the plans and specification information.
- The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with the work, or the acts or omissions of the Contractor, subcontractors, or any other persons performing any work, or for failure of any of them to carry out the work in accordance with the construction documents.
- The following set of drawings is an instrument of professional service and shall remain the property of Drafting Cafe, whether the project is executed or not. No changes, alterations, or deletions may be made hereto except by the Architect.

Symbol Legend



Abbreviations

AD	Area Drain	MECH	Mechanical
ADJ	Adjustable	MIN	Minimum
AF	Above Finish Floor	MTL	Metal
AGGR	Aggregate	MR	Moisture Resistant
ARCH	Architectural	(N)	New
ASPH	Asphalt	NIC	Not In Contract
		NTS	Not To Scale
BLDG	Building	OBS	Obscure
BLK	Block	OC	On Center
BLKG	Blocking	OD	Outside Diameter
BO	Bottom Of	OPN'G	Opening
BW	Bottom of Wall		
CPT	Carpet	PLAM	Plastic Laminated
CAB	Cabinet	PL	Property Line
CH	Ceiling Height	PLT	Steel Plate
CJ	Construction Joint	PLYWD	Plywood
CL	Center Line	PT	Point
CLOS	Closet		
CLG	Ceiling	QTY	Quantity
CLR	Clear	R	Riser
CO	Clean Out	RAD	Radius
COL	Column	RET	Retaining
CONC	Concrete	R/A	Return Air
CONT	Continuous	RD	Round
CSMT	Casement	RD	Roof Drain
CT	Ceramic Tile	REF	Refrigerator
CS	Counter Sink	REG	Register
		REINF	Reinforced
DEMO	Demolition	REQ'D	Required
DET	Detail	RO	Rough Opening
DH	Double Hung	RWD	Redwood
DF	Douglas Fir	RWL	Rain Water Leader
DIAG	Diagonal		
DIM	Dimension	SAG	Supply Air Grill
DWGS	Drawings	SV	Sheet Vinyl
DN	Down	SH	Single Hung
DS	Downspout	SHT	Sheet
		SIM	Similar
(E)	Existing	SM	Sheet Metal
EJ	Expansion Joint	SQ	Square
EL	Elevation	SSD	See Structural Drawings
EQ	Equal	SS	Stainless Steel
EXT	Exterior	STD	Standard
		STL	Steel
FD	Floor Drain	STRUC	Structural
FF	Finish Floor		
FIN	Finish	T	Tread
FJ	Floor Joist	TC	Top Of Curb
FOC	Face Of Concrete	TEMP	Tempered Glass
FOS	Face Of Stud	TJ	Truss Joist
FOW	Face Of Wall	TO	Top Of
FTG	Footing	TOC	Top Of Concrete
		TYP	Typical
GA	Gauge	TW	Top Of Wall
GALV	Galvanized	TS	Tube Steel
GWB	Gypsum Wall Board		
GL	Glass	UON	Unless Otherwise Noted
GLU LAM	Glue Laminated		
GSM	Galv. Sheet Metal	VERT	Vertical
		VIF	Verify In Field
HB	Hose Bibb	VTO	Vent To Outside
HGT	Height		
HM	Hollow Metal	W/	With
HOR	Horizontal	W/C	Water Closet
HP	High Point	WD	Wood
		W/H	Water Heater
ID	Inside Diameter	WP	Waterproof
INSUL	Insulation	WPT	Work Point
INT	Interior		
JBOX	Junction Box	YD	Yard
JT	Joint		
LAM	Laminated		
LAV	Lavatory		
LP	Low Point		



1 Site Plan
1/8" = 1'-0"



Scope of Work

Modification to existing under floor storage area including a new bathroom to lower level of home. Remodel of kitchen to include new counter, cabinets, fixtures, and floors.

Project Information

Project Address:

APN: 67-2836-25
1265 Portland Ave.
Albany, CA 94706

Description:

Lot Size: 3,900 SF
Existing Residence: 1,257 SF
Additional Area: 60.3 SF
Total Proposed Residence: 1,350.3 SF
New Patio: 33 SF
Total Floor Area Ratio (F.A.R.): 1,350.3 / 3,900 = 0.35
Total Lot Coverage: 1,350.3 / 3,900 = 34.6%

Occupancy Code: Type R-3/U
Construction Type: Type V B
Year Built: 1937
Zoning: R-1

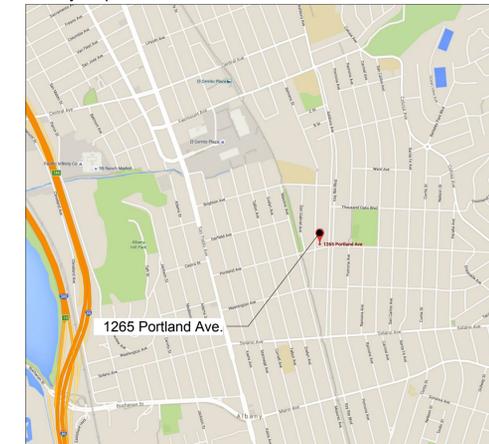
Architect:
Drafting Cafe
170 Santa Clara Ave. # 102
Oakland, CA 94610
T 510-251-2511
F 510-735-9797

