

Planning Application #: 16-033

Date Received: 4/5/16
Fee Paid: \$3,569
Receipt #: 94299 CUP/PE
\$ 94300 Sign

City of Albany

PLANNING APPLICATION FORM NON-RESIDENTIAL

Please complete the following application to initiate City review of your application. Please be aware that staff may have additional application requirements. For projects requiring Planning and Zoning Commission review, please schedule an appointment with Planning Division staff. The Community Development Department office is open to accept applications Monday, 8:30 AM to 7:00 PM, Tuesday through Thursday 8:30 AM to 5:00 PM, and Friday 8:30 AM to 12:30 PM (closed Noon - 1PM, Mon. - Thu.) at 1000 San Pablo Avenue, Albany, CA 94706 (510) 528-5760.

Fee Schedule (FY 2015-2016)

<input checked="" type="checkbox"/> Design Review*	\$2,072/ Admin. \$1,101
<input type="checkbox"/> Parking Exceptions/Reductions - see separate handout*	\$Actual Cost/Min \$2,072
<input checked="" type="checkbox"/> Sign Permit	\$1,479/ \$461 Admin.
<input checked="" type="checkbox"/> Conditional Use Permit (major)*	\$Actual Cost/Min \$2,072
<input type="checkbox"/> Conditional Use Permit (minor)*	\$1,101
<input type="checkbox"/> Temporary/Seasonal Conditional Use Permit*	\$461
<input type="checkbox"/> Lot Line Adjustment*	\$Actual Cost/Min \$1,101
<input type="checkbox"/> Parcel/Subdivision Map; Planned Unit Development; Condo Conversion*	\$3,357
<input type="checkbox"/> Variance*	\$2,072
<input type="checkbox"/> Zoning Clearance Wireless	\$1,101
<input type="checkbox"/> Other(s): _____	\$ _____

*When obtaining more than one planning approval, the full amount for the highest fee will apply and 1/2 fee will be charged for any other ones.

****If applying for a Conditional Use Permit, please complete the Supplemental Questionnaire****

Job Site Address: <u>1499 Solano Avenue, Albany, CA 94706 925-</u>		Zoning District:
Property Owner(s) Name: <u>Randy + Kathy Bodhaine</u>	Phone: <u>890.6492</u> Fax:	Email: <u>BODHAINE@COMCAST.NET</u>
Mailing Address: <u>P.O. Box 23366</u>	City: <u>PLEASANT HILL</u>	State/Zip: <u>CA 94523</u>
Applicant(s) Name (contact person): <u>Orangetheory Fitness, LLC /David Long</u>	Phone: <u>954-530-6903</u> Fax:	Email: <u>rellis@orangetheoryfitness.com</u>
Mailing Address: <u>1815 Cordova Street, Suite 206</u>	City: <u>Fort Lauderdale</u>	State/Zip: <u>Florida 33316</u>

PROJECT DESCRIPTION (Please attach plans)

Instructional Studios that offer specialized small group interval heart rate training with a maximum of 24 participants.
-illuminated channel letter sign

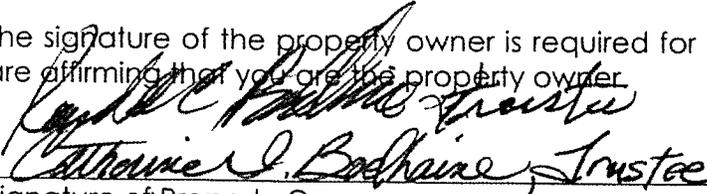
TERMS AND CONDITIONS OF APPLICATION

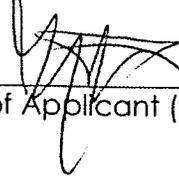
I, the undersigned owner (or authorized agent) of the property herein described, hereby make application for approval of the plans submitted and made part of this application in accordance with the provisions of the City's ordinances, and I hereby certify that the information given is true and correct to the best of my knowledge and belief.

