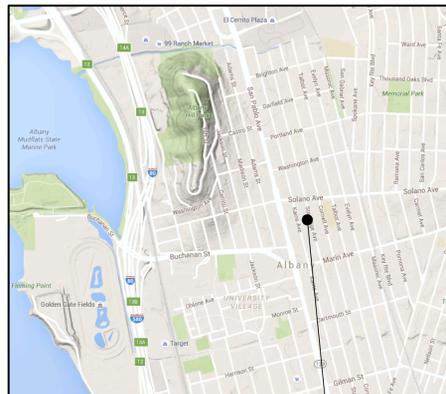


VICINITY MAP



PROJECT SITE



PLOT PLAN



PROJECT SITE



SITE / BLDG INFORMATION

TENANT OWNER:	ED & PATTI MOON
ENTITLEMENT AGENCY:	CITY OF ALBANY
APN:	65-2660-9
ZONING:	R-1
TYPE OF CONSTRUCTION:	TYPE V-N
BLDG STORIES:	1-STORY
LOT AREA:	2,500 SF
BLDG AREA:	932 SF, INCL (E) REAR STORAGE SHED
LOT COVERAGE:	38%
FAR:	38%

SCOPE OF WORK

ADDITION AND RENOVATION OF 1-STORY SINGLE-FAMILY RESIDENCE INCLUDING DEMOLISHING EXISTING EXTERIOR STAIRS AND PARTIAL ENCLOSURE OF EXISTING PORCH, BUILDING NEW EXTERIOR STAIRS AND ENTRY PORCH, REPLACING EXISTING EXTERIOR SIDING AT FRONT PORTION, NEW WINDOWS, AND RENOVATION OF INTERIOR ENTRY, LIVING ROOM, KITCHEN, BEDROOMS, AND OFFICE.

DEFERRED SUBMITTALS

"THESE DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION A SUBMITTAL TO THE BUILDING DEPARTMENT SHALL BE MADE FOR THEIR REVIEW AND APPROVAL, WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND THAT THE PLANS AND CALCULATIONS FOR DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS." SECTION 106.3.4.2

- MECHANICAL, ELECTRICAL, PLUMBING
- OTHER DOCUMENTS REQUESTED BY BUILDING OFFICIALS.

GENERAL NOTES

- THE SCOPE OF WORK SHALL CONSIST OF FURNISHING ALL THE LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO COMPLETE ALL THE WORK INDICATED ON THE DRAWINGS.
- ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, AND NATIONAL CODES, ORDINANCES, AND REGULATIONS.
- UNLESS OTHERWISE DETERMINED BY THE OWNER, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING AND PAYING FOR ALL PERMITS, FILINGS, INSPECTIONS, AND SIGN-OFF AND SHALL SUBMIT CERTIFICATES OF COMPLIANCE TO OWNER.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON JOB SITE AND NOTIFY THE ARCHITECT AS TO ANY DISCREPANCY.
- ALL MANUFACTURED PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- ALL PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW & APPROVAL.
- ALL WORK SHALL BE DONE IN NEAT AND WORKMANLIKE MANNER.
- ALL DIMENSIONS ARE FACE OF WALL FINISH TO FACE OF WALL FINISH UNLESS OTHERWISE NOTED.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE ARCHITECT SHALL BE NOTIFIED IF FIELD DIMENSIONS NECESSITATE ANY CHANGES OR MODIFICATIONS.
- CONTRACTOR SHALL KEEP ALL WORK AREAS CLEAR OF ALL REFUSE, RUBBISH, AND DEBRIS.
- ALL PERTINENT CONSTRUCTION SHALL MEET ALL CALIFORNIA TITLE 24 ENERGY REQUIREMENTS.
- THE CONTRACTOR SHALL POST & MAINTAIN ALL REQUIRED NOTICES, SIGNS, & SAFEGUARDS.
- THE CONTRACTOR SHALL FILE RELEASE OR WAIVER OF LIENS. A COMPLETE SET OF MANUALS CONTAINING MANUFACTURERS' INSTRUCTIONS FOR MAINTENANCE AND OPERATION OF EACH PIECE OF EQUIPMENT SHALL BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2010 CALIFORNIA ENERGY CODE (2008 CALIFORNIA BUILDING EFFICIENCY STANDARDS)
CITY OF ALBANY AMENDMENTS AND ORDINANCES
- PROTECT (E) PIPING AND ELECTRICAL SERVICES RUNNING FROM / TO OTHER SPACES WITHIN THE BUILDING.
- PROTECT (E) STRUCTURAL MEMBERS DURING CONSTRUCTION.
- MITIGATE CONSTRUCTION NOISE TO AVOID DISRUPTION OF ADJACENT BUSINESSES AND TENANTS.
- ANY WORK REQUIRED TO RESTORE PREMISES THAT ARE NOT PART OF SOMA RESTAURANT GROUP'S LEASED PREMISES WILL BE PERFORMED BY THE LANDLORD'S CONTRACTOR, AND COST FOR THIS RESTORATION SHALL BE BORNE BY SOMA RESTAURANT GROUP.