Drawing List

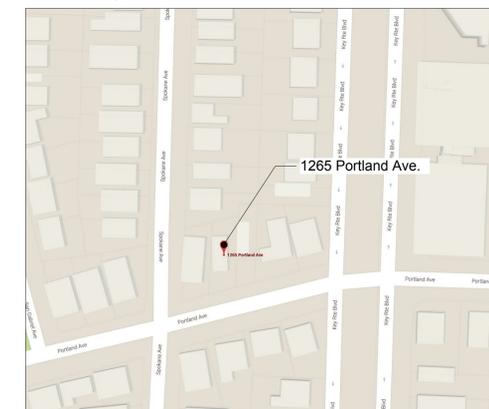
- Architectural**
A0.1 Cover Sheet
A0.2 CAL Green Checklist
A0.3 BMPs
A1.1 New & Existing Floor Plans
A1.2 Reflected Ceiling Plan
A2.1 Existing Elevations
A2.2 Proposed Elevations & Building Sections

- Structural**
S-1.1 Structural Title Sheet
S-1.2 Structural Specifications and Special Inspections
S-2.1 Foundation and Floor Framing Plan
S-3.1 Structural Details

Vicinity Map



Location Map



1265 Portland Ave.
Albany, CA 94706

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REVISIONS	NO.	DESCRIPTION	DATE

Cover Sheet

DATE: September 13, 2016
PROJECT: 16167
SCALE: 1/8" = 1'-0"

A0.1



City of Albany

Green Building Program Rating System for Remodeling Projects* Supplemental Application Form

*Please obtain other appropriate Green Point Checklist for projects other than Single Family Residential Remodeling Projects

Project Address: 1265 Portland Ave. Albany, CA 94706
Checklist Prepared By: Drafting Cafe
Date Prepared: 08/01/16

	INPUT	Resources	Energy	IAQ/Health
A. Site				
1. Recycle Job Site Construction & Demolition Waste 65% = 1 point; 75% = 2 points; 80% = 4 points	up to 4 Resource pts	y	4	
2. Salvage Reusable Building Materials	4 Resource pts	y	4	
3. Remodel for Mixed Use, Adaptive Reuse, and Historic Preservation	4 Resource pts	y		
4. Protect Native Soil	2 Resource pts	y		
5. Minimize Disruption of Existing Plants & Trees	1 Resource pt	y	1	
6. Implement Construction Site Stormwater Practices	2 Resource pts	y	2	
7. Protect Water Quality with Landscape Design	2 Resource pts	y		
8. Design Resource Efficient Landscapes and Gardens	4 Resource pts	y		
9. Reuse Materials/Use Recycled Content Materials for Landscape Areas	2 Resource pts	y		
10. Install High Efficiency Irrigation Systems	2 Resource pts	y		
11. Provide for On-Site Water Catchment / Retention	2 Resource pts	y		
B. Foundation				
1. Incorporate Recycled Flyash in Concrete 25% Recycled Flyash = 2 points; Add 1 point for every 10% increase of flyash, up to 5 points	up to 5 Resource pts	y	5	
2. Use Recycled Content Aggregate	2 Resource pts	y	2	
3. Insulate Foundation/Slab before backfill	3 Energy pts	y		
C. Structural Frame				
1. Substitute Solid Saw Lumber with Engineered Lumber	3 Resource pts	y		
2. Use FSC Certified Wood for framing (For every 10% of FSC lumber used = 2 points, up to 10)	up to 10 Resource pts			
3. Use Wood I-Joists for Floors and Ceilings	2 Resource pts	y		
4. Use Web Floor Trusses	2 Resource pts	y		
5. Design Energy Heels on Trusses 6" or more	2 Energy pts	y		
6. Use Finger-Jointed Studs for Vertical Applications	2 Resource pts	y		
7. Use Engineered Studs for Vertical Applications	2 Resource pts	y		
8. Use Recycled Content Steel Studs for Interior Framing	2 Resource pts	y		
9. Use Structural Insulated Panels (SIPs)				
a. Floors	3 Energy pts	y		
b. Wall	3 Energy pts	y		
c. Roof	3 Energy pts	y		

