

GATEVIEW AVENUE (50' WIDE)

BEN TARCHER ARCHITECT

2107 PRINCE ST., BERKELEY, CA
T. (510) 541-7109

RESIDENTIAL REMODEL

761 GATEVIEW AVE
ALBANY, CA 94706

OWNER:
MANFEI LAU & WILFRED WONG
(510) 799-1805

NO.	DESCRIPTION	DATE
1.	PLANNING SUBMISSION	



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PROJECT NUMBER:
DRAWN BY: E.S.
CHECKED BY: B.T.
SCALE: AS SHOWN
SHEET TITLE:

SITE PLAN

REF. NORTH SHEET NUMBER

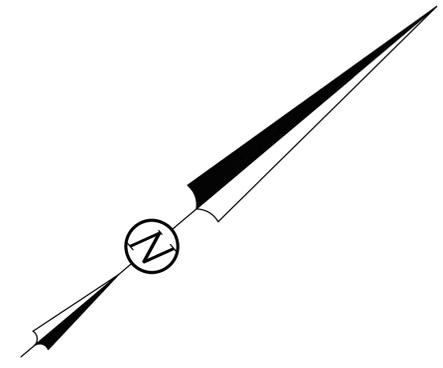
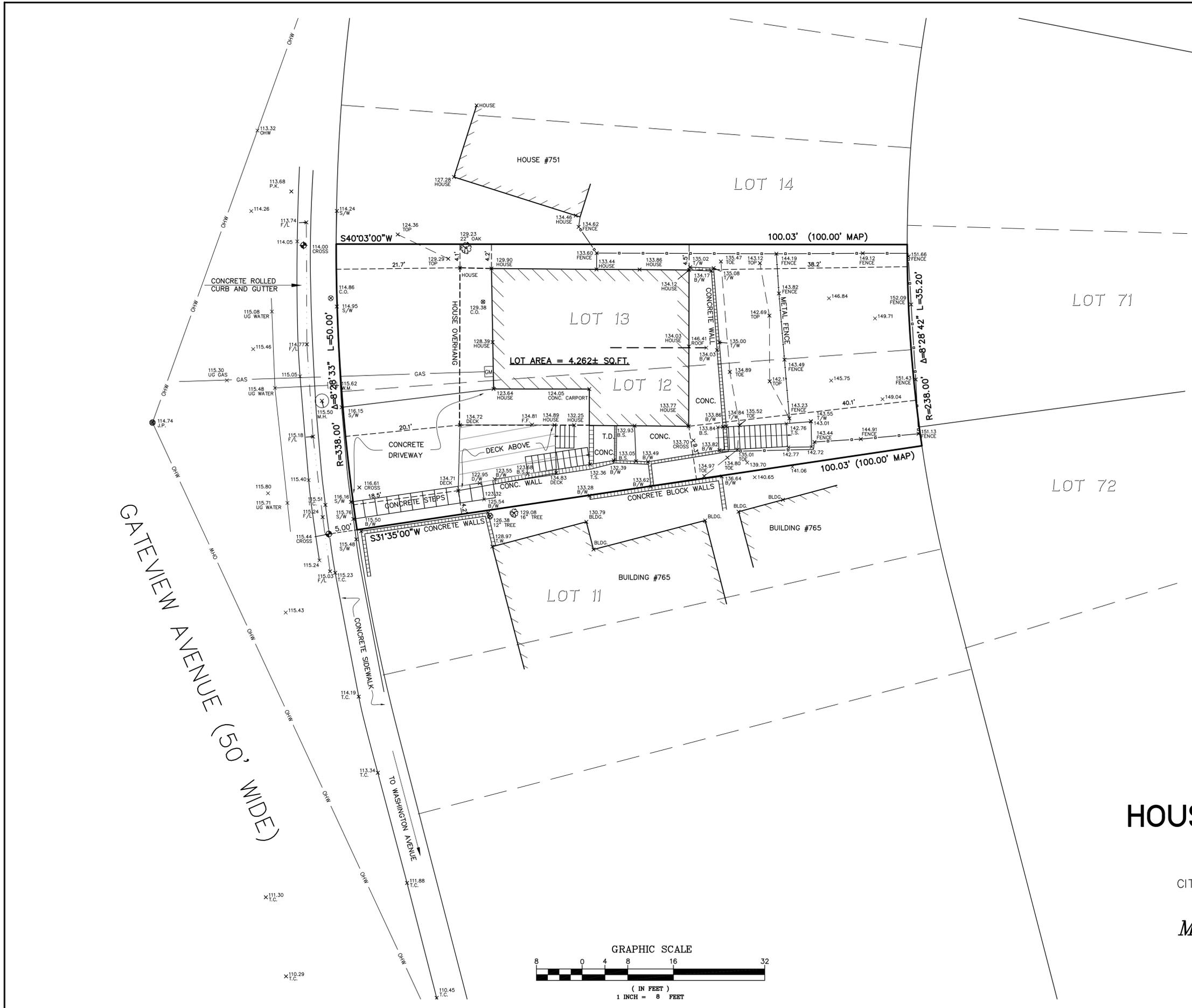
A02.0

SITE PLAN

SCALE: 1/4" = 1'



HOUSE AREA (GROSS): 2,320 SF
SITE AREA: 4,262 SF
SITE COVERAGE: 1,283 SF



ELEVATIONS ARE BASED ON CITY OF ALBANY DATUM.

LEGEND

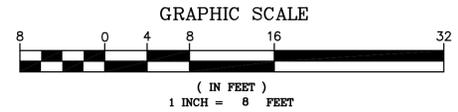
- BLDG. BUILDING
- B.S. BASE OF STEPS
- B/W BASE OF WALL
- C.O. CLEAN OUT
- CONC. CONCRETE
- D.I. DRAIN INLET
- D/W DRIVEWAY
- F.F. FINISH FLOOR
- F/L FLOW LINE
- G GAS
- GM GAS METER
- J.P. JOINT POLE
- M.H. MANHOLE
- OHW OVERHEAD WIRES
- P.K. NAIL
- S/W SIDEWALK
- T.C. TOP OF CURB
- T.D. TRENCH DRAIN INLET
- TOE TOE OF SLOPE
- TOP TOP OF BANK
- T.S. TOP OF STEPS
- T/W TOP OF WALL
- UG UNDERGROUND
- W WATER
- W.M. WATER METER
- ⊕ FOUND CROSS

HOUSE LOCATION SURVEY

LOTS 12 AND 13, BLOCK 5,
 PLAT OF CERRITO HILL (24 M 70)
 LOCATED AT 761 GATEVIEW AVENUE
 CITY OF ALBANY, COUNTY OF ALAMEDA, CALIFORNIA
 JANUARY, 2016 SCALE: 1" = 8'

MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
 1930 SHATTUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930



GATEVIEW AVENUE (50' WIDE)

