

SCOPE OF WORK

- TOTAL HORIZONTAL LOWER FLOOR AND UPPER FLOOR ADDITION TO BE 244 SQ. FT.:
 - APPROXIMATELY 79 SQ. FT. (7'-0") HORIZONTAL LOWER FLOOR REAR ADDITION TO INCLUDE (N) STUDY
 - APPROXIMATELY 79 SQ. FT. (7'-0") HORIZONTAL UPPER FLOOR REAR ADDITION TO INCLUDE (N) BEDROOM #3
 - APPROXIMATELY 86 SQ. FT. (10'-10") HORIZONTAL UPPER FLOOR FRONT ADDITION TO INCLUDE (R) BEDROOM #1
- LOWER FLOOR REMODEL TO INCLUDE (E) HALL AND (E) BATH #1
- UPPER FLOOR REMODEL TO INCLUDE (E) BATH #2, (N) BATH #3, (N) WALK-IN CLOSET @ (R) BEDROOM #1, (R) BEDROOM #2, (E) HALL, AND (E) BEDROOM #1
- DEMO (E) INTERIOR WALLS AND EXTERIOR WALLS AS SHOWN ON FLOOR PLAN
- DEMO (E) ROOF & (E) OVERHANGS AS NECESSARY PER PLAN
- SALVAGE REMOVED CLAY TILE ROOF TO BE REUSED FOR (N) PARAPET CAP
- (N) CLAY TILE ROOF TO MATCH (E) PER PLAN
- (N) WINDOWS, SKYLIGHTS (AS MFRD. BY VELUX), & DOORS PER PLAN
- RELOCATE AND REUSE (E) WINDOWS PER PLAN
- (N) STRUCTURAL FRAMING & FOUNDATION PER STRL DRAWINGS
- EXTERIOR STUCCO & ANY OTHER MATERIALS/SURFACES DISTURBED DURING REMODEL TO BE PATCHED TO MATCH (E)

BUILDING SYSTEMS:

- (N) ELECTRICAL OUTLETS, SWITCHES & LIGHT FIXTURES WHERE REMODELING WORK OCCURS AS SHOWN ON PLAN & AS REQUIRED FOR CODE COMPLIANCE
- PLUMBING FIXTURES & FITTINGS AS IMPLIED BY PLANS AND AS REQUIRED FOR BATH COMPLIANCE
- (N) INSULATION @ (N) EXT. WALLS & (E) EXT. WALLS OPENED DURING CONSTRUCTION
- (N) GUTTERS AND DOWNSPOUTS AS REQUIRED
- (N) CABLING/AIRING FOR AUDIO/VISUAL DEVICES, DATA (CPU, MODEM, WIRELESS ROUTER) AND TELEPHONE AS REQUIRED/ DESIRED BY OWNER
- (N) DUCTWORK & (N) HEAT REGISTERS AS REQUIRED
- (N) SOFFIT AT LOWER FLOOR TO EXTEND (E) DUCTWORK TO HEAT (N) STUDY AND (E) BATH #1
- (N) SMOKE DETECTORS & CARBON MONOXIDE DETECTORS AS REQUIRED THROUGHOUT

INTERIOR FINISHES:

- PATCH OR REPLACE (E) FINISHES @ ALL (E) SURFACES DISTURBED (i.e. PLASTER/ DRYWALL, BASEBOARDS, MOULDINGS, ETC.) BY NEW CONSTRUCTION
- (N) GYPSUM BOARD WALLS AND CEILINGS WHERE (N) WORK OCCURS, PER FINISH SCHEDULE
- ALL (N) INTERIOR PAINT @ ALL ROOMS WHERE (N) WORK OCCURS
- (N) INTERIOR DOORS AS SHOWN ON PLANS
- (N) TILE FLOOR AT (N) BATH #3
- (N) HARDWOOD FLOORS AT (R) BEDROOM #1, (N) BEDROOM #3, AND (N) STUDY
- PATCH FLOOR AT (E) UPPER FLOOR HALL TO MATCH (E)

ADDITION AND REMODELING @ LOWER FLOOR

(E) GARAGE

- (N) SOFFIT TO EXTEND TO (E) DUCTWORK TO HEAT (N) STUDY AND (E) BATH #1 AS NECESSARY PER PLAN

(E) HALL

- DEMO EXT. WALLS PER PLAN

- REMOVE (E) VINYL DOUBLE-HUNG WINDOW AT (E) HALL WEST AND EXTEND OPENING FOR (N) DOORWAY W/ ARCH TO (N) STUDY ROOM
- (N) SOFFIT TO EXTEND (E) DUCTWORK TO HEAT (N) STUDY AND (E) BATH #1 AS NECESSARY PER PLAN

(E) BATH #1

- RELOCATE (E) VINYL DOUBLE-HUNG WINDOW @ (E) BATH #1 WEST TO BE REUSED @ BATH #1 NORTH AT (N) OPENING PER PLAN
- FILL AND PATCH REMOVED WINDOW & WALL SURFACE PER PLAN
- (E) SHOWER FIXTURES, SINK, COUNTERTOPS, TILE, AND W.C. TO REMAIN

(N) STUDY (79 SF)

- (N) 7'-0" x 11'-4" +/- HORIZONTAL REAR 2 STORY W/ (N) BEDROOM #3 UPSTAIRS ADDITION (SEE PLAN)
- ADDITION TO HAVE A 4'-0" NORTH SETBACK FROM PROPERTY LINE (AND 1'-1" SETBACK FROM THE NORTHWEST CORNER OF BATH #1) (SEE PLAN)
- (N) INT. AND EXT. WALLS PER PLAN
- SOUTH WALL @ (N) STUDY TO ALIGN W/ NORTH WALL (E) FAMILY ROOM PER PLAN
- (N) PAIR OF 2'-6" x 4'-6" DOUBLE-HUNG WINDOW @ STUDY WEST PER PLAN
- (N) PAIR OF 2'-6" x 4'-6" DOUBLE-HUNG WINDOW @ STUDY SOUTH PER PLAN
- (N) SHEAR WALL @ (N) STUDY ROOM EAST PER PLAN
- (N) SHELVES/CABINETS/STORAGE/DESK TOPS PER PLAN

ADDITION AND REMODELING @ UPPER FLOOR

(N) BEDROOM #3 (79 SF)

- (N) 7'-0" x 11'-4" +/- HORIZONTAL REAR ADDITION PER PLAN
- (N) BEDROOM #3 TO BE STACKED OVER (N) LOWER FLOOR STUDY
- ADDITION TO HAVE A 4'-0" NORTH SETBACK FROM PROPERTY LINE TO CLEAR (E) CULVERT PER PLAN
- REMOVE (E) VINYL DOUBLE-HUNG WINDOW AT (E) OFFICE NORTH PER PLAN
- PATCH AND FILL REMOVED WINDOW OPENING TO MATCH (E) WALL PER PLAN
- DEMO EXT. AND INT. WALLS PER PLAN
- (N) INT. AND EXT. WALLS PER PLAN
- (N) PAIR OF 2'-6" x 4'-6" VINYL DOUBLE-HUNG WINDOW @ BEDROOM #3 WEST PER PLAN
- (N) 2'-6" x 4'-6" VINYL FRAME, EGRESS CASEMENT WINDOW @ BEDROOM #3 SOUTH PER PLAN
- (N) 2'-6" x 6'-8" INSWING INT. DOOR AT BEDROOM #3 EAST PER PLAN
- (N) PAIR OF 3'-0" x 6'-8" SLIDER AT (N) CLOSET W/ (N) 1 SHELF, 1 POLE @ BEDROOM #3 PER PLAN
- (N) SHELVES/CABINETS/STORAGE PER PLAN

(E) BATH #2

- DEMO (E) INT. WALLS PER PLAN
- (E) WINDOW TO REMAIN (OR TO BE REPLACED W/ TEMP. GL.) PER PLAN (CONFIRM W/ OWNER)
- (N) INT. WALLS PER PLAN
- (N) 2'-4" x 6'-8" INSWING DOOR TO BATH #2 PER PLAN
- REPAIR AND PATCH (N) INT. WALL TO MATCH (E) PER PLAN
- PATCH TILE WAINSCOT AT (N) INT. WALL SOUTH AND WEST TO MATCH (E) TILE WAINSCOT
- (E) TILE, TUB/SHOWER, W.C., BATH ACCESSORIES/FIXTURES TO REMAIN PER PLAN
- REPAIR CAULK JT. @ TUB TO TILE INTERFACE @ (E) TUB/SHOWER
- (N) STORAGE/CABINET PER PLAN