2004 Checklist Modified by City of Albany Incentives - Approved July 2, 2007

	INPUT	Resources	Energy	IAQ/Health
10. Apply Advanced Framing Techniques	4 Resource pts	y		
11. Use Reclaimed Lumber for Non Structural Applications	3 Resource pts	y		
12. Use OSB				
a. Subfloors	1 Resource pt	y	1	
b. Sheathing	1 Resource pt	y	1	
D. Exterior Finish				
1. Use Sustainable Decking Materials				
a. Recycled content	3 Resource pts	y		
b. FSC Certified Wood	3 Resource pts	y		
2. Use Treated Wood That Does Not Contain Chromium/Arsenic	1 IAQ/Health pt	y		1
3. Install House Wrap under Siding	1 IAQ/Health pt	y		1
4. Use Fiber-Cement Siding Materials	1 Resource pt	y		
E. Plumbing				
1. Install Water Heater Jacket	1 Energy pt	y		
2. Insulate Hot and Cold Water Pipes	2 Energy pts	y		1
3. Retrofit all Faucets and Showerheads with Flow Reducers				
a. Faucets (1 point each, up to 2 points)	Up to 2 Resource pts			
b. Showerheads (1 point each, up to 2 points)	Up to 2 Resource pts			
4. Replace Toilets with Ultra-Low Flush Toilets (1 point each, up to 3 points)	Up to 3 Resource pts			
5. Install Chlorine Filter on Showerhead	1 IAQ/Health pt	y		
6. Convert Gas to Tankless Water Heater	4 Energy pts	y		
7. Install Water Filtration Units at Faucets (2 points each, up to 4 points)	Up to 4 IAQ/Health pts			
8. Install On-Demand Hot Water Circulation Pump	4 Resource pts	y		
F. Electrical				
1. Install Compact Fluorescent Light Bulbs (CFLs) (6 bulbs = 2 points, 10 bulbs = 3 points, 12 bulbs = 4 points)	Up to 4 Energy pts	y		2
2. Install IC-AT Recessed Fixtures with CFLs (1 point each, up to 5 points)	Up to 5 Energy pts			
3. Install Lighting Controls (1 point per fixture, up to 4 points)	Up to 4 Energy pts			
4. Install High Efficiency Ceiling Fans with CFLs (1 point each, up to 4 points)	Up to 4 Energy pts			
G. Appliances				
1. Install Energy Star Dishwasher	1 Energy pt	y		
2. Install Washing Machine with Water and Energy Conservation Features	1 Energy pt	y		
3. Install Energy Star Refrigerator	1 Energy pt	y		
4. Install Built-In Recycling Center	3 Resource pts	y		
H. Insulation				
1. Upgrade Insulation to Exceed Title 24 Requirements				
a. Walls	2 Energy pts	y		
b. Ceilings	2 Energy pts	y		

2004 Checklist Modified by City of Albany Incentives - Approved July 2, 2007

	INPUT	Resources	Energy	IAQ/Health
2. Install Floor Insulation over Crawl Space	4 Energy pts	y		
3. Install Recycled Content, Fiberglass Insulation with No Added Formaldehyde	3 IAQ/Health pts	y		3
4. Use Advanced Infiltration Reduction Practices	2 Energy pts	y		
5. Use Cellulose Insulation				
a. Walls	4 Resource pts	y		
b. Ceilings	4 Resource pts	y		
6. Alternative Insulation Products (Cotton, spray-foam)				
a. Walls	4 Resource pts	y		
b. Ceilings	4 Resource pts	y		
I. Windows				
1. Install Energy-Efficient Windows				
a. Double-Paneled	1 Energy pt	y		1
b. Low-Emissivity (Low-E)	2 Energy pts	y		
c. Low Conductivity Frames	2 Energy pts	y		
2. Install Low Heat Transmission Glazing	1 Energy pt	y		
J. Heating Ventilation and Air Conditioning				
1. Use Duct Mastic on All Duct Joints	2 Energy pts	y		
2. Install Ductwork within Conditioned Space	3 Energy pts	y		
3. Vent Range Hood to the Outside	1 IAQ/Health pt	y		
4. Clean all Ducts Before Occupancy	2 IAQ/Health pts	y		
5. Install Solar Attic Fan	2 Energy pts	y		
6. Install Attic Ventilation Systems	1 Energy pt	y		
7. Install Whole House Fan	4 Energy pts	y		
8. Install Sealed Combustion Units				
a. Furnaces	3 IAQ/Health pts	y		
b. Water Heaters	3 IAQ/Health pts	y		
9. Replace Wall Mounted Electric and Gas Heaters with Through-the-Wall Heat Pumps	3 Energy pts	y		
10. Install 13 SEER/11 EER or higher AC with a TXV	3 Energy pts	y		
11. Install AC with Non-HFC Refrigerants	2 Resource pts	y		
12. Install 90% Annual Fuel Utilization Efficiency (AFUE) Furnace	2 Energy pts	y		
13. Retrofit Wood Burning Fireplaces				
a. Install EPA certified wood stoves/inserts	1 IAQ/Health pt	y		
b. Install/Replace Dampers	1 Energy pt	y		
c. Install Airtight Doors	1 Energy pt	y		
14. Install Zoned, Hydronic Radiant Heating	3 Energy pts	y		
15. Install High Efficiency Filter	4 IAQ/Health pts	y		
16. Install Heat Recovery Ventilation Unit (HRV)	5 IAQ/Health pts	y		
17. Install Separate Garage Exhaust Fan	3 IAQ/Health pts	y		
K. Renewable Energy and Roofing				
1. Pre-Plumb for Solar Water Heating	4 Energy pts	y		
2. Install Solar Water Heating System	10 Energy pts	y		
3. Pre-Wire for Future Photovoltaic (PV) Installation	4 Energy pts	y		
4. Install Photovoltaic (PV) System (1.2 kw = 6 points, 2.4 kw = 12 points, 3.6 kw = 18 points)	Up to 18 Energy pts			