SHEET INDEX

ARCHITECTURAL DRAWINGS		PLANNING SUBMITTAL
A0.0	PROJECT INFORMATION	
A1.1	SITE PLANS EXISTING / DEMOLITION & PROPOSED, ROOF PLAN	
A2.1	FLOOR PLANS EXISTING / DEMOLITION & PROPOSED	
A4.0	EXTERIOR ELEVATIONS EXISTING	
A4.1	EXTERIOR ELEVATIONS PROPOSED	
A7.1	DOOR & WINDOW SCHEDULES	

SYMBOL KEY

(TYPICAL; UNLESS OTHERWISE NOTED PER SHEET NOTES)

STREET ELEVATION



928 STANNAGE AV



926 STANNAGE AV
SUBJECT PROPERTY



922 STANNAGE AV

ABBREVIATIONS

(E) EXISTING	FS FOOD SERVICE
(N) NEW	FRP FIBERGLASS REINFORCED
(P) PAINT	PLASTIC
ABV ABOVE	HDWR HARDWARE
ACC ACCESSIBLE	GALV GALVANIZED
ALT ALTERNATIVE	GL GLASS
BD BOARD	GWB GYPSUM WALL BOARD
BLDG BUILDING	INT INTERIOR
CLG CEILING	MAX MAXIMUM
COL COLUMN	MTL METAL
CONC CONCRETE	MIN MINIMUM
DEMO DEMOLISH	OCC OCCUPANCY
DTL DETAIL	PART PARTITION
DFIR DOUGLAS FIR	PROP PROPERTY
DWG DRAWING	PRW PUBLIC RIGHT-OF-WAY
ETR EXISTING TO REMAIN	RCP REFLECTED CEILING PLAN
EXT EXTERIOR	SF SQUARE FEET
FLR FLOOR	SS STAINLESS STEEL
	WNDW WINDOW
	UON UNLESS OTHERWISE NOTED

CONTACTS

OWNER ED & PATTI MOON 926 STANNAGE AV ALBANY CA 94706 PHONE: (510) 316-9039	ARCH DESIGN MESHWORK ORGANIZATION 660 62ND STREET OAKLAND CA 94609 CONTACT: JAY CASTLE PHONE: (510) 393-7008 EMAIL: JAY.CASTLE@MSHWRK.ORG
STRUCTURAL ENGINEER TBD	MEP ENGINEERS TBD