(N) BATH #3

- (N) BATH #3 TO BE 5'-0" CLEAR WEST TO EAST
- DEMO (E) INT. AND EXT. WALLS PER PLAN
- (N) INT. AND EXT. WALLS PER PLAN
- (N) 4'-0" x 2'-0" VINYL FRAMED AWNING (TEMP. GLASS) AT BATH #3 NORTH PER PLAN
- (N) 2'-4" x 6'-8" POCKET SLIDER @ BATH #3 EAST PER PLAN
- ALL NEW FINISHES, FIXTURES, FITTINGS, TRIMS & CABINETS (SINK BASE CABINET & DRAWERS, COUNTERTOP, AND 1 SINK W/ FXED MIRROR ABOVE)
- (N) TOILET 1.28 GPF
- (N) TILE @ SHOWER SURROUND & BATH FLOOR PER PLANS
- (N) TEMPERED GLASS ENCLOSURE & DOOR @ SHOWER PER PLAN
- (N) SHOWER HEAD, SHOWER CONTROLS, SHOWER VALVE (PRESSURE BALANCED & THERMOSTATIC TYPE) @ SHOWER SURROUND
- CONTRACTOR TO PROVIDE BLOCKING FOR ALL WALL MOUNTED BATH ACCESSORIES. (OWNER TO PROVIDE BATH ACCESSORIES)
- (N) LIGHTING & ELEC. INCLUDING (N) WALL SCONCE LIGHTS WITH VACANCY SENSOR/SWITCH, (N) EXHAUST FAN W/ ELECTRONIC TIMER CONTROL, & (N) RECESSED LED LIGHTS

(N) CLOSET #1 (AT BEDROOM #1)

- (N) WALK-IN CLOSET TO BE 6'-0" CLEAR WEST TO EAST
- REMOVE 2 (E) VINYL DOUBLE-HUNG WINDOW AT (E) BEDROOM #1 NORTH PER PLAN
- PATCH AND FILL REMOVED WINDOW OPENING TO MATCH (E) WALL PER PLAN
- (N) 2'-4" x 6'-8" INSWING DOOR @ CLOSET #1 SOUTH PER PLAN
- (N) 1 SHELF, 1 POLE PER PLAN
- (N) SHELVES/CABINETS/STORAGE PER PLAN

(N) BEDROOM #1 (86 SF)

- DEMO (E) INT. AND EXT. WALLS PER PLAN
- (N) INT. AND EXT. WALLS PER PLAN
- (N) 10'-10" x 7'-0 1/2" +/- HORIZONTAL FRONT ADDITION PER PLAN
- ADDITION TO ALIGN W/ (E) BEDROOM #1 NORTH
- REMOVE (E) EGRESS VINYL DOUBLE-HUNG WINDOW @ BEDROOM #1 EAST PER PLAN
- (N) 5'-0" x 2'-0" AWNING WINDOW @ BEDROOM #1 NORTH PER PLAN
- (N) PAIR OF 2'-6" x 4'-6" VINYL CBMT WINDOW AT BEDROOM EAST PER PLAN
- (E) DOOR AT BEDROOM #1 SOUTH TO REMAIN PER PLAN

(E) HALL

- REMOVE (E) VINYL FIXED WINDOW AT HALL NORTH PER PLAN
- DEMO (E) INT. AND EXT. WALLS PER PLAN
- (N) SKYLIGHTS (AS MFRD. BY VELUX) PER PLAN
- (N) TALL CABINETS/STORAGE PER PLAN
- FILL AND PATCH REMOVED WINDOW AND DOOR OPENINGS TO MATCH (E) WALL PER PLAN

(R) BEDROOM #2

- DEMO (E) INT. WALLS PER PLAN
- (N) INT. WALLS PER PLAN
- (E) WINDOWS VINYL DOUBLE-HUNG WINDOWS @ BEROOM #2 SOUTH AND WEST TO REMAIN PER PLAN
- (N) 2'-6" x 6'-8" INSWING DOOR TO BEDROOM #2 PER PLAN
- (N) PAIR OF 3'-0" x 6'-8" SLIDER @ (N) CLOSET W/ (N) 1 SHELF, 1 POLE @ BEDROOM #2 PER PLAN

PARTIES INVOLVED

OWNER: OZLEM AYDUK & RUDY MENDOZA-DENTON
806 CURTIS STREET
ALBANY, CA 94706
(510) 526-7891

ARCHITECT: JASON KALDIS ARCHITECT, INC.
1250 ADDISON STREET - STUDIO 210
BERKELEY, CA 94702
(510) 549-3584
(510) 549-3574 FAX
CONTACT JASON OR JENNY:
Jason@kaldisarchitect.com
JennyYu@kaldisarchitect.com

PROJECT DATA

ADDITION & REMODEL FOR
OZLEM AYDUK & RUDY MENDOZA-DENTON
806 CURTIS STREET
ALBANY, CA 94706

APN: 67-2847-5
LOT AREA: 3200 SQ. FT. (32' x 100')
ZONE: R-1
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: V-B
T24 CLIMATE ZONE: 3
NO. OF STORES: 2
HOUSE BUILT IN: 1936

	EXISTING	PROPOSED	REQUIREMENT
MAX. HEIGHT:	20'-3 1/4"	NO CHANGE	28'-0" MAX.
FRONT SETBACK:	12'-9 5/8"	NO CHANGE	15'-0" MIN.
SIDE SETBACK (NORTH):	3'-0"	NO CHANGE	3'-0" MIN.
SIDE SETBACK (SOUTH):	3'-0"	NO CHANGE	3'-0" MIN.
REAR SETBACK:	27'-6 1/2"	20'-6 1/2"	20'-0" MIN.

HABITABLE & CONDITIONED FLOOR AREA CALCULATIONS

	EXISTING	PROPOSED	TOTAL
MAIN/UPPER FLOOR	1195.83 SQ. FT.	163 SQ. FT.	1358.83 SQ. FT.
LOWER FLOOR	272.76 SQ. FT.	79 SQ. FT.	351.76 SQ. FT.

TOTAL HABITABLE & CONDITIONED FLOOR AREA 1468.59 SQ. FT. 242 SQ. FT. 1710.59 SQ. FT.

NON-HABITABLE & NON-CONDITIONED FLOOR AREA CALCULATIONS

	EXISTING	PROPOSED	TOTAL
(E) GARAGE	266.03 SQ. FT.	NO CHANGE	266.03 SQ. FT.
(E) FRONT PORCH	44.00 SQ. FT.	NO CHANGE	44.00 SQ. FT.

(E) FLOOR AREA RATIO (EXISTING TOTAL FLOOR + LOT AREA)
1468.59 SQ. FT. + 266.03 SQ. FT. = 1734.62 SQ. FT.
-220 SQ. FT. GARAGE CREDIT = 1514.62 SQ. FT. + 3200 SQ. FT. = 47.33% < 55% MAX.

(N) FLOOR AREA RATIO (NEW TOTAL FLOOR AREA + LOT AREA)
1710.59 SQ. FT. + 266.03 SQ. FT. = 1976.62 SQ. FT.
-220 SQ. FT. GARAGE CREDIT = 1756.62 SQ. FT. + 3200 SQ. FT. = 54.89% < 55% MAX.

LOT COVERAGE

(E) LOT COVERAGE (EXISTING BUILDING FOOTPRINT + LOT AREA)
1239.83 SQ. FT. + 3200 SQ. FT. = 38.74%

(N) LOT COVERAGE (NEW BUILDING FOOTPRINT + LOT AREA)
1402.83 SQ. FT. + 3200 SQ. FT. = 43.84% (< 50% MAX.)

(E) IMPERVIOUS CALCULATIONS (VEHICULAR/PEDESTRIAN PAVING):
1343.88 SQ. FT.

(E) IMPERVIOUS CALCULATIONS (STRUCTURES/FOOTPRINT):
1195.83 SQ. FT. + 44.00 SQ. FT. = 1239.83 SQ. FT.

(E) IMPERVIOUS CALCULATIONS (TOTAL):
1343.88 SQ. FT. + 1239.83 SQ. FT. = 2583.71 SQ. FT. + 3200 SQ. FT. = 80.74%

(N) IMPERVIOUS CALCULATIONS (VEHICULAR/PEDESTRIAN PAVING):
1278.82 SQ. FT.

(N) IMPERVIOUS CALCULATIONS (STRUCTURES/FOOTPRINT):
1358.83 SQ. FT. + 44.00 SQ. FT. = 1402.83 SQ. FT.

