

**GENERAL NOTES**

GENERAL REQUIREMENTS

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING, RESIDENTIAL, FIRE, PLUMBING, MECHANICAL, ELECTRICAL, ENERGY AND GREEN CODES AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CONTRACTOR/SUBCONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR/SUBCONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, PROPOSED DIMENSIONS, DIMENSIONS OF THE LOT, EASEMENTS AND SOIL CONDITIONS, INCLUDING EXCAVATIONS, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS AT ADJACENT PROPERTIES. SHOULD ANY DISCREPANCY AND/OR INCONSISTENCY APPEAR OR OCCUR IN THE DRAWINGS AND SITE CONDITIONS, THE CONTRACTOR, BEFORE PROCEEDINGS WITH THE WORK, SHALL NOTIFY THE ARCHITECT/ENGINEER FOR PROPER ADJUSTMENTS, AND IN NO CASE SHALL PROCEED WITH THE WORK IN UNCERTAINTY.

THE GENERAL AND SUBCONTRACTORS ARE RESPONSIBLE FOR INSPECTING THE PREMISES DURING BIDDING TO ASCERTAIN EXISTING CONDITIONS WHICH MIGHT AFFECT THE COST OF CONSTRUCTION.

CHANGES FROM CONTRACT DRAWINGS SHALL BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT AND/OR ENGINEER. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT/ENGINEER APPROVAL.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY, AND ADJACENT PROPERTIES. THE ARCHITECT/ENGINEER SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES, PROCEDURES, OR OMISSIONS THE CONTRACTOR OR SUBCONTRACTORS MAY PERFORM NOT IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

ALL PLANS, SPECIFICATIONS, AND/OR INFORMATION FURNISHED HEREWITH ARE AND SHALL REMAIN THE PROPERTY OF ART OF BUILDING AND SHALL BE HELD CONFIDENTIAL AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY HAVE BEEN PREPARED AND SUPPLIED.

CONTRACTORS, UNLESS AGREED OTHERWISE SHALL PROVIDE LABOR AND MATERIALS TO COMPLETE THE JOB DETAILED IN THEIR CONTRACTS.

DIMENSIONS INDICATED IN CONTRACT DOCUMENTS SHALL GOVERN. DO NOT SCALE DRAWINGS.

SPECIAL NOTES ON OTHER DRAWING SHEETS IN CONTRAST WITH GENERAL NOTES, SPECIAL NOTES SHALL PREVAIL.

FOUNDATIONS

CONCRETE FOOTINGS SHALL BE CONSTRUCTED IN ONE CONTINUOUS MONOLITHIC POUR WITHOUT CONSTRUCTION JOINTS

ALL BUILDING FOOTINGS AND BUILDING SLAB ON GRADE SHALL BE FOUNDED IN AND SUPPORTED ON ENGINEERED FILL AS INDICATED IN THE DRAWINGS.

REINFORCING STEEL

ALL #5 AND LARGER REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. ALL #4 AND SMALLER REINFORCING STEEL SHALL CONFORM TO ASTM 1615, GRADE 60.

REINFORCING STEEL EMBEDDED IN PREVIOUSLY CAST CONCRETE AND ALL ANCHOR BOLTS SHALL BE ANCHORED WITH BURKE 2 PART CONCRETE EPOXY AND INSTALLED PER MANUFACTURER'S RECOMMENDATION. ALL BOLTS WILL BE EMBEDDED A MINIMUM OF 6".

SPLICES IN REINFORCING STEEL SHALL DEVELOP FULL STRENGTH OF THE BAR. LAP SPLICES SHALL BE AS INDICATED IN THE DRAWINGS AND AT LEAST 40 BAR DIAMETERS IN LENGTH.

BENDS AND HOOKS IN REINFORCING STEEL SHALL CONFORM TO UBC AND ACI REQUIREMENTS REGARDING BEND RADIUS AND EXTENSION.

ANCHOR BOLTS

ANCHOR BOLTS SHALL CONFORM TO ASTM SPECIFICATIONS ASTM A307.

ANCHOR BOLTS SHALL BE 5/8" @ 6"-0" O.C. MAX. UNLESS NOTED OTHERWISE AND MINIMUM 2 BOLTS PER SILL UNLESS NOTED. PROVIDE WASHERS AT ALL BOLT HEADS AND NUTS BEARING AGAINST WOOD.

CONCRETE CONSTRUCTION

REINFORCED CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF AT LEAST 2500 PSI.

ALL CEMENT SHALL CONFORM TO ASTM C-150, TYPE II.

AGGREGATE SHALL BE DENSE, GRADED, NONREACTIVE, AND OF 3/4" MAXIMUM DIAMETER AND CONFORM TO ASTM C-33.

CONCRETE BEAMS AND COLUMNS SHALL BE CONSTRUCTED IN ONE CONTINUOUS MONOLITHIC POUR WITHOUT CONSTRUCTION JOINTS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

SLAB-ON-GRADE MAY BE CONSTRUCTED WITH CONTROL AND CONSTRUCTION JOINTS SUBJECT TO REVIEW OF THE ENGINEER.

PIPE MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT NOT BE EMBEDDED THEREIN.

FASTENERS FOR PRESSURE PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED COATED GALVANIZED OR STAINLESS STEEL.

CURING CONCRETE SHALL NOT BE EXPOSED TO TEMPERATURES LESS THAN 40 DEGREES FAHRENHEIT FOR THE FIRST THREE DAYS.

ALL CONCRETE SHALL BE REINFORCED, WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS SUBJECT TO ENGINEER REVIEW.

ALL REINFORCING STEEL AND HOLD DOWN ANCHORS SHALL BE ACCURATELY LOCATED IN THE FORMS AND HELD FIRMLY IN PLACE BEFORE AND DURING THE PLACING OF CONCRETE BY MEANS OF WIRE SUPPORTS ADEQUATE TO PREVENT DISPLACEMENT DURING THE COURSE OF CONSTRUCTION AND TO KEEP THE STEEL AT A PROPER DISTANCE FROM THE FORMS. BAR SUPPORTS ARE TO BE SUFFICIENT IN NUMBER AND SUFFICIENTLY HEAVY TO PROPERLY CARRY THE STEEL THEY SUPPER. UNDER NO CONDITIONS SHALL CONCRETE BE PLACED WITHOUT ADEQUATE TIES OR SUPPORTS AS OUTLINED ABOVE.

DOWELS SHALL BE PROVIDED AT POUR CONSTRUCTION JOINTS AND SHALL BE SAME SIZE AS DETAILED STANDARD LAP SPLICE.

ALL REINFORCING ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE OR GROUTING MASONRY.

PROVIDE THE FOLLOWING MINIMUM PROTECTIVE COVERING CONCRETE: BELOW GRADE (UNFORMED) 3" CLEAR BELOW GRADE (FORMED) 2" CLEAR

WOOD CONSTRUCTION

EXCEPT WHERE OTHERWISE NOTED, ALL STRUCTURAL SAWN LUMBER SHALL CONFORM TO OR EXCEED DOUGLAS FIR GRADE #2 REQUIREMENTS.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR, CEDAR OR REDWOOD.

FRAMING CONNECTIONS NOT SPECIFIED SHALL CONFORM TO UBC MINIMUM NAILING REQUIREMENTS.

WOOD FRAMING CONNECTIONS AND ACCESSORIES DESIGNATED IN THE DRAWINGS ARE MANUFACTURED BY SIMPSON STRONG-TIED CO. ALL SIMPSON PRODUCTS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

ALL NEW EXTERIOR WALLS SHALL BE SHEATHED WITH 3/4" CDX PLYWOOD EXCEPT WHERE NOTED OTHERWISE. ALL PANEL EDGES SHALL BE BLOCKED UNLESS OTHERWISE NOTED.

FACE GRAIN OF PLYWOOD USED AS ROOF SHEATHING SHALL RUN PERPENDICULAR TO SUPPORTS/

BLOCKING SHALL BE PROVIDED AT 8'-0" O.C. MAXIMUM.

ALL FRAMING LUMBER EXCEPT SILLS AGAINST CONCRETE SHALL BE DOUGLAS FIR AND LARCH OR DOUGLAS FIR COAST REGION.

MINIMUM PERMISSIBLE CONNECTIONS

CONNECTION

TOP PLATE TO STUD, END NAIL	2-16D
STUD TO SOLE PLATE, TOE NAIL	2-8D EACH SIDE
DOUBLED STUDS, FACE NAIL	16D @ 24" O.C.
DOUBLED TOP PLATES, FACE NAIL	16D @ 16" O.C.
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16D
CONTINUOUS HEADERS, TWO PIECES	16D @ 16" O.C. ALONG EACH EDGE
CONTINUOUS HEADER TO STUD, TOE NAIL	2-8D EACH SIDE
RAFTERS, FACE NAIL	3-16D
RAFTER TO PLATE, TOE NAIL	2-8D EACH SIDE

**ABBREVIATIONS**

ACOUS.	Acoustical	EA	Each	MAX.	Maximum
A.C.	Asphalt Concrete	EQ	Equal	M.B.	Machine Bolt
ADJ.	Adjustable	EXT.	Exterior	MFR.	Manufacturer
A.F.F.	Above Finished Floor	F.D.	Floor Drain	MIN.	Minimum
APPROX.	Approximate	F.E.C.	Fire Extinguish Cabinet	MISC.	Miscellaneous
BD.	Board	F.F.	Finished Floor	MTD.	Mounted
BLKG.	Blocking	FLUOR.	Fluorescent	N.I.C.	Not in Contract
BLDG.	Building	F.O.F.	Face of Studs	No. or #	Number
B.S.	Building Standard	F.O.S.	Face of Studs	N.T.S.	Not to Scale
CAB.	Cabinet	FT.	Foot	O.C.	On Center
CLG.	Ceiling	FURR.	Furring	R.	Radius
CLR.	Clear	GA.	Gauge	REQ.	Required
COL.	Column	GALV.	Galvanized	RM.	Room
CONC.	Concrete	GYP.	Gypsum	S.B.O.	Supplied by Owner
CONT.	Continuous	H.C.	Hollow Core	SPEC.	Specification
CORR.	Corrosion	HDWD.	Hardwood	STD.	Standard
CTR.	Center	HDWR.	Hardware	STOR.	Storage
D.	Depth	HT.	Height	SUSP.	Suspended
DET.	Detail	H.M.	Hollow Metal	TEL.	Telephone
DIA.	Diameter	INSUL.	Insulation	TYP.	Typical
DIM.	Dimension	I.D.	Inside Diameter	U.O.N.	Unless Otherwise Noted
DN.	Down	INT.	Interior	V.I.F.	Verify in Field
DWG.	Drawing	JAN.	Janitor	W.	Width
(E)	Existing	LAM.	Laminate	W.G.	Wire Glass
				W.H.	Water Heater

**SITE DATA**

ZONING:	R-1	EXISTING	PROPOSED	REQUIRED
PARCEL #:	065-2654-008-00	FRONT SETBACK:	15'-8"	NO CHANGE 15'
LOT AREA:	3,750 S.F.	SIDE SETBACK:	5'-0"	NO CHANGE 3' (MIN.)
PARKING:	2-CAR	REAR SETBACK:	37'-8"	NO CHANGE 20'
YEAR BUILT:	1938	BUILDING HEIGHT:	19'-0"	28'