MOON RESIDENCE ADDITION & RENOVATION
926 STANNAGE AV
ALBANY
CA 94706
APN # 65-2660-9

ISSUE:
2016 JUN 30 PLANNING SUBMITTAL

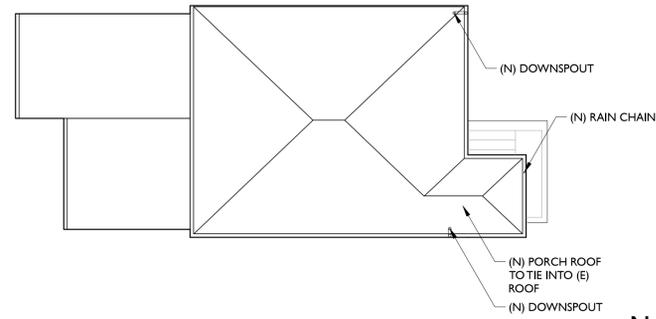
DATE 2016 JUN 30

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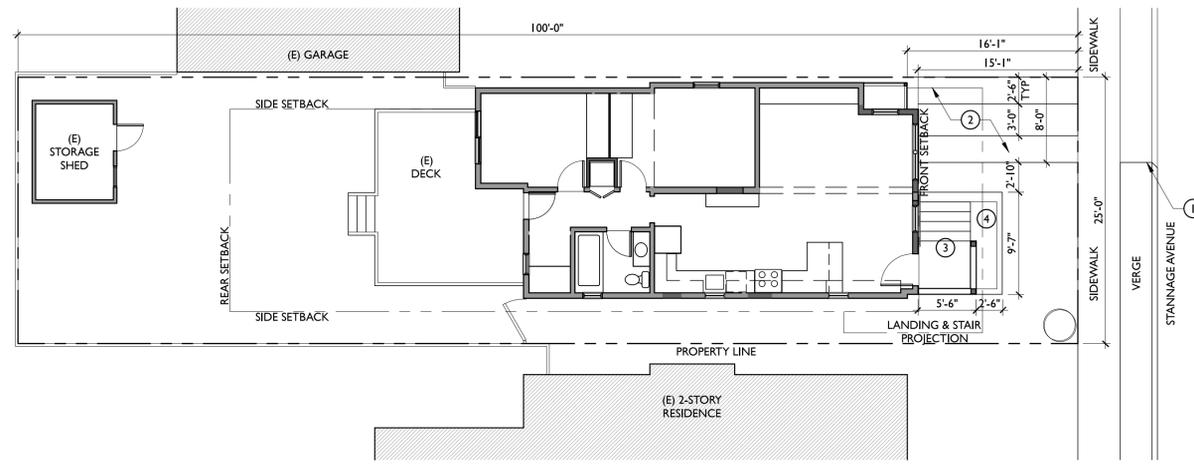
PROJECT INFORMATION

SHEET NO

A0.0



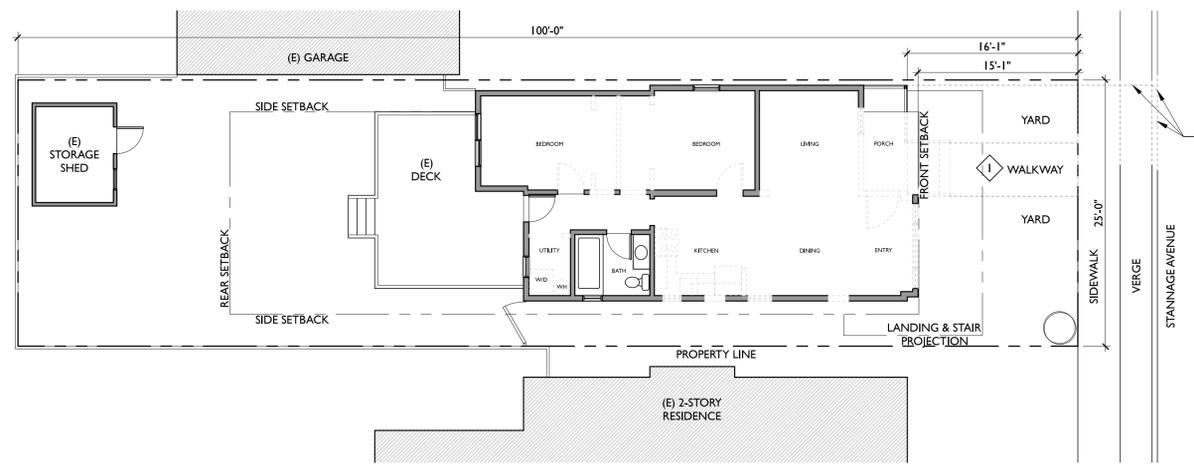
3 ROOF PLAN PROPOSED
1/8" = 1'-0" @ 36x24 | 1/16" = 1'-0" @ 17x11



2 SITE PLAN PROPOSED
1/8" = 1'-0" @ 36x24 | 1/16" = 1'-0" @ 17x11

CONSTRUCTION KEYNOTES

- 1 (N) CURB CUT (SHARED WITH (E) CURB CUT OF NEIGHBOR)
- 2 (N) RIBBON-STYLE (HOLLYWOOD) DRIVEWAY W/ LOW PLANTING IN CENTER
- 3 (N) EXTERIOR STAIR
- 4 (N) CONC PLANTER