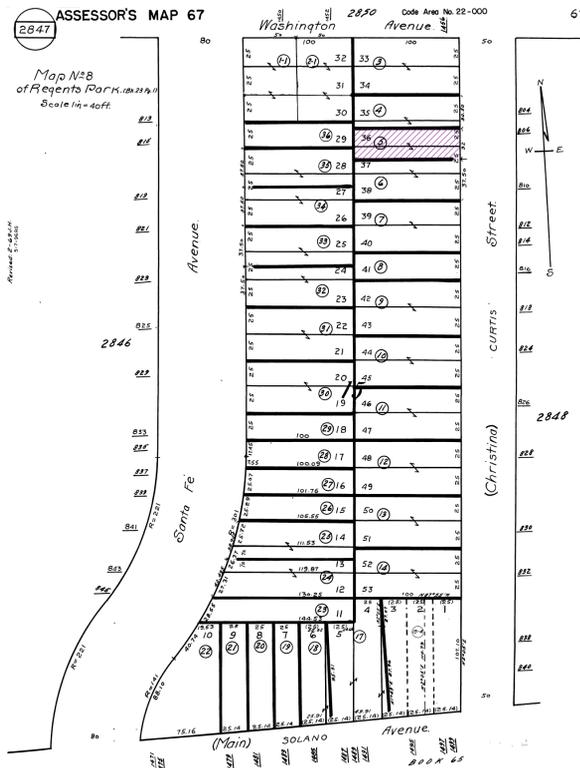
(N) IMPERVIOUS CALCULATIONS (TOTAL):
1278.82 + 1402.83 SQ. FT. = 2681.65 SQ. FT. + 3200 SQ. FT. = 83.80%

DRAWING INDEX

- SHEET 1: SITE PLAN (W/ ROOF PLAN) @ 1/8" = 1'-0"
- PROJECT DATA
- PARTIES INVOLVED
- ASSESSOR PARCEL MAP
- SCOPE OF WORK
- BEST MANAGEMENT PRACTICES
- GENERAL NOTES
- SHEET 2: PROPOSED UPPER & LOWER FLOOR PLANS @ 1/4" = 1'-0"
- SHEET 2A: EXISTING UPPER & LOWER FLOOR PLANS @ 1/4" = 1'-0"
- SHEET 3: PROPOSED EXTERIOR ELEVATIONS @ 1/4" = 1'-0"
- TYPICAL PROPOSED EXT. BUILDING MATERIALS
- SHEET 3A: EXISTING EXTERIOR ELEVATIONS @ 1/4" = 1'-0"
- TYPICAL EXISTING EXT. BUILDING MATERIALS
- SHEET 4: DOOR SCHEDULE
- WINDOW SCHEDULE
- FINISH SCHEDULE
- PLUMBING SCHEDULE
- SHEET 5: CULVERT & BUILDING LOCATION SURVEY

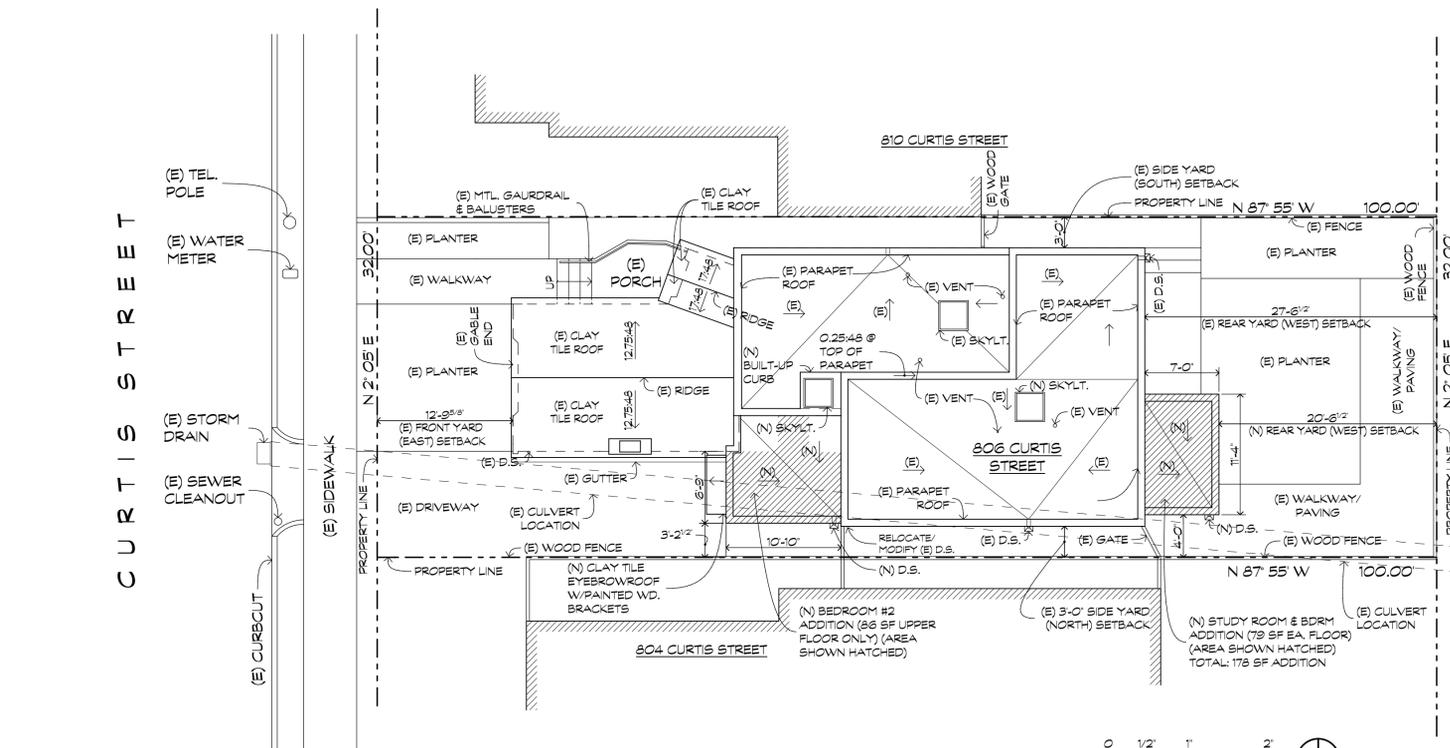
DESIGN REVIEW SET 06.16.16

JOB ADDRESS ADDITION & REMODEL FOR OZLEM AYDUK & RUDY MENDOZA-DENTON 806 CURTIS STREET ALBANY, CA 94706	DATE 06.16.16 DRAWN BY JY
JASON KALDIS ARCHITECT, INC. 1250 ADDISON STREET - STUDIO 210 BERKELEY, CA 94702 PH (510) 549-3584 FX (510) 549-3574 JASON@KALDISARCHITECT.COM	
DRAWING TITLE SITE PLAN W/ ROOF PLAN @ 1/8" = 1'-0" SCOPE OF WORK PARTIES INVOLVED PROJECT DATA DRAWING INDEX ASSESSOR'S PARCEL MAP	SHEET 1 OF 16005