<b>FLOOR AREA RATIO (F.A.R.)</b>		<b>LOT COVERAGE</b>	
LOT AREA:	=3,750 S.F.	LOT AREA:	=3,750 S.F.
MAX. F.A.R.	55%	MAX. COVERAGE:	50%
MAX. ALLOWED F.A.R.	=2,062 S.F.	MAX. ALLOWED LOT COVERAGE	=1,875 S.F.
<b>F.A.R. SUMMARY</b>		<b>LOT COVERAGE SUMMARY</b>	
(E) FIRST FLOOR	=1,089 S.F.	(E) HOUSE	=1,145 S.F.
(E) ENTRY PORCH	=56 S.F.	(E) GARAGE	=210 S.F.
(E) GARAGE	=210 S.F.	TOTAL LOT COVERAGE	=1,355 S.F.
(GARAGE CREDIT)	< 210 S.F.>		1,355 S.F. < 1,875 S.F. ALLOWED
(N) SECOND FLOOR	=673 S.F.		
(STAIRWELL CREDIT)	< 60 S.F.>		
TOTAL FLOOR AREA	=1,758 S.F.		
	1,758 S.F. < 2,062 S.F. ALLOWED		

**DRAWING INDEX**

T1 TITLE SHEET	E2 SECOND FLOOR ELECTRICAL PLAN
A1 SITE PLAN	
A2 EXISTING FIRST FLOOR PLAN	
A3 REVISED FIRST FLOOR PLAN	
A4 REVISED SECOND FLOOR AND ROOF PLAN	
A5 BUILDING SECTION	
A6 EXISTING EXTERIOR ELEVATIONS	
A7 REVISED EXTERIOR ELEVATIONS	
E1 FIRST FLOOR ELECTRICAL PLAN	

**VICINITY MAP**



**PROJECT DIRECTORY**

<b>DRAWINGS PREPARED BY:</b>	<b>ENGINEERING:</b>
SAUL PICHARDO, ARCHITECT 1760 SOLANO AVENUE, SUITE 209-B BERKELEY, CA 94707 TEL: (510) 841-1365 CONTACT: SAUL PICHARDO	TND ENGINEERING 3716 SEGOVIA COURT SAN RAMON, CA 94583 TEL: (925) 837-0520 CONTACT: DO TRAN
<b>BLDG. OWNER:</b>	<b>GENERAL CONTRACTOR:</b>
DAVID MORGAN AND SARAH RATHKE 1022 EVELYN AVENUE ALBANY, CA 94706 TEL: (415) 871-1093	ART OF BUILDING 1760 SOLANO AVENUE, SUITE 209-B BERKELEY, CA 94707 TEL: (510) 841-1365 CONTACT: SAUL PICHARDO

**PROJECT INFORMATION**

CODE:	2013 CALIFORNIA BUILDING, RESIDENTIAL, FIRE, PLUMBING, MECHANICAL, ELECTRICAL, ENERGY AND GREEN CODES AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS.
BUILDING OCCUPANCY:	R3
NUMBER OF STORY	2 STOREY
ADDRESS:	1022 EVELYN AVENUE ALBANY, CA 94706

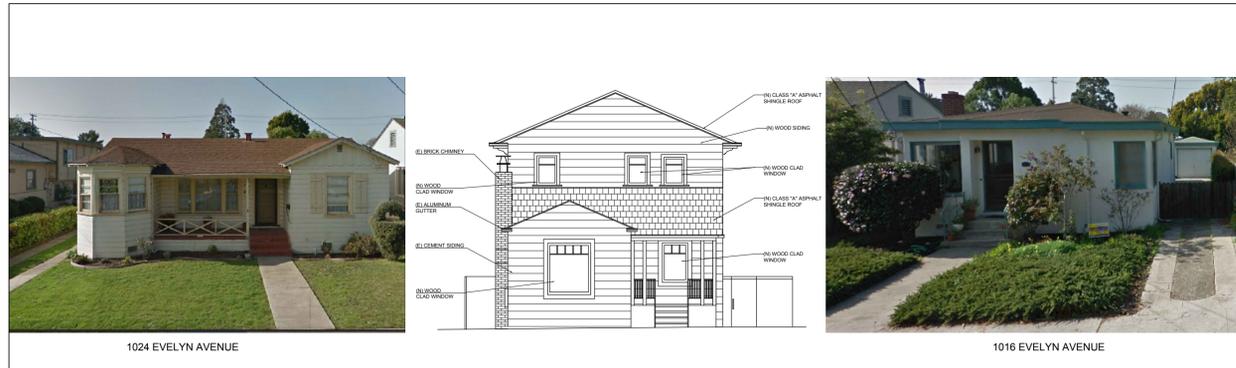
**SCOPE OF WORK**

1. REMODEL EXISTING KITCHEN ON FIRST FLOOR.
2. CREATE TWO, NEW SECOND FLOOR BEDROOMS AND ONE BATHROOM.
3. CREATE ONE, NEW EXTERIOR DECK LESS THEN 30' OFF OF FINISH GRADE.
4. REPLACE EXISTING SINGLE GLAZE WINDOWS TO DUAL GLAZE WINDOWS THROUGHOUT.

**SYMBOLS**

	ROOM NUMBER - NEW CONSTRUCTION
	DOOR SYMBOL-SEE DOOR SCHEDULE
	ELEVATION REFERENCE SYMBOLS
	DETAIL SYMBOL-SEE ELEVATION AND DETAIL SHEETS
	DIMENSIONS ARE FROM CENTER LINE TO CENTER LINE
	DIMENSIONS ARE FROM CENTER LINE TO FACE
	DIMENSIONS ARE FROM FACE TO FACE
	REVISION (CLOUDED AROUND EXTENT OF REVISION)

**STREETSCAPE**



NO. OF ISSUES AND REVISIONS

1	03/25/2016	PLANNING APPLICATION
---	------------	----------------------

© Copyright 2016, ART OF BUILDING

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.

**TITLE SHEET**

PROJECT NAME: MORGAN AND RATHKE RESIDENCE

BY: B.M.

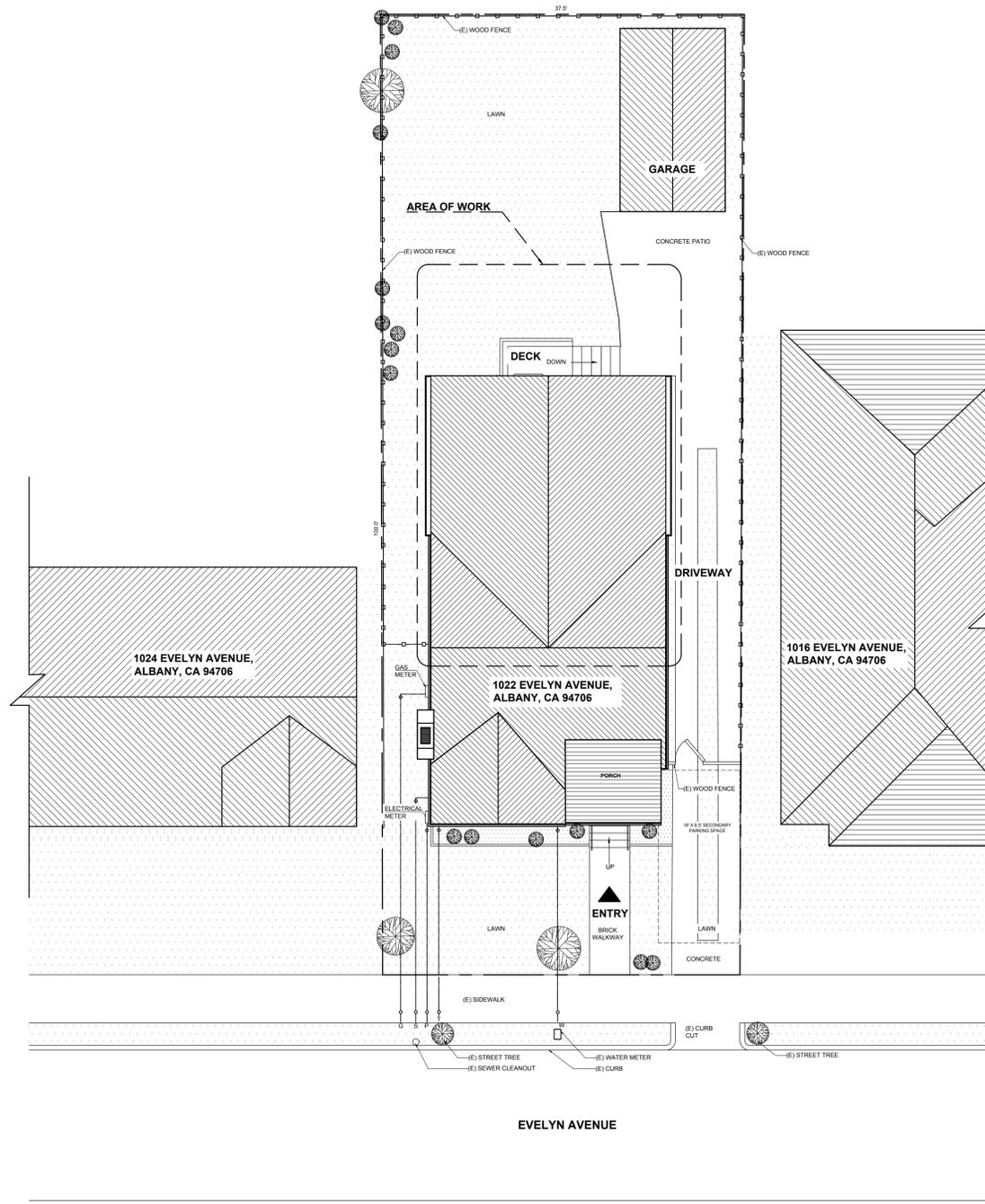
REVIEWER: S.P.

DATE: 03/25/2016

SCALE: AS SHOWN

**T1**

MORGAN RATHKE RESIDENCE  
 1022 EVELYN AVENUE, ALBANY, CA 94706



**UTILITIES NOTES**

1. ALL EXISTING UTILITIES LOCATIONS SHOWN ON THIS SITE MAP WERE LOCATED BASED ON INFORMATION PROVIDED BY UTILITY COMPANIES AND BY MEASURING APPARENT SURFACE FEATURES. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) TO IDENTIFY ACTUAL LOCATIONS AND DEPTHS OF ALL UTILITIES PRIOR TO ANY DEMOLITION, TRENCHING, EXCAVATION, GRADING, DRILLING, TREE PLANTING ETC. .

