

**PUBLIC WORKS NOTES**

1.- PROVIDE SUFFICIENT CLEANOUTS AT REGULAR INTERVALS AND AT LEAST ONE ON EACH CHANGE OF DIRECTION AS NEEDED TO PROPERLY MAINTAIN THE DRAINAGE.

**PUBLIC WORKS CONDITIONS OF APPROVAL**

1.- ALL MUD, DIRT OR CONSTRUCTION DEBRIS CARRIED OF THE CONSTRUCTION SITE ON TO ADJACENT'S STREETS SHALL BE REMOVED EACH DAY. NO MATERIALS SHALL BE DISCHARGED ON TO SIDEWALK, STREET, GUTTER, STORM, DRAIN OR CREEK.

2.- THE OWNER AND BUILDING SHALL COMPLY WITH ALL CITY REQUIREMENTS REGARDING WATER POLLUTION PREVENTION, NOISE CONTROL, CONSTRUCTION WORK HOURS AND ARCHEOLOGICAL DISCOVERIES.

**ABBREVIATIONS**

⊙	Diameter	LAM	Laminate
A.B.	Anchor Bolt	MAX.	Maximum
ABV	Above	M.B.	Machine Bolt
AC	Air Conditioning	M.F.R.	Manufacturer
ADDL	Additional	MIN.	Minimum
ADJ.	Adjacent or Adjustable	MTL.	Metal
ALUM	Aluminum	(N)	New
APPROX	Approximate	NAT.	Natural
B.D.	Board	N.I.C.	Not in Contract
BIT.	Bituthane	NO or #	Number
BLDG.	Building	N.T.S.	Not to Scale
BLK	Block	O	Over
BLKG	Blocking	O.C.	On Center
BM.	Beam	O.D.	Outside Diameter
BOT	Bottom	O.H.	Overhang
B.P.	Building Paper	O.F.O.	Outside Face of
BRG.	Bearing	OPNG.	Opening
BTM	Bottom	OPP.	Opposite
BTW	Between	OPP. HD	Opposite Hand
CAR.	Cold Air Return	P.E.N	Plywood Edge Nailing
C.J.	Control Joint/Ceiling	PL.	Plate
CL	Center Line	P.L.	Property Lane
CLR.	Clear	P.T.	Pressure Treated
CMU	Concrete Masonry Unit	PLYWD.	Plywood
COL	Column	PWD.	Plywood
COMP	Composition	PTD.	Painted
CONC.	Concrete	(R)	Remodeled
CONT.	Continuous	R.	Rise
CSK.	Countersink	RAD.	Radius
DBL.	Double	RCP.	Reflected Ceiling Plan
DET.	Detail	RDWD	Redwood
D.F.	Double Fir	REINF.	Reinforcement
DIA.	Diameter	REQ'D	Required
DIM	Dimension	R.O.	Rough Opening
DN	Down	R.S.	Roof Structure
D.S.	Down spout	S.A.D	See Architectural
DWG	Drawing	S.F.	Square Footage
(E)	Existing	SHT	Sheet
EA	Each	SHT'G.	Sheathing
EL	Elevation	SIM.	Similar
EMBED	Embedded	SL	Slope
E.N.	Edge Nailing	SLD	Sealed
E.T.R	Existing to Remain	S.O.G.	Slab on Grade
EQ	Equal	SPEC	Specifications
EW	Each Way	S.S.	Stainless Steel
EXT	Exterior	S.S.D	See Structural Drawings
FAU	Force Air Unit	S.S.W	Simpson Shear Wall
F.D.	Floor Drain	STL	Steel
FDN	Foundation	STRUCT.	Structural
FHW	Flat Head Wood Screw	STR'L	Structural
FIN.	Finish	T.	Tread
FLASH	Flashing	T.B.D	To Be Determined
FLR.	Floor	T&B	Top and Bottom
F.O.C.	Face of Concrete	T&G	Tongue and Groove
F.O.F.	Face of Framing	T.G.	Tempered Glass
F.O.M.	Face of Masonry	T.O.	Top of
F.O.S.	Face of Stud	T.O.B	Top of Beam
FRMG.	Framing	T.O.F.F	Top of Finished Floor
FTG.	Footing	T.O.P	Top of Plate
GA	Gauge	T.O.R.S	Top of Roof Structure
GALV.	Galvanized	T.O.W	Top of Wall
G.L.	Glu Lam	TYP.	Typical
G.S.M	Galvanized Sheet Metal	U.O.N	Unless Otherwise Noted
GYP.BD	Gypsum Board	VER.	Verify
HB	Hose Bib	VERT	Vertical
HDR	Header	VGDF	Vertical Grain Douglas Fir
HORIZ.	Horizontal	VIF	Verify in Field
HT.	Height	WI	With
I.D.	Inside Diameter	WD.	Wood
INT.	Interior	WDW	Window
J.H.	Joint Hanger	WP	Waterproof
JT	Joint	WR.	Water Resistant
		WS.	Wood Screws
		W.S.P.	Wood Sheathing Panel

**SYMBOL LEGEND**

NORTH ARROWS

REVISION NUMBER

DRAWING TITTLE

BUILDING SECTION

DETAIL REFERENCE

INTERIOR ELEVATION REFERENCE

WINDOW TAG

DOOR TAG

CENTER LINE

BATT INSULATION AS NOTED

ROOM TAG

ELEVATION MARKER

ROOF SLOPE

ELEVATION BENCH MARH

STRUCTURAL GRID

CLOUD

**GENERAL NOTES**

1.- All work shall conform with the latest edition of the California Building Code, California Plumbing Code, and the California Energy Code, as minimum requirements, and all shall conform to all applicable state local fire and safety and energy code.

2.- The contractor shall guarantee workmanship and materials for a period of one year after the substantial completion, inspection and acceptance of his/her work.