1 SITE PLAN EXISTING / DEMO
1/8" = 1'-0" @ 36x24 | 1/16" = 1'-0" @ 17x11

DEMOLITION KEYNOTES

- 1 REMOVE (E) CONC WALKWAY
- 2 REMOVE (E) CURBCUT

MOON RESIDENCE ADDITION & RENOVATION
926 STANNAGE AV
ALBANY
CA 94706
APN # 65-2660-9

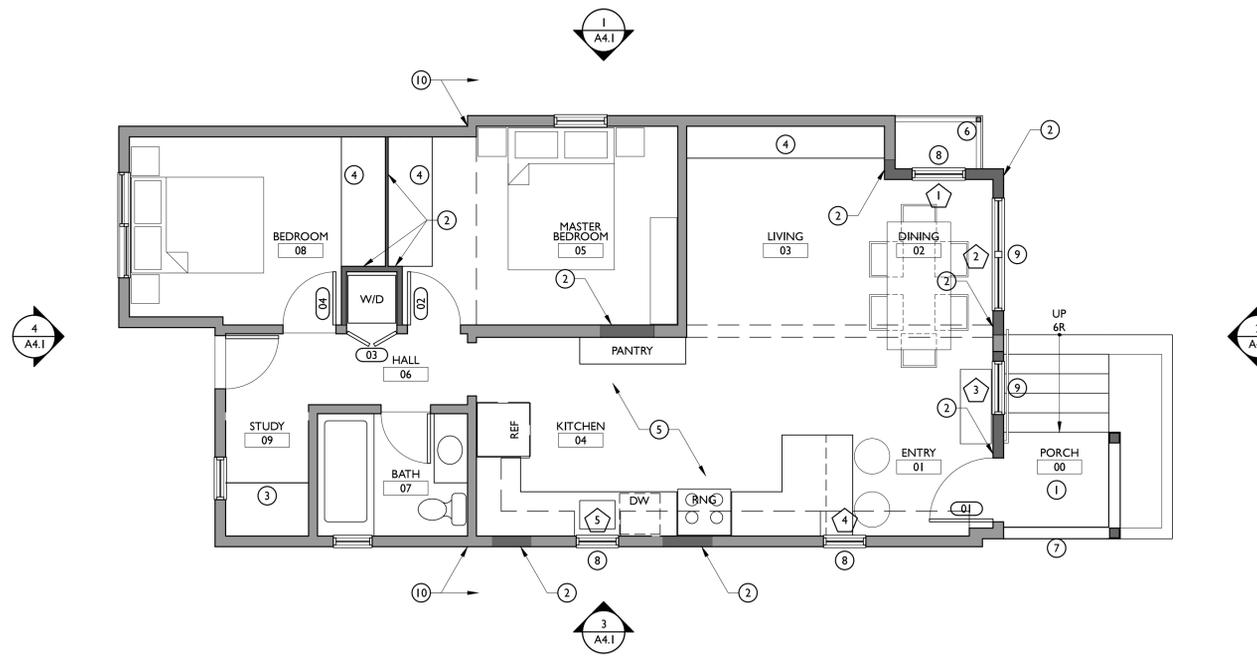
ISSUE
2016 JUN 30 PLANNING SUBMITTAL

DATE 2016 JUN 30

SHEET NAME
SITE PLANS
EXISTING /
DEMOLITION &
PROPOSED,
ROOF PLAN

SHEET NO

AI.I

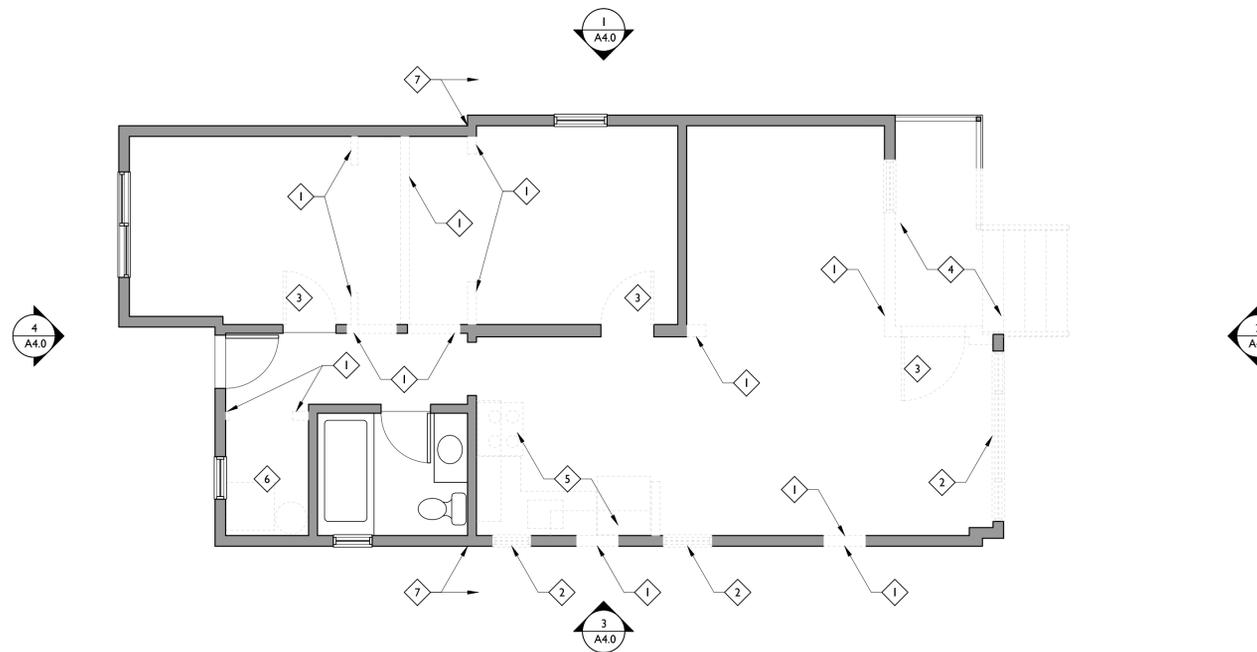


CONSTRUCTION KEYNOTES

- 1 (N) ENTRY STAIRS, PORCH, & PLANTER
- 2 (N) WALL
- 3 (N) BUILT-IN DESK W/ SHELVES ABOVE. SEE INT ELEVS
- 4 (N) FULL-HEIGHT CABINET. SEE INT ELEVS
- 5 (N) KITCHEN. SEE INT ELEVS
- 6 PORTION OF (E) PORCH TO REMAIN
- 7 (N) ON-DEMAND HOT WATER HEATER
- 8 (N) LOCATION OF (E) WINDOW
- 9 (N) MTL CLAD WOOD WINDOW
- 10 EXTERIOR SIDING TO BE REPLACED AT FRONT PORTION OF HOUSE

2 FLOOR PLAN PROPOSED

1/4" = 1'-0" @ 36x24 | 1/8" = 1'-0" @ 17x11