ASSESSOR'S PARCEL MAP

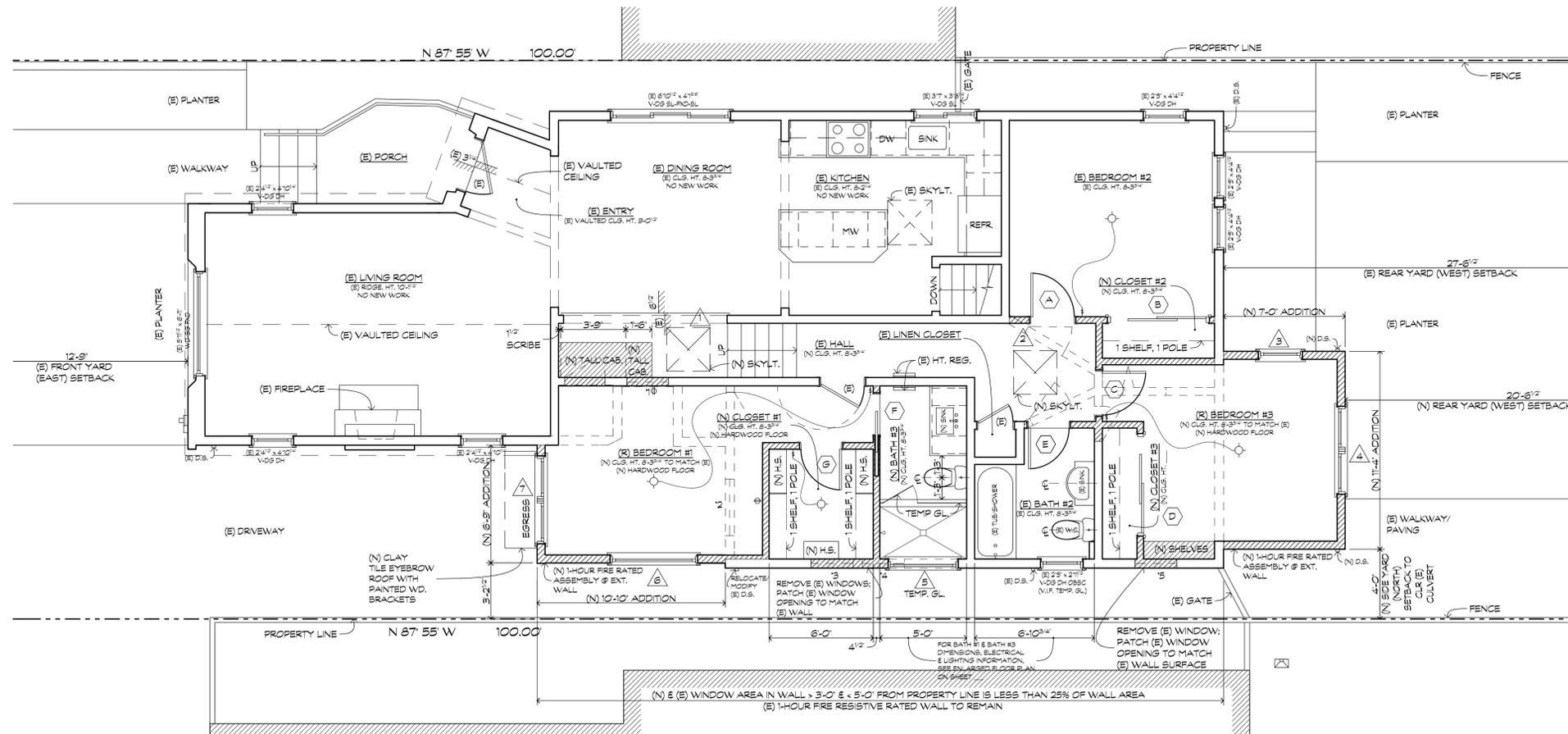
NOT TO SCALE



SITE PLAN W/ ROOF PLAN

SCALE: 1/8" = 1'-0"

REMOVED WINDOWS & EXT. DOORS			
*	NOMINAL FRAME SIZE	OPERATION TYPE	FRAME/GLAZING
1	2'-4 7/8" x 4'-10 3/4"	FND	V-DG
2	3'-3" x 5'-10 1/2"	DH	V-DG
3	2'-5" x 4'-4 1/2"	DH	V-DG
4	2'-5" x 4'-4 1/2"	DH	V-DG
5	2'-0 3/4" x 3'-9 7/8"	DH	V-DG
6	2'-0 3/4" x 3'-9 7/8"	DH	V-DG
7	2'-9 7/8" x 3'-9 7/8"	DH	V-DG

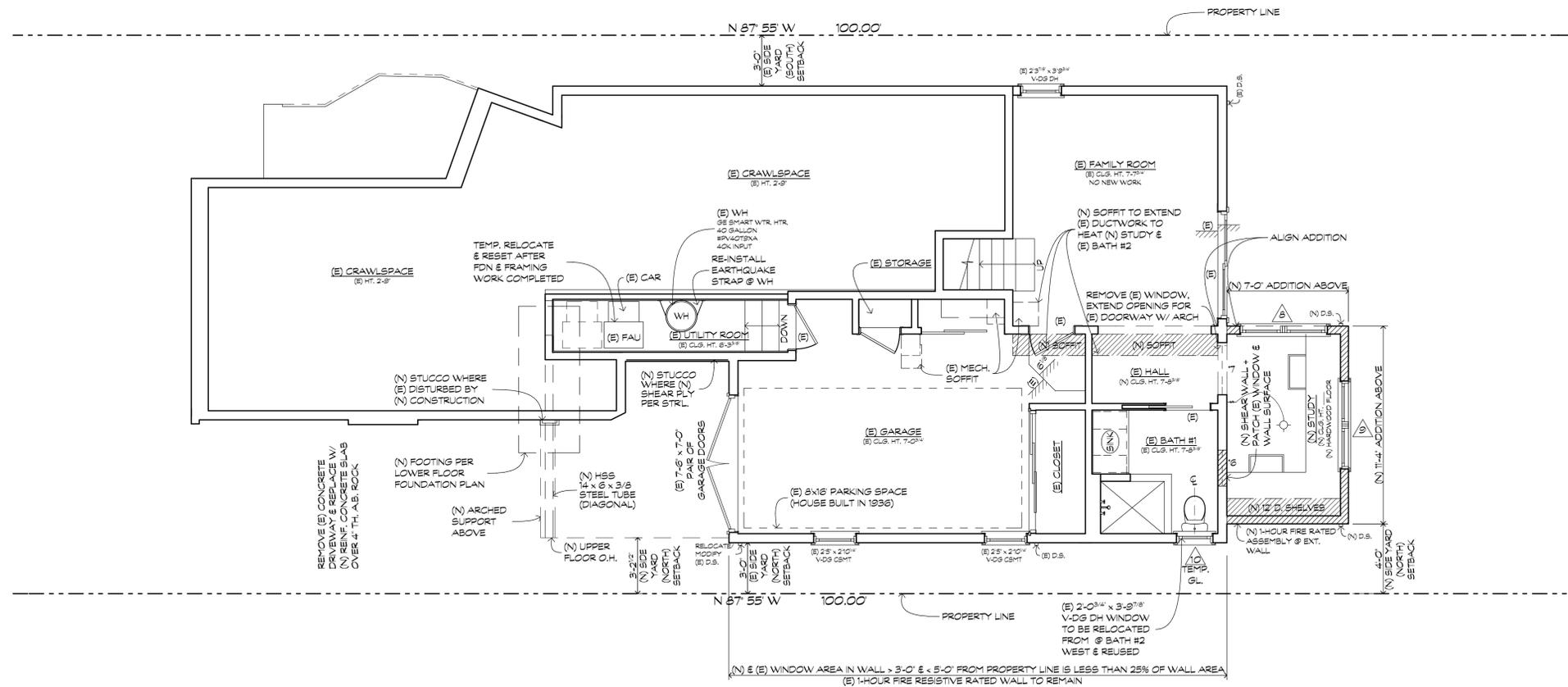


PROPOSED MAIN/UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

- ARCHITECTURAL LEGEND**
- NEW (N) WALL
 - EXISTING (E) WALL TO REMAIN
 - EXISTING (E) WALL TO BE REMOVED
 - LINE ABOVE
 - LINE BELOW OR BEYOND
 - PROPERTY LINE
 - SECTION
 - DETAIL NUMBER
 - SHEET NUMBER
 - WINDOW KEY
 - DOOR KEY
 - REVISION
 - CEILING MOUNTED LIGHT
 - WALL MOUNTED LIGHT
 - RECESSED LIGHT
 - RECESSED ADJUSTABLE LIGHT
 - CABLE/TRACK LIGHTING
 - UNDERCABINET LIGHT
 - JUNCTION BOX
 - CEILING FAN W/ LIGHT
 - CEILING FAN
 - LIGHT-EXHAUST FAN COMBO
 - EXHAUST FAN
 - SWITCH
 - 3 WAY SWITCH
 - DUPLEX WALL OUTLET
 - QUAD WALL OUTLET
 - FLOOR OUTLET
 - TELEPHONE JACK
 - T.V./ DATA CABLE JACK
 - SPEAKER
 - CHIMES
 - PUSH BUTTON
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - HEAT DETECTOR
 - THERMOSTAT CONTROLS
 - HEAT REGISTER @ CEILING
 - HEAT REGISTER @ FLOOR
 - HEAT REGISTER @ WALL OR TOE KICK
 - SUPPLY LINE

- KEY TO ABBREVIATIONS**
- AAP = ATTIC ACCESS PANEL
 - AP = ACCESS PANEL
 - CAR = COLD AIR RETURN
 - CAP = CRAWLSPACE ACCESS PANEL
 - D = DIMMER
 - DS = DOWN SPOUT
 - F = FLUORESCENT
 - FAU = FORCED AIR UNIT
 - FV = FOUNDATION VENT
 - GFI = GROUND FAULT CIRCUIT INTERRUPTER
 - HB = HOSE BIB
 - H2O = WATER SUPPLY
 - LED = T24 QUALIFYING LED
 - MS = MOTION SENSOR
 - OH = OVERHANG
 - OS = OCCUPANCY SENSOR
 - PC = PHOTOCELL
 - SB = SANITARY SEWER
 - VS = VACANCY SENSOR
 - WH = WATER HEATER
 - WP = WATERPROOF/WEATHERPROOF
 - 1S, 1P = 1 SHELF, 1 POLE
 - 220V = 220 VOLT



PROPOSED LOWER FLOOR

SCALE: 1/4" = 1'-0"