**RECORD DRAWING**

THIS SITE DRAWING IS BASED UPON A SINGLE SITE OBSERVATION (NOT CONTINUOUS OR EXHAUSTIVE INSPECTIONS) AND INFORMATION PROVIDED BY OTHERS. IT IS TO THE BEST OF OUR KNOWLEDGE AN ACTUAL RECORD OF SITE CONDITIONS. ART OF BUILDING CANNOT AND DOES NOT WARRANT ITS ACCURACY AND COMPLETENESS AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

**KEY**

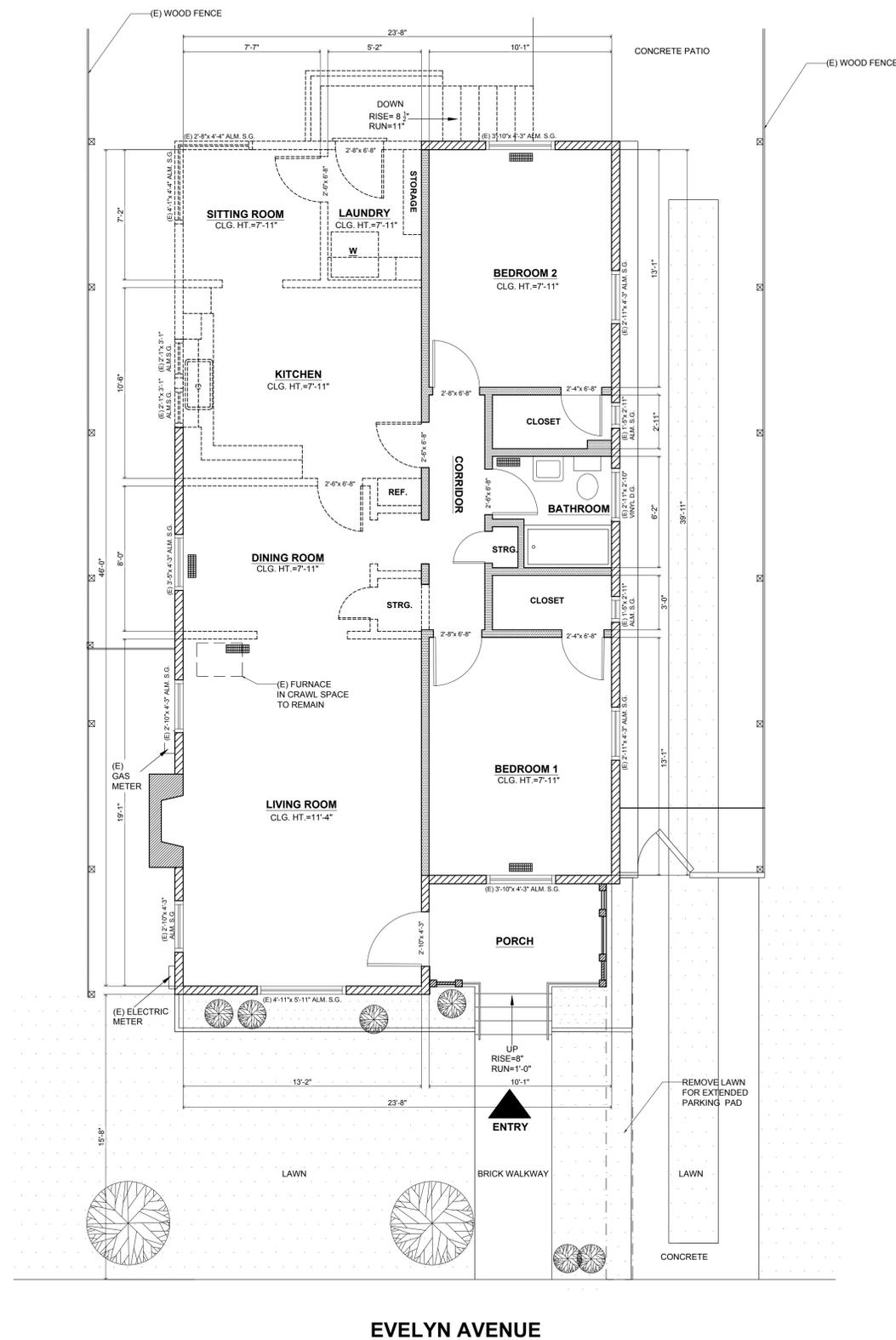
P — = POWER  
 G — = GAS  
 S — = SEWER LATERAL  
 W — = WATER MAIN  
 T — = TELEPHONE

NO. OF ISSUES AND REVISIONS	
1	03/25/2016 PLANNING APPLICATION
© Copyright 2016, ART OF BUILDING	
All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.	

SITE PLAN

PROJECT NAME: MORGAN RATHKE RESIDENCE
BY: B.M.
REVIEWER: S.P.
DATE: 03/25/2016
SCALE: AS SHOWN





**DEMOLITION NOTES**

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED ON ART OF BUILDING'S DRAWINGS OR AS OTHERWISE DIRECTED BY THE OWNER.
2. THE CONTRACTOR IS TO VIEW AND VERIFY ACTUAL CONDITIONS AT ALL LOCATIONS WHERE ALTERATIONS TO THE EXISTING BUILDING OCCUR. WHEN WALLS, PARTITIONS, AND OTHER WORK EXISTS WHERE NEW WORK IS INDICATED, ALL SUCH EXISTING WORK SHALL BE REMOVED. VERIFY ALL SUCH CONDITIONS AT THE SITE.
3. THE CONTRACTOR SHALL REPORT TO ART OF BUILDING ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
4. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
5. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING OWNER INCLUDING, BUT NOT LIMITED TO FLOOR COVERING, CEILING GRID AND TILE, DOORS, WINDOWS, FRAMES, HARDWARE, CABINETRY, PLUMBING FIXTURES, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PERIPHERAL ENCLOSURES, ETC.
6. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO INCLUDE CORNER BEADS, STOPS, ETC. FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW, FIRST CLASS, FINISHED INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED OR, IF BEYOND REPAIR, THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF ART OF BUILDING AND THE OWNER.
7. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN, THE EXISTING SURFACE SHALL BE CUT AND PATCHED.
8. EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIAL, FIRE-RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.
9. ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED.
10. THE GENERAL CONTRACTOR SHALL CAP OFF BEHIND FINISH SURFACES ALL PROJECT PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.
11. ALL "EXISTING TO REMAIN", "EXISTING", "RELOCATED", OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION, SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF ART OF BUILDING PRIOR TO BEING TURNED OVER TO THE OWNER.
12. REFER TO ENGINEERING DRAWINGS FOR REMOVAL AND/OR RELOCATION IF REQUIRED OF HVAC DUCTS, DIFFUSERS, SPRINKLER HEADS, EXIT LIGHTS, ETC.
13. ALL DOORS AND FRAMES TO BE REMOVED SHALL BE RETURNED TO OWNER. HANDLE CAREFULLY AND STORE ON SITE.

**PATCHING AND CUTTING**

1. GENERAL: AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. MAKE JOINTS OF NEW AND EXISTING PATCHES SMOOTH, EVEN, AND PRACTICALLY INVISIBLE. WHERE NEW PAINT OR OTHER FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEAT FINISHED APPEARANCE.
2. CONCRETE: WHERE FLOORS REQUIRED LEVELING, PROVIDE MINIMUM 2,500 PSI AT 28 DAYS PORTLAND CEMENT. COAT CONCRETE JOINED WITH NEW CONCRETE WITH CONCRETE BOND. MIX AND APPLY IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR THE CONDITIONS OF THE APPLICATION.
3. CONCRETE CONSTRUCTION: SAW-CUT WITH DIAMOND SAW. JACKHAMMER WILL NOT BE PERMITTED, EXCEPT WITH THE EXPRESSED PERMISSION OF THE LANDLORD. CUT IN ACCURATELY LOCATED, STRAIGHT LINES, AND BREAK OUT SECTIONS. FLOORS MAY BE CORE DRILLED WHERE APPROPRIATE FOR INSTALLATION OF PIPES AND SIMILAR ITEMS. WHERE EXISTING PIPING AND OTHER SIMILAR ITEMS ARE UNDER EXISTING SLABS, EXERCISE CARE TO PROTECT FROM DAMAGE. EXERCISE CARE WHEN CUTTING ADJACENT TO EXISTING WALLS TO AVOID DAMAGE TO WALLS; IF DAMAGED, REPAIR AS REQUIRED. WHERE NEW CONCRETE SLABS ARE TO BE INSTALLED, VERIFY COMPACTION UNDER NEW CONSTRUCTION IS NINETY-FIVE PERCENT (95%) OF OPTIMUM DENSITY.
4. DOORS AND FRAMES: IF DOORS AND FRAMES ARE TO BE REUSED FOR THIS WORK, CAREFULLY REMOVE DOORS FROM FRAMES AND REMOVE FRAMES FROM OPENING, TAKING CARE TO AVOID DAMAGE. REMOVE HARDWARE, CLEAN REFURBISH, AND STORE FOR REINSTALLATION. REPAIR AND REWORK FRAMES AND DOORS AS REQUIRED FOR REINSTALLATION WHERE INDICATED. FOR DOORS AND FRAMES TO BE SALVAGED, CAREFULLY REMOVE FROM OPENING AND DELIVER FOR STORAGE WHERE DIRECTED.

**KEY**

- = EXISTING EXTERIOR 2X4 STUD WALL, 16" O.C., W/ 1/2" PLY, MOISTURE BARRIER AND STUCCO ON EXTERIOR
- = EXISTING INTERIOR 2X4 STUD WALL, 16" O.C. W/ PLASTER
- = EXISTING TO BE REMOVED
- = HVAC RETURN AIR
- = HVAC SUPPLY

**NO. OF ISSUES AND REVISIONS**

1	03/25/2016	PLANNING APPLICATION
---	------------	----------------------

© Copyright 2016, ART OF BUILDING

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.

**EXISTING FIRST FLOOR PLAN**

PROJECT NAME: MORGAN RATHKE RESIDENCE

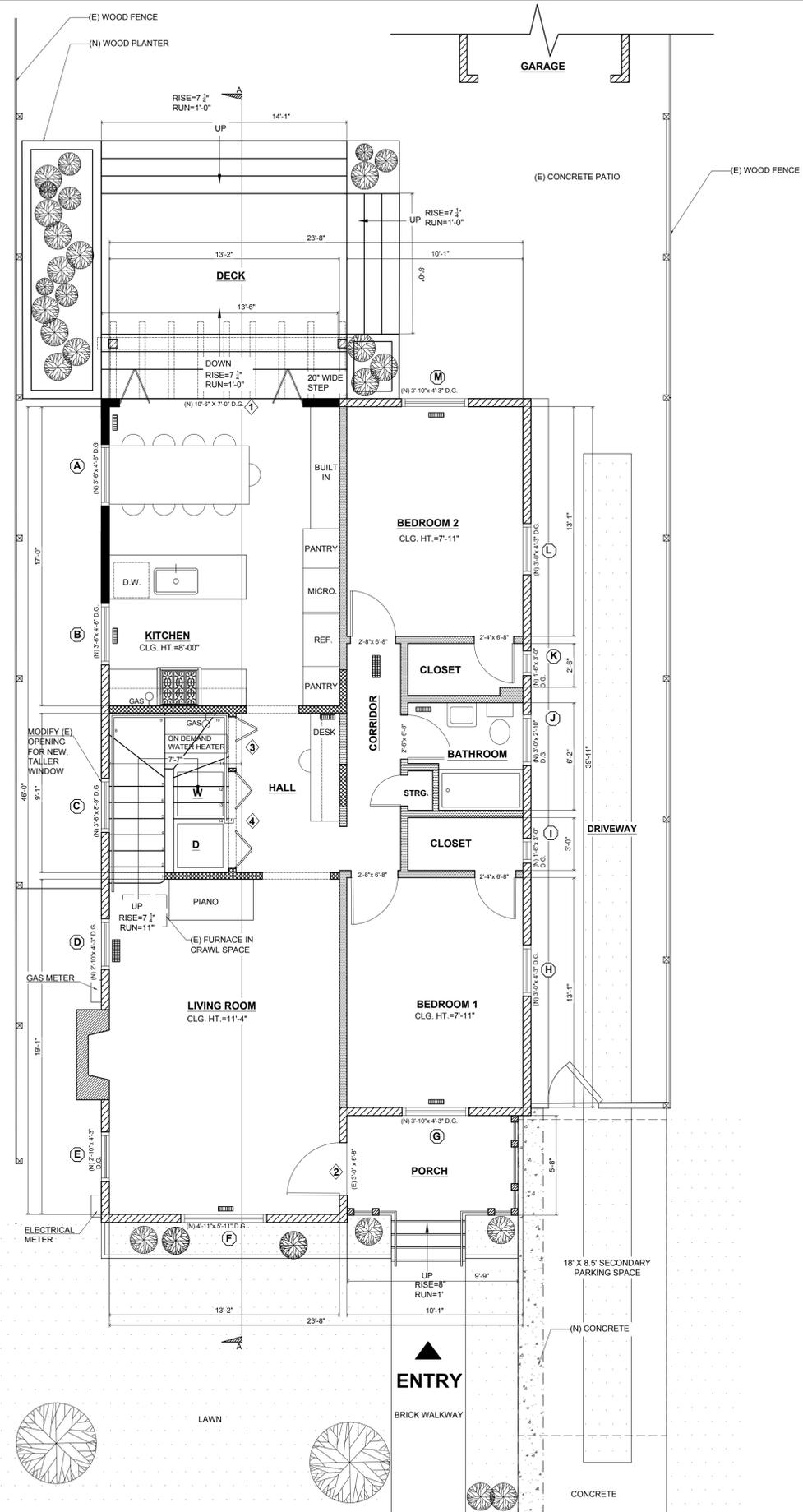
BY: B.M.