3.- The contractor shall be responsible of all building systems including but not limited to: architectural, structural, landscape/drainage, plumbing, mechanical, electrical and fire supression systems with particular attention with the coordination of framing with electrical and mechanical systems.

4.- Coordinate construction phasing with owner as necessary. Owner to remain in home during construction.

5.- The General Contractor shall call for all architectural, structural, and government inspections as required and as in these specifications. Provide 10 day min. for all site reviews by Architect/Engineer.

6.- Observation by the structural Engineer is required for structural conformance to the approved plans. See structural notes.

7.- All manufactured materials and equipment shall be installed per manufacturer's instructions as described in the specifications. Substitutions of materials or equipment for those designated maybe made upon approval of the Architect.

8.- The contractor shall inspect the existing premises and take note of existing conditions prior to submitting prices. No claim for additional fees will be allowed for difficulties encountered which could have reasonably been inferred from such and examination. Drawings of existing site conditions are to be used as guide lines.

9.- Any errors, submissions, or conflicts found in various part of the construction drawings shall be brought to the Architect's attention prior proceeding with construction.

10.- Written dimensions and notes take precedence over scaled dimensions and line drawings. **Do not scale drawings.** Call the Architect for additional dimensions. Contractor to verify all specify dimensions in the field. Discrepancies should be brought to the immediate attention of the Architect.

11.- Where details are not specifically indicated, similar details (or description) shall apply.

12.- Contractor shall endeavor to reduce construction waste and dispose of demo and construction waste materials for recycle. (separate piles for different type of materials) and haul to appropriate waste recycling facilities. The contractor shall remove all construction debris at the end of the job and dispose of it legally, clean all new windows and leave the job broom and clean. Refer to www. stopwaste.org. for Alameda County waste reduction, reuse, recycle and disposal facilities.

13.- SMOKE DETECTORS shall be electronic, not photo cell, per city of Albany regulations (Div 26D)

14.- Refer to title 24 Energy Calculations sheet: XX

15.- The construction site should be maintained in a responsible manner. Every effort should be made to locate portable toilets. Construction materials, storage containers, and equipment should be away from private property and screened from the neighbors and the street. All hazardous materials most stored in a secured location and per manufacturer's instructions. Any items located in public property require and encroachment permit from the City.

16.-The Contractor should be responsible for controlling dust during construction and grading. The construction site should be check at the end of every work day for trash, nails and other debris. Must and dirt from the construction must be swept daily from side walk and streets. Do not clean equipment in the street.

17.- Construction hours are 8:00 to 6:00 pm. Mondays through Saturdays and 10:00 pm to 6:00 pm. Sundays and legal holidays. Construction hours are strictly enforced by the city of Albany Building Division and Police Department.

**PROJECT DATA**

LOCATION: 1109 STANNAGE , ALBANY CA 94706

ASSESOR PARCEL NUMBER: 65,2407-22

OCCUPANCY: OCCUPANCY CATEGORY: R-1

ZONING: R-1

CONSTRUCTION TYPE: SEISMIC DESIGN CATEGORY: D

SOIL SITE CLASS: SOILS REPORT:

SPRINKLERED:

SQUARE FOOTAGE CALCULATION

EXISTING: 233 SQFT

NEW: 233 SQFT

**PROJECT DRESRIPTION**

CONVERSION OF AN EXISTING GARAGE INTO A STUDIO WITH HALF BATHROOM

**PROJECT DIRECTORY**

OWNER: LAURA DE LA TORRE  
1109 STANNAGE AV.  
ALBANY, CA 94706  
M: 415.806.33.80

DESIGNER: DESIGN @ 100%  
LAURA DE LA TORRE  
1109 STANNAGE AV.  
ALBANY, CA 94706  
M:415.806.33.80

**DESIGN @ 100 %**

**LAURA DE LA TORRE**

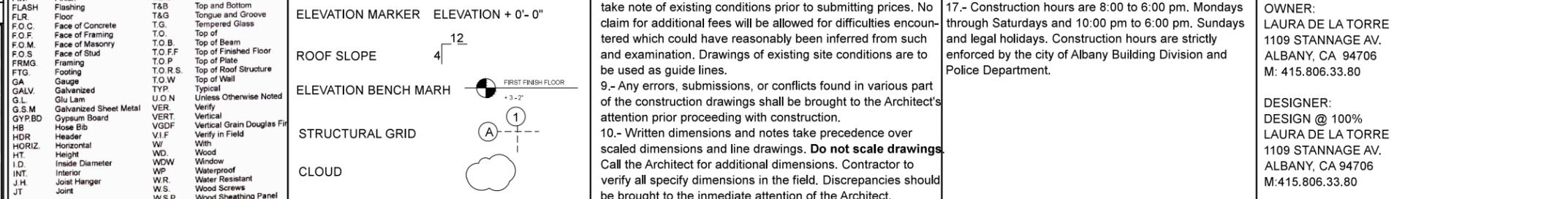
1109 Stannage Av.  
Albany, CA 94706  
mobile:415.806.33.80  
laura@uzzitu.com

**CONSULTANTS**

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contact@ajogroup.com  
c71218

CONTRACTOR: TBD

ENERGY CALC. CO  
45 Mitchell Blvd. Suite 16  
San Rafael, Ca 94903  
Mobile:415.457-0990  
www.energycalco.com



**REVISION DATES**

MARK	DATES	DESCRIPTION

PROJECT NUMBER:

DRAWN BY:

SCALE BY:

**SHEET TITLE**

**COVER SHEET AND SITE PLAN**

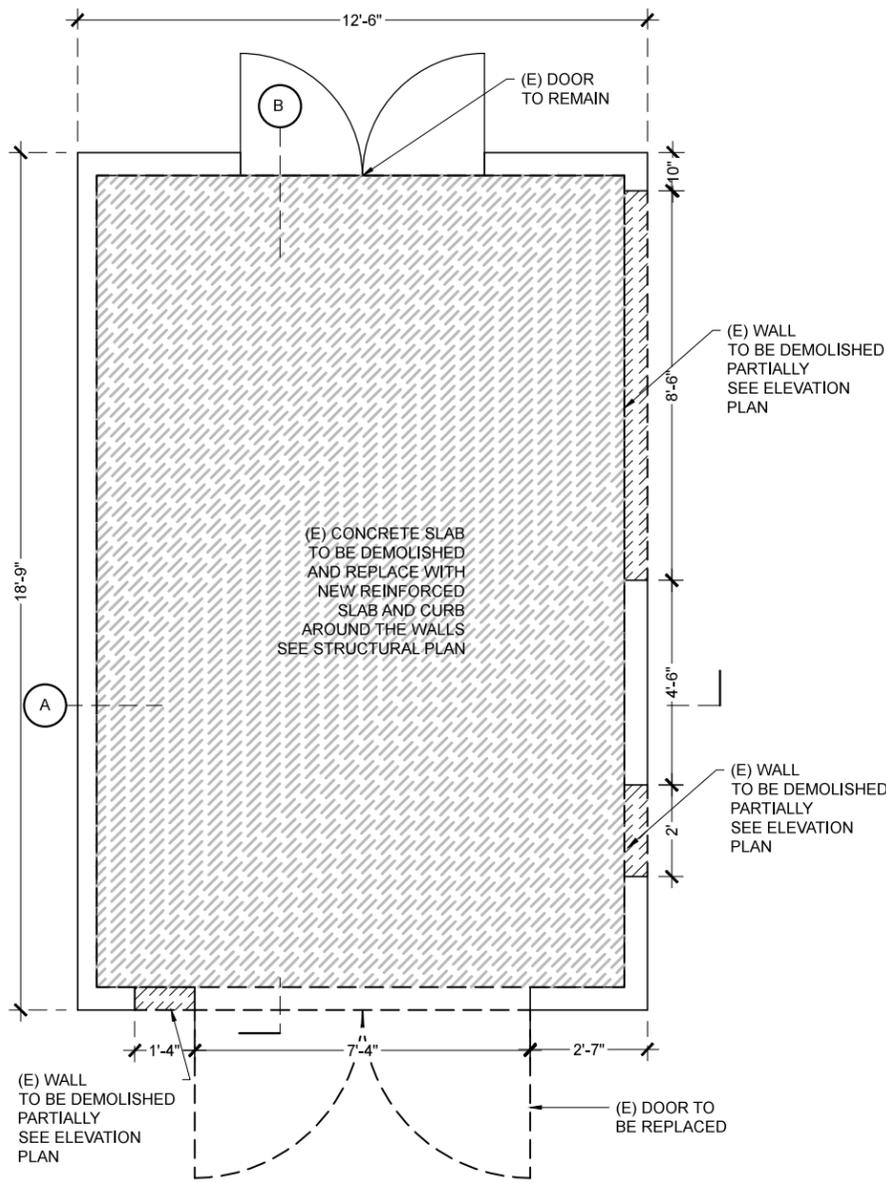
**SHEET INDEX**

A0.1	COVER SHEET AND SITE PLAN
A1.1	(E) AND (N) FLOOR PLAN
A2.1	(E) AND (N) EXTERIOR ELEVATIONS
A3.1	INTERIOR ELEVATIONS
A4.1	(E) AND (N) SECTIONS
A5.1	SCHEDULES AND DETAILS

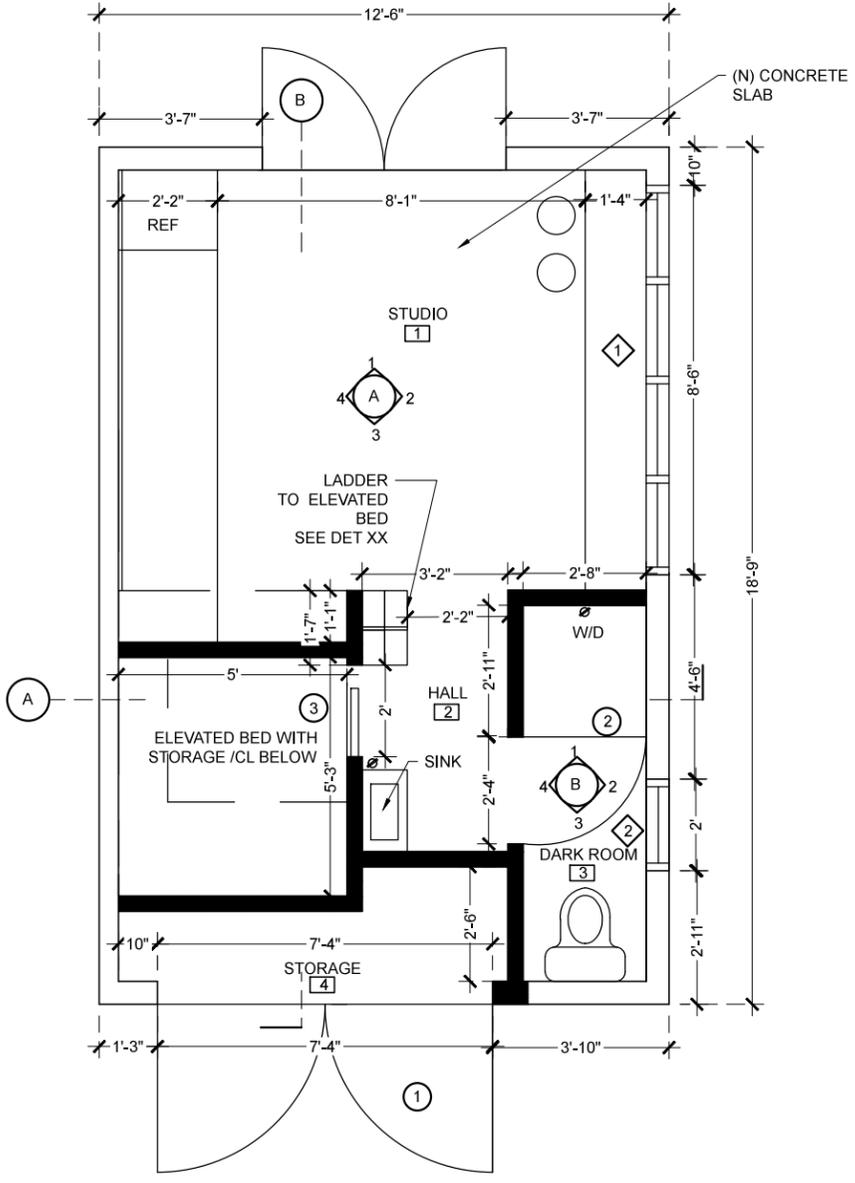
**01 SITE PLAN**  
scale: 1/8" = 1'-0"