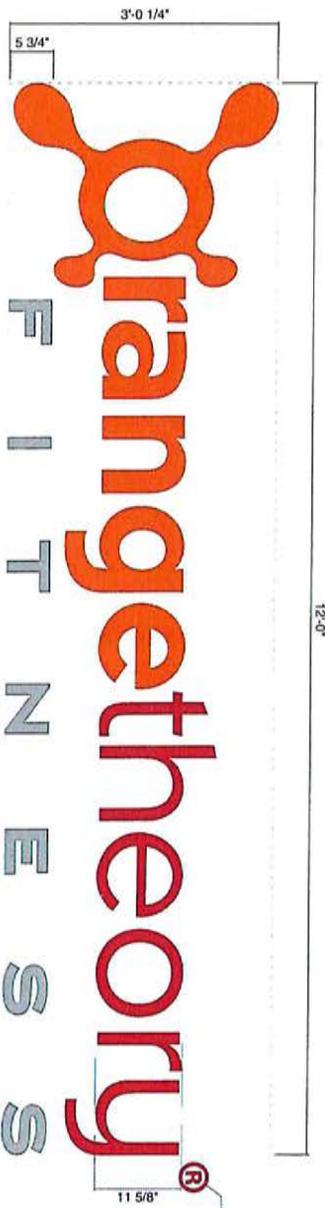
I understand that the requested approval is for my benefit (or that of my principal). Therefore, if the City grants the approval with or without conditions, and that action is challenged by a third party, I will be responsible for defending against this challenge. I therefore agree to accept this responsibility for defense at the request of the City and also agree to defend, indemnify and hold the City harmless from any costs, claims, penalties, fines, judgments, or liabilities arising from the approval, including without limitation, any award or attorney's fees that might result from the third party challenge.

For this purposes of this indemnity, the term "City" shall include the City of Albany, its officers, officials, employees, agents and representatives. For purposes of this indemnity, the term "challenge" means any legal or administrative action to dispute, contest, attack, set aside, limit, or modify the approval, project conditions, or any act upon which the approval is based, including any action alleging a failure to comply with the California Environmental Quality Act or other laws.

The signature of the property owner is required for all projects. By executing this form you are affirming that you are the property owner.


Signature of Property Owner 4/5/16
Date


Signature of Applicant (if different) 03/29/2016
Date



12'-0"

TRADEMARK NOT INCLUDED IN SIGN AREA

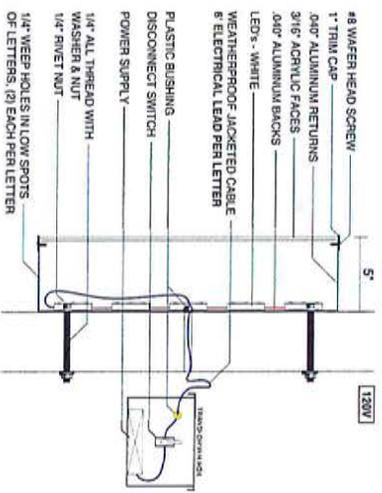
FACE-LIT INTERNALLY ILLUMINATED CHANNEL LETTERS - REMOTE POWER SUPPLY

(1) REQUIRED

36.3 SQ. FT.

STANDARD REQUIREMENTS FOR ALL SIGN TYPES
 SIGNS MUST BE INSTALLED ON A DEDICATED CIRCUIT AND IN ACCORDANCE WITH ALL LOCAL AND STATE ELECTRICAL CODES, INCLUDING PROPER GROUNDING AND BONDING.
 ALL AND MANUFACTURER'S ARE REQUIRED ON ALL SIGNS AND SIGN SECTIONS, AND ARE TO BE INSTALLED PRIOR TO MANUFACTURING.
 UNLESS OTHERWISE DIRECTED PRIOR TO MANUFACTURING.

- COLOR KEY**
- PAINT
 - RETURNS & TRIM CAP: PRE-FINISHED BLACK
 - ACRYLIC
 - WHITE
 - VINYL - TRANSLUCENT
 - 3M 3535-81 TANGERSINE
 - ARVEY PR 689-430-17/63307
 - CARDINAL RED
 - ORACOL 074 MIDDLE GREY



FACE-LIT CROSS SECTION DETAIL - REMOTE
 *INSTALLER TO VERIFY MOUNTING CONDITIONS AND ELECTRICAL REQUIREMENTS

EXISTING GOOSENECK LAMPS TO REMAIN



PHOTO OF FRONT ELEVATION SHOWS PROPOSED SIGNAGE. APPROX. SCALE: 1/8"=1'-0"

HAVE CAREFULLY REVIEWED AND HEREBY ACCEPT THE DRAWINGS AS SHOWN. I REALIZE THAT ANY CHANGES TO THESE DRAWINGS WILL BE AT MY OWN RISK. AFTER PRODUCTION MAY ALTER THE CONTRACT PRICE. ALL CHANGES MUST BE IN WRITING AND APPROVED BY BOTH PARTIES PRIOR TO PRODUCTION.