DESIGN REVIEW SET 06.16.16

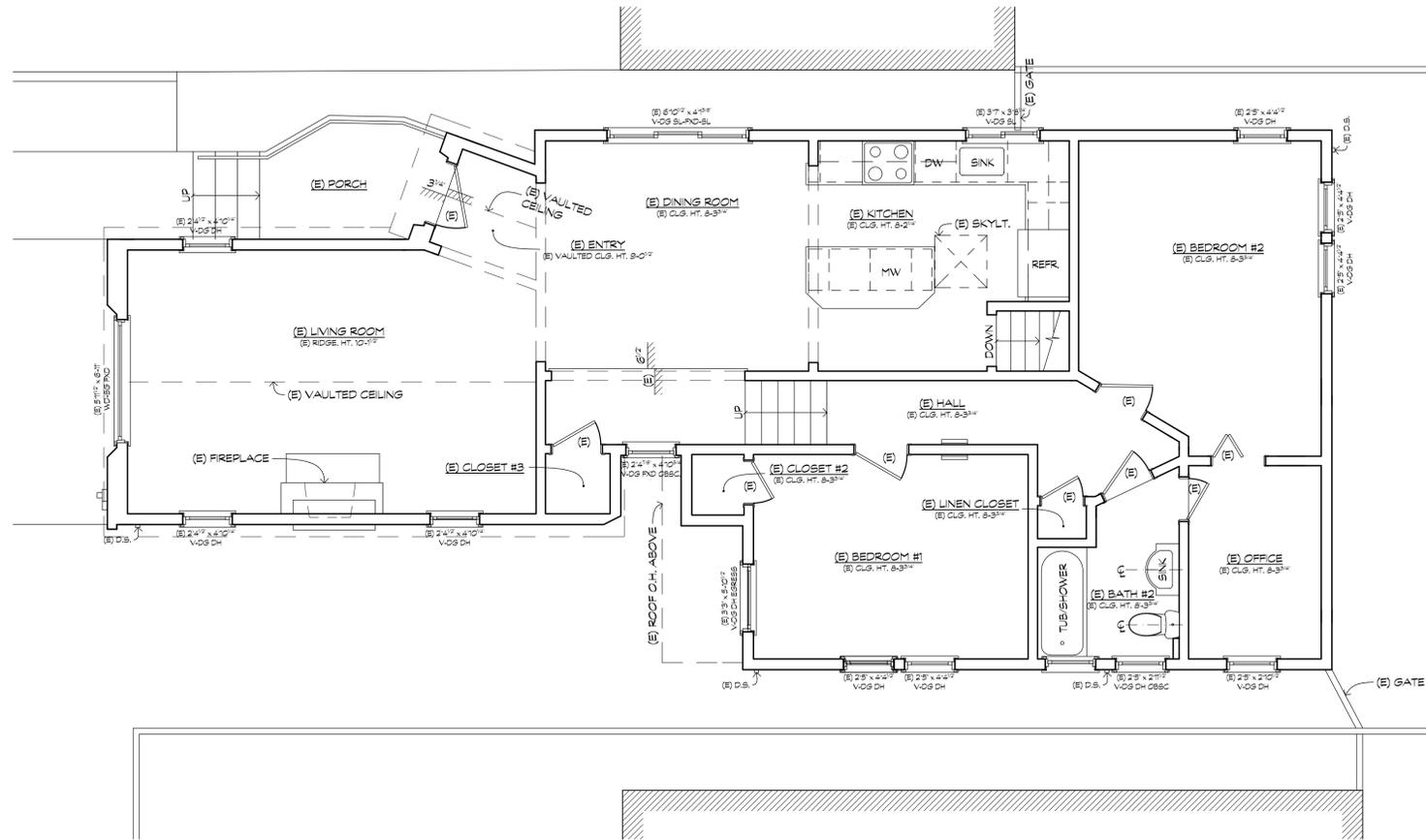
DATE: 06.16.16

ADDITION & REMODEL FOR
OZLEM AYDUK &
RUDY MENDOZA-DENTON
806 CURTIS STREET
ALBANY, CA 94706

JASON KALDIS ARCHITECT, INC.
1250 ADDISON STREET - STUDIO 210
BERKELEY, CA 94702
PH (510) 549-3584 FX (510) 549-3574
JASON@KALDISARCHITECT.COM

DRAWING TITLE: PROPOSED MAIN & UPPER FLOOR PLAN @ 1/4" = 1'-0"
PROPOSED LOWER FLOOR PLAN @ 1/4" = 1'-0"
REMOVED WINDOW SCHEDULE

SHEET: 2 OF 16005

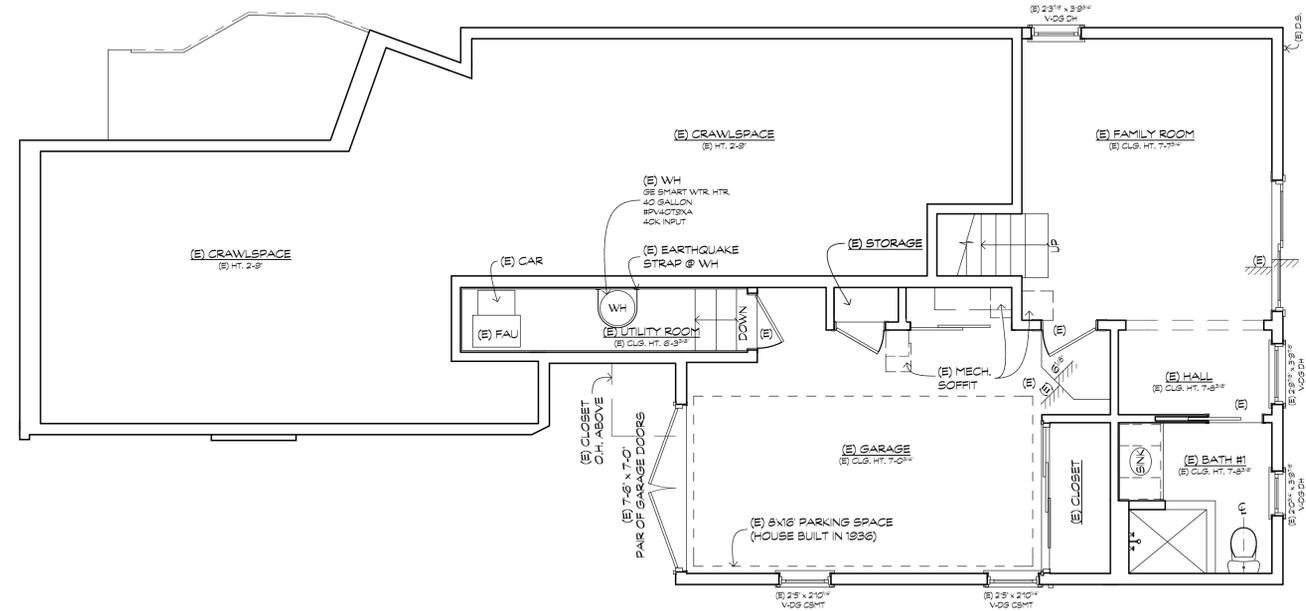


EXISTING MAIN/UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

- ARCHITECTURAL LEGEND**
- NEW (N) WALL
 - EXISTING (E) WALL TO REMAIN
 - EXISTING (E) WALL TO BE REMOVED
 - LINE ABOVE
 - LINE BELOW OR BEYOND
 - PROPERTY LINE
 - SECTION
 - DETAIL NUMBER
 - SHEET NUMBER
 - WINDOW KEY
 - DOOR KEY
 - REVISION
 - CEILING MOUNTED LIGHT
 - WALL MOUNTED LIGHT
 - RECESSED LIGHT
 - RECESSED ADJUSTABLE LIGHT
 - CABLE/TRACK LIGHTING
 - UNDERCABINET LIGHT
 - JUNCTION BOX
 - CEILING FAN W/ LIGHT
 - CEILING FAN
 - LIGHT-EXHAUST FAN COMBO
 - EXHAUST FAN
 - SWITCH
 - 3 WAY SWITCH
 - DUPLEX WALL OUTLET
 - QUAD WALL OUTLET
 - FLOOR OUTLET
 - TELEPHONE JACK
 - T.V./ DATA CABLE JACK
 - SPEAKER
 - CHIMES
 - PUSH BUTTON
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - HEAT DETECTOR
 - THERMOSTAT CONTROLS
 - HEAT REGISTER @ CEILING
 - HEAT REGISTER @ FLOOR
 - HEAT REGISTER @ WALL OR TOE KICK
 - SUPPLY LINE