TO WASHINGTON AVENUE

BEN TARCHER ARCHITECT

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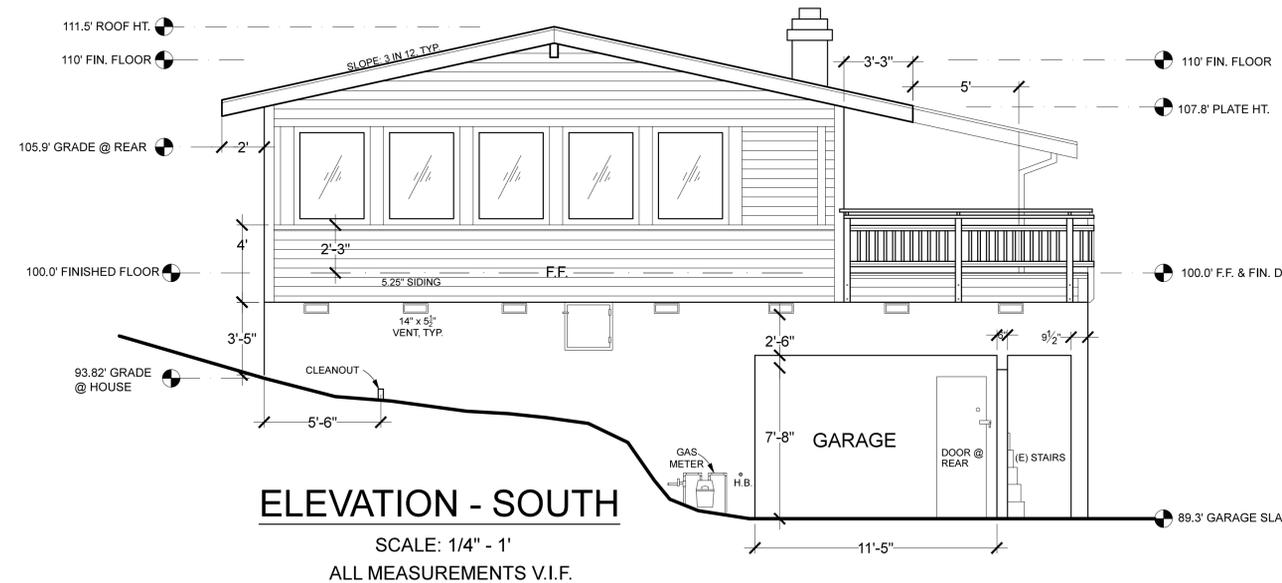
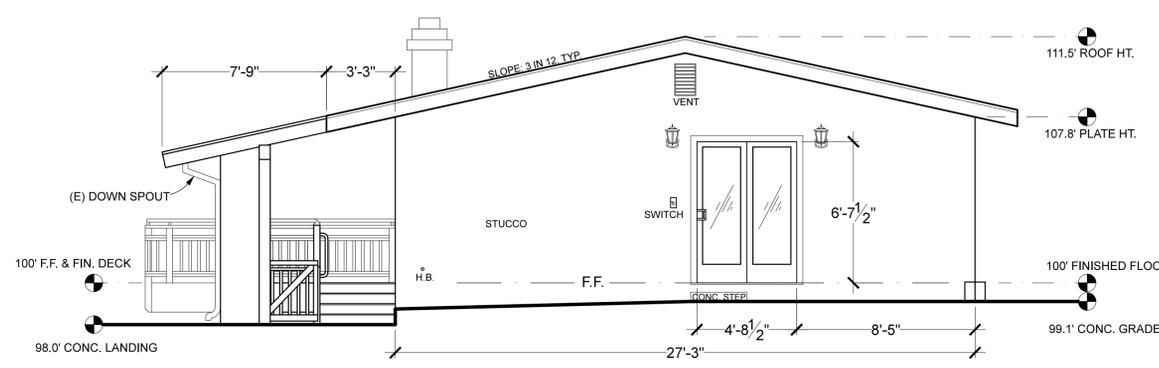
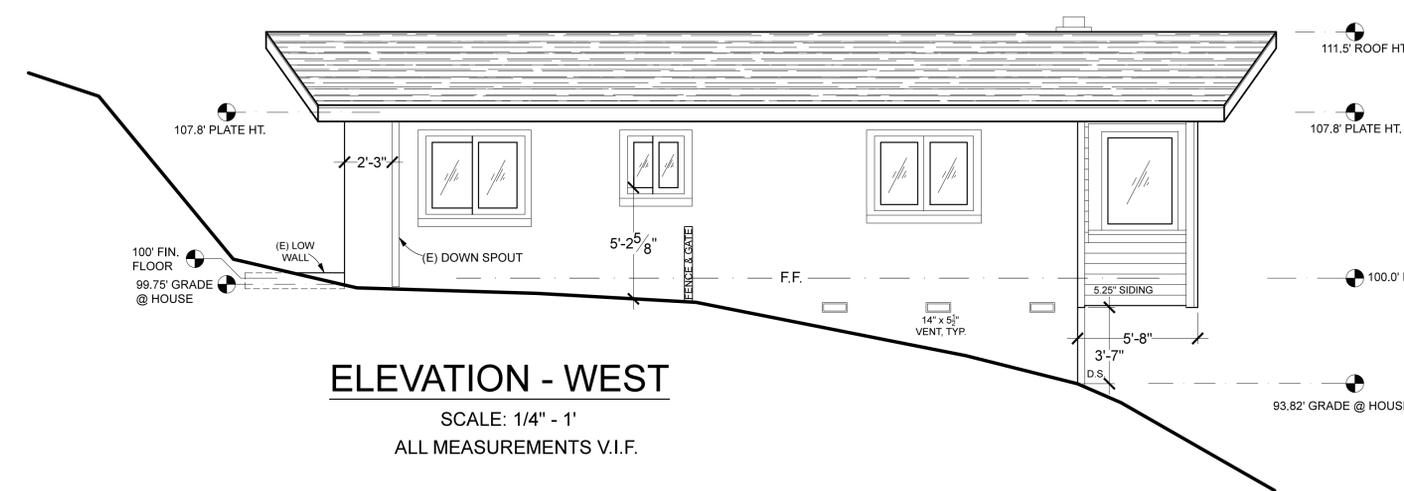
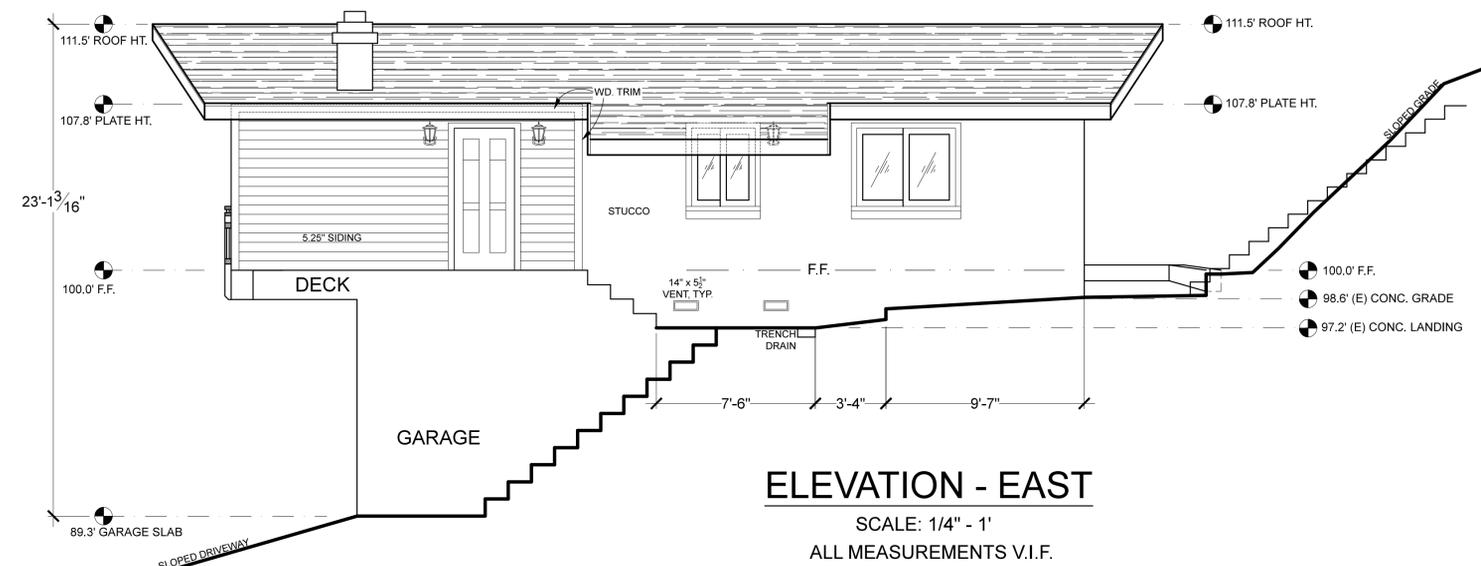
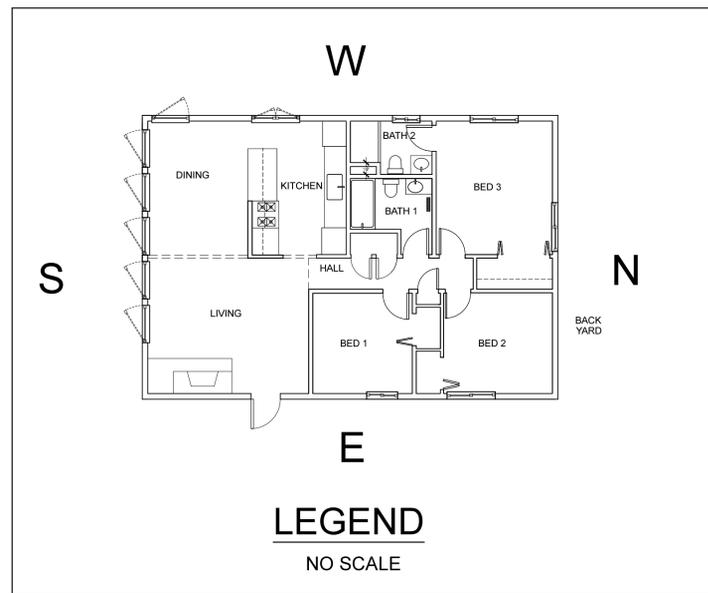
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PROJECT NUMBER:
DRAWN BY: E.S.
CHECKED BY: B.T.
SCALE: AS SHOWN
SHEET TITLE:

EXISTING ELEVATIONS

REF. NORTH SHEET NUMBER

A03.0



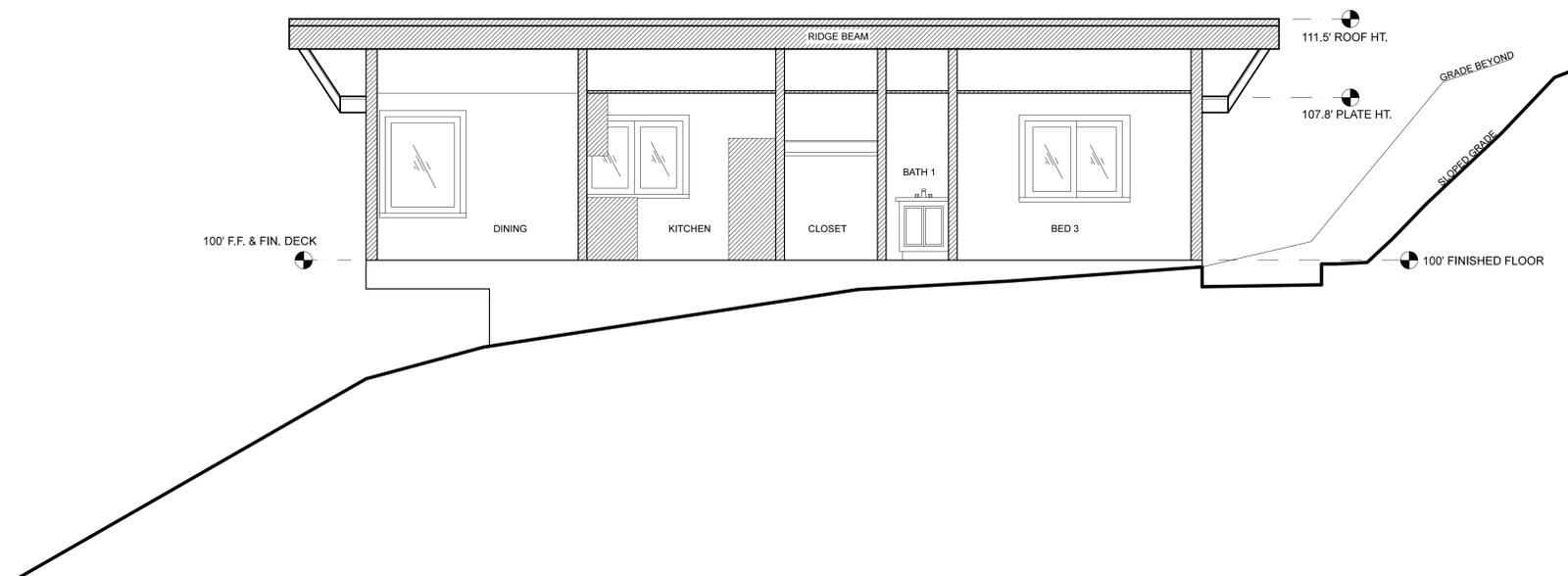
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SECTION A

SCALE: 1/4" = 1'



NO.	DESCRIPTION	DATE
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DRAWN BY: E.S.
CHECKED BY: B.T.
SCALE: AS SHOWN
SHEET TITLE:

EXISTING SECTIONS

REF. NORTH SHEET NUMBER

A03.1

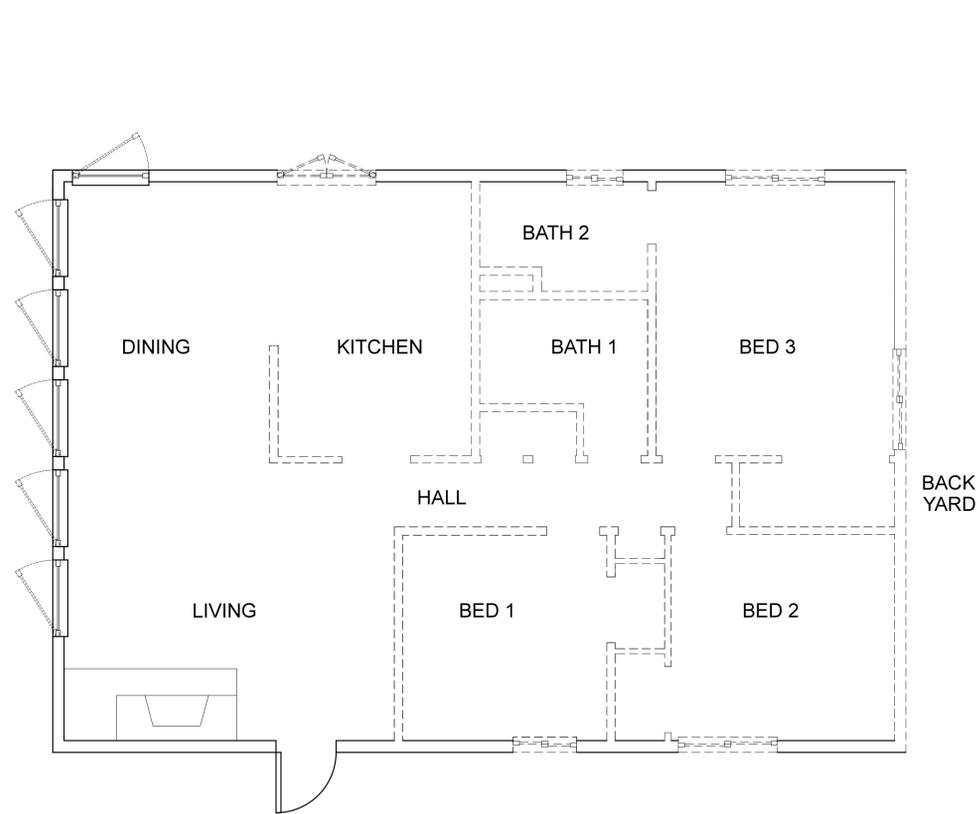
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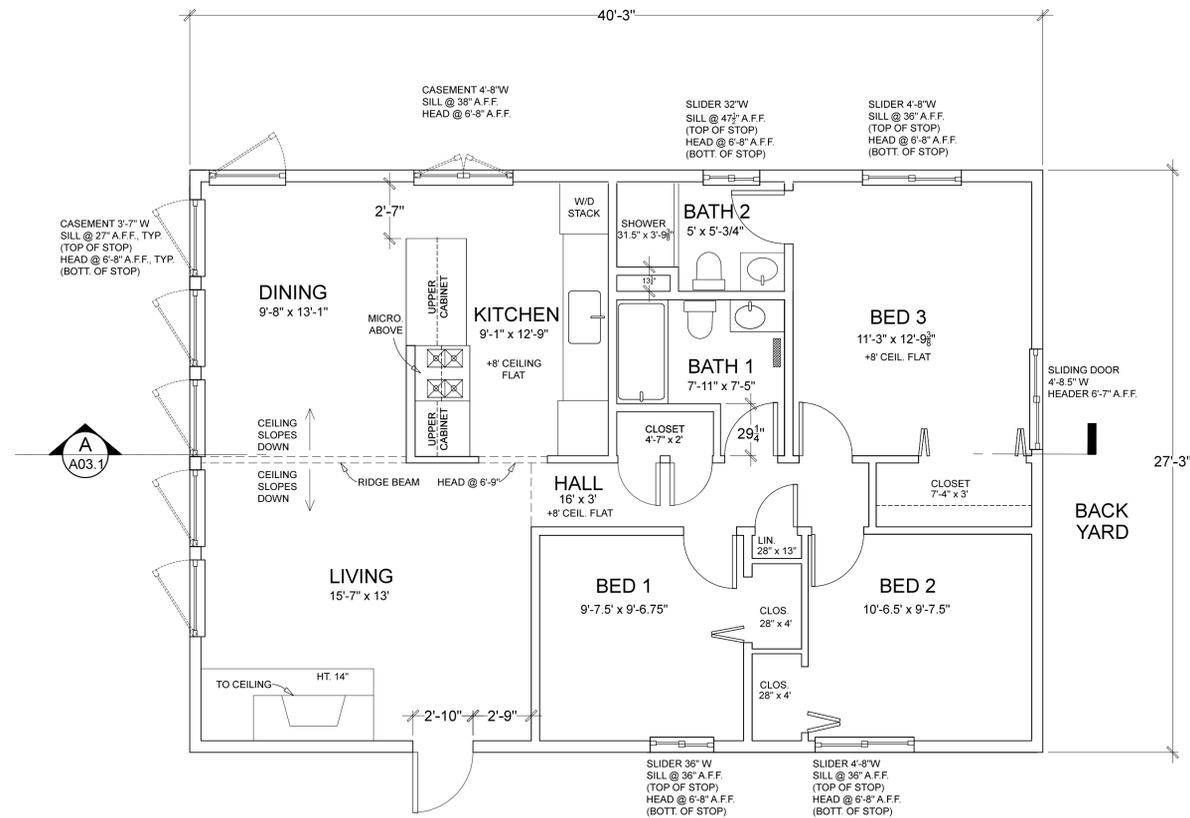
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DEMOLITION PLAN