2004 Checklist Modified by City of Albany Incentives - Approved July 2, 2007

	INPUT	Resources	Energy	IAQ/Health
6. Select Safe and Durable Roofing Materials	1 Resource pt	y	1	
7. Install Radiant Barrier	3 Energy pts	y	3	
L. Natural Heating and Cooling				
1. Incorporate Passive Solar Heating	5 Energy pts	y		
2. Install Overhangs or Awnings over South Facing Windows	3 Energy pts	y		
3. Plant Deciduous Trees on the West and South Sides	3 Energy pts	y		
M. Indoor Air Quality and Finishes				
1. Use LowNo-VOC Paint	1 IAQ/Health pts	y		1
2. Use Low VOC, Water Based Wood Finishes	2 IAQ/Health pts	y		2
3. Use LowNo VOC Adhesives	3 IAQ/Health pts	y		3
4. Use Salvaged Materials for Interior Finishes	3 Resource pts	y		
5. Use Engineered Sheet Goods with no added Urea Formaldehyde	4 IAQ/Health pts	y		6
6. Use Exterior Grade Plywood for Interior Uses	1 IAQ/Health pts	y		
7. Seal all Exposed Particleboard or MDF	4 IAQ/Health pts	y		
8. Use FSC Certified Materials for Interior Finish	4 Resource pts	y		
9. Use Finger-Jointed or Recycled-Content Trim	1 Resource pts	y		
10. Install Whole House Vacuum System	3 IAQ/Health pts	y		
N. Flooring				
1. Select FSC Certified Wood Flooring	8 Resource pts	y		
2. Use Rapidly Renewable Flooring Materials	4 Resource pts	y		
3. Use Recycled Content Ceramic Tiles	4 Resource pts	y		
4. Install Natural Linoleum in Place of Vinyl	5 IAQ/Health pts	y		
5. Use Exposed Concrete as Finished Floor	4 Resource pts	y		
6. Install Recycled Content Carpet with Low VOCs	4 Resource pts	y		
O. City of Albany Incentives				
1. Additions less than 50% increase in floor area	20 Resource pts	y		
2. Additions less than 200sq.ft. or resulting in less than 1,500sq.ft.	10 Resource pts	y		
3. Seismic upgrade of existing building	25 Resource pts	y		
4. For having a hybrid or zero emissions vehicle	2 IAQ/Health pts	y		
5. For having no automobile	5 Resource pts	y		
6. Plant more than one street tree when feasible	2 IAQ/Health pts	y		
7. Earthquake kit	2 IAQ/Health pts	y		
TOTAL POINTS ACCUMULATED:				
(50 Points REQUIRED from all 3 columns)	50 points total Req'd		75	

2004 Checklist Modified by City of Albany Incentives - Approved July 2, 2007

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REVISIONS	NO.	DESCRIPTION	DATE

Calgreen Checklist

DATE: September 13, 2016

PROJECT: 16167

SCALE: 1" = 10'

A0.2

Building Code Notes - General

- All noncompliant plumbing fixtures must be replaced to meet current water-conserving standards (California Civil Code sections 1101.1 through 1101.8).
- All habitable spaces, hallways, kitchens, storage rooms, & laundry rooms shall have a ceiling height of no less than 7'-0"; exception: at bathrooms, the minimum height must be no less than 6'-8". For rooms with sloped ceilings, at least 50% of the required floor area must have a ceiling height of at least 7'-6" and no portion of the required floor area may have a ceiling height of less than 5'-0".
- Minimum 3'x3' landing for out swinging egress doors with a maximum 1 1/2" from threshold to floor elevation. For non-egress, in-swinging doors, a maximum 7 3/4" is permitted from the threshold to the floor elevation.
- Environmental air duct exhaust shall terminate a min. of 3'-0" from property line, and at least 3'-0" from openings into the building.
- All wall and ceiling finishes must conform to a flame spread index not greater than 200 and a smoke-developed index not greater than 450.
- Windows used as emergency escape egress must conform to the following standards: min. net clear opening of 5.7 sq. ft. (5 sq. ft. for grade-floor opening); min. net clear opening height of 24"; min. net clear opening width of 20"; max. sill height not greater than 44" above finish floor; window must open directly to street, public alley, yard or exit court.
- Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screens, louvers, or grilles having a min. opening size of 1/4" and a max. opening size of 1/2", in any dimension. Openings shall be protected against local weather conditions. openings shall meet the provisions for exterior wall opening protection in accordance w/ CRC.
- Water closets shall have an effective flush volume not exceeding 1.28 gallons.
- All showerheads shall not exceed 2.0 gpm by a single valve; if a single valve controls more than one showerhead, the combined flow rate of all the showerheads controlled by the valve shall not exceed 2.0 gpm.
- All lavatory faucets shall have a maximum volume of 1.5 gallons per minute.
- Kitchen faucet shall have a maximum of 1.8 gpm; faucet may temporarily discharge 2.2 gpm using push button and revert back to 1.8 gpm after shut-off.
- Temporary NFRC labels on new windows and exterior doors shall not be removed until after final inspection.
- All exterior wall/floor/roof framing spaces opened up during the course of remodel shall be insulated with a minimum of R-13 in walls, R-19 in floors, and R-30 in the roof.
- All new exterior wall/floor/roof framing shall be insulated with a minimum of R-13 in walls (R-19 in Climate Zone 12), R-19 in floors, and R-30 in the roof (R-38 in Climate Zone 12), unless specified otherwise in a performance method demonstrates compliance.
- All new windows shall comply with the current Energy Code Mandatory minimum standards unless performance method demonstrates compliance.