REVIEWER: S.P.

DATE: 03/25/2016

SCALE: AS SHOWN





REVISED FIRST FLOOR PLAN

1/8" = 1'-0"

**GENERAL NOTES**

1. ALL GYPSUM PLASTER WALL AND CEILING TO BE SMOOTH LEVEL 5 FINISH.
2. ALL CEILINGS TO BE PAINTED WITH LATEX FLAT PAINT.
3. ALL COLORS TO BE DETERMINED ON SITE.

**SMOKE DETECTORS AND CARBON MONOXIDE ALARMS**

1. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE SPACES. (CRC SEC. R314)
2. CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S), ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS WHEN AN EXISTING DWELLING HAS ATTACHED GARAGES OR FUEL BURNING APPLIANCES. (CRC SEC. R315)

**TITLE 24 ENERGY REQUIREMENTS**

1. ALL EXTERIOR WALL/FLOOR/ROOF FRAMING SPACES OPENED DURING THE COURSE OF REMODEL SHALL BE INSULATED WITH A MINIMUM OF R-13 (WALL), R-19 (FLOOR) AND R-30 (ROOF) INSULATION.
2. ALL NEW AND REPLACEMENT FENESTRATION WITH A GLAZED AREA OF MORE THAN ONE-HALF OF THE DOOR AREA SHALL HAVE A U-FACTOR OF .40 OR LESS.

**PLUMBING NOTES**

1. ALL RESIDENTIAL BUILDINGS UNDERGOING PERMIT ALTERATION, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES.
2. WATER CLOSETS SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM.
3. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM, MEASURED AT 80 PSI.
4. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM, MEASURED AT 60 PSI.

**BATHROOM NOTES**

1. SHOWER COMPARTMENT SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THRESHOLD. THE AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN SEVENTY INCHES ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWER HEAD, SOAP DISHES, SHELVES AND SAFETY GRAB BARS OR RAILS. (CPC SEC. 411.7)
2. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22" UNOBSTRUCTED OPENING FOR EGRESS (SWING OUTWARD). (CPC SEC. 411.6)
3. SHOWER AND TUB/SHOWER WALLS SHALL BE PROVIDED WITH NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR. (CRC SEC. R307.2)
4. SHOWERS AND TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE-BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE CONTROLS. (CPC SEC. 418.0)
5. SAFETY GLAZING SHALL BE PROVIDED IN WALLS ENCLOSING TUBS/SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE. (CRC SEC. R308.4, ITEM 5)
6. WATER CLOSETS SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM.
7. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM, MEASURED AT 80 PSI.
8. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM, MEASURED AT 60 PSI.

**WINDOW NOTES**

1. WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE AT A HEIGHT NOT LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW A PASSAGE OF A 4-INCH DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 36 INCHES OF THE FINISHED FLOOR. (CBC SEC. 1013.8)
2. EMERGENCY ESCAPE AND RESCUE WINDOWS OR DOORS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
  - a. A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, WHERE THE CLEAR OPENING IS LESS THAN 44 INCHES FROM GRADE, A CLEAR OPENING OF 5.0 SQUARE FEET IS ALLOWED. (CBC SEC. 1029.2)
  - b. MINIMUM NET CLEAR HEIGHT OF 24 INCHES. (CBC SEC. 1029.2.1)
  - c. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES. (CBC SEC. 1029.2.1)
  - d. THEN BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR. (CBC SEC. 1029.3)
3. ALL GLAZING IN NEW WINDOWS/DOORS SHALL BE DUAL GLAZE.
4. ALL GLASS WINDOWS WITH VERTICAL EDGE OF GLAZING WITHIN 24" OF CLOSED DOOR SHALL BE TEMPERED GLASS.
5. DOORS WITH GLAZING SHALL HAVE TEMPERED GLASS.
6. ALL NEW AND REPLACEMENT WINDOWS SHALL HAVE A U-FACTOR OF .32 OR LESS.

**NEW WINDOW KEY**

UNIT	NEW	SIZE	TYPE	NOTE	EGRESS
A	NEW	3'-6" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
B	NEW	3'-6" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
<b>WINDOW REPLACEMENT LIST</b>					
C	NEW	3'-6" x 8'-9"	FIXED	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
D	NEW	2'-10" x 4'-3"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
E	NEW	2'-10" x 4'-3"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
F	NEW	4'-11" x 5'-11"	FIXED	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
G	NEW	3'-10" x 4'-3"	FIXED	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
H	NEW	3'-0" x 3'-3"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	EGRESS
I	NEW	1'-6" x 3'-0"	FIXED	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
J	NEW	3'-0" x 2'-10"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
K	NEW	1'-6" x 3'-0"	FIXED	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
L	NEW	3'-0" x 4'-3"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	EGRESS
M	NEW	3'-10" x 4'-3"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	

**DOOR KEY**

UNIT	NEW	EXISTING	NEW	NEW	NEW	SIZE	TYPE	NOTE
1	NEW					10'-6" x 7'-0"	BIFOLD	NEW 10'-6" x 7'-0" SIERRA PACIFIC BIFOLD WOOD DOOR
2		EXISTING				3'-0" x 6'-8"	ENTRY	
3			NEW			2'-8" x 6'-8"	BIFOLD	SOLID PANEL CLOSET DOOR
4			NEW			5'-6" x 6'-8"	BIFOLD	SOLID PANEL CLOSET DOOR

**FINISH KEY**

ROOM	WALLS	CEILING	FLOOR	NOTES
KITCHEN	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	WIDE PLANK OAK FLOOR	36" HIGH WOOD WAINSCOTING AT EXTERIOR WALLS
FIRST FLOOR HALL	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	WIDE PLANK OAK FLOOR	
STAIRS	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	WIDE PLANK OAK FLOOR	
DECK			54 X 6 BATU DECKING	

**KEY**

- = EXISTING EXTERIOR 2X4 STUD WALL, 16" O.C., W/ 1/2" PLY, MOISTURE BARRIER AND CEMENT SIDING ON EXTERIOR
- = EXISTING INTERIOR 2X4 STUD WALL, 16" O.C. W/ PLASTER
- = NEW EXTERIOR 2X4 STUD WALL, 16" O.C., W/ 1/2" PLY, MOISTURE BARRIER, 5/8" GYPSUM PLASTER INTERIOR & WOOD SIDING EXTERIOR
- = NEW INTERIOR 2X4 STUD WALL, 16" O.C. W/ 5/8" GYPSUM PLASTER
- = HEAT RETURN AIR
- = HEAT SUPPLY

**ART OF BUILDING**  
 DESIGN • CONSTRUCTION • MANAGEMENT  
 1760 SOLANO AVE. #209-B  
 BERKELEY, CA 94707  
 TEL/FAX: (510) 841-1365  
 www.artofbuilding.com

**MORGAN RATHKE RESIDENCE**  
 1022 EVELYN AVENUE, ALBANY, CA. 94706

NO. OF ISSUES AND REVISIONS

1 03/25/2016 PLANNING APPLICATION

© Copyright 2016, ART OF BUILDING

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.

**REVISED FIRST FLOOR PLAN**

PROJECT NAME: MORGAN RATHKE RESIDENCE

BY: B.M.

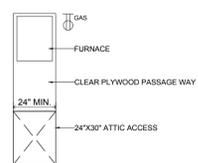
REVIEWER: S.P.

DATE: 03/25/2016

SCALE: AS SHOWN



**A3**



PLAN  
ATTIC FURNACE N.T.S.

GENERAL NOTES

1. ALL GYPSUM PLASTER WALL AND CEILING TO BE SMOOTH LEVEL 5 FINISH.
2. ALL CEILINGS TO BE PAINTED WITH LATEX FLAT PAINT.
3. ALL COLORS TO BE DETERMINED ON SITE.

SMOKE DETECTORS AND CARBON MONOXIDE ALARMS

1. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE SPACES. (CBC SEC. R314)
2. CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S), ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS WHEN AN EXISTING DWELLING HAS ATTACHED GARAGES OR FUEL BURNING APPLIANCES. (CBC SEC. R315)

TITLE 24 ENERGY REQUIREMENTS

1. ALL EXTERIOR WALL/FLOOR/ROOF FRAMING SPACES OPENED DURING THE COURSE OF REMODEL SHALL BE INSULATED WITH A MINIMUM OF R-13 (WALL), R-19 (FLOOR) AND R-30 (ROOF) INSULATION.
2. ALL NEW AND REPLACEMENT FENESTRATION WITH A GLAZED AREA OF MORE THAN ONE-HALF OF THE DOOR AREA SHALL HAVE A U-FACTOR OF .40 OR LESS.

PLUMBING NOTES

1. ALL RESIDENTIAL BUILDINGS UNDERGOING PERMIT ALTERATION, ADDITIONS, OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES.
2. WATER CLOSETS SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM.
3. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM, MEASURED AT 80 PSI.
4. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM, MEASURED AT 60 PSI.

BATHROOM NOTES

1. SHOWER COMPARTMENT SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THRESHOLD. THE AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN SEVENTY INCHES ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWER HEAD, SOAP DISHES, SHELVES AND SAFETY GRAB BARS OR RAILS. (CPC SEC. 411.7)
2. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22" UNOBSTRUCTED OPENING FOR EGRESS (SWING OUTWARD). (CPC SEC. 411.6)
3. SHOWER AND TUB-SHOWER WALLS SHALL BE PROVIDED WITH NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN SIX FEET ABOVE THE FLOOR. (CBC SEC. R307.2)
4. SHOWERS AND TUB-SHOWERS SHALL BE PROVIDED WITH PRESSURE-BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE CONTROLS. (CPC SEC. 418.0)
5. SAFETY GLAZING SHALL BE PROVIDED IN WALLS ENCLOSING TUBS/SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE. (CBC SEC. R308.4, ITEM 5)
6. WATER CLOSETS SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM.
7. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM, MEASURED AT 80 PSI.
8. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM, MEASURED AT 60 PSI.