- KEY TO ABBREVIATIONS**
- AAP = ATTIC ACCESS PANEL
 - AP = ACCESS PANEL
 - CAR = COLD AIR RETURN
 - CAP = CRAWLSPACE ACCESS PANEL
 - D = DIMMER
 - DS = DOWN SPOUT
 - F = FLUORESCENT
 - FAU = FORCED AIR UNIT
 - FV = FOUNDATION VENT
 - GFI = GROUND FAULT CIRCUIT INTERRUPTER
 - HS = HOSE BIB
 - H2O = WATER SUPPLY
 - LED = T24 QUALIFYING LED
 - MS = MOTION SENSOR
 - OH = OVERHANG
 - OS = OCCUPANCY SENSOR
 - PC = PHOTOCELL
 - SS = SANITARY SEWER
 - VS = VACANCY SENSOR
 - WH = WATER HEATER
 - WP = WATERPROOF/WEATHERPROOF
 - 1S, 1P = 1 SHELF, 1 POLE
 - 220V = 220 VOLT



EXISTING LOWER FLOOR

SCALE: 1/4" = 1'-0"



DESIGN REVIEW SET 06.16.16

JOB ADDRESS: ADDITION & REMODEL FOR OZLEM AYDUK & RUDY MENDOZA-DENTON, 806 CURTIS STREET, ALBANY, CA 94706

DATE: 06.16.16

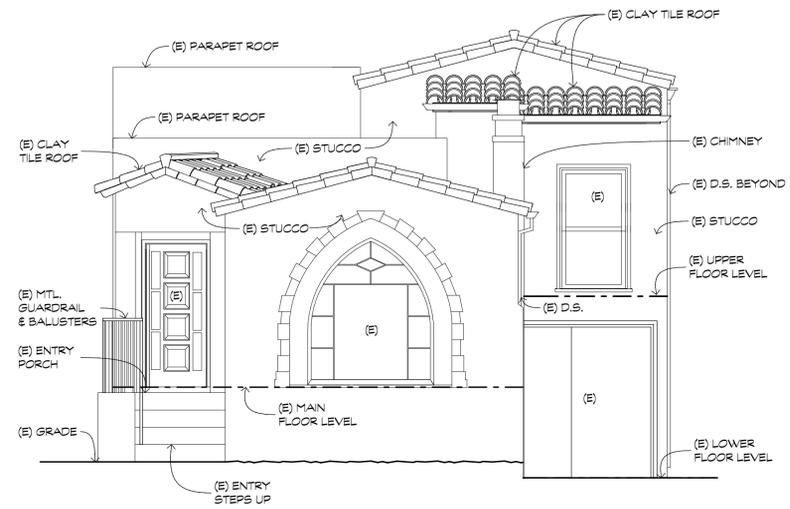
DRAWN BY: JY

JASON KALDIS ARCHITECT, INC.
 1250 ADDISON STREET - STUDIO 210
 BERKELEY, CA 94702
 PH (510) 549-3584 FX (510) 549-3574
 JASON@KALDISARCHITECT.COM

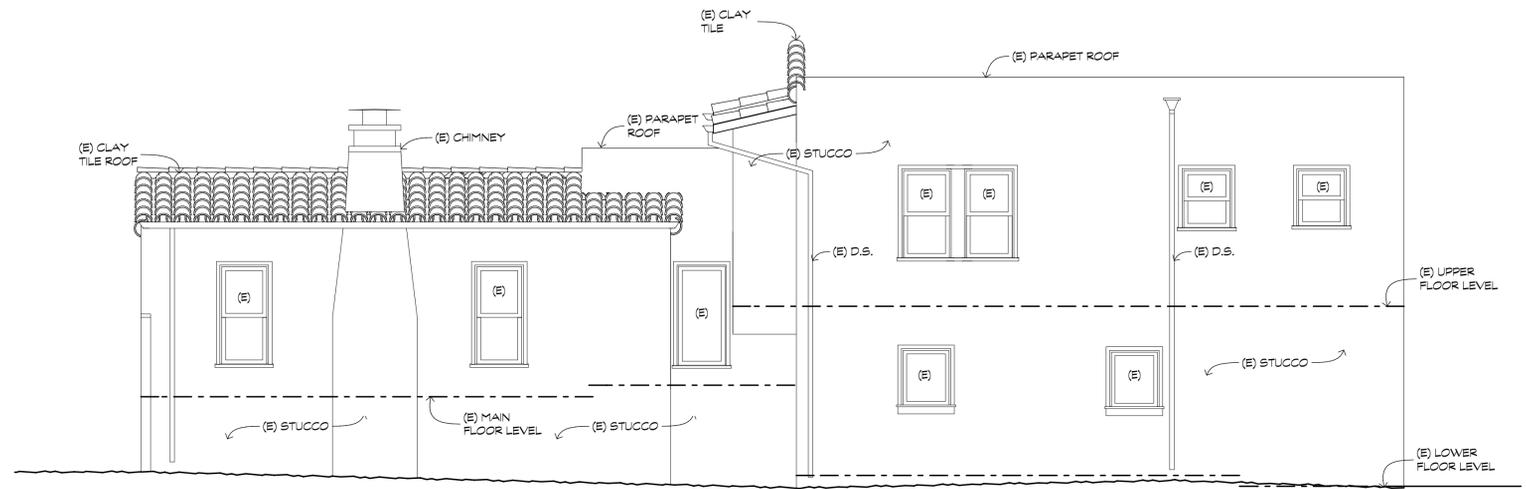
DRAWING TITLE: EXISTING MAIN/UPPER FLOOR PLAN @ 1/4" = 1'-0"
 EXISTING LOWER FLOOR PLAN @ 1/4" = 1'-0"

SHEET: **2A**

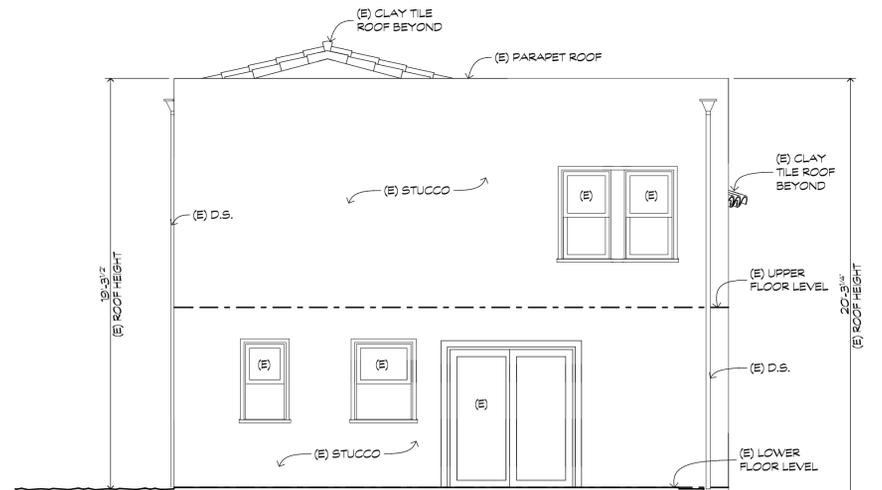
JOB NUMBER: 16005



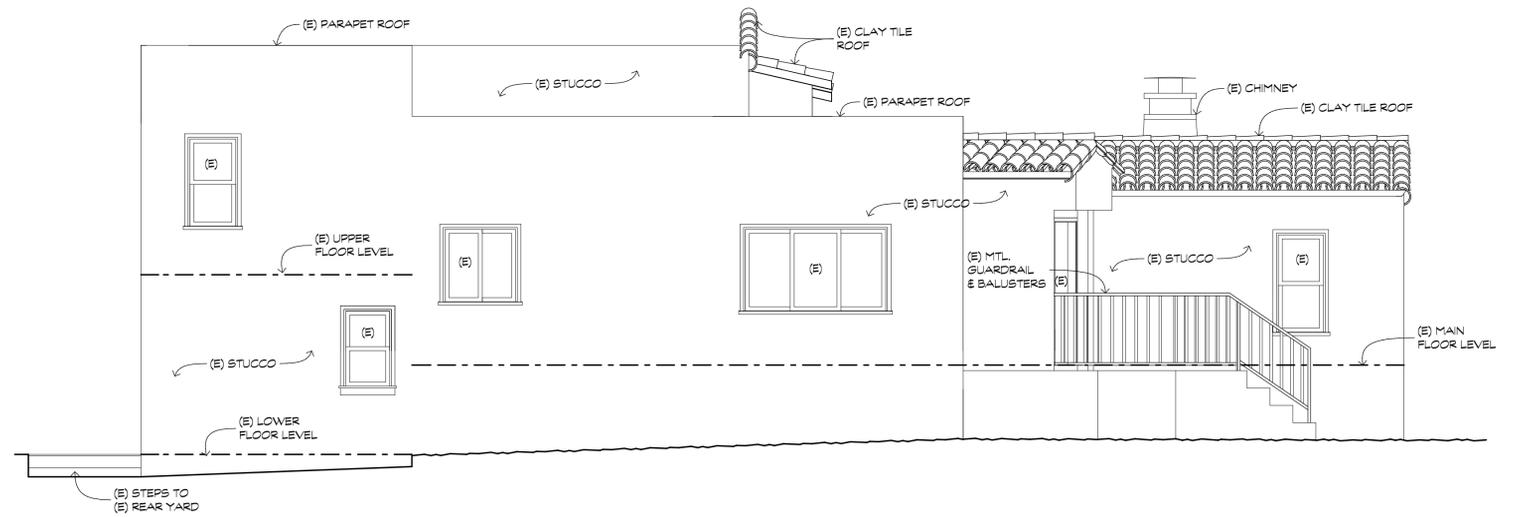
EXISTING EAST EXT. ELEVATIONS
SCALE: 1/4" = 1'-0"