Building Code Notes - Bathroom

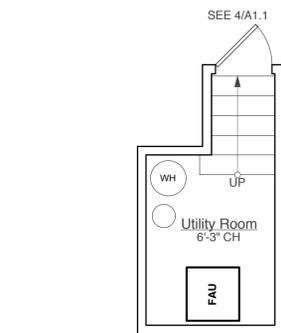
- Glazing in shower and bathtub enclosures shall be tempered.
- Glazing within 60 inches measured horizontally from the water's edge of a bathtub, hot tub, spa, whirlpool, or swimming pool shall be tempered.
- Shower compartments and walls above bathtubs with installed shower heads shall be finished with a smooth, nonabsorbent surface to a height not less than 70 inches above the drain inlet/ 72" inches above the floor shower; compartments shall have a minimum floor area of no less than 1,024 sq. in.
- Cement, fiber-cement or glass mat gypsum backer shall be used as a base for wall tile in tub and shower areas and ceiling panels in shower areas.
- The finish floor of the shower receptor shall slope uniformly from the sides toward the drain not less than 1/4" per foot nor more than 1/2" per foot.
- Shower doors shall open so as to provide a minimum 22" opening for egress.
- The water closet stool shall be located in a clear space not less than 15" from the centerline to a wall or cabinet on each side. The clear space in front of any water closet shall be not less than 24".

Plumbing Code Notes - Bathroom

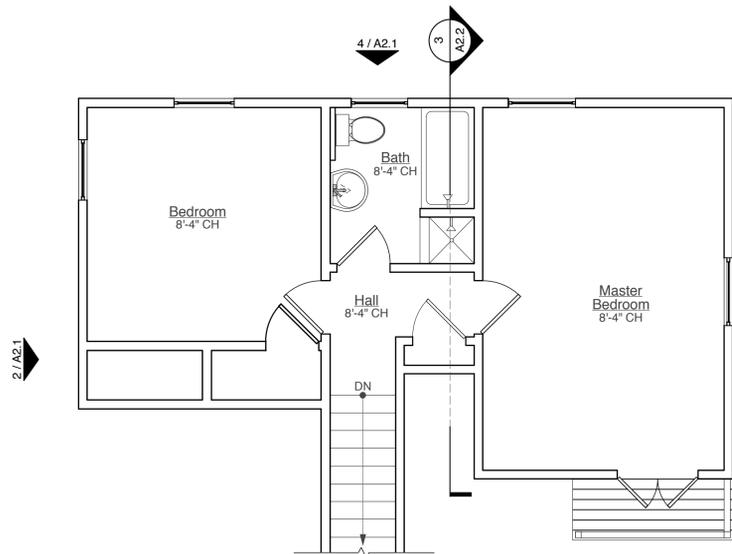
- Provide showers and tub-shower combinations with combination valves - must be temperature balancing or thermostatic mixing. Installer shall adjust such valves per manufacturer's instructions to deliver a maximum mixed water setting of 120°F [CPC 418.0]
- The maximum hot water temperature discharging from a bathtub or whirlpool bathtub fill shall be limited to 120°F.
- A listed non-removable backflow preventer or atmospheric vacuum breaker, installed at least 6" above the highest point of usage, shall protect hose bibs.
- Hand showers shall be equipped with an approved backflow prevention device or assembly.
- Bathroom exhaust fans shall be Energy Star compliant, and must be controlled by a humidistat which shall be readily accessible. Humidity controls shall be capable of adjustment between a relative humidity of 50% to 80%.
- Min. area of shower is 1,024 sq. in. with a 30" min. circle. These dimensions are to be maintained to a point of not less than 70" abv. drain outlet w/ no protrusions except fixture valve, showerhead, soap dishes, shelves, grab bars or rails. (CPC Sec. 408.6)
- Showers and tub-shower combinations shall be provided w/ combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection for the rated flow rate of the installed showerhead. (CPC Sec. 408.3)
- Control valves and shower heads shall be located on the sidewall of shower or arranged so that the shower-head does not discharge directly at the entrance to compartment. (CPC Sec. 408.9)

Plumbing Code Notes - Kitchen

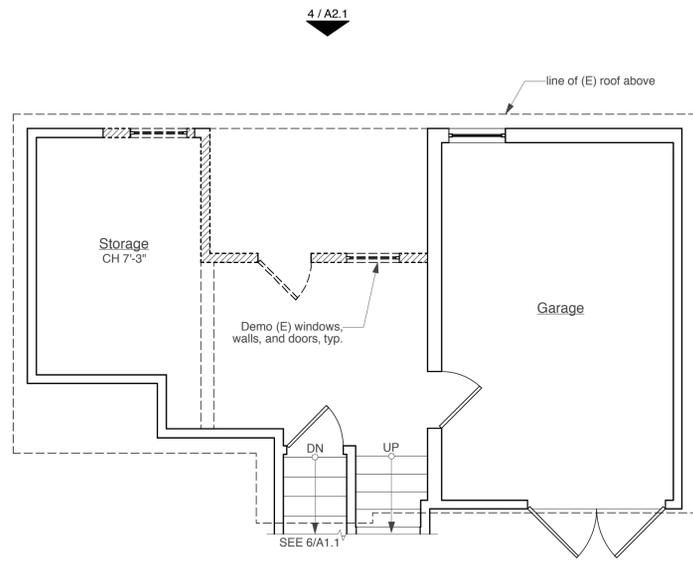
- No domestic dishwashing machine shall be directly connected to a drainage system or food waste disposer without the use of an approved dishwasher air gap fitting on the discharge side of the dishwashing machine.
- All new dishwashers must have a hammer arrester.