SCALE: 1/4" = 1'

- DEMOLISH
- EXISTING/REMAINING

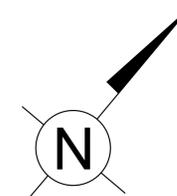


FLOOR PLAN

SCALE: 1/4" = 1'



FLOOR AREA: 1,101 SF
ALL MEASUREMENTS V.I.F.



NO.	DESCRIPTION	DATE
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PROJECT NUMBER:

DRAWN BY: E.S.

CHECKED BY: B.T.

SCALE: AS SHOWN

SHEET TITLE:

EXISTING FLOOR PLAN & DEMOLITION PLAN

REF. NORTH SHEET NUMBER

A04

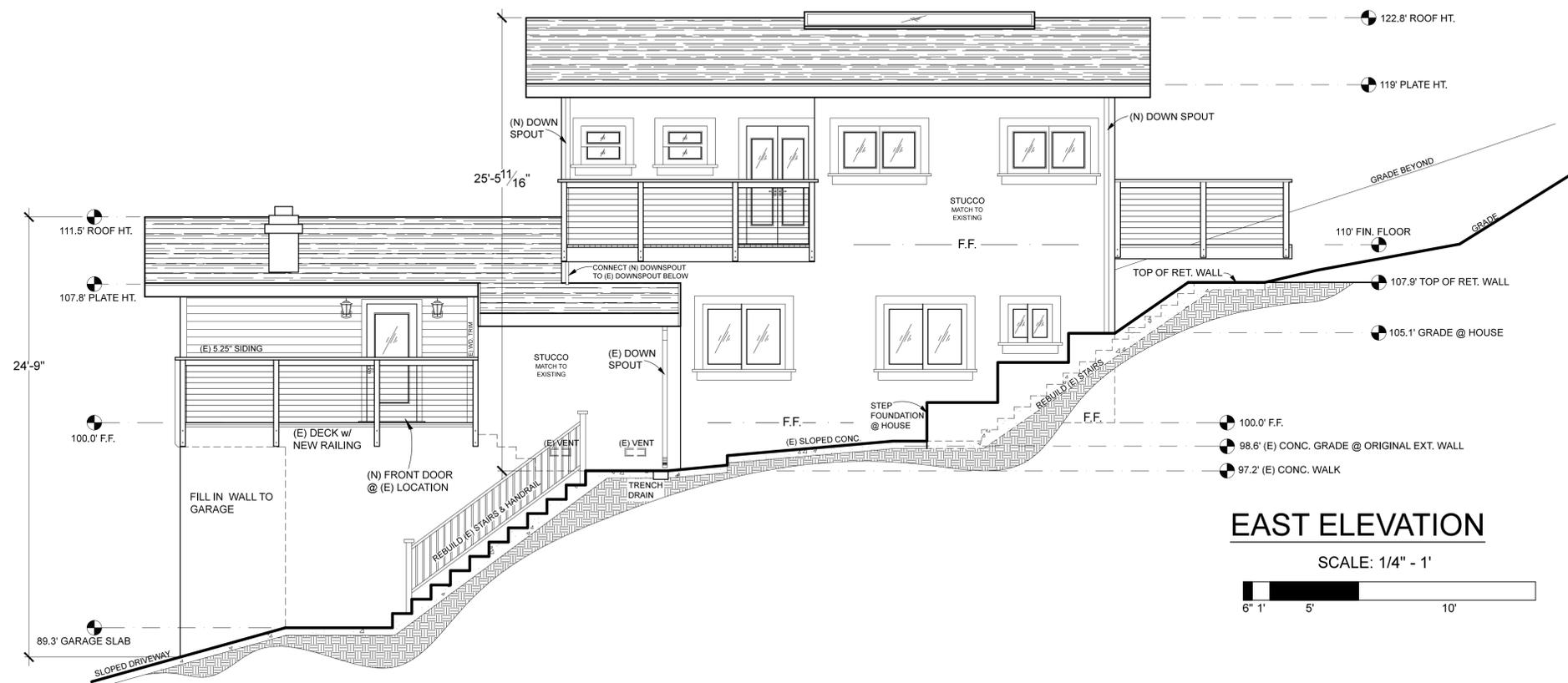
BEN TARCHER ARCHITECT

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RESIDENTIAL REMODEL

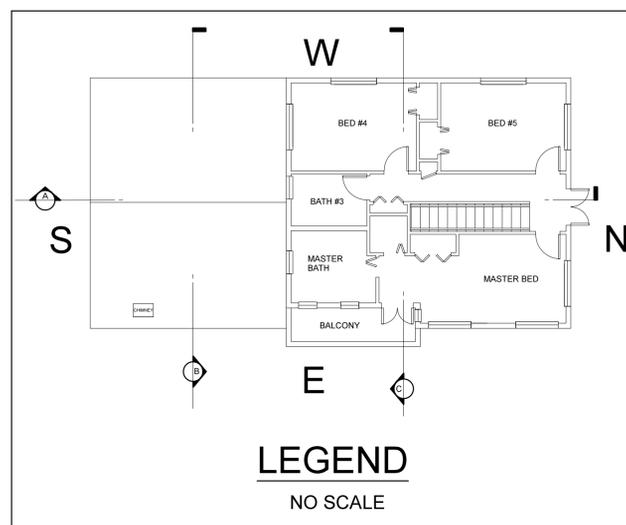
761 GATEVIEW AVE
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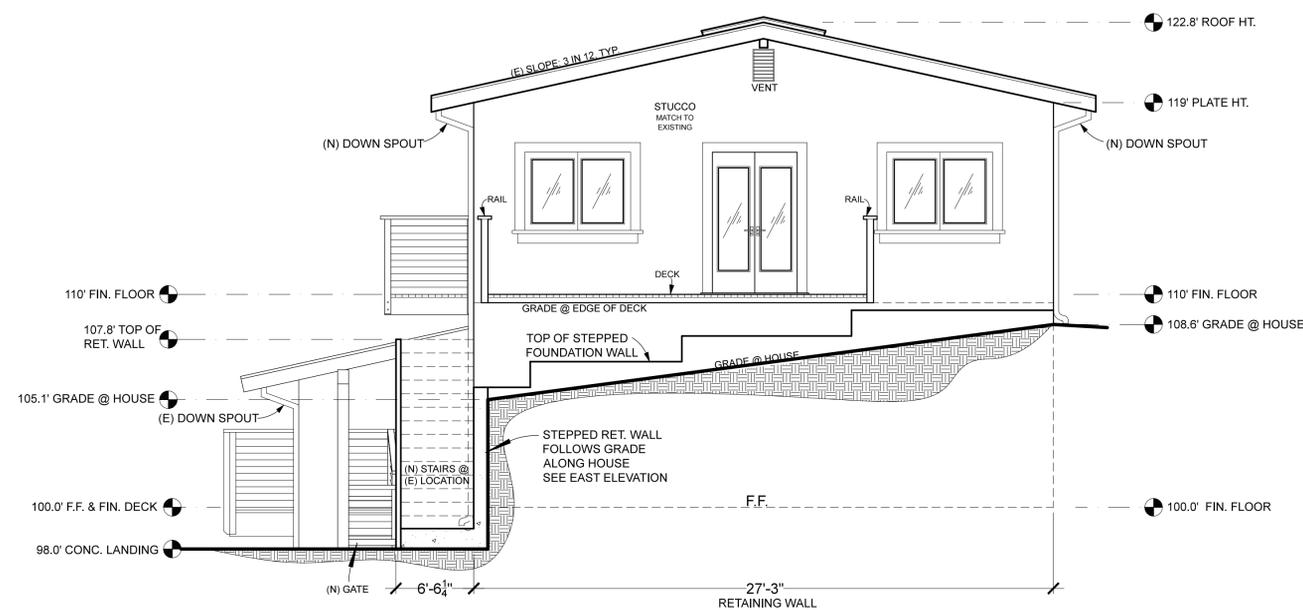