**ACCESSORY BUILDING**

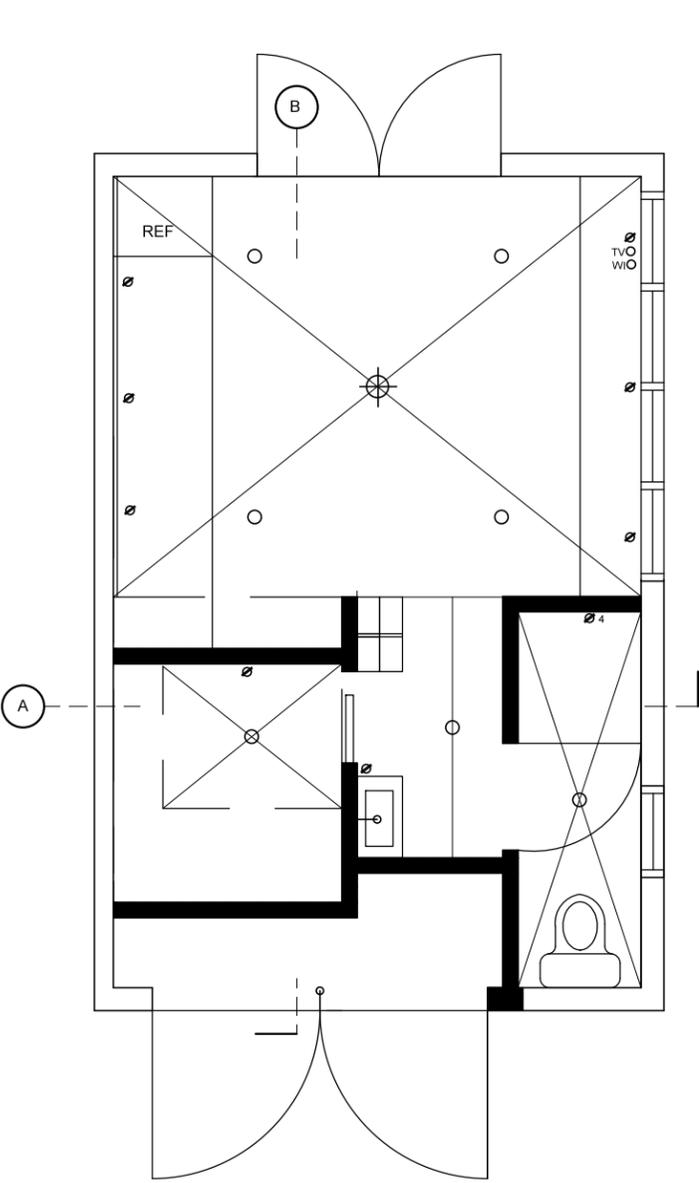
1109 Stannage Av.  
Albany, CA 94706



01 (E) FLOOR PLAN  
scale: 1/4" = 1'-0"



02 (N) FLOOR PLAN  
scale: 1/4" = 1'-0"



03 (N) LIGHT FIXTURE PLAN  
scale: 1/4" = 1'-0"

- ⊕ PENDANT
- RECESSED
- WALL MOUNTED
- ⊙ OUTLET
- TVO TV
- wIO INTERNET

# DESIGN @ 100 %

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REVISION DATES

MARK	DATES	DESCRIPTION

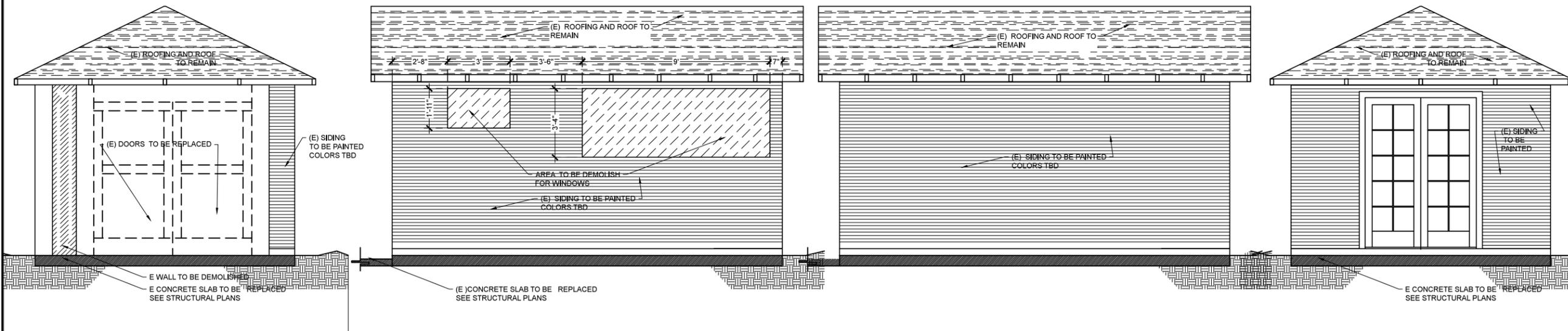
PROJECT NUMBER:

DRAWN BY:

SCALE BY:

SHEET TITLE

(E) AND (N) FLOOR PLAN  
(N) LIGHT FIXTURE PLAN

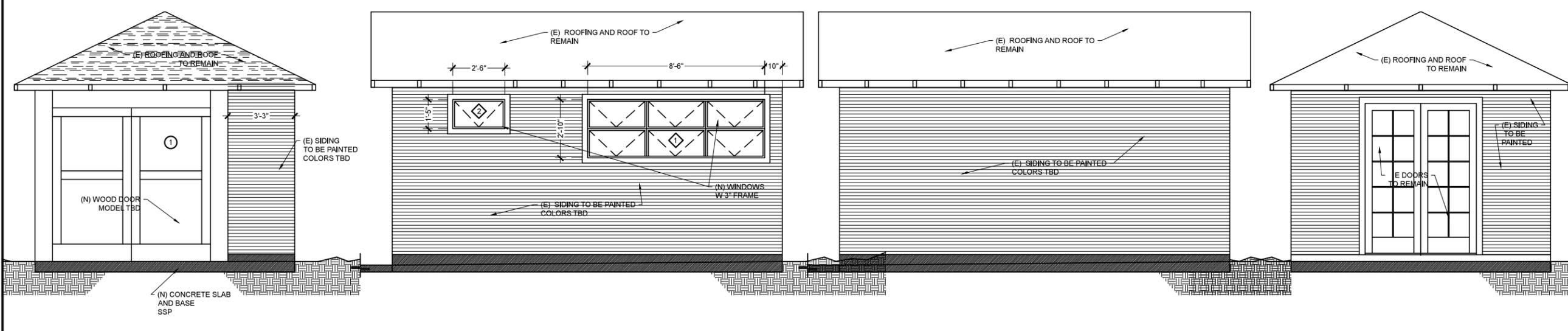


01 (E) WEST ELEVATION  
scale: 1/4" = 1'-0"

02 (E) SOUTH ELEVATION  
scale: 1/4" = 1'-0"

03 (E) NORTH ELEVATION  
scale: 1/4" = 1'-0"

04 (E) EAST ELEVATION  
scale: 1/4" = 1'-0"



05 (N) WEST ELEVATION  
scale: 1/4" = 1'-0"

06 (N) SOUTH ELEVATION  
scale: 1/4" = 1'-0"

07 (N) NORTH ELEVATION  
scale: 1/4" = 1'-0"

08 (N) EAST ELEVATION  
scale: 1/4" = 1'-0"

**REVISION DATES**


MARK	DATES	DESCRIPTION
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PROJECT NUMBER:

DRAWN BY:

SCALE BY:

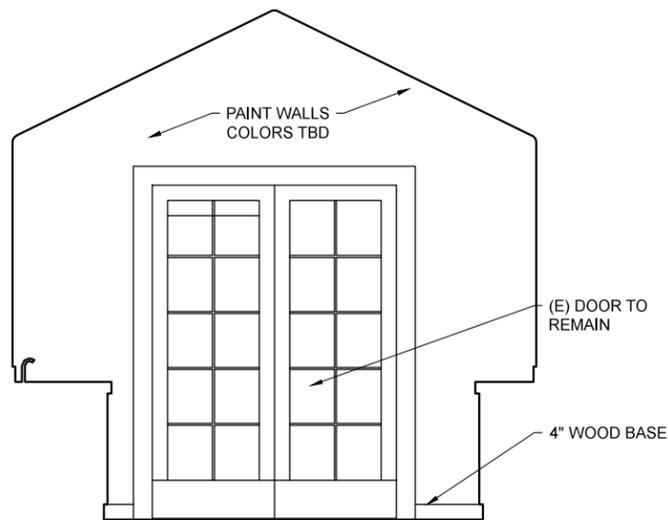
**SHEET TITLE**

**(E) AND (N) EXTERIOR ELEVATIONS**

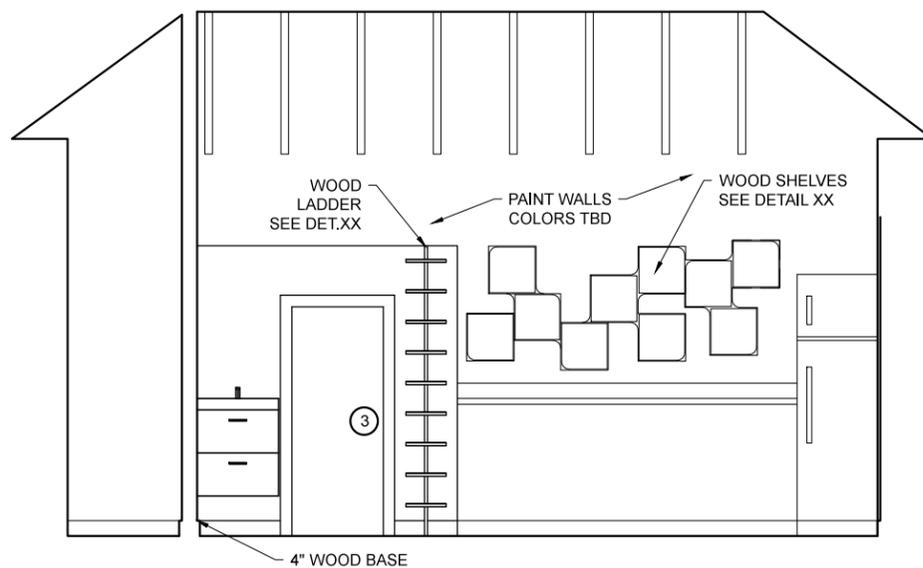
# DESIGN @ 100 %

LAURA DE LA TORRE

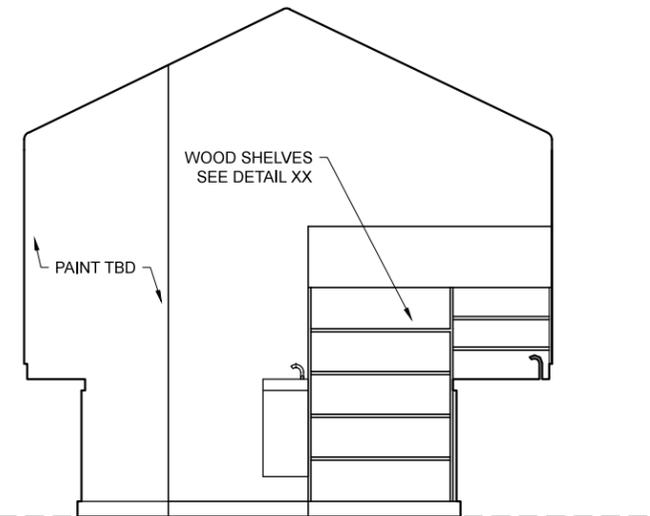
1109 Stannage Av.  
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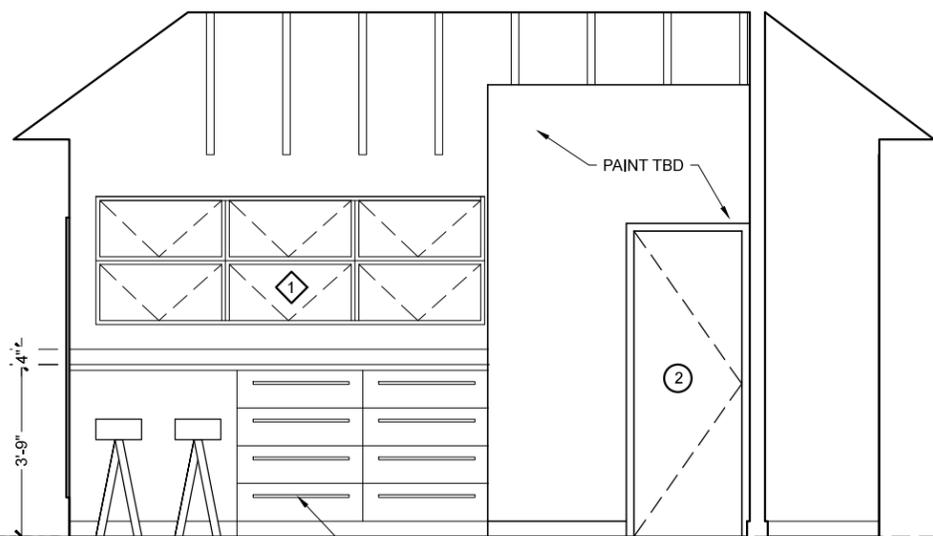
01 INTERIOR ELEVATION 1-A  
scale: 1/4" = 1'-0"



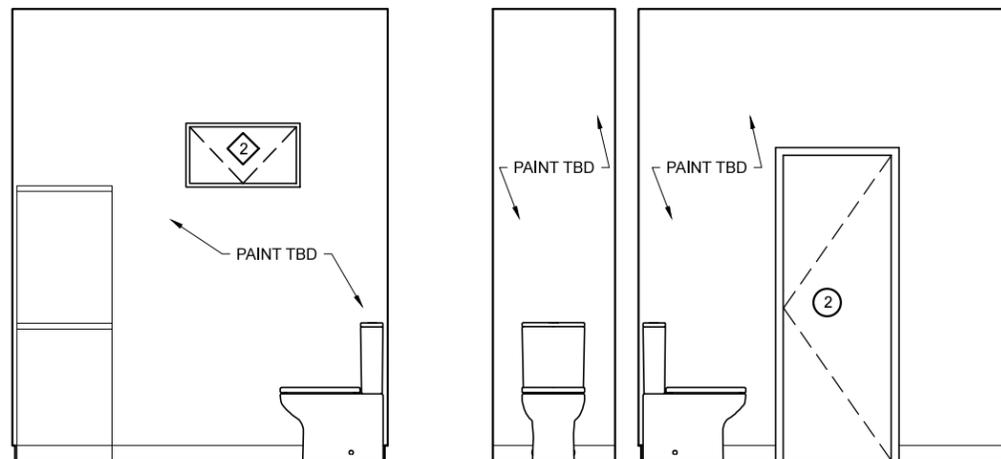
02 INTERIOR ELEVATION 4-A  
scale: 1/4" = 1'-0"