SIGNATURE & DATE

THE CUSTOM ARTWORK OBJECTED HEREBY IS FOR REPRESENTATIONAL PURPOSES ONLY AND MAY NOT EXACTLY MATCH THE COLORS OF THE MATERIALS PROVIDED FOR USAGE.



ELECTRIC SIGNS PRODUCED AT IMAGE WORKS CONFORM TO U.L. AS STANDARDS AND DISPLAY THE UNDERWRITERS LABORATORY LABEL.

ALL CHANGES PRIMARY ELECTRICAL CONNECTIONS BY OTHERS.

DATE	REVISION DESCRIPTION	DESIGNER
2.21.18	REVISED PAINT / COLORS	WMM
3.28.18	REVISED TO CHANNEL LETTERS	DM



1104 LEADBETTER ROAD ASHLAND, VA 23005
 PHONE: 804.798.5533 FAX: 804.798.5582

ORANGE THEORY FITNESS
 ALBANY, GA
 LARRY MEICE
 WMM
 3.18.16
 NOTED
 ORANGE THEORY-ALBANY-01
 HDU R3
 DRAWING CONVENTION
 11/09/15 Image Works (Rev) 1/16/15 (14/04/2015)

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY IMAGE WORKS AND COPYRIGHT LAWS APPLY. IF IT IS SUBMITTED FOR YOUR PERSONAL USE WITHIN CONNECTION WITH A PROJECT BEING PREPARED FOR YOU BY IMAGE WORKS, IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE OF YOUR ORGANIZATION, NOR IS IT TO BE USED, REPRODUCED OR EXHIBITED IN ANY FASHION.



The Orange Theory Fitness Franchises are instructional studios that offer Specialized Small Group Interval Heart Rate Training with a maximum of 24 participants at any one time and a footprint of between 2500 and 3200 square feet.