EAST ELEVATION

SCALE: 1/4" = 1'



LEGEND

NO SCALE



NORTH ELEVATION

SCALE: 1/4" = 1'



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PROJECT NUMBER:

DRAWN BY: E.S.

CHECKED BY: B.T.

SCALE: AS SHOWN

SHEET TITLE:

EAST & NORTH ELEVATIONS

REF. NORTH SHEET NUMBER

A1.0

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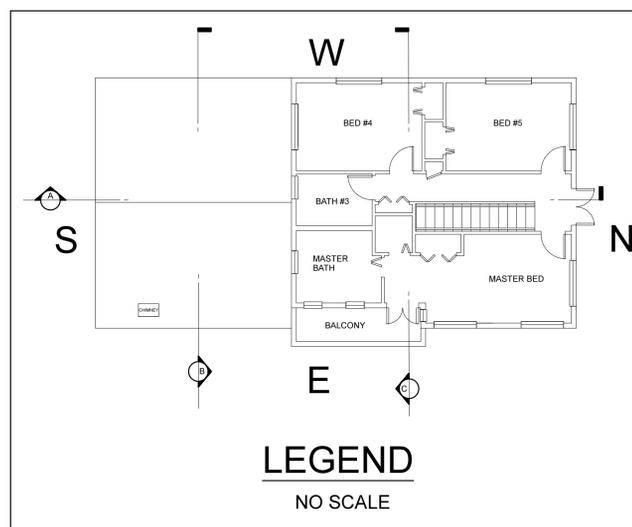
RESIDENTIAL REMODEL

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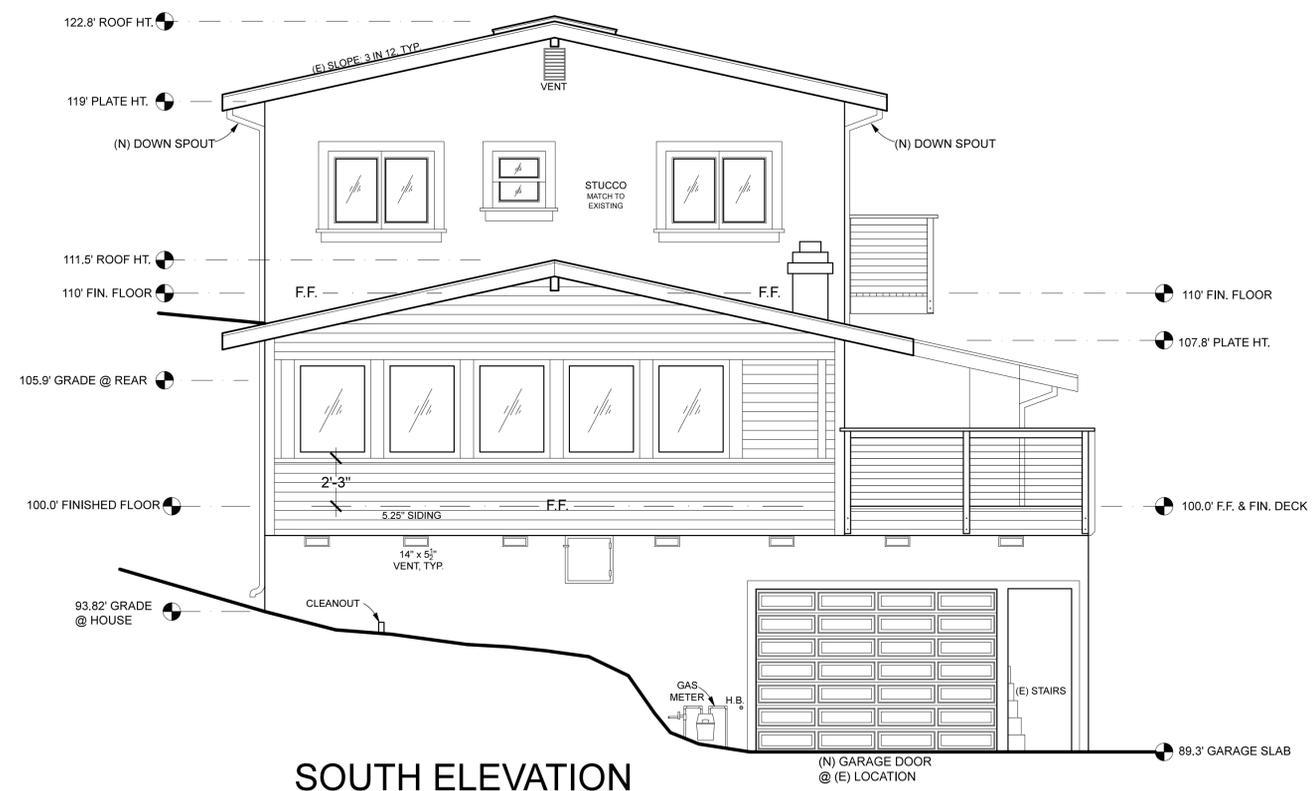
OWNER:
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(510) 799-1805



WEST ELEVATION
SCALE: 1/4" - 1'



LEGEND
NO SCALE



SOUTH ELEVATION
SCALE: 1/4" - 1'