WINDOW NOTES

1. WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE AT A HEIGHT NOT LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW A PASSAGE OF A 4-INCH DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 36 INCHES OF THE FINISHED FLOOR. (CBC SEC. 1013.8)
2. EMERGENCY ESCAPE AND RESCUE WINDOWS OR DOORS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
  - a. A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, WHERE THE CLEAR OPENING IS LESS THAN 44 INCHES FROM GRADE, A CLEAR OPENING OF 5.0 SQUARE FEET IS ALLOWED. (CBC SEC. 1029.2)
  - b. MINIMUM NET CLEAR HEIGHT OF 24 INCHES. (CBC SEC. 1029.2.1)
  - c. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES. (CBC SEC. 1029.2.1)
  - d. THEN BOTTOM OF THE CLEAR OPENING SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR. (CBC SEC. 1029.3)
3. ALL GLAZING IN NEW WINDOWS/DOORS SHALL BE DUAL GLAZE.
4. ALL GLASS WINDOWS WITH VERTICAL EDGE OF GLAZING WITHIN 24" OF CLOSED DOOR SHALL BE TEMPERED GLASS.
5. DOORS WITH GLAZING SHALL HAVE TEMPERED GLASS.
6. ALL NEW AND REPLACEMENT WINDOWS SHALL HAVE A U-FACTOR OF .32 OR LESS.

WINDOW KEY

UNIT	SIZE	TYPE	NOTE	EGRESS
N	4'-0" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	EGRESS
O	4'-0" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
P	2'-3" x 3'-2"	FIXED	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
Q	2'-3" x 3'-2"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
R	2'-3" x 3'-2"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
S	3'-2" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
T	4'-0" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
U	4'-0" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	EGRESS
V	4'-6" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
W	4'-6" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	
X	4'-6" x 4'-6"	CASEMENT	NEW INTEGRITY MARVIN WOOD CLAD, DUAL GLAZE WINDOW	

DOOR KEY

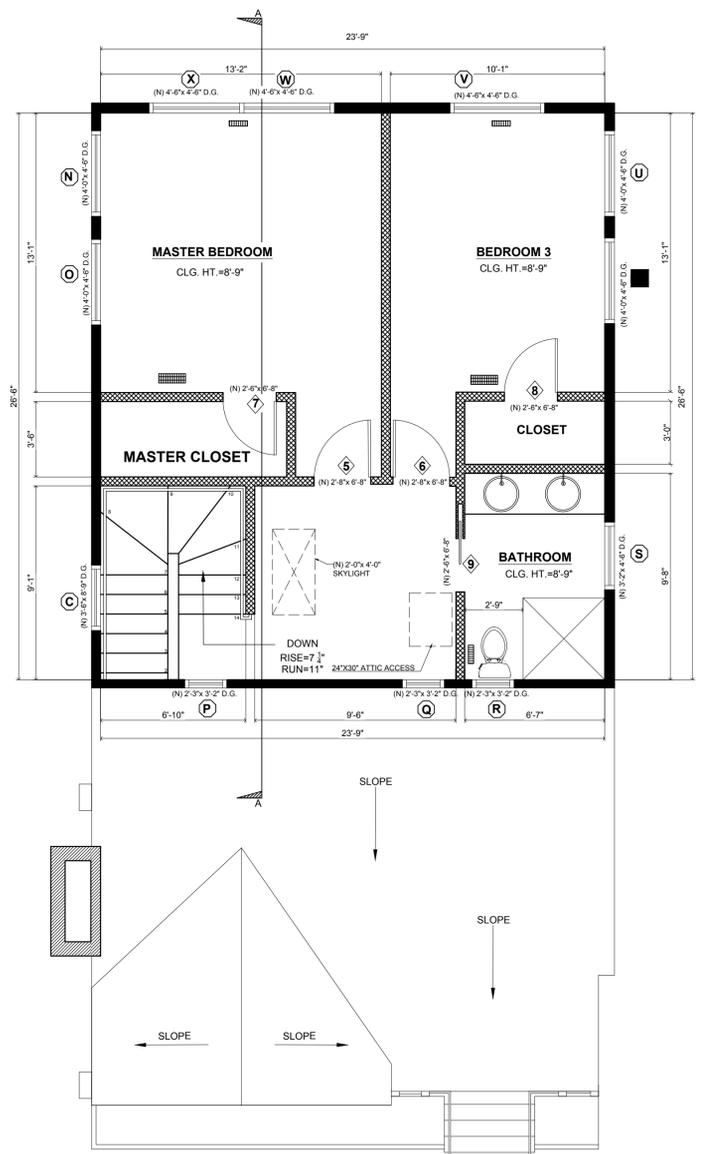
UNIT	SIZE	TYPE	NOTE
5	2'-8" x 6'-8"	SINGLE	SOLID CORE DOOR
6	2'-8" x 6'-8"	SINGLE	SOLID CORE DOOR
7	2'-8" x 6'-8"	SINGLE	SOLID CORE DOOR
8	2'-8" x 6'-8"	SINGLE	SOLID CORE DOOR
9	2'-8" x 6'-8"	POCKET	SOLID CORE DOOR

FINISH KEY

ROOM	WALLS	CEILING	FLOOR	NOTES
SECOND FLOOR HALL	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	WIDE PLANK OAK FLOOR	
STAIRS	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	WIDE PLANK OAK FLOOR	
SECOND FLOOR MASTER BEDROOM	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	WIDE PLANK OAK FLOOR	
SECOND FLOOR BEDROOM 3	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	WIDE PLANK OAK FLOOR	
SECOND FLOOR BATHROOM	5/8" GYPSUM SMOOTH, LEVEL FINISH	5/8" GYPSUM SMOOTH, LEVEL FINISH	CERAMIC TILE	CERAMIC TILE SHOWER WALL

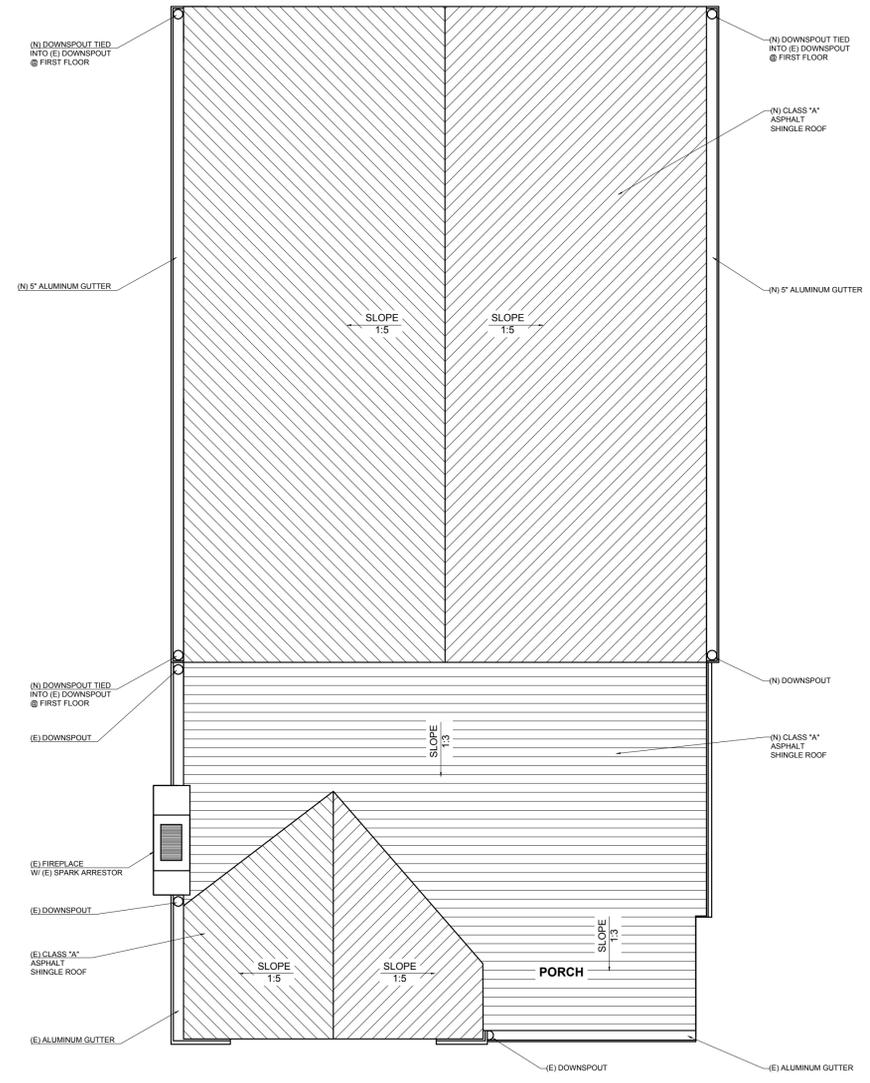
KEY

- NEW EXTERIOR 2X4 STUD WALL, 16" O.C., W/ 1/2" PLY, MOISTURE BARRIER, 5/8" GYPSUM PLASTER INTERIOR & WOOD SIDING EXTERIOR
- NEW INTERIOR 2X4 STUD WALL, 16" O.C. W/ 5/8" GYPSUM PLASTER
- HEAT RETURN AIR
- HEAT SUPPLY



REVISED SECOND FLOOR PLAN

1/4" = 1'-0"



ROOF PLAN

1/4" = 1'-0"

NO. OF ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1	03/25/2016	PLANNING APPLICATION

© Copyright 2016, ART OF BUILDING

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.

REVISED  
SECOND FLOOR  
AND  
ROOF PLAN

PROJECT NAME: MORGAN RATHKE RESIDENCE

BY: B.M.

REVIEWER: S.P.

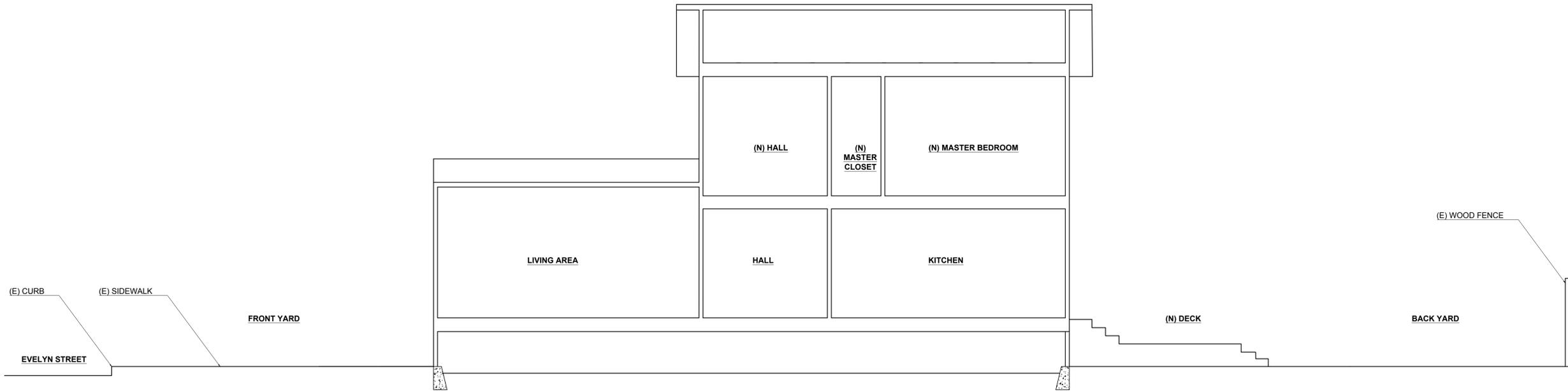
DATE: 03/25/2016

SCALE: AS SHOWN



A4

MORGAN RATHKE RESIDENCE  
 1022 EVELYN AVENUE, ALBANY, CA. 94706



NO. OF ISSUES AND REVISIONS

1 03/25/2016 PLANNING APPLICATION

© Copyright 2016, ART OF BUILDING

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.

