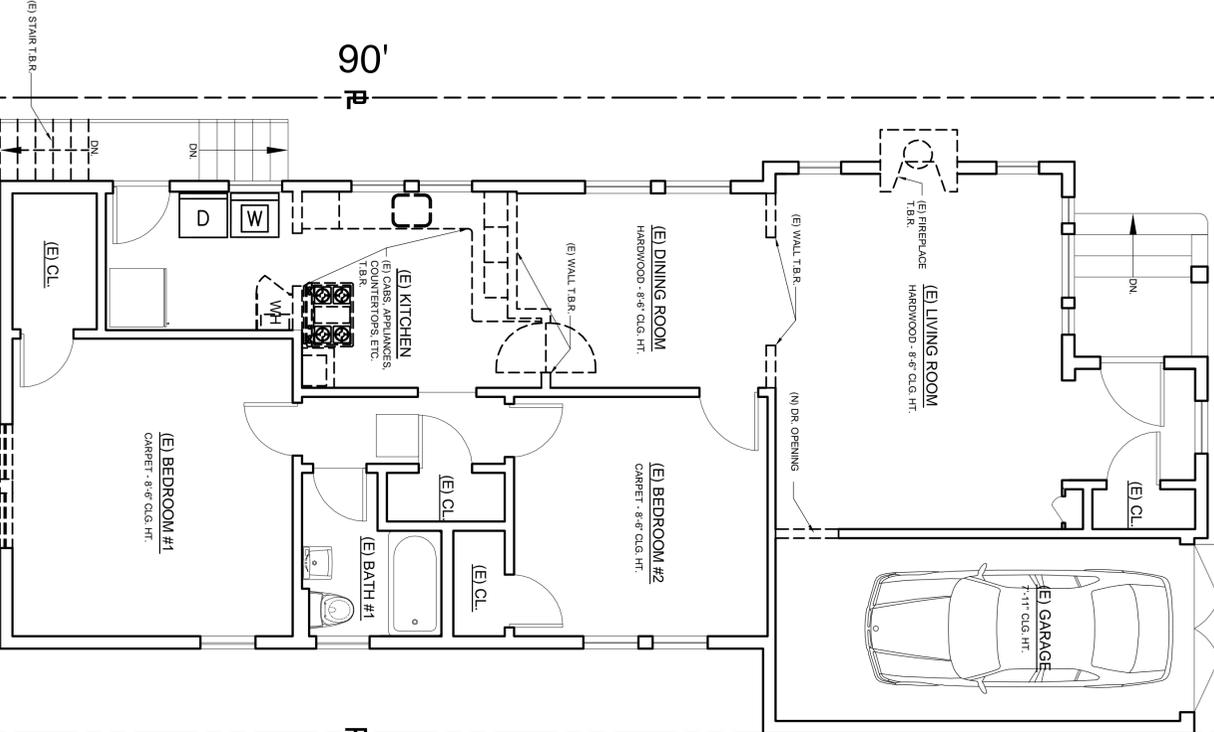


2 EXISTING ROOF PLAN



1 EXISTING FLOOR PLAN

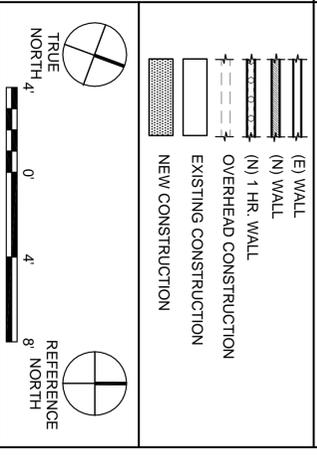
DEMOLITION NOTES

- A.** Contractor shall carefully check the stability of all elements of the building before doing any work on or demolition to the existing structure. The contractor shall brace or strengthen any portions of the structure that may be weakened by demolition or construction activities. The contractor shall be solely responsible for jobsite safety and preservation of existing construction not slated for demolition.
- B.** All demolition and removal work shall conform to all applicable codes and regulations, including 3.6.0, Chapter 44 and A.N.S.I. A10.6-1983 Safety Requirements for Demolition. The Contractor shall bear sole responsibility for identifying, testing and disposing of any hazardous materials encountered in the demolition process in accordance with all applicable codes, ordinances and regulations.
- C.** Contractor shall notify architect immediately any discrepancies between existing conditions and construction documents.
- D.** Removal of any item listed on the Demolition Schedule shall include all components associated with that item:
REMOVE DOOR includes door, hardware, trim, sill flashing, etc. unless otherwise noted). REMOVE EXTERIOR WALL includes framing, sheathing, exterior finish interior finish and foundation unless otherwise noted).
- E.** Contractor shall verify with owner or architect any item to be salvaged and reused. Damage to any such item will be the sole responsibility of the contractor.
- F.** Removal of wall finishes, floor finishes, and ceiling finishes shall include all material down to framing, exterior sheathing or subfloor.