DEMOLITION KEYNOTES

- 1 REMOVE PORTION OF (E) WALL
- 2 REMOVE AND SAVE (E) WINDOW
- 3 REMOVE AND SAVE (E) DOOR
- 4 REMOVE (E) ENTRY STAIRS AND PORTION OF (E) PORCH
- 5 DEMOLISH (E) KITCHEN
- 6 REMOVE (E) WATER HEATER AND WASHER / DRYER
- 7 REMOVE (E) EXTERIOR SIDING AT FRONT PORTION OF HOUSE

1 FLOOR PLAN EXISTING / DEMOLITION

1/4" = 1'-0" @ 36x24 | 1/8" = 1'-0" @ 17x11

LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALLS TO REMAIN
	ITEMS TO BE DEMOLISHED
	NEW WALLS

U.O.N. ALL WALLS TO BE 2X4 STUD WALLS, 16" O.C., PTD
GWB INTERIOR FINISH, WITH WATER-RESISTANT GREEN BOARD AT WET AREAS

MOON RESIDENCE ADDITION & RENOVATION
926 STANNAGE AV
ALBANY
CA 94706
APN # 65-2660-9

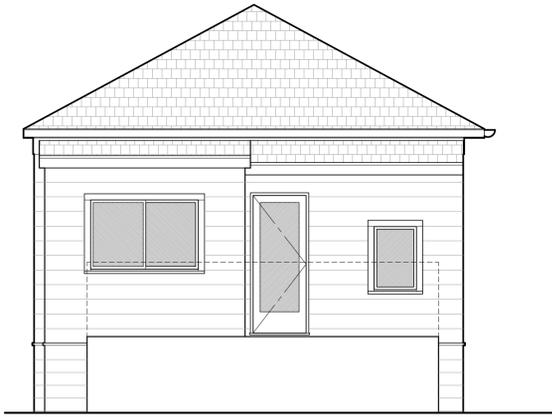
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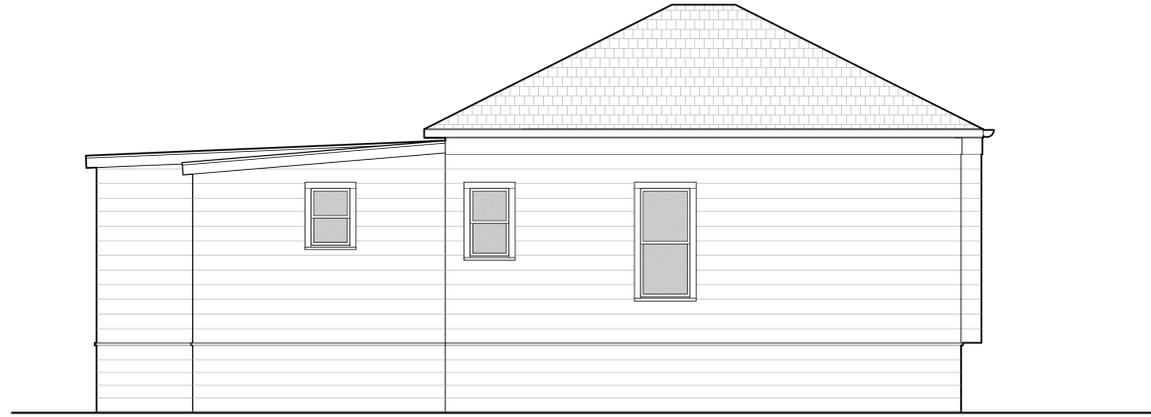
SHEET NAME
**FLOOR PLANS
EXISTING /
DEMOLITION &
PROPOSED**