BUILDING SECTION

PROJECT NAME: MORGAN RATHKE RESIDENCE

BY: B.M.

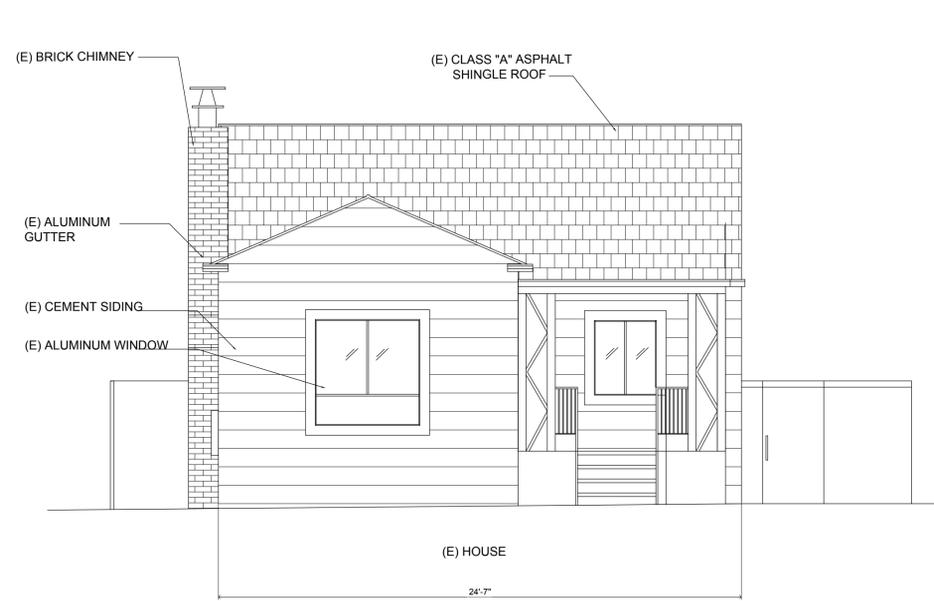
REVIEWER: S.P.

DATE: 03/25/2016

SCALE: AS SHOWN

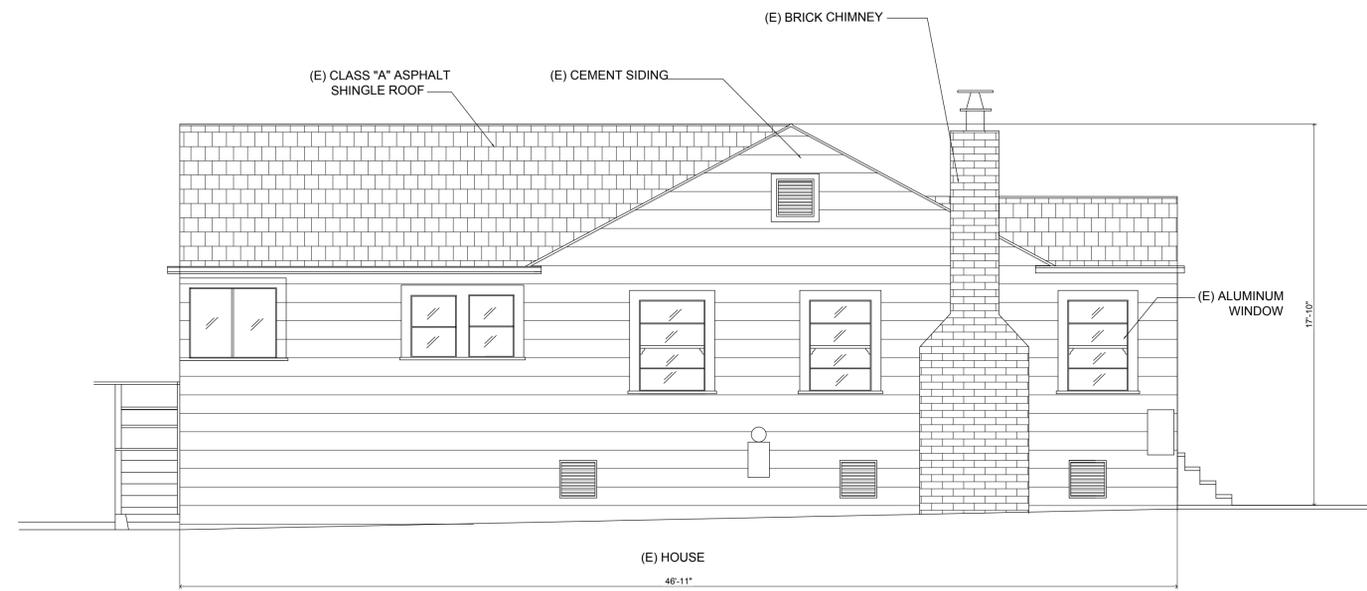
A5

MORGAN RATHKE RESIDENCE  
 1022 EVELYN AVENUE, ALBANY, CA. 94706



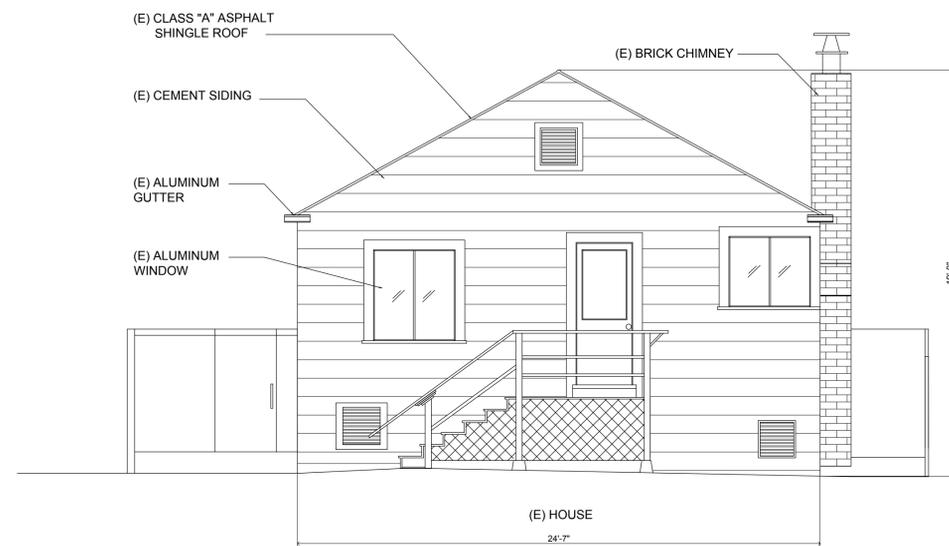
**EAST ELEVATION**

1/2" = 1'-0"



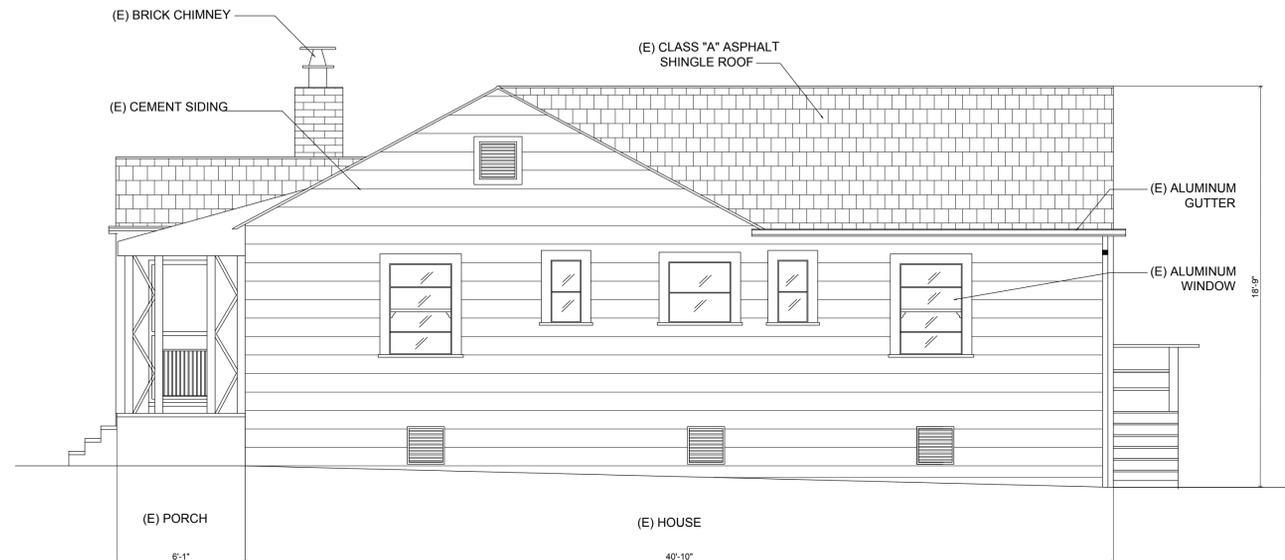
**SOUTH ELEVATION**

1/2" = 1'-0"



**WEST ELEVATION**

1/2" = 1'-0"



**NORTH ELEVATION**

1/2" = 1'-0"

NO. OF ISSUES AND REVISIONS

1 03/25/2016 PLANNING APPLICATION

EXISTING  
 EXTERIOR  
 ELEVATIONS

PROJECT NAME: MORGAN RATHKE  
 RESIDENCE

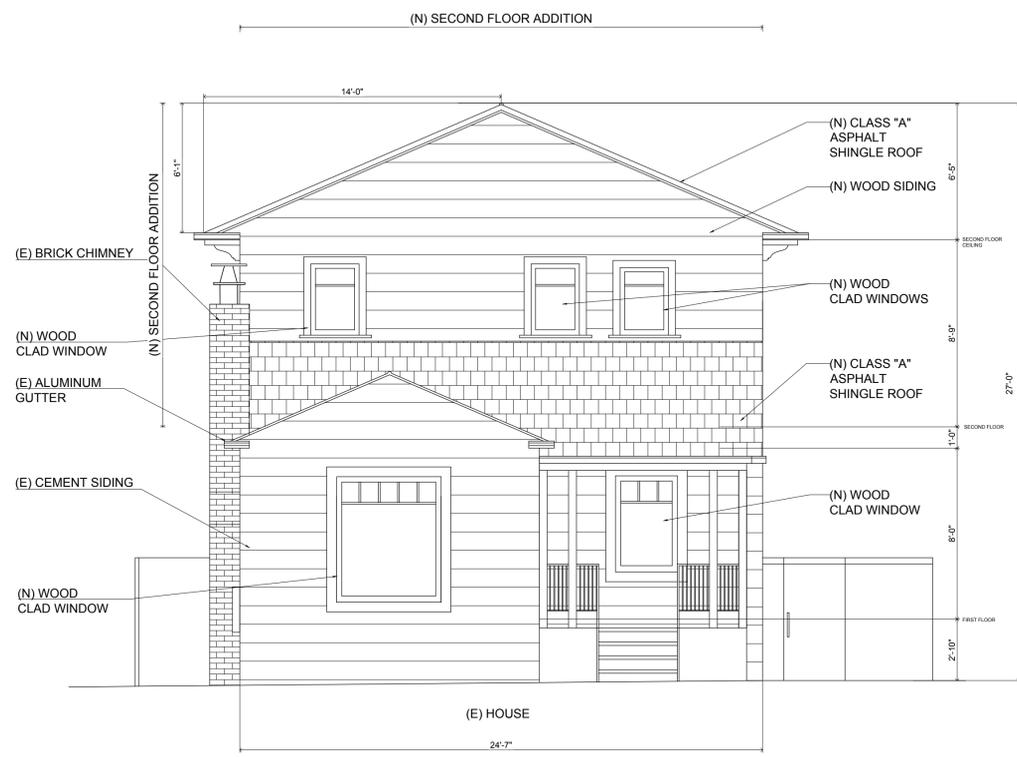
BY: S.T.