EXISTING NORTH EXT. ELEVATIONS
SCALE: 1/4" = 1'-0"



EXISTING EAST EXT. ELEVATIONS
SCALE: 1/4" = 1'-0"



EXISTING SOUTH EXT. ELEVATIONS
SCALE: 1/4" = 1'-0"

TYPICAL EXISTING EXTERIOR BUILDING MATERIALS

- (E) CLAY TILE ROOF
- (E) GUTTERS W/ DOWNSPOUTS
- (E) STUCCO, PAINTED
- (E) CHIMNEY, STUCCO, PAINTED
- (E) VINYL & WOOD WINDOWS
- (E) WOOD TRIMS, PAINTED
- (E) METAL RAILINGS & BALUSTERS
- (E) WOOD DOORS

DESIGN REVIEW SET 06.16.16

JOB ADDRESS		DATE
ADDITION & REMODEL FOR OZLEM AYDUK & RUDY MENDOZA-DENTON 808 CURTIS STREET ALBANY, CA 94706		06.16.16 DRAWN BY JY
JASON KALDIS ARCHITECT, INC.		
1250 ADDISON STREET - STUDIO 210 BERKELEY, CA 94702 PH (510) 549-3584 FX (510) 549-3574 JASON@KALDISARCHITECT.COM		
DRAWING TITLE	SHEET	
EXISTING EXTERIOR ELEVATIONS @ 1/4" = 1'-0" TYPICAL EXISTING EXT. BUILDING MATERIALS	3A	
	OF	
	JOB NUMBER	16005

FINISH SCHEDULE						ÖZLEM AYDUK & RUDY MENDOZA-DENTON 808 CURTIS STREET ALBANY, CA 94706
ROOM	FLOOR	BASE	WALLS	CEILING	TRIM	REMARKS
(E) UPPER FLOOR STAIR/HALL	PATCH TO MATCH (E) HARDWOOD FLOOR	PATCH/REFINISH AS NECESSARY TO MATCH (E)	PATCH/REFINISH AS NECESSARY TO MATCH (E)	PATCH & PAINT TO MATCH (E)	MATCH (E)	
(E) BEDROOM #2	(E) HARDWOOD FLOOR TO REMAIN	PATCH/REFINISH AS NECESSARY TO MATCH (E)	PATCH/REFINISH AS NECESSARY TO MATCH (E)	PATCH & PAINT TO MATCH (E)	MATCH (E)	
(N) CLOSET #2	(E) HARDWOOD FLOOR TO REMAIN	PATCH/REFINISH AS NECESSARY TO MATCH (E)	1/2 TH. GYP. BD., PAINTED	PATCH & PAINT TO MATCH (E)	MATCH (E)	TYP. GYP. BD. TEXTURE TO MATCH (E) HOUSE CEILING & WALLS
(R) BEDROOM #3	(N) HARDWOOD FLOOR	PATCH/REFINISH AS NECESSARY TO MATCH (E)	1/2 TH. GYP. BD., PAINTED	1/2 TH. GYP. BD., PAINTED	MATCH (E)	
(N) CLOSET #3	(E) HARDWOOD FLOOR TO REMAIN	PATCH/REFINISH AS NECESSARY TO MATCH (E)	1/2 TH. GYP. BD., PAINTED	PATCH & PAINT TO MATCH (E)	MATCH (E)	TYP. GYP. BD. TEXTURE TO MATCH (E) HOUSE CEILING & WALLS
(E) BATH #2	(E) TILE FLOOR TO REMAIN	PATCH/REFINISH AS NECESSARY TO MATCH (E)	PATCH/REFINISH AS NECESSARY TO MATCH (E) TILE WANSKOT	PATCH & PAINT TO MATCH (E)	MATCH (E)	
(N) BATH #3	(N) TILE	PATCH/REFINISH AS NECESSARY TO MATCH (E)	1/2 TH. GYP. BD., PAINTED	1/2 TH. GYP. BD., PAINTED	MATCH (E)	TYP. GYP. BD. TEXTURE TO MATCH (E) HOUSE CEILING & WALLS
(R) BEDROOM #1	(N) HARDWOOD FLOOR	PATCH/REFINISH AS NECESSARY TO MATCH (E)	PATCH/REFINISH AS NECESSARY TO MATCH (E)	PATCH & PAINT TO MATCH (E)	MATCH (E)	
(N) CLOSET #1	(N) HARDWOOD FLOOR	PATCH/REFINISH AS NECESSARY TO MATCH (E)	1/2 TH. GYP. BD., PAINTED	PATCH & PAINT TO MATCH (E)	MATCH (E)	
(E) LOWER FLOOR HALL	(E) HARDWOOD FLOOR TO REMAIN	PATCH/REFINISH AS NECESSARY TO MATCH (E)	1/2 TH. GYP. BD., PAINTED	PATCH & PAINT TO MATCH (E)	MATCH (E)	
(N) STUDY	(N) HARDWOOD FLOOR	PATCH/REFINISH AS NECESSARY TO MATCH (E)	1/2 TH. GYP. BD., PAINTED	1/2 TH. GYP. BD., PAINTED	MATCH (E)	TYP. GYP. BD. TEXTURE TO MATCH (E) HOUSE CEILING & WALLS

PLUMBING SCHEDULE						ÖZLEM AYDUK & RUDY MENDOZA-DENTON 808 CURTIS STREET ALBANY, CA 94706
LOCATION	FIXTURE	MANUFACTURER	PRODUCT NAME	MODEL NO.	FINISH - COLOR	
BATH #3	TUB FILLER & CONTROLS	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	
	UNDERMOUNT SINK	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	
	FAUCET	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	
	SHOWER HEAD & CONTROLS	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	
	TOILET	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	CONFIRM W/ OWNER	

DOOR SCHEDULE						ÖZLEM AYDUK & RUDY MENDOZA-DENTON 808 CURTIS STREET ALBANY, CA 94706
SIZE (W x H x TH.)	STYLE	MATERIAL	FINISH	HARDWARE	REMARKS	
2'-6" x 6'-6" x 1 3/8"	SINGLE PANEL	SOLID CORE WOOD	PANT EA. FACE & ALL EDGES	PRIVACY	BEDROOM #2	
5'-6" x 6'-6" x 1 3/8"	2 SECTION SLIDER	SOLID CORE WOOD	PANT EA. FACE & ALL EDGES	RECESSED PULLS	BEDROOM #2	
2'-6" x 6'-6" x 1 3/8"	SINGLE PANEL	SOLID CORE WOOD	PANT EA. FACE & ALL EDGES	PRIVACY	BEDROOM #3	
5'-6" x 6'-6" x 1 3/8"	2 SECTION SLIDER	SOLID CORE WOOD	PANT EA. FACE & ALL EDGES	RECESSED PULLS	BEDROOM #3	
2'-4" x 6'-6" x 1 3/8"	SINGLE PANEL	SOLID CORE WOOD	PANT EA. FACE & ALL EDGES		BATH #2	
2'-4" x 6'-6" x 1 3/8"	POCKET SLIDER	SOLID CORE WOOD	PANT EA. FACE & ALL EDGES	RECESSED PULLS W/ PRIVACY	BATH #3	
2'-4" x 6'-6" x 1 3/8"	SINGLE PANEL	SOLID CORE WOOD	PANT EA. FACE & ALL EDGES	PRIVACY	CLOSET #1	

The architect is not responsible for the ordering of doors. Contractor, owner, and door supplier are to verify all door rough openings and verify coordination between manufacturer's model number, window size, safety glazing, finishes and accessories.