SHEET NO

A2.1



4 ELEVATION EXISTING WEST
1/4" = 1'-0"



3 ELEVATION EXISTING SOUTH
1/4" = 1'-0"



2 ELEVATION EXISTING EAST
1/4" = 1'-0"



1 ELEVATION EXISTING NORTH
1/4" = 1'-0"

MOON RESIDENCE ADDITION & RENOVATION
926 STANNAGE AV
ALBANY
CA 94706
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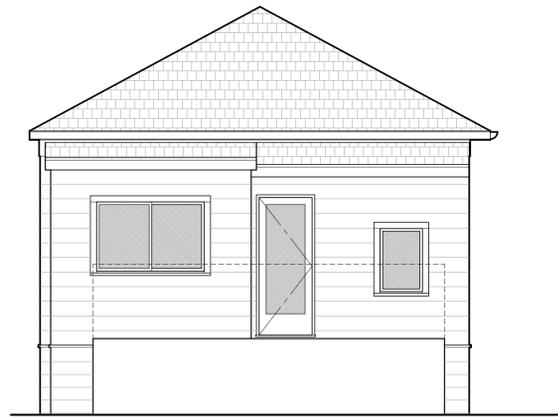
DATE 2016 JUN 30

SHEET NAME

EXTERIOR
ELEVATIONS
EXISTING

SHEET NO

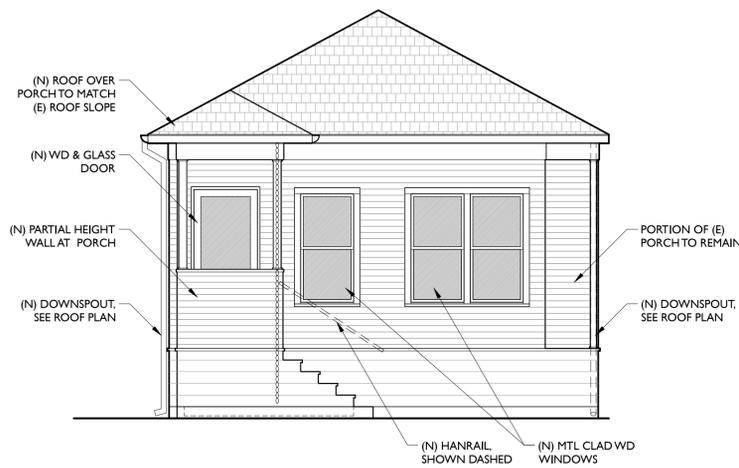
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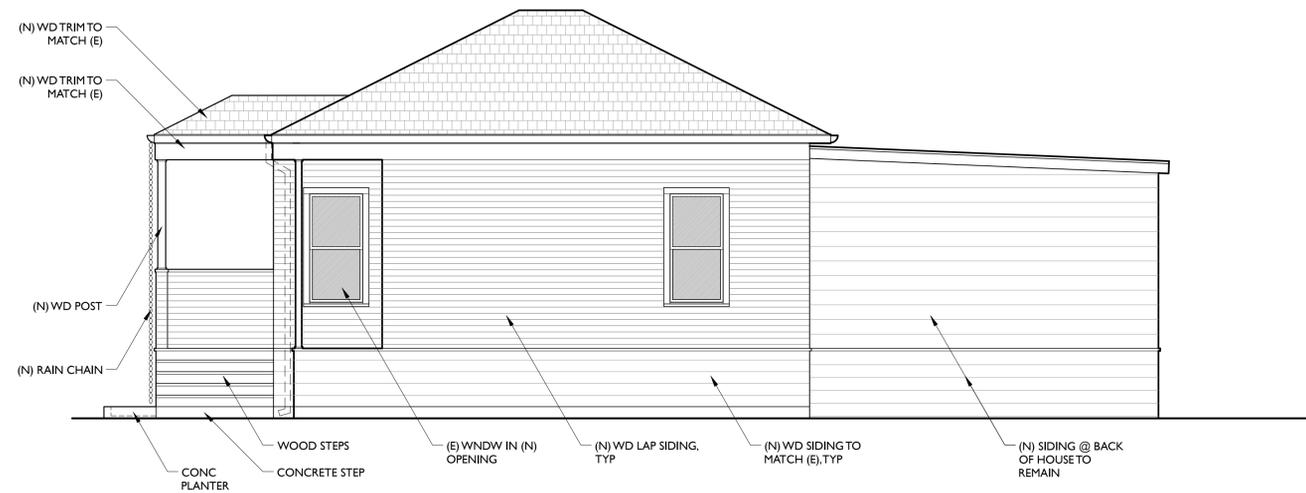
4 ELEVATION PROPOSED WEST
 1/4" = 1'-0" @ 36x24 | 1/8" = 1'-0" @ 17x11