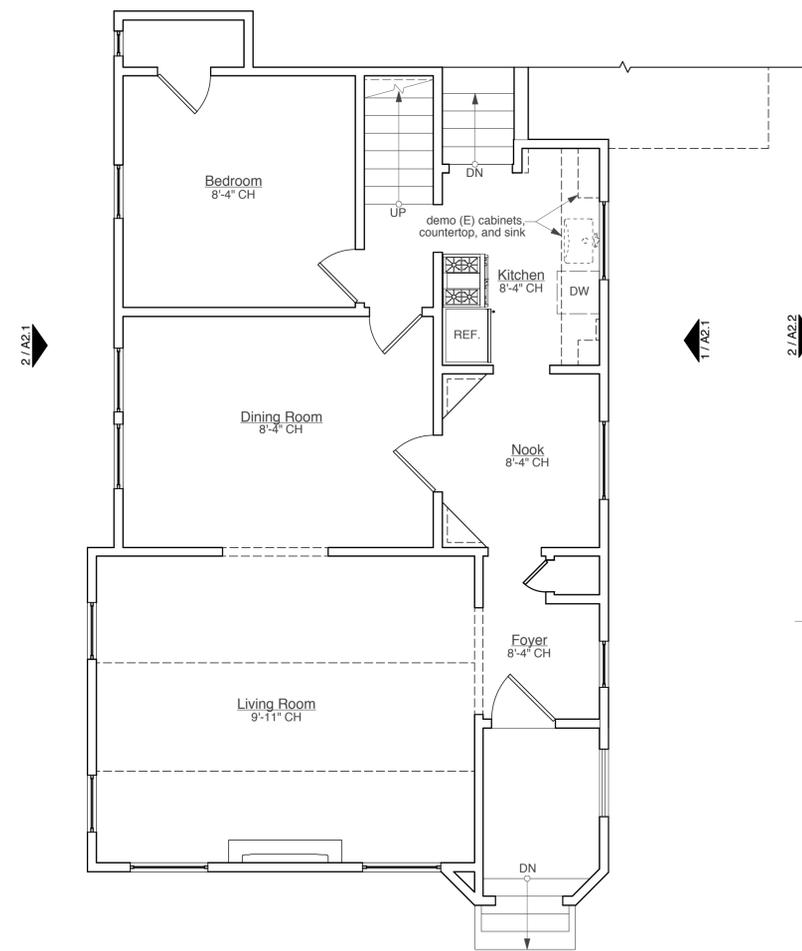
6 Existing Floor Plan - Utility Basement (No Change)
1/4" = 1'-0"



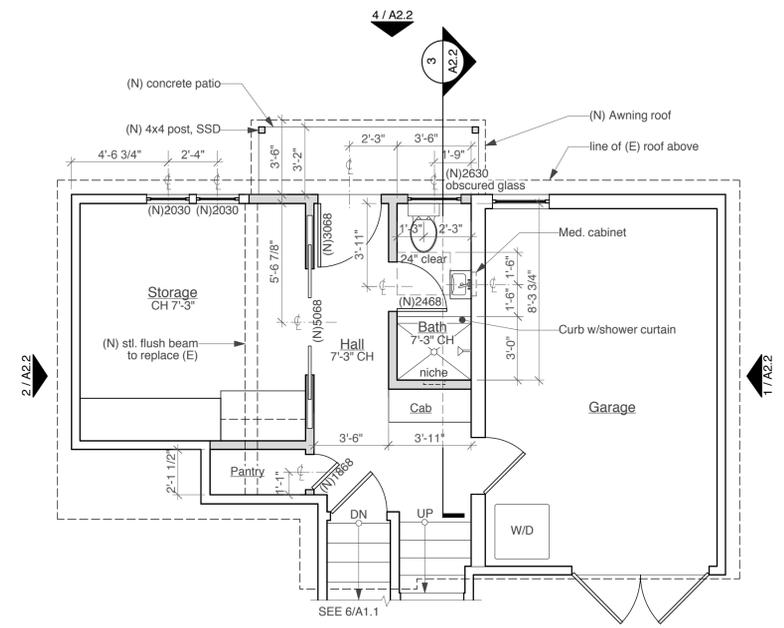
5 Existing Floor Plan - Upstairs
1/4" = 1'-0"



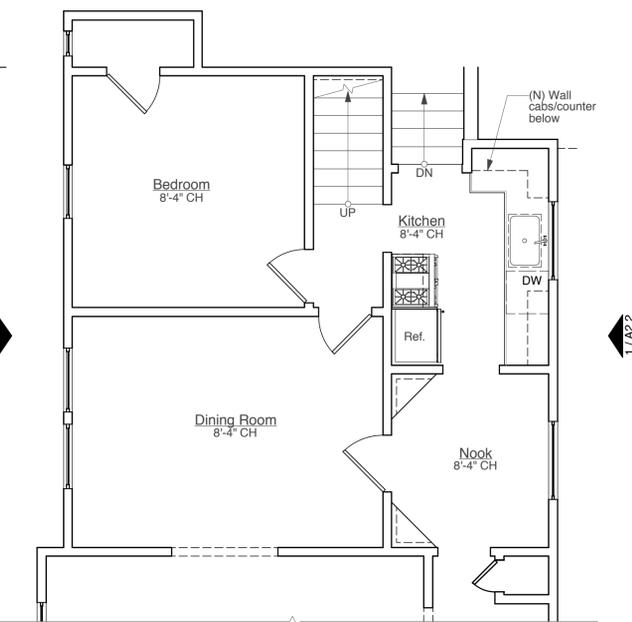
4 Existing Floor Plan - Lower Floor
1/4" = 1'-0"