WINDOW SCHEDULE					ÖZLEM AYDUK & RUDY MENDOZA-DENTON 808 CURTIS STREET ALBANY, CA 94706
ROUGH OPENING	TYPE	MFR. & MODEL #	FINISH	FIN. INT. HD. @ 6'-6"; TYP., UNLESS OTHERWISE NOTED.	REMARKS
1	2'-6 1/8" x 2'-6"	SKYLIGHT	VELUX FS M02		
2	2'-6 1/8" x 2'-6"	SKYLIGHT	VELUX FS M02		
3	2'-6" x 4'-6"	CASEMENT	MILGARD TUSCANY SERIES	WHITE	HD. HT. TO MATCH (E) WINDOWS (V.I.F.)
4	(2) 2'-6" x 4'-6"	(2) DOUBLE-HUNG MULLED TOGETHER	MILGARD TUSCANY SERIES	WHITE	HD. HT. TO MATCH (E) WINDOWS (V.I.F.)
5	4'-0" x 2'-0"	AWNING	MILGARD TUSCANY SERIES	WHITE	HD. HT. TO MATCH (E) WINDOWS (V.I.F.)
6	5'-0" x 2'-0"	AWNING	MILGARD TUSCANY SERIES	WHITE	HD. HT. TO MATCH (E) WINDOWS (V.I.F.)
7	(2) 2'-6" x 4'-6"	(2) DOUBLE-HUNG MULLED TOGETHER	MILGARD TUSCANY SERIES	WHITE	HD. HT. TO MATCH (E) WINDOWS (V.I.F.)
8	(2) 2'-6" x 4'-6"	(2) DOUBLE-HUNG MULLED TOGETHER	MILGARD TUSCANY SERIES	WHITE	HD. HT. TO MATCH (E) WINDOWS (V.I.F.)
9	(2) 2'-6" x 4'-6"	(2) DOUBLE-HUNG MULLED TOGETHER	MILGARD TUSCANY SERIES	WHITE	HD. HT. TO MATCH (E) WINDOWS (V.I.F.)
10	2'-0 3/4" x 3'-8 7/8" (EXISTING WINDOW AT BATH#1 FIELD VERIFY)	DOUBLE-HUNG			MEASURED FROM INSIDE. WINDOW TO BE RELOCATED & REUSED FROM (E) BATH #2 WEST

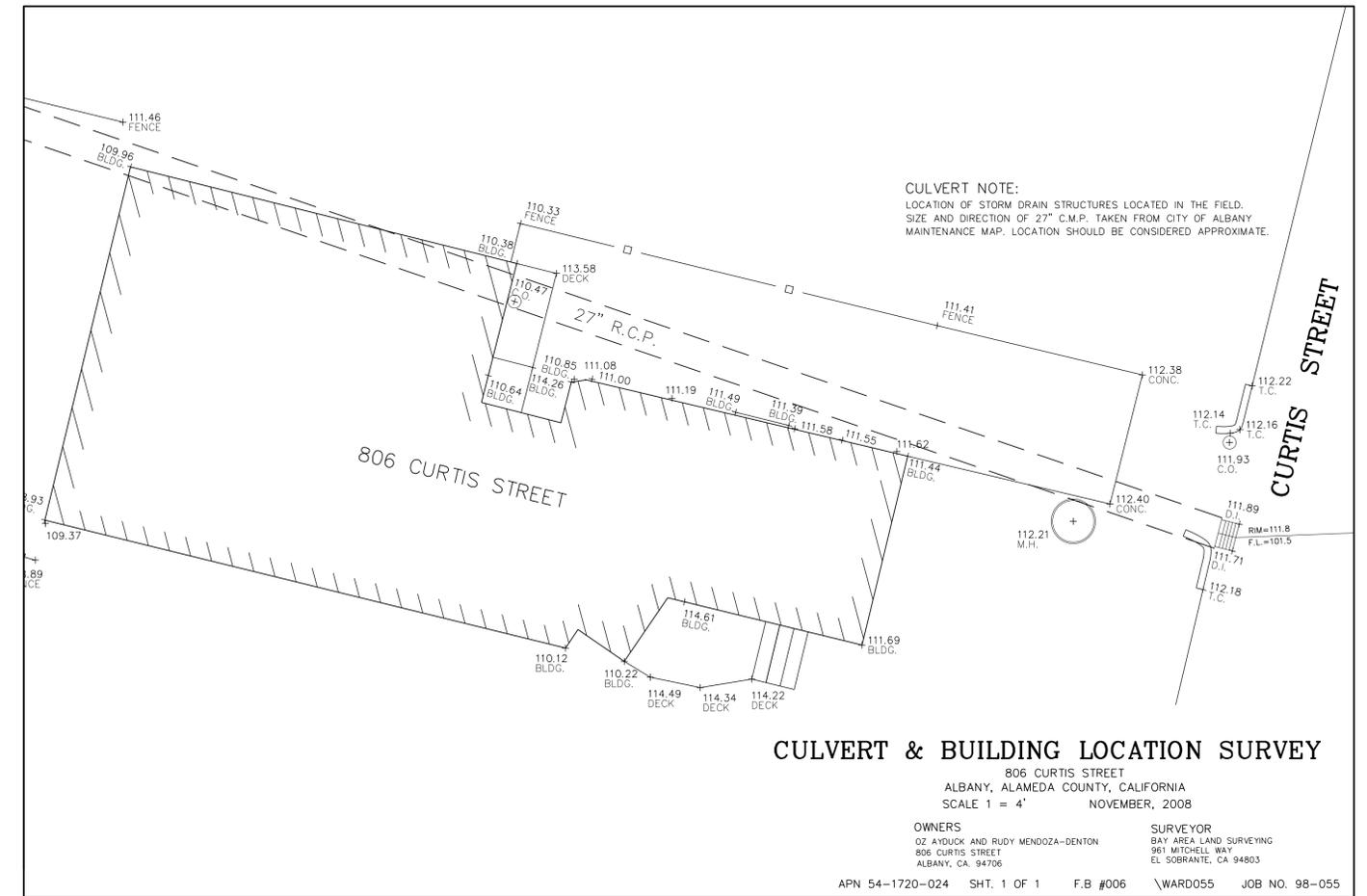
The architect is not responsible for the ordering of windows and skylights. Contractor, owner, window supplier, and skylight supplier are to verify all window and skylight rough openings and verify coordination between manufacturer's model number, window and skylight size, safety glazing, finishes and accessories.

VELUX CLAD WOOD SKYLIGHT NOTES:

REFERENCE STANDARDS: ANSI, ASTM AND VELUX ARCHITECTURAL SPECIFICATION SHEET.
INSTALLATION: INSTALL PER MANUFACTURER'S INSTRUCTIONS.
MATERIALS: WOOD FRAME ROOF WINDOW TO BE "VELUX VSS M02" AS MANUFACTURED BY VELUX-AMERICA, INC.
OPERATION TYPE: FS: DECK MOUNTED (FIXED SKYLIGHT)
GLAZING: DUAL PANE LAMINATE GLAZING (L003), TEMPERED PER CODE AT HAZARDOUS LOCATIONS.
MANUFACTURER: VELUX-AMERICA, INC.
1. CURB KIT & FLASHING SYSTEM: TYPE EDL, WITH PREFABRICATED 22 GAUGE LACQUERED ALUMINUM, STEP FLASHING, CURB FLASHING.
2. ACCESSORIES: NO BLINDS OR BLINDS TO BE SELECTED BY OWNER. ZCT300 MANUAL 6'-10" EXTENSION ROD (MANUAL CONTROL ROD NOT REQUIRED AT VSE OR VSS MODELS)

DESIGN REVIEW SET 06.16.16

JOB ADDRESS ADDITION & REMODEL FOR ÖZLEM AYDUK & RUDY MENDOZA-DENTON 808 CURTIS STREET ALBANY, CA 94706	DATE 06.16.16 DRAWN BY JY
JASON KALDIS ARCHITECT, INC. 1250 ADDISON STREET - STUDIO 210 BERKELEY, CA 94702 PH (510) 549-3584 FX (510) 549-3574 JASON@KALDISARCHITECT.COM	
DRAWING TITLE WINDOW SCHEDULE DOOR SCHEDULE FINISH SCHEDULE PLUMBING SCHEDULE	SHEET 4 OF JOB NUMBER 16005



CULVERT AND BUILDING LOCATION SURVEY
 SCALE: 1" = 4'-0"

DESIGN REVIEW SET		06.16.16
JOB ADDRESS ADDITION & REMODEL FOR OZLEM AYDUK & RUDY MENDOZA-DENTON 806 CURTIS STREET ALBANY, CA 94706	DATE 06.16.16 DRAWN BY JY	
JASON KALDIS ARCHITECT, INC. 1250 ADDISON STREET - STUDIO 210 BERKELEY, CA 94702 PH (510) 549-3584 FX (510) 549-3574 JASON@KALDISARCHITECT.COM		
DRAWING TITLE CULVERT & BUILDING LOCATION SURVEY	SHEET 5	OF JOB NUMBER 16005