REVIEWER: S.P.

DATE: 03/25/2016

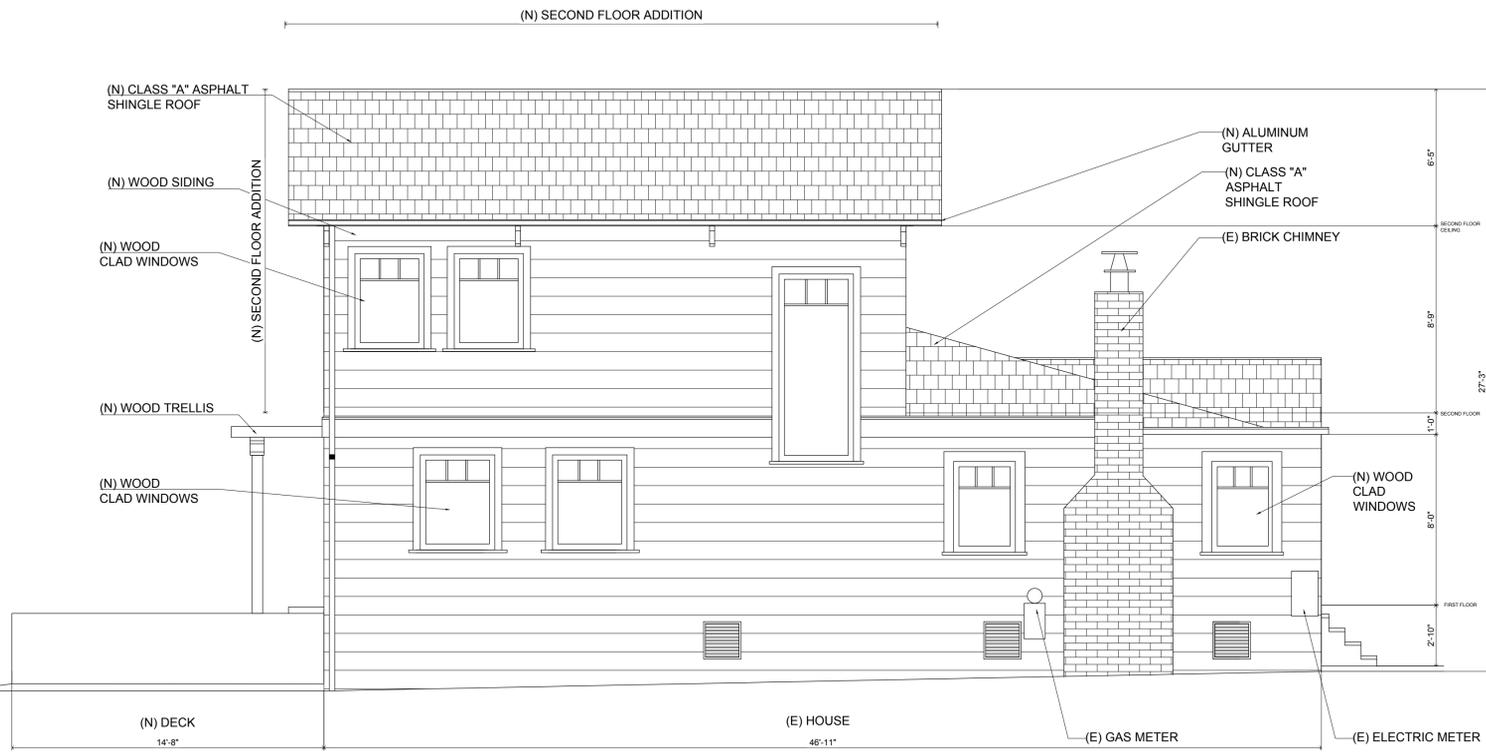
SCALE: AS SHOWN

A6



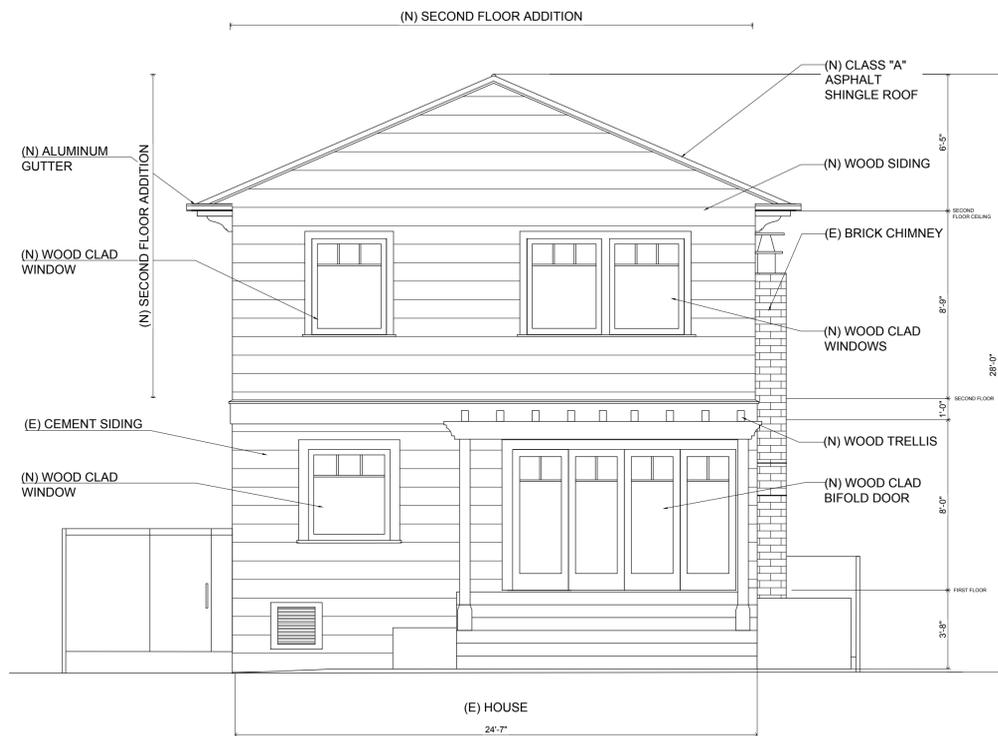
**EAST ELEVATION**

1/2" = 1'-0"



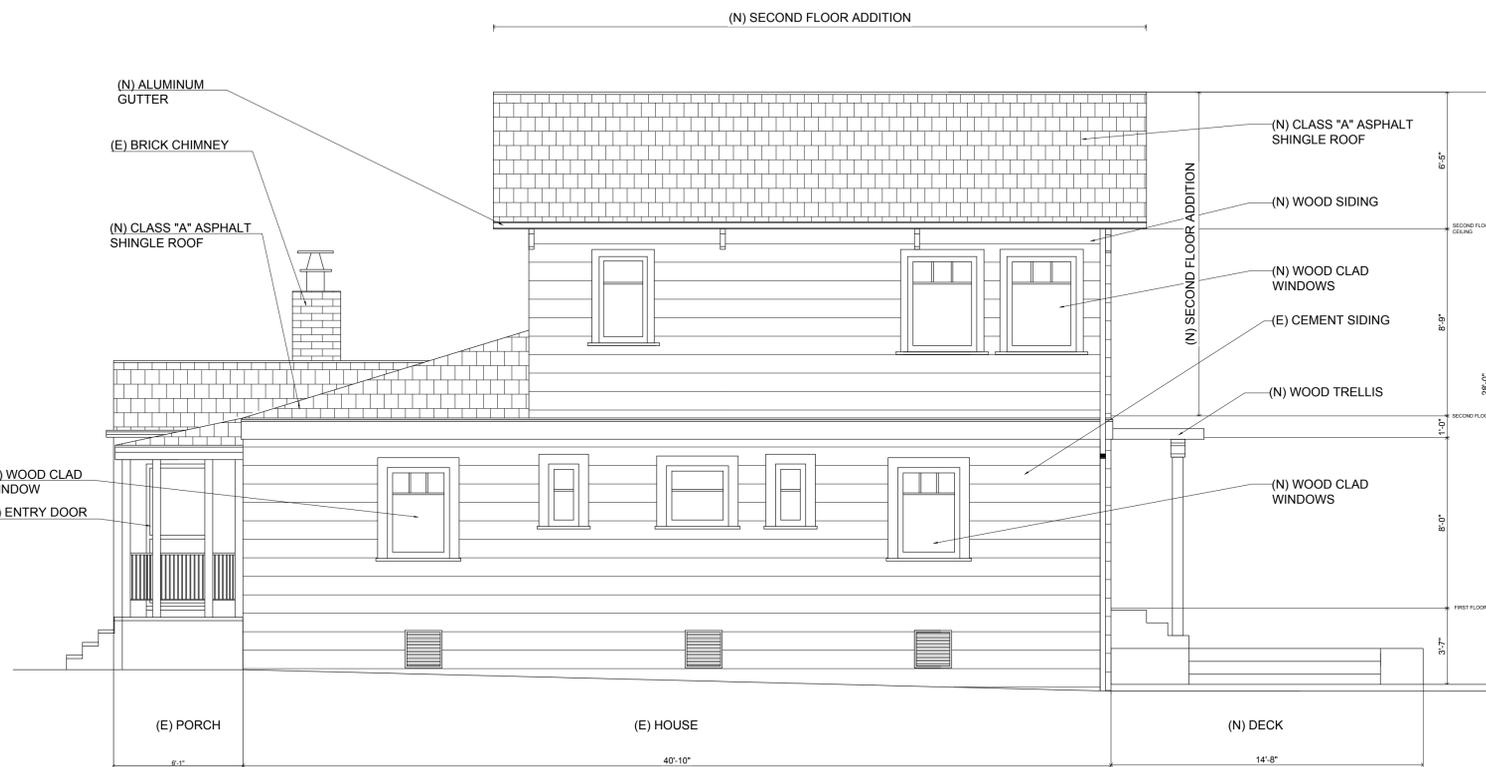
**SOUTH ELEVATION**

1/2" = 1'-0"



**WEST ELEVATION**

1/2" = 1'-0"



**NORTH ELEVATION**

1/2" = 1'-0"

NO. OF ISSUES AND REVISIONS

1 03/25/2016 PLANNING APPLICATION

PROJECT NAME: MORGAN RATHKE RESIDENCE

BY: S.T.