3 ELEVATION PROPOSED SOUTH
 1/4" = 1'-0" @ 36x24 | 1/8" = 1'-0" @ 17x11



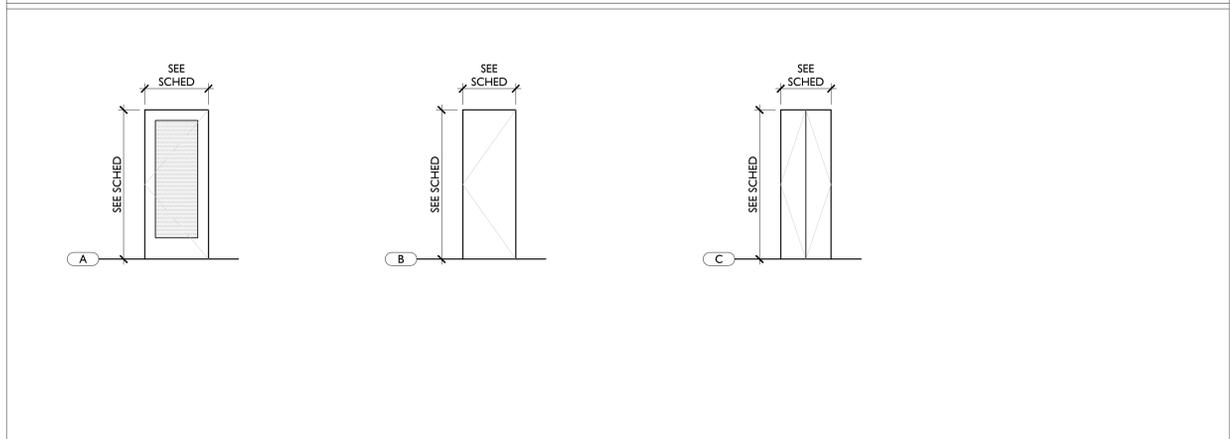
2 ELEVATION PROPOSED EAST
 1/4" = 1'-0" @ 36x24 | 1/8" = 1'-0" @ 17x11



1 ELEVATION PROPOSED NORTH
 1/4" = 1'-0" @ 36x24 | 1/8" = 1'-0" @ 17x11

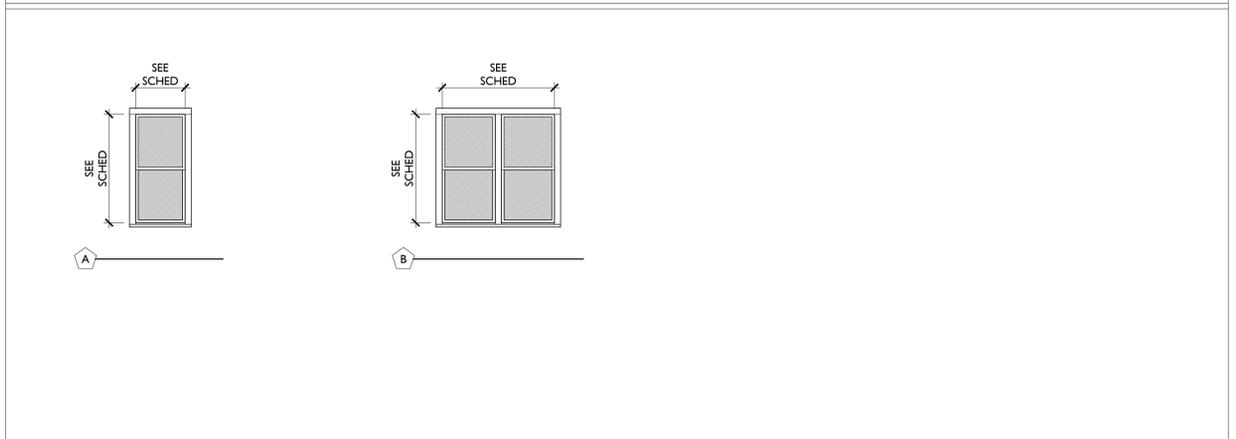
DOOR SCHEDULE							ALL DIMENSIONS TO BE VERIFIED IN FIELD BY DOOR INSTALLER	(REFERENCE A2.1)
DOOR	INT/ EXT.	SIZE		TYPE	DESCRIPTION	HDWR GROUP	NOTES	
		W	H					
01	EXT	3'-0"	7'-0"	A	WD & GLASS	TBD	SAFETY GLASS	
02	INT	2'-6"	7'-0"	B	WD SLAB	TBD	EXISTING DOOR TO BE RELOCATED	
03	INT	2'-4 1/2"	7'-0"	C	2-LEAF WD SLAB	TBD	-	
04	INT	2'-6"	7'-0"	B	WD SLAB	TBD	EXISTING DOOR TO FLIPPED WITHIN EXISTING OPENING	