REFERENCE NOTES

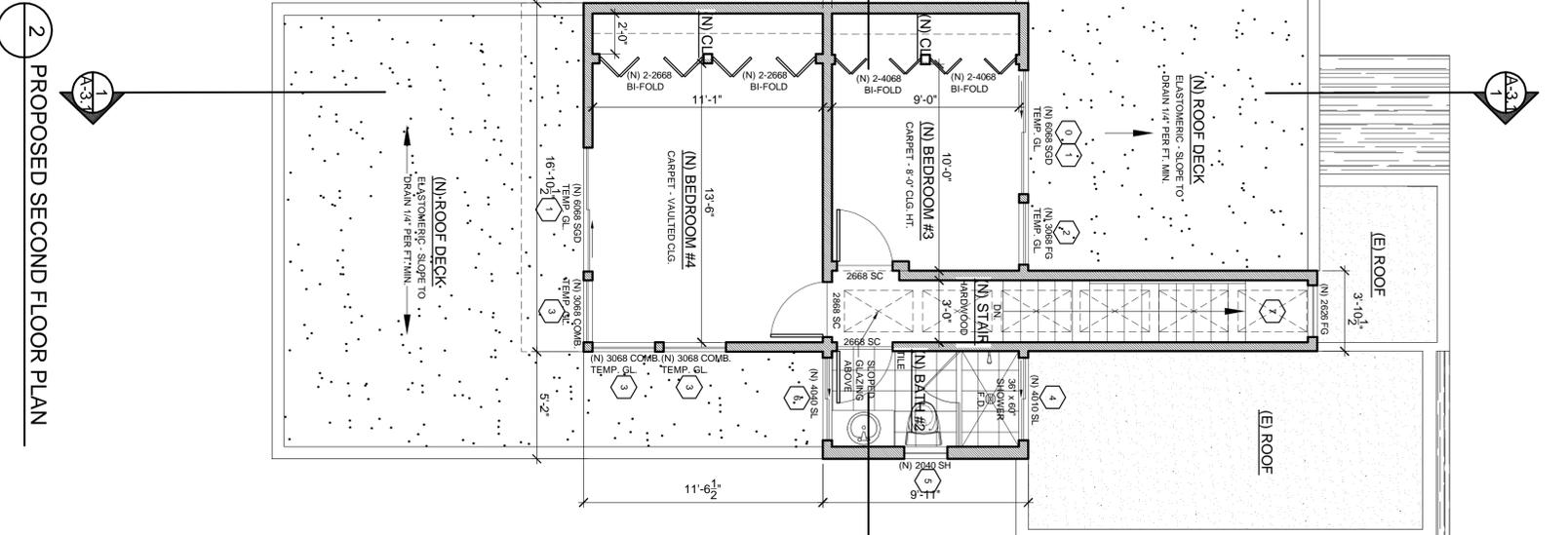
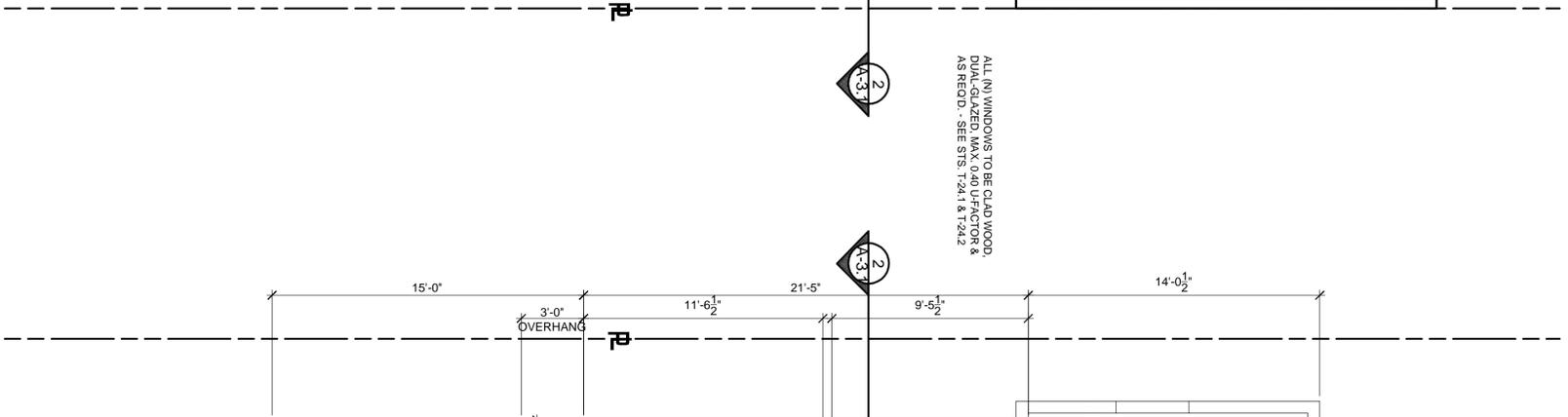
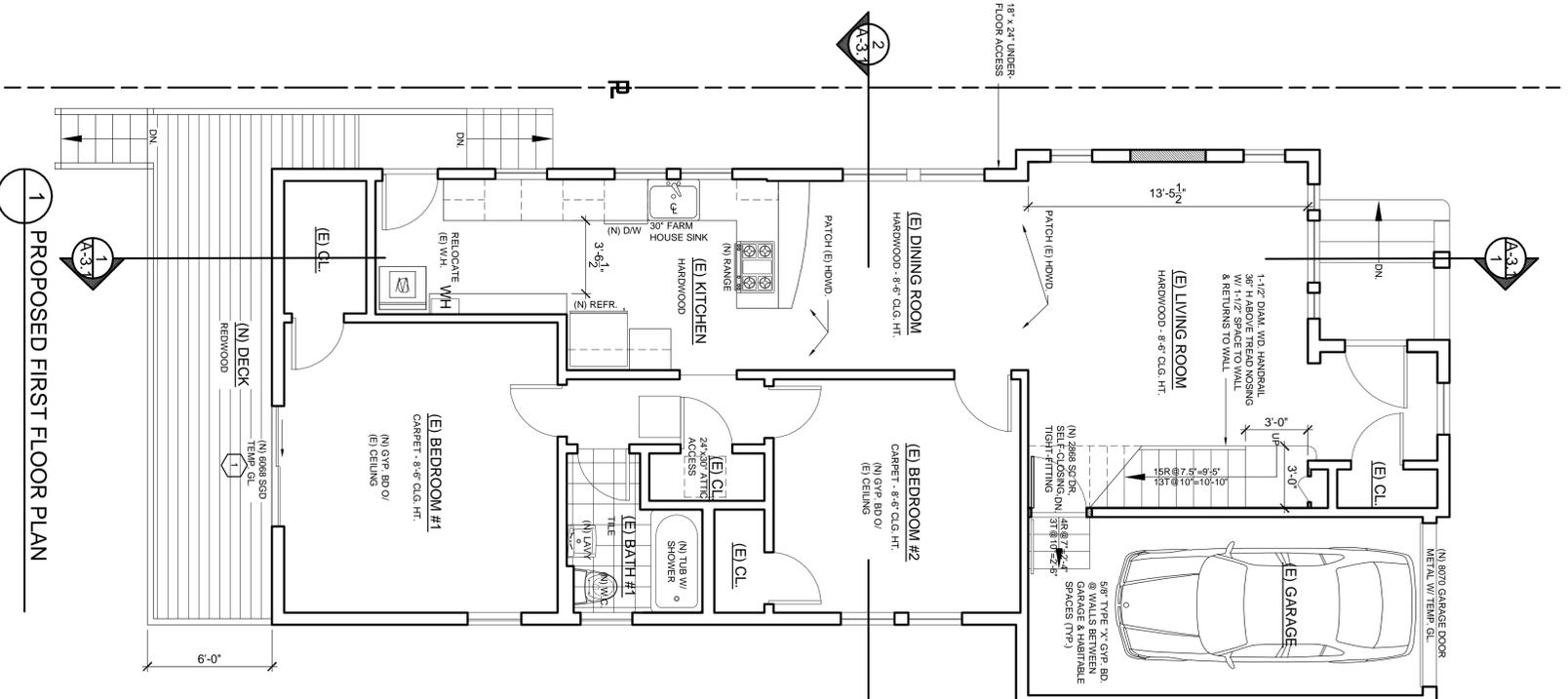
- THESE NOTES ARE FOR THIS SHEET ONLY
1. REMOVE WALL
 2. REMOVE DOOR
 3. REMOVE WINDOW
 4. REMOVE FLOORING
 5. REMOVE/RELOCATE FIXTURES & FINISHES
 6. REMOVE LIGHTING & ELECTRICAL