3 Existing Floor Plan - 1st Floor
1/4" = 1'-0"



2 Proposed Floor Plan - Lower Floor
1/4" = 1'-0"



1 Proposed Floor Plan - 1st Floor
1/4" = 1'-0"

Wall Legend

—	(E) Wall
—	(N) Wall
	Wall to be Demolished



1265 Portland Ave.
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REVISIONS	NO.	DESCRIPTION	DATE

New & Existing Floor Plans

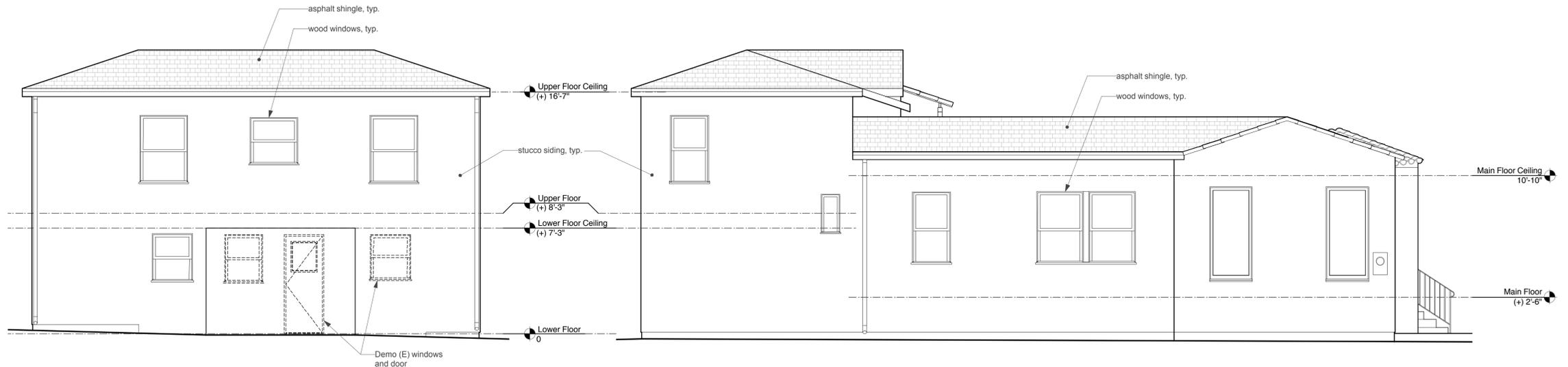
DATE: September 13, 2016
PROJECT: 16167
SCALE: 1/4" = 1'-0"

A1.1

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Albany, CA 94706

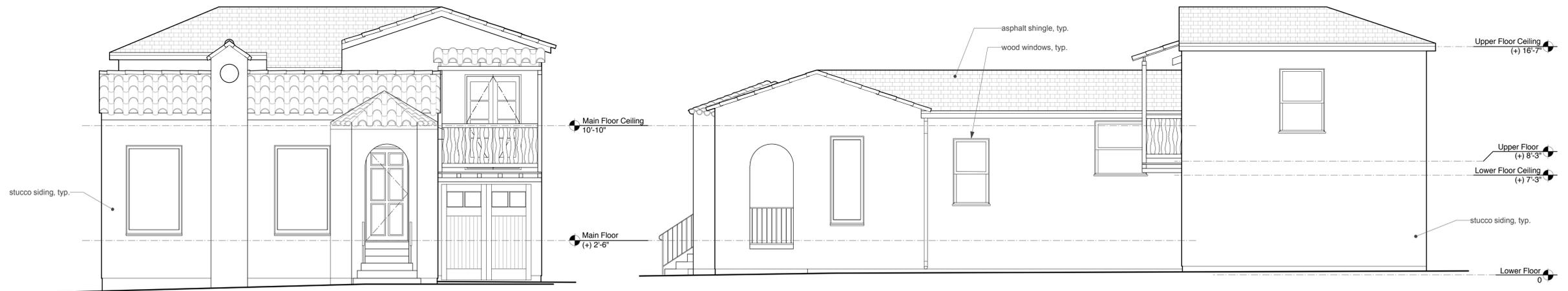
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4 North Elevation - Existing
1/4" = 1'-0"