NO.	DESCRIPTION	DATE
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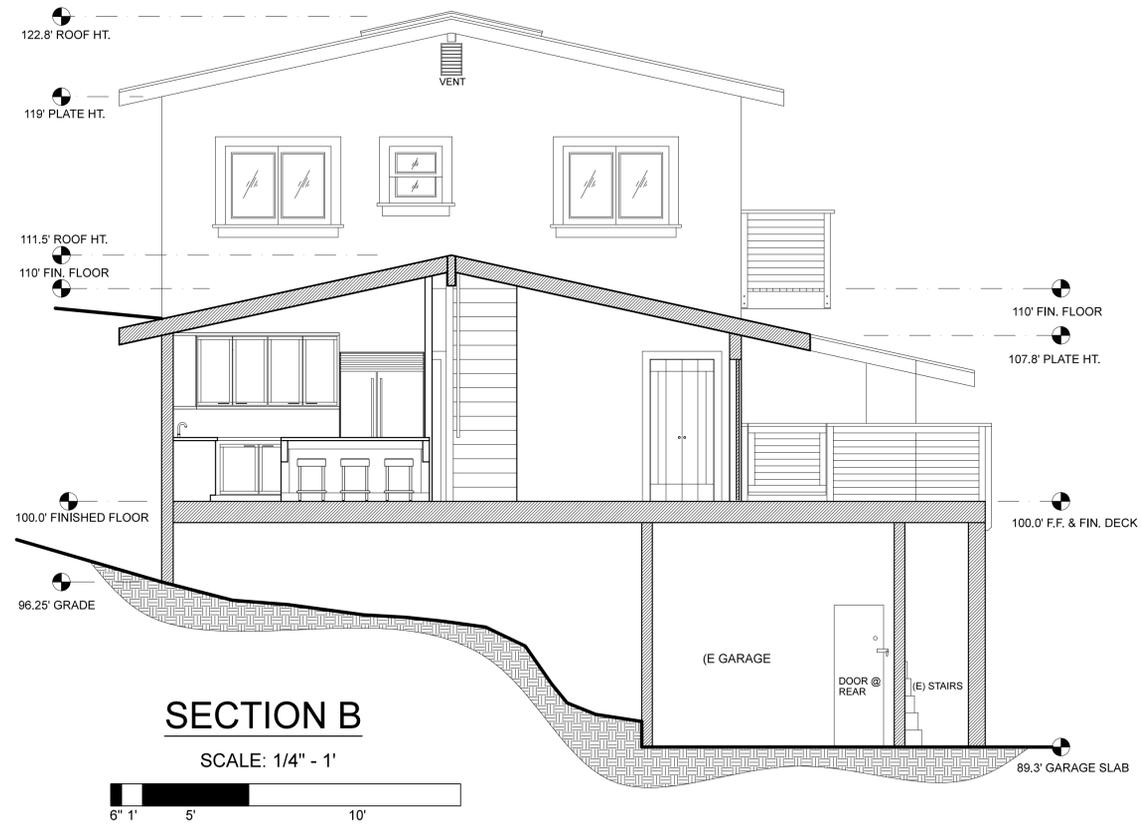
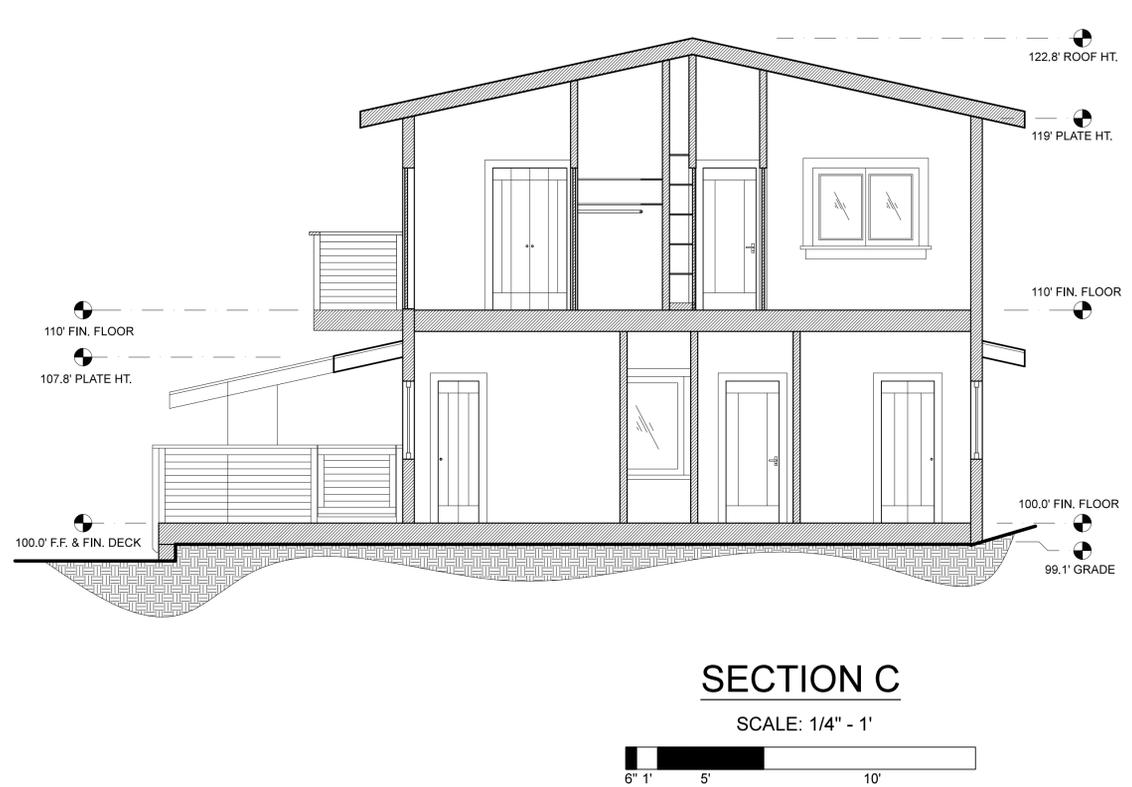
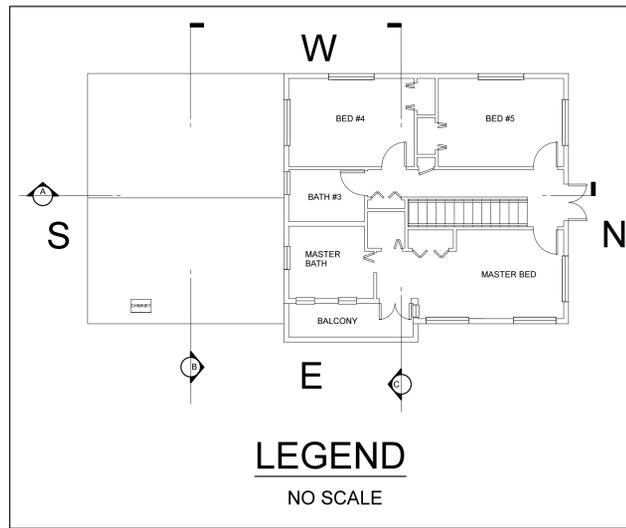
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PROJECT NUMBER:
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CHECKED BY: B.T.
SCALE: AS SHOWN
SHEET TITLE:

SOUTH & WEST ELEVATIONS

REF. NORTH SHEET NUMBER

A1.1



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CHECKED BY: B.T.
SCALE: AS SHOWN
SHEET TITLE:

SECTIONS

REF. NORTH SHEET NUMBER

A2

SITE COVERAGE (FOOTPRINT)
1,283 SF

SITE COVERAGE:
1,283 SF
1,283 / 4,262 SF = 30%

UPPER ADDITION (NOT INCL. STAIRS)
917 - 39 SF = 878 SF

LOWER EXISTING (INCL. STAIRS)
1,101 SF

LOWER ADD'N (INCL. STAIRS)
341 SF

ALLOWABLE GROSS AREA:
55% x 4,262 = **2,344.1 SF**

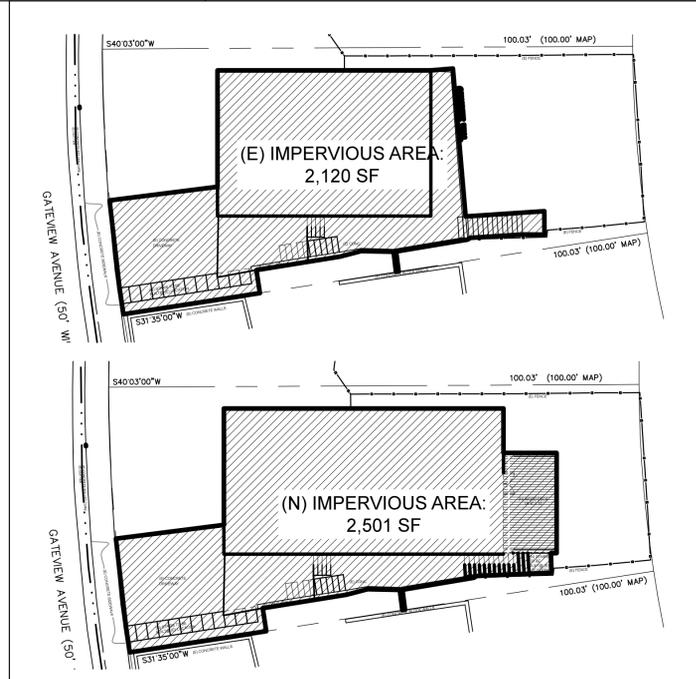
EXISTING GROSS AREA:
1,101 SF

ADDED AREA:
878 SF - (N) UPPER LEVEL
+ 341 SF - (N) LOWER LEVEL
1,219 SF - TOTAL (N) AREA

GROSS AREA, AFTER ADDITION:
1,101 + 1,219 F = **2,320 SF**

EXISTING FAR
1,101 SF / 4,262 SF = **25%**

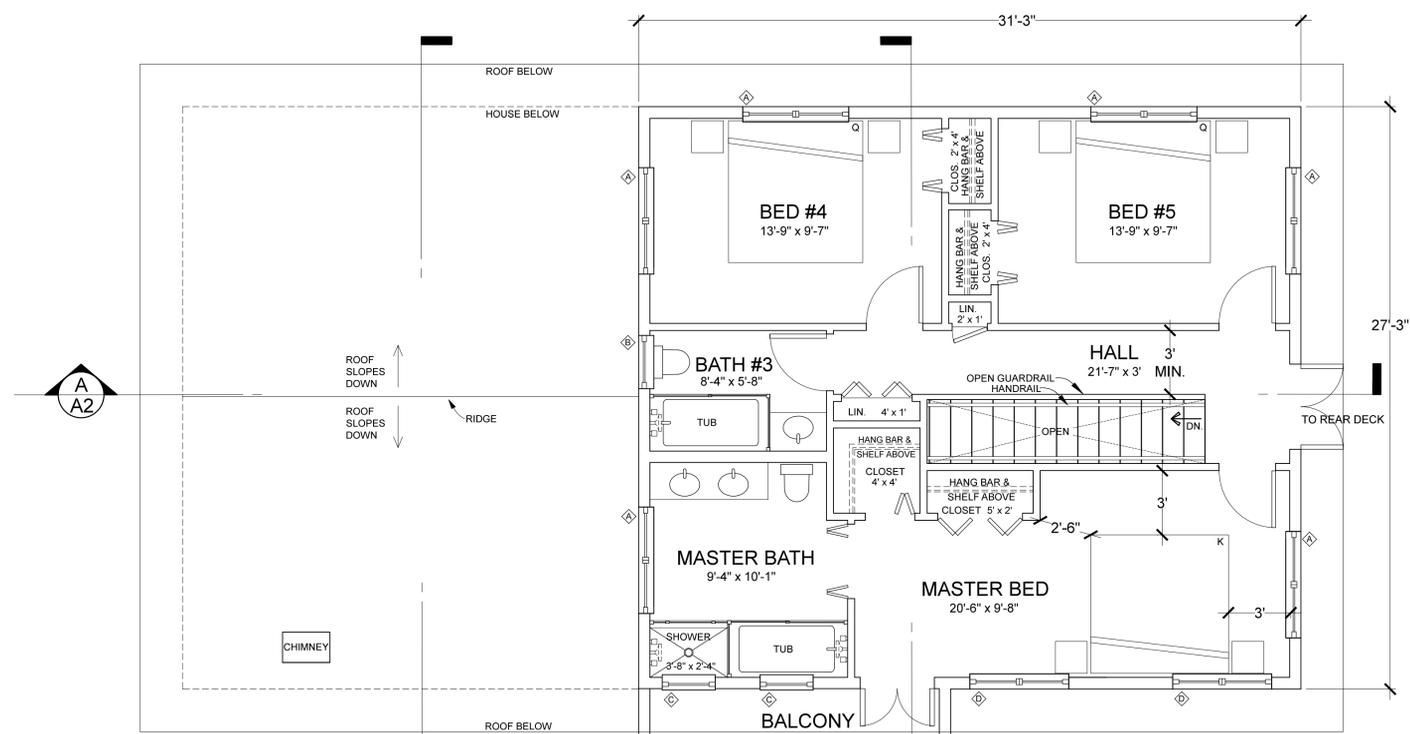
PROPOSED FAR
2,320 SF / 4,262 SF = **54%**



WINDOW SCHEDULE

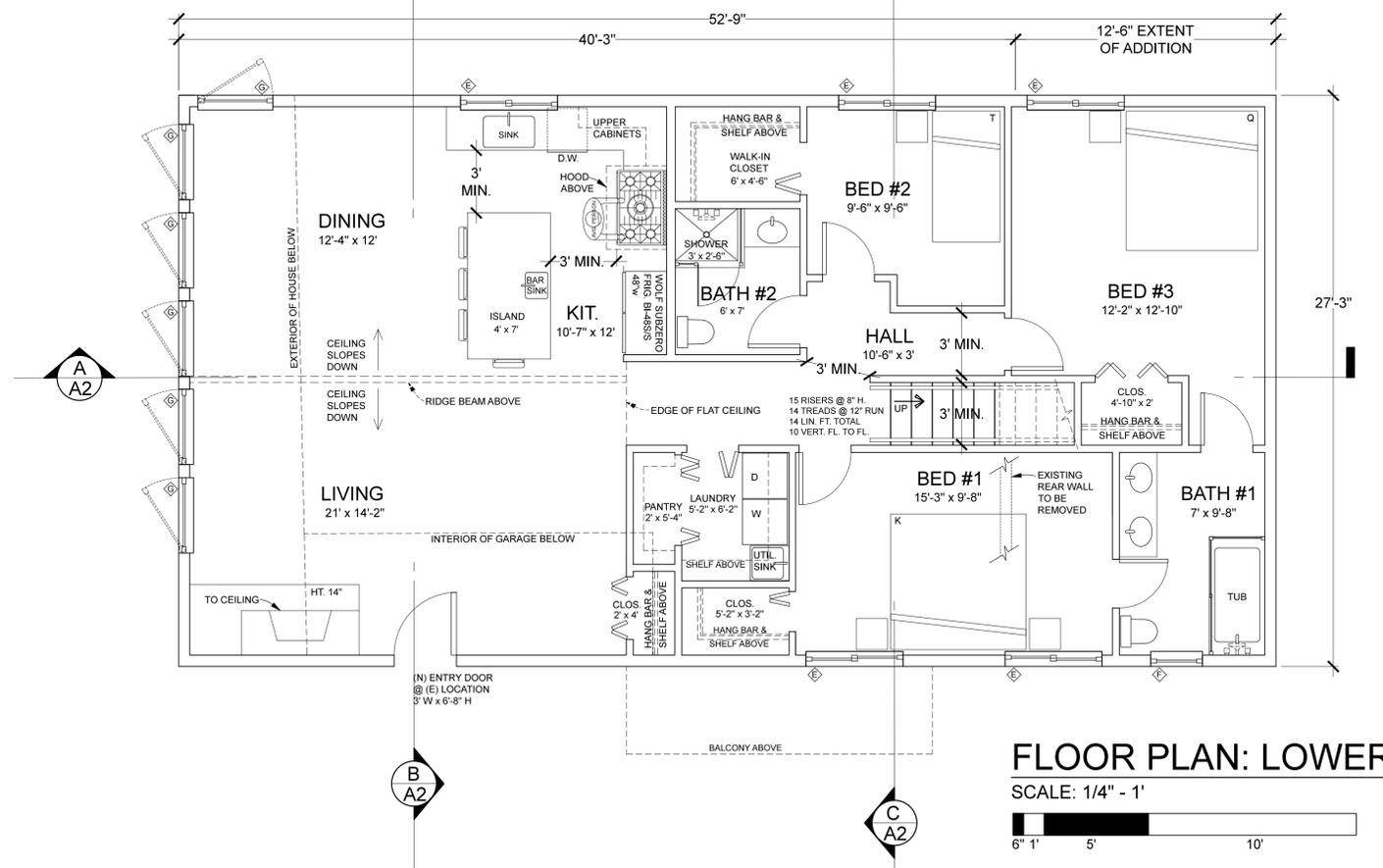
ALL WINDOWS TO BE MILGARD, MONTECITO SERIES