DOOR NOTES



WINDOW SCHEDULE								ALL DIMENSIONS TO BE VERIFIED IN FIELD BY WINDOW INSTALLER	(REFERENCE A2.1)
WINDW	SIZE			TYPE	DESCRIPTION	OPERATION	HDWR GROUP	NOTES	
	W	H	S						
1	2'-6"	5'-1"	1'-8 1/2"	A	VINYL & GLASS	DOUBLE HUNG	-	EXISTING WINDOW RELOCATED TO NEW OPENING	
2	5'-3 1/2"	5'-1"	1'-8 1/2"	A	MTL CLAD WD & GLASS	DOUBLE HUNG	-	-	
3	2'-6"	5'-1"	1'-8 1/2"	A	MTL CLAD WD & GLASS	DOUBLE HUNG	-	-	
4	2'-4"	5'-1"	1'-8 1/2"	A	VINYL & GLASS	DOUBLE HUNG	-	EXISTING WINDOW RELOCATED TO NEW OPENING	
5	1'-10"	5'-1"	3'-7 1/2"	A	VINYL & GLASS	DOUBLE HUNG	-	EXISTING WINDOW RELOCATED TO NEW OPENING	

WINDOW NOTES



- WINDOWS AND DOORS INSTALLED AND FLASHED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS 2. WINDOWS TO BE DESIGNED TO RESIST WIND LOADS 3. ANCHOR GLASS ASSEMBLIES IN ACCORDANCE TO MANUFACTURERS INSTRUCTIONS FOR DESIGN PRESSURE 4. THIRD PARTY PERFORMANCE TESTING AND LABELING REQUIRED.
- ALL NEW WINDOW GLASS SHALL BE 2" FROM THE WALL PLANE, PER CITY OF ALBANY DESIGN REVIEW GUIDELINE 6.

SAFETY GLASS REQUIREMENTS:

- TEMPERED GLASS REQUIRES PERMANENT ETCHED LABEL 2. ONLY ONE LITE REQUIRES FULL LABEL IN MULTIPANE WINDOW W/ LITES < 1 SQUARE FOOT.
- LAMINATED GLASS DOES NOT REQUIRE LABEL

LOCATIONS REQUIRING SAFETY GLASS:

- GLASS IN SWINGING, BIFOLD, OR SLIDING DOORS.
- SIDELITES WHERE GLASS IS < 24 INCHES ARC OF DOOR EDGE AND ANY PART OF GLASS.
- WINDOWS W/ WALK THROUGH HAZARD
- ALL GLAZING IN RAILINGS
- WET AREAS (WALLS AND ENCLOSURES FACING WALLS OF HIT TUBS, SPAS, WHIRLPOOLS, BATHTUBS, SHOWERS AND POOLS) WHERE LOWER EDGE OF GLASS IS LESS THAN 60 INCHES ABOVE STANDING OR WALKING SURFACE. EXCEPTION: GLAZING GREATER THAN 60" FROM THE WATER'S EDGE.
- GLAZING LESS THAN OR EQUAL TO 3 FEET HORIZONTALLY FROM STAIR OR RAMP EXCEPTIONS: INTERVENING RAIL 34-38 INCHES HIGH AND WITHSTANDING 50 PSF LOAD WITHOUT TOUCHING GLASS. GUARD OR HANDRAIL GREATER THAN 18 INCHES HORIZONTAL FROM GLASS. SOLID WALL 34 INCHES TO 36 INCHES BELOW GLASS.
- GLAZING LESS THAN 60 INCHES HORIZONTAL OF BOTTOM STAIR LANDING AND LESS THAN 36 INCHES ABOVE LANDING. EXCEPTIONS: INTERVENING GUARD MINIMUM 18 INCHES FROM GLASS. SOLID WALL 34 INCHES TO 36 INCHES BELOW GLASS.