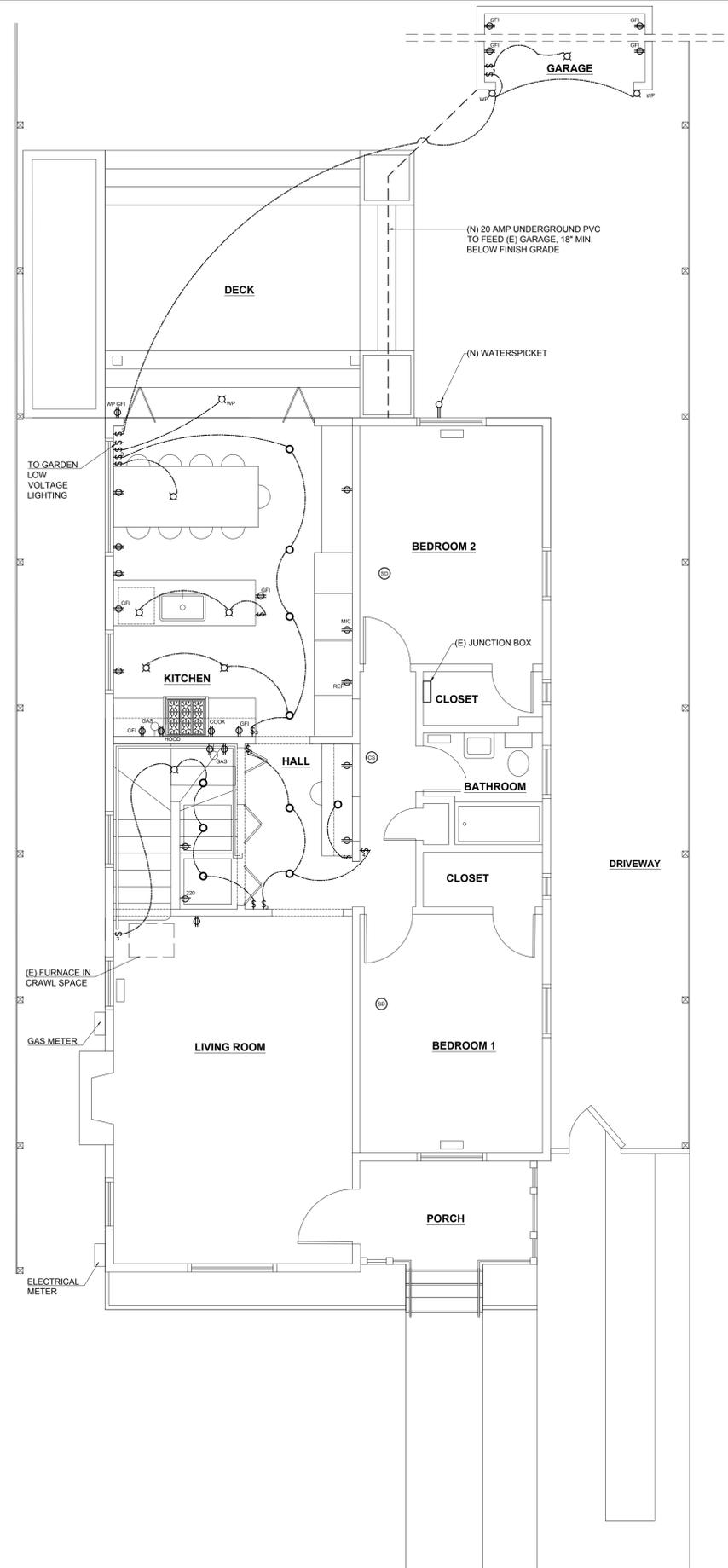
REVIEWER: S.P.

DATE: 03/25/2016

SCALE: AS SHOWN

SHEET 8 OF 10

MORGAN RATHKE RESIDENCE  
 1022 EVELYN AVENUE, ALBANY, CA. 94706



ELECTRICAL KEY

- = 110V GFI RECEPTACLE, WALL MOUNTED, 15A UON
- = 110V WATERPROOF GFI RECEPTACLE, WALL MOUNTED, 15A UON
- = 110V DUPLEX RECEPTACLE, WALL MOUNTED, 15A UON
- = 220 V RECEPTACLE
- = EXHAUST FAN
- = CEILING MOUNTED OR PENDANT HIGH EFFACACY LIGHT FIXTURE
- = WALL MOUNTED HIGH EFFACACY LIGHT FIXTURE
- = WATER PROOF HIGH EFFACACY LIGHT FIXTURE
- = RECESSED 5" LED LIGHT FIXTURE
- = UNDERCOUNTER LED LIGHT FIXTURE
- = LIGHT SWITCH, SINGLE POLE, TOGGLE, +48" MAX UON
- = 3 or 4 WAY SWITCH, +48" MAX UON
- = OCCUPANCY SENSOR
- = CARBON MONOXIDE & SMOKE DETECTOR
- = SMOKE DETECTOR
- = MOTION SENSOR
- = TELEPHONE
- = DOOR BELL

NO. OF ISSUES AND REVISIONS

1 03/25/2016 PLANNING APPLICATION

© Copyright 2016, ART OF BUILDING

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.

FIRST FLOOR  
 ELECTRICAL PLAN

PROJECT NAME: MORGAN RATHKE RESIDENCE

BY: B.M.

REVIEWER: S.P.

DATE: 03/25/2016

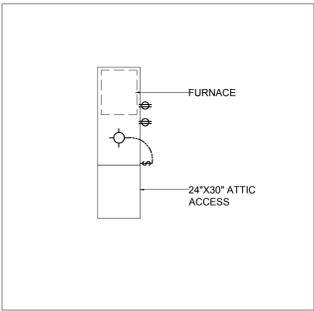
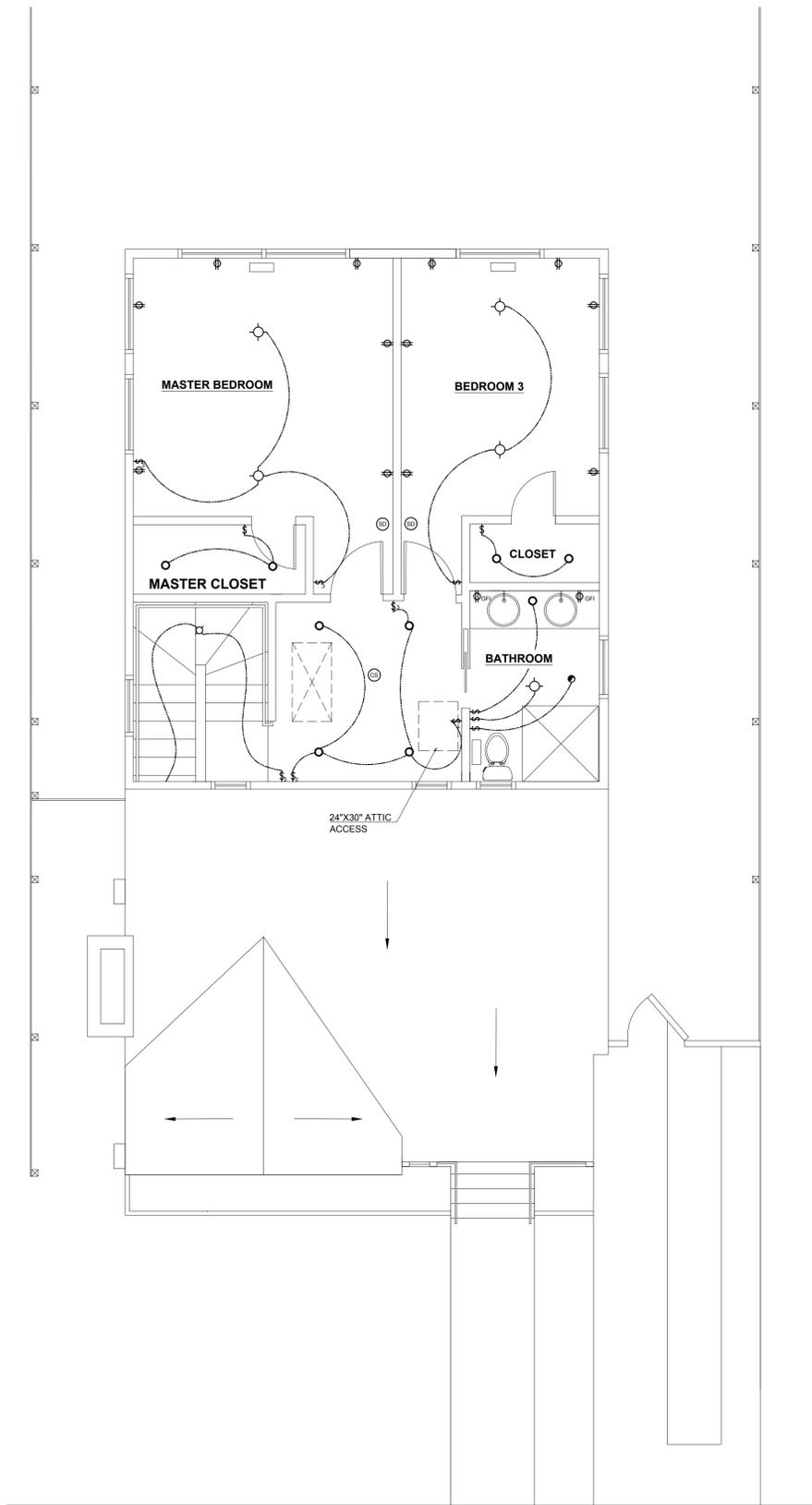
SCALE: AS SHOWN

FIRST FLOOR ELECTRICAL PLAN

1/8" = 1'-0"



E1



**ELECTRICAL PLAN**  
**ATTIC FURNACE ACCESS** N.T.S.

**ELECTRICAL KEY**

- = 110V GFI RECEPTACLE, WALL MOUNTED, 15A UON
- = 110V WATERPROOF GFI RECEPTACLE, WALL MOUNTED, 15A UON
- = 110V DUPLEX RECEPTACLE, WALL MOUNTED, 15A UON
- = 220 V RECEPTACLE
- = EXHAUST FAN
- = CEILING MOUNTED OR PENDANT HIGH EFFACACY LIGHT FIXTURE
- = WALL MOUNTED HIGH EFFACACY LIGHT FIXTURE
- = WATER PROOF HIGH EFFACACY LIGHT FIXTURE
- = RECESSED 5" LED LIGHT FIXTURE
- = UNDERCOUNTER LED LIGHT FIXTURE
- = LIGHT SWITCH, SINGLE POLE, TOGGLE, +48" MAX UON
- = 3 or 4 WAY SWITCH, +48" MAX UON
- = OCCUPANCY SENSOR
- = CARBON MONOXIDE & SMOKE DETECTOR
- = SMOKE DETECTOR
- = MOTION SENSOR
- = TELEPHONE
- = DOOR BELL



NO. OF ISSUES AND REVISIONS
1 03/25/2016 PLANNING APPLICATION
© Copyright 2016, ART OF BUILDING
All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by ART OF BUILDING and were created for use on, and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or be disclosed to any person whatsoever without the written permission of ART OF BUILDING.
<b>SECOND FLOOR ELECTRICAL PLAN</b>
PROJECT NAME: MORGAN RATHKE RESIDENCE
BY: B.M.
REVIEWER: S.P.
DATE: 03/25/2016
SCALE: AS SHOWN