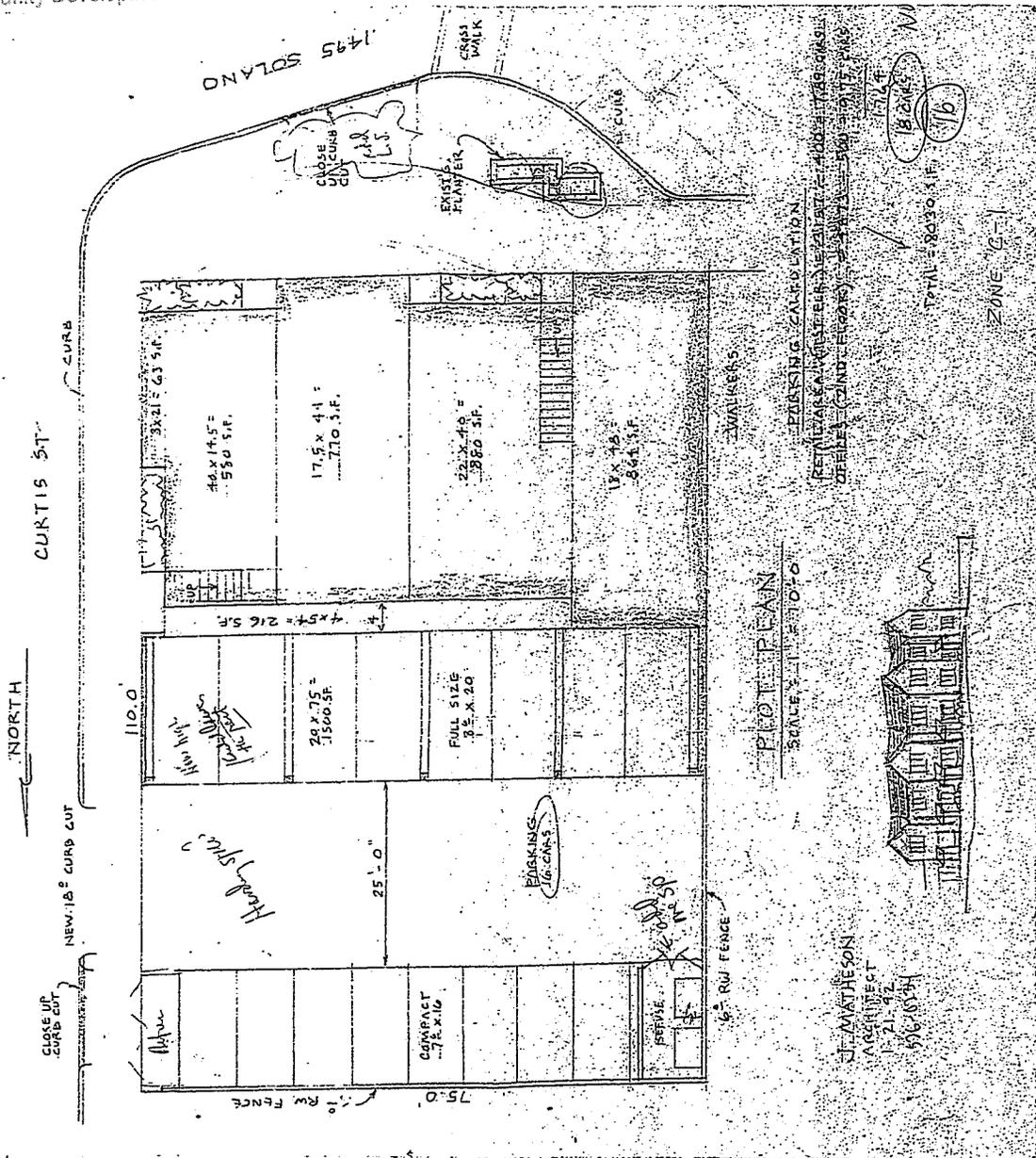
City of Albany

APR 05 2016

Community Development

APR 05 2016

Community Development



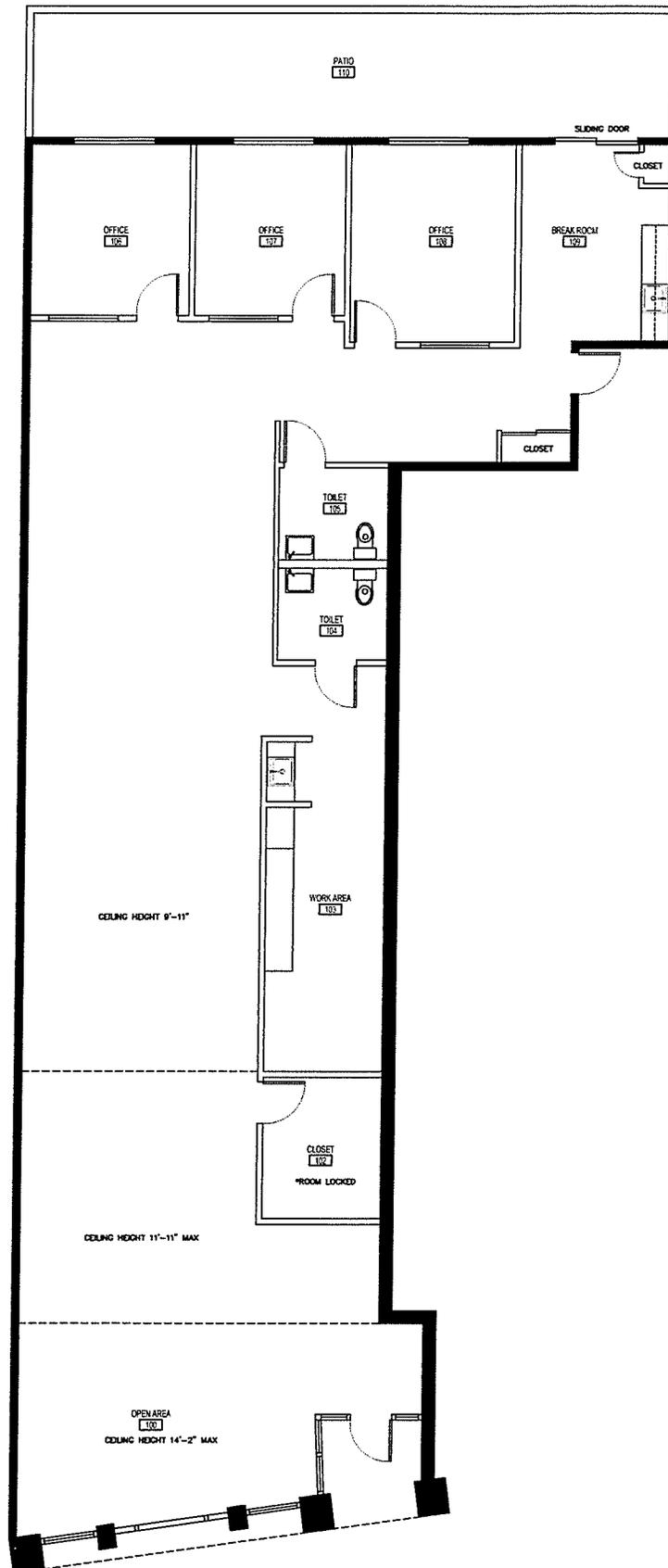
except article for new structure



ED - 1-22-12

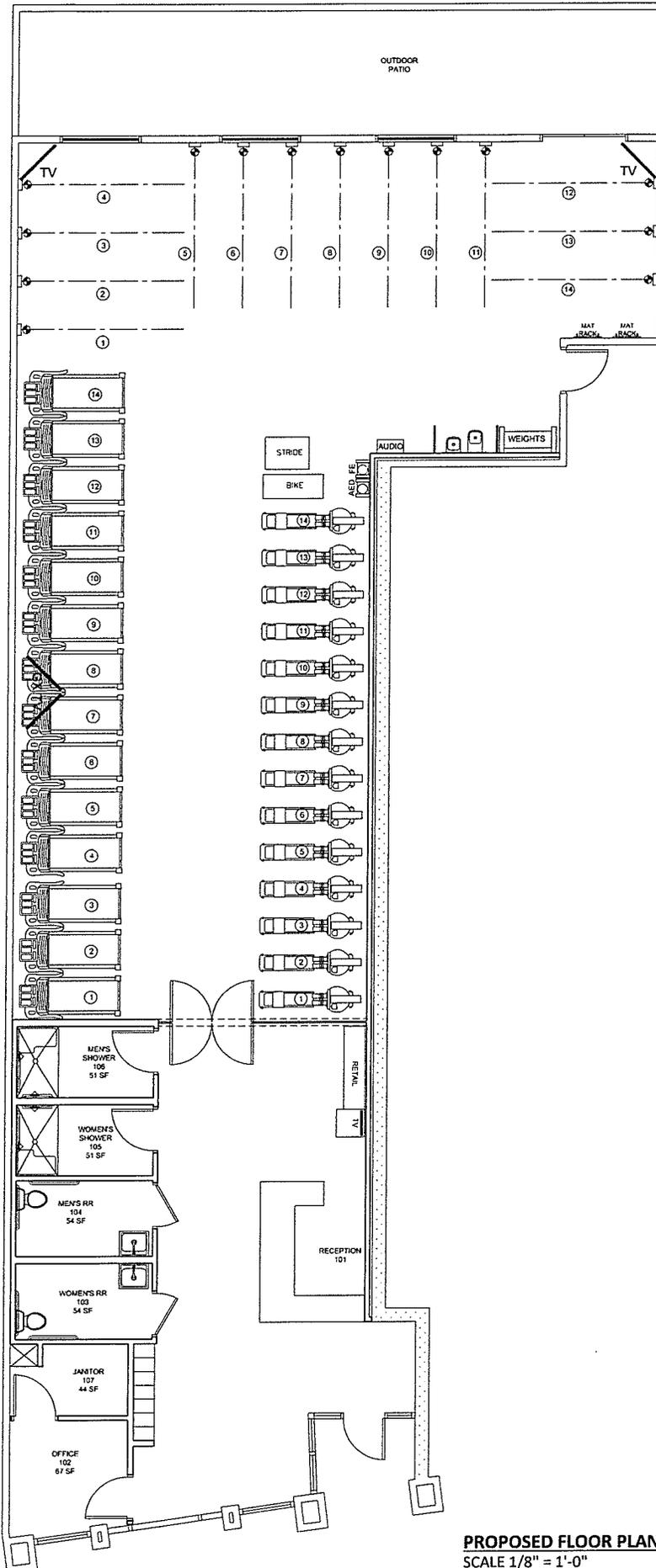
LET'S CHECK PARKING LEGHITS WITH RESPECT TO HALLWAY & STORAGE SPACE. - BRAD

PLEASE GIVE JOHN A CALL THURSDAY RE: HIS PROPOSED PARKING...



EXISTING CONDITION PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN
SCALE 1/8" = 1'-0"