ITEM SYMB.	QTY.	N/E	DESCRIPTION	WD.	SILL @TOP OF STOP	HEAD @BOTT. OF STOP
A	6	(N)	VINYL FRAME, DOUBLE GLAZED, OUT-SWING DOUBLE CASEMENT WINDOW. NO CENTER POST	5'	3'	6'-8"
B	1	(N)	VINYL FRAME, DOUBLE GLAZED, OUT-SWING SINGLE CASEMENT WINDOW.	2'-6"	4'	6'-8"
C	2	(N)	VINYL FRAME, DOUBLE GLAZED, OUT-SWING SINGLE CASEMENT WINDOW.	2'-6"	4'-6"	6'-8"
D	2	(N)	VINYL FRAME, DOUBLE GLAZED, OUT-SWING DOUBLE CASEMENT WINDOW. NO CENTER POST	4'-8"	4'	6'-8"
E	5	(N)	VINYL FRAME, DOUBLE GLAZED, SLIDING WINDOW.	4'-8"	3'	6'-8"
F	1	(N)	VINYL FRAME, DOUBLE GLAZED, SINGLE HUNG WINDOW.	2'-6"	5'-6"	6'-8"
G	6	(E)	DOUBLE GLAZED, OUT-SWING SINGLE CASEMENT WINDOW.	3'-7"	27"	6'-8"



FLOOR PLAN: UPPER ADDITION

SCALE: 1/4" = 1'



FLOOR PLAN: LOWER

SCALE: 1/4" = 1'



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PROJECT NUMBER:

DRAWN BY: E.S.

CHECKED BY: B.T.

SCALE: AS SHOWN

SHEET TITLE:

FLOOR PLANS

REF. NORTH SHEET NUMBER

A4

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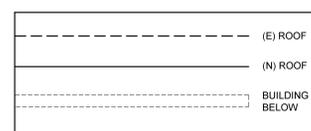
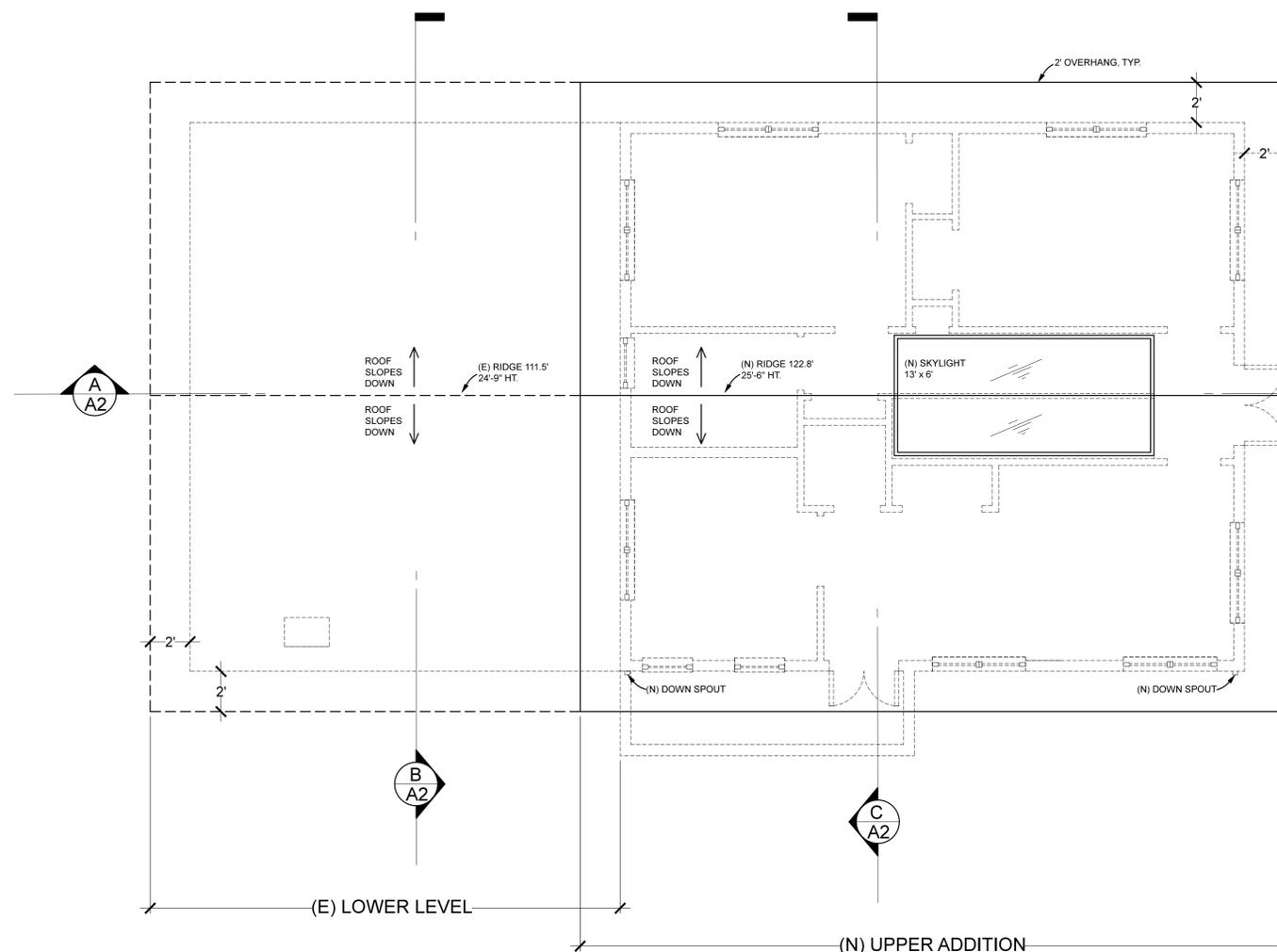
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PROJECT NUMBER:
DRAWN BY: E.S.
CHECKED BY: B.T.
SCALE: AS SHOWN
SHEET TITLE:

ROOF PLAN

REF. NORTH SHEET NUMBER

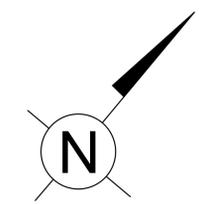
A5



LEGEND

ROOF PLAN

SCALE: 1/4" = 1'





756 & 760 Gateview
(Across the street)



751 Gateview



761 Gateview



765 Gateview



Existing Street Elevation & Neighboring Properties

**BEN TARCHER
ARCHITECT**

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T. (510) 541-7109

**RESIDENTIAL
REMODEL**

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PROJECT NUMBER:

DRAWN BY: E.S.

CHECKED BY: B.T.

SCALE: AS SHOWN

SHEET TITLE:

**STREET ELEVATION
& PHOTOS**

REF. NORTH SHEET NUMBER

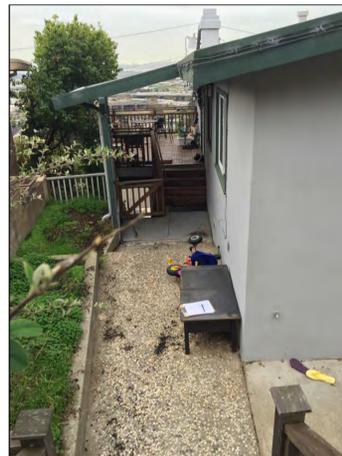
A6



Stairs @ Carport



Stairs @ Front Porch



Side Yard



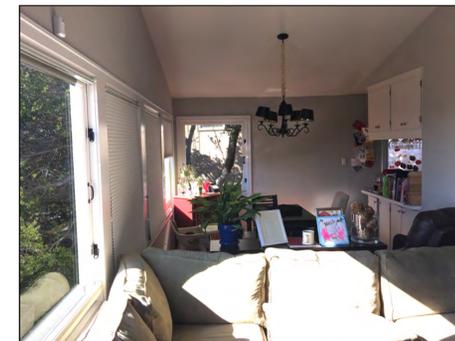
Front Porch



Living Room



Bedroom 1



Living Room



Bathroom 1



Bathroom 2



Bedroom 3



Rear Yard



Rear Yard

Existing Home