03 INTERIOR ELEVATION 3-A  
scale: 1/4" = 1'-0"



01 INTERIOR ELEVATION 2-A  
scale: 1/4" = 1'-0"



01 INTERIOR ELEVATIONS 2-B, 3-B, 4-B  
scale: 1/4" = 1'-0"

## REVISION DATES

MARK	DATES	DESCRIPTION

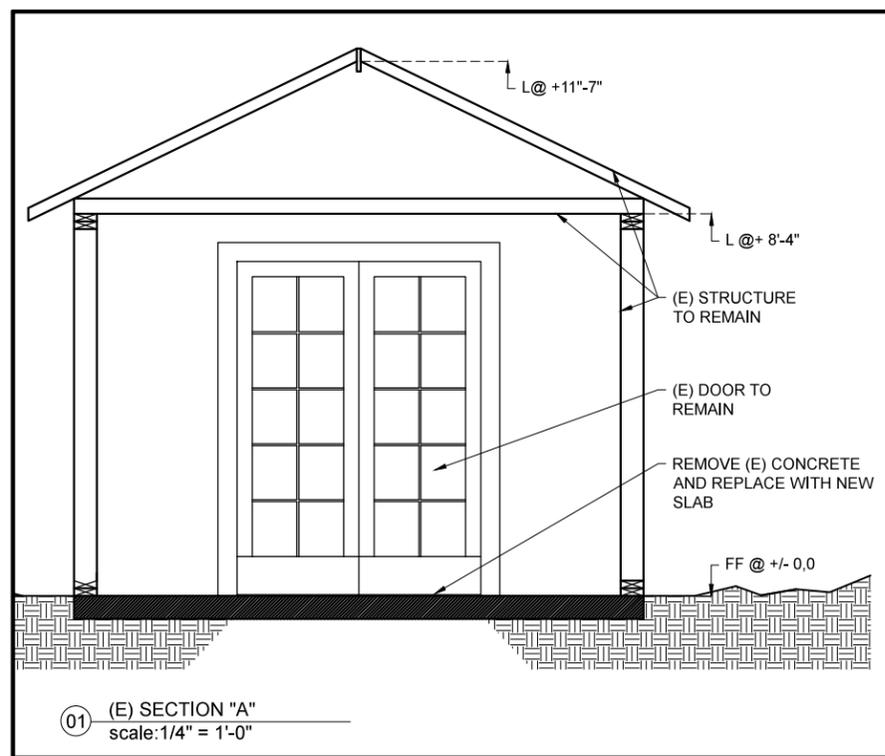
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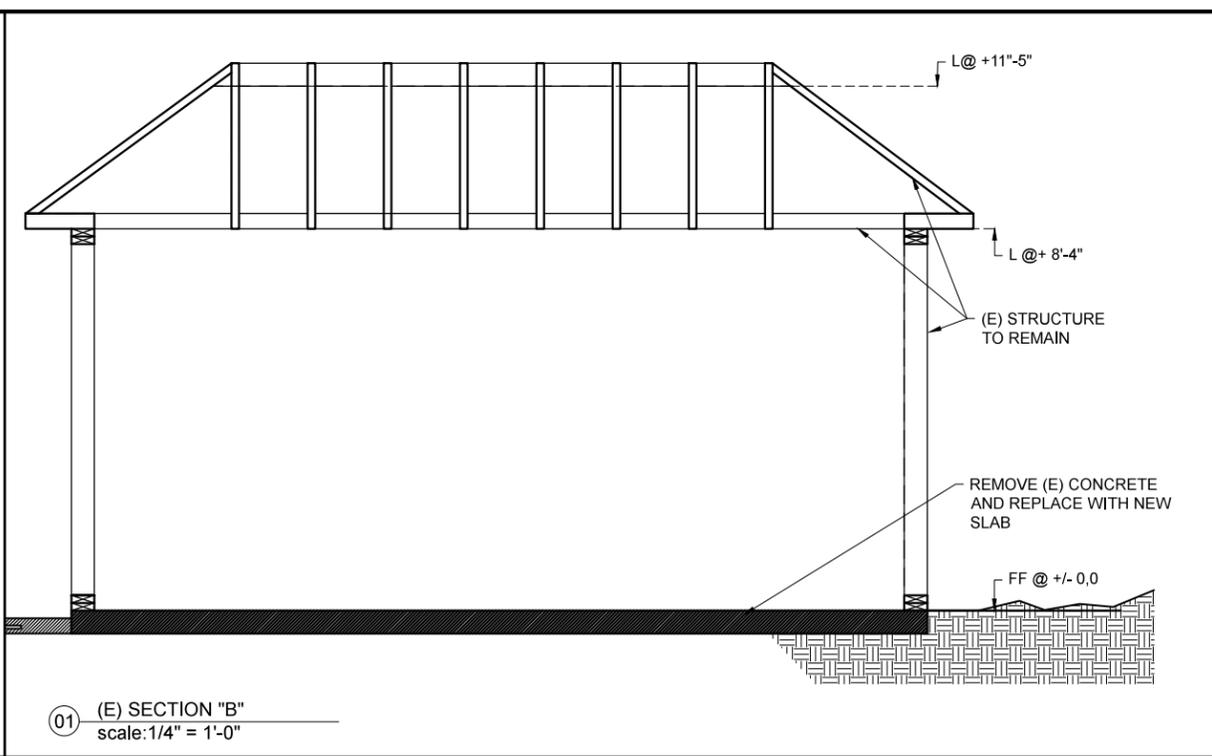
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## SHEET TITLE