2 West Elevation - Existing
1/4" = 1'-0"



3 South Elevation - Existing (No Change)
1/4" = 1'-0"

1 East Elevation - Existing
1/4" = 1'-0"

REVISIONS NO.	DESCRIPTION	DATE

Existing Elevations

DATE September 13, 2016

PROJECT 16167

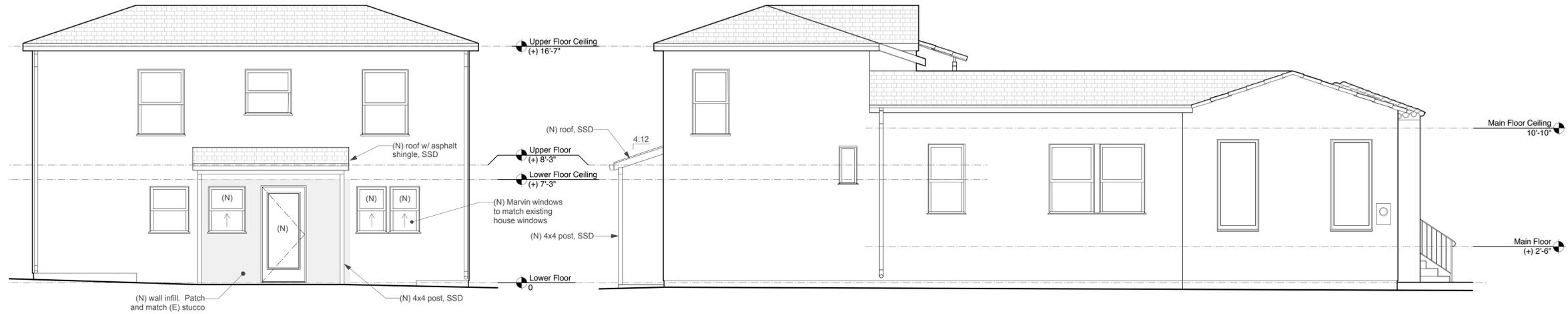
SCALE 1/4" = 1'-0"

A2.1

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Albany, CA 94706

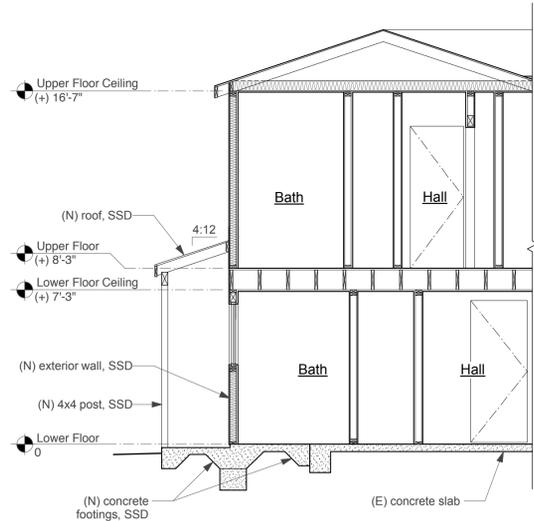
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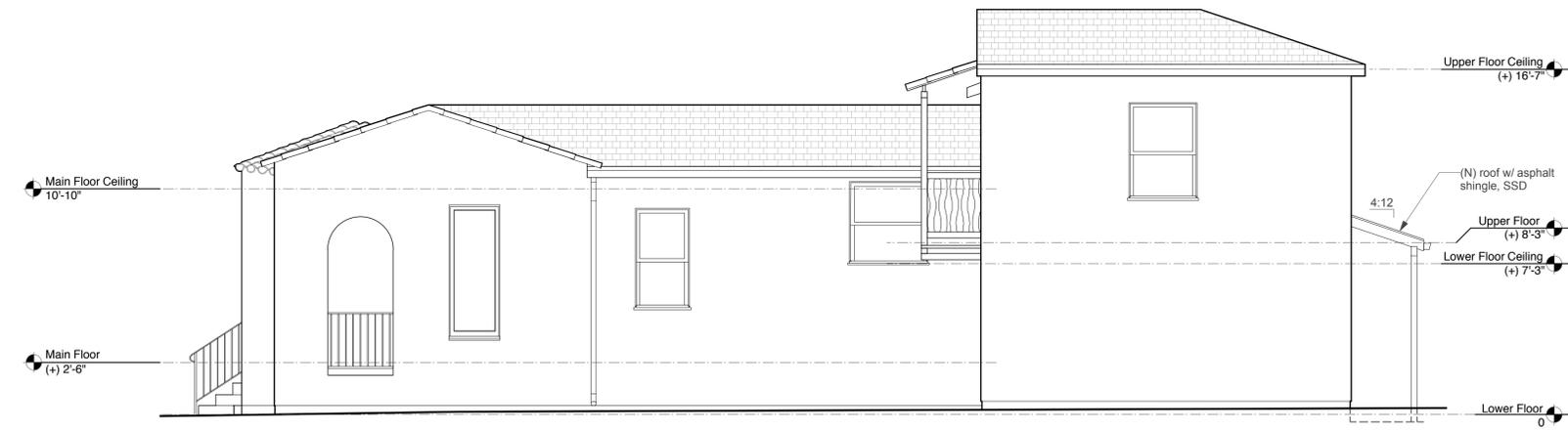


4 North Elevation - Proposed
1/4" = 1'-0"

2 West Elevation - Proposed
1/4" = 1'-0"



3 Cross Section - Proposed
1/4" = 1'-0"



1 East Elevation - Proposed
1/4" = 1'-0"

REVISIONS	NO.	DESCRIPTION	DATE

Proposed Elevations & Cross Sections

DATE: September 13, 2016

PROJECT: 16167

SCALE: 1/4" = 1'-0"

A2.2