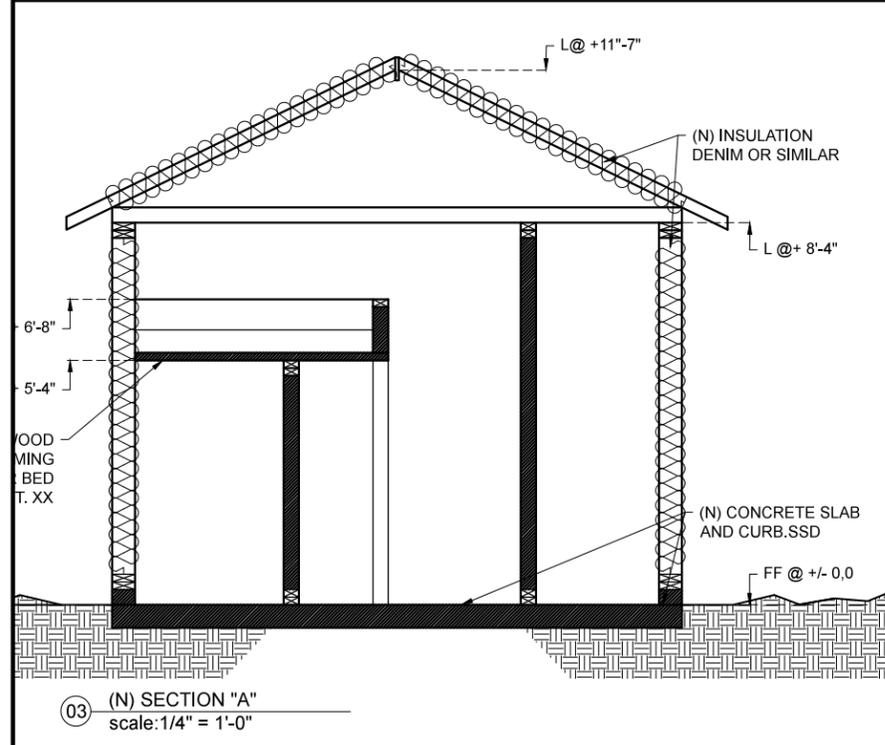
INTERIOR ELEVATIONS



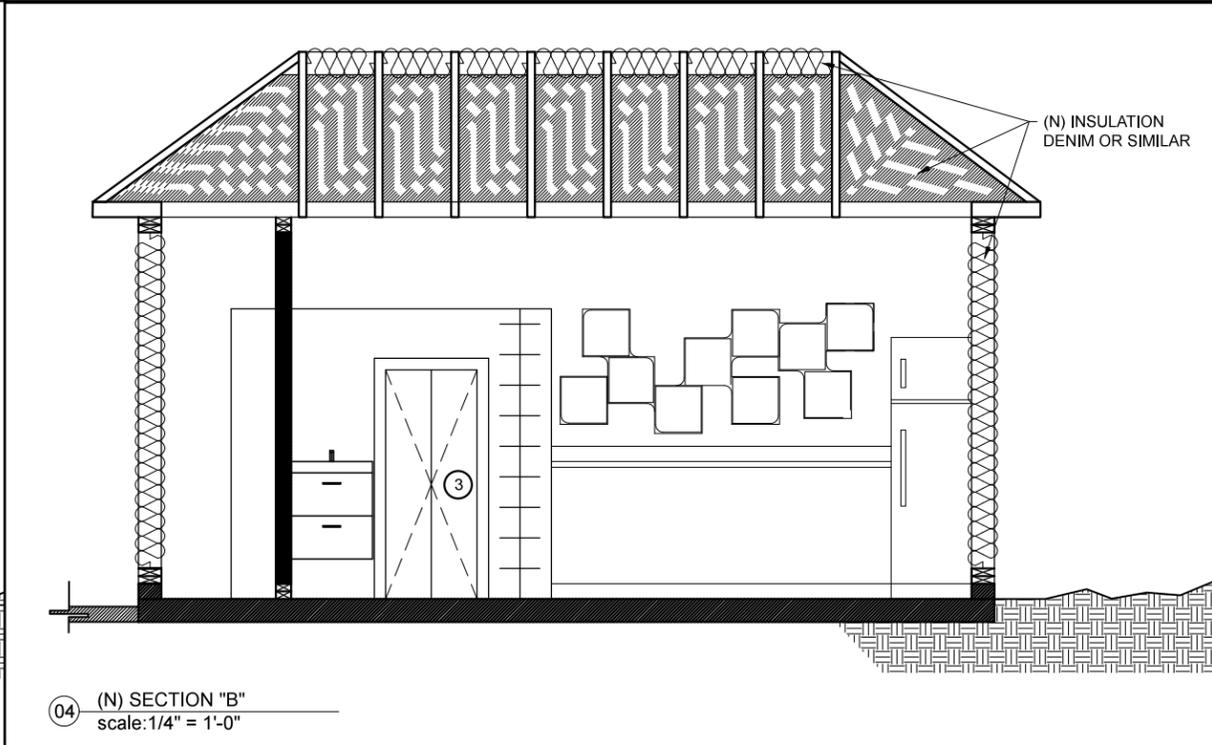
01 (E) SECTION "A"  
scale: 1/4" = 1'-0"



01 (E) SECTION "B"  
scale: 1/4" = 1'-0"



03 (N) SECTION "A"  
scale: 1/4" = 1'-0"



04 (N) SECTION "B"  
scale: 1/4" = 1'-0"

**REVISION DATES**

MARK	DATES	DESCRIPTION

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SCALE BY:

**SHEET TITLE**

(E) AND (N) SECTIONS

# DESIGN @ 100 %

**LAURA DE LA TORRE**

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## WINDOW SCHEDULE

SYMBOL	WIDTH	HEIGHT	TYPE	FRAME MATERIAL	LOCATION	REMARKS
①	8'-6"	2'-10"	AWNING	ALUMINUM/BLACK	LIVING	
②	2'-6"	1'-5"	AWNING	ALUMINUM/BLACK	BATHROOM	

## DOOR SCHEDULE

SYMBOL	WIDTH	HEIGHT	TYPE	THK	FRAME MATERIAL	LOCATION	REMARKS
①	7'-4"	7'-4"	DOUBLE SWING	2"	WOOD	STORAGE	
②	2'-4"	6'-8"	RIGHT SWING	1 3/8"	WOOD	BATHROOM	HOLLOW CORE
③	2'-4"	5'-0"	POCKET	1 3/8"	WOOD	CL BELOW BED	HOLLOW CORE

## INTERIOR FINISH SCHEDULE

ROOM	FLOOR	BASE	WALLS	CEILINGS	REMARKS
1	SMOOTH CONCRETE	4" WOOD PAINTED	PAINTED	PAINTED	
2	SMOOTH CONCRETE	4" WOOD PAINTED	PAINTED	PAINTED	
3	SMOOTH CONCRETE/TILE	4" WOOD PAINTED	PAINTED/TILE	PAINTED	THE SHOWER AREA IS GOING TO HAVE VENETIAN TILE AT WALLS AND FLOOR
4	SMOOTH CONCRETE	4" WOOD PAINTED	PAINTED	PAINTED	

**NOTES:**

- 1.- VERIFY DIMENSIONS ON SITE.
- 2.- DIMENSIONS ON SITE RULED THE PROJECT
- 3.- CHECK FINAL FINISH MATERIALS WITH OWNER

### REVISION DATES

MARK	DATES	DESCRIPTION

PROJECT NUMBER:

DRAWN BY:

SCALE BY:

### SHEET TITLE

**WINDOW SCHEDULE AND DETAILS**