LEGEND



DRAWINGS: EXISTING & DEMO FLOOR PLAN	SECOND STORY ADDITION 1304 MARIN AVE. ALBANY, CA 94706 - APN 065-2644-002 RON & ARLENE FINGER, OWNERS		<div style="text-align: right;"> <p> L. A. PAUL & ASSOCIATES ARCHITECTURE/PLANNING 110 CARLOS DR. # A SAN RAFAEL, CA 94903 TEL: (415) 922-9282 FAX: (415) 922-3893 e-mail: l.a.paul@lpa.com LARRY A. PAUL, AIA </p> </div>
DRAWN: JJA CHECKED: LAP DATE: 11.12.15 SCALE: 1/4"=1'-0" JOB NO.: 2015.13 SHEET:	REVISIONS 02-22-16 PA BY	OF SHEETS <h1 style="font-size: 2em; margin: 0;">A-2.0</h1>	

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GENERAL NOTES

- A. ALL ANGLES OTHER THAN 90° SHALL BE 45° UNLESS OTHERWISE NOTED ON PLAN.
- B. STAIRWAYS SHALL COMPLY WITH CBC SEC. 1003.3.3.
- C. GLAZING SUBJECT TO HUMAN IMPACT SHALL BE SAFETY-TEMPERED AS PER CBC SEC. 2406.4.
- D. BEDROOM WINDOWS SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. PER CBC SEC. 1029 WITH NET CLEAR OPENABLE AREA OF 5.7 S.F., NET HEIGHT OF 24" MIN. AND NET WIDTH OF 20" MIN. AND SILL HEIGHT >4" ABOVE FIN FLOOR.
- E. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AT CONDITIONED SPACES (MIN) PROVIDE WEATHER-RESISTIVE BARRIER AT ALL EXTERIOR WALLS PER CBC SEC. 1402.1.

REFERENCE NOTES

- G. PROVIDE UNDER-FLOOR VENTILATION BY OPENINGS INTO THE UNDER FLOOR AREA WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER-FLOOR AREA AND SHALL BE AS CLOSE TO CORNERS AS PRACTICAL AND PROVIDE CROSS VENTILATION AT AT LEAST TWO APPROXIMATELY OPPOSITE SIDES. CBC SEC. 2306.7.
- H. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM AT 3 FEET FROM THE PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, KITCHEN HOOD, BATH AND UTILITY FANS, ETC.). MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS. CMC 504.60.
- I. SMOKE DETECTORS SHALL BE INSTALLED IN ALL NEW AND EXISTING BEDROOMS AND HALLWAYS ACCESSING SLEEPING ROOMS AND ON EACH STORY AND SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS IN ACCORDANCE WITH CBC 310.9.1, 310.9.1.2, 310.9.1.3, 310.9.1.4, 310.9.1.5. HARD-WIRE REQUIRED EXCEPT IN EXISTING CONSTRUCTION NEED ONLY BATTERY POWERED.

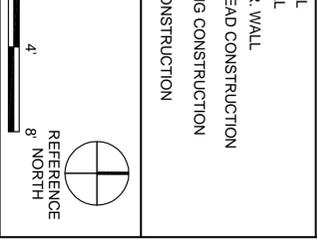
REFERENCE NOTES

- 1. COUNTERTOP W/ LAVATORY & CABINET
- 2. LOW-FLOW TOILET W/ MAX. 1.28 GAL. PER FLUSH
- 3. 3/2" WIDE X 60" LONG PORCELAIN TUB
- 4. FRAMELESS ENCLOSURE W/ CLEAR TEMPERED GLASS
- 5. MTL. TRANSITION STRIP AT FLOOR MATERIAL CHANGE
- 6. 12" X 36" STAIN GRADE WOOD SHELVES
- 7. SUSPEND FROM CEILING W/ S. S. RODS
- 8. STAINLESS STEEL KITCHEN SINK W/ DISPOSAL
- 9. LINE OF WALL CABINETS ABOVE
- 10. RANGE W/ HOOD MIN. 30" ABOVE - VENT TO EXTERIOR PER CODE
- 11. REFRIGERATOR W/ WATER LINE FOR ICE MAKER
- 12. LINE OF FLOOR ABOVE
- 13. GAS WATER HEATER - VENT TO ROOF PER CODE
- 14. GAS FURNACE - VENT TO ROOF PER CODE
- 15. DECK 30" MAX. ABOVE GRADE (NO GUARDRAIL REQ'D.)
- 16. WOOD DECKING TO MATCH EXISTING

REFERENCE NOTES

- 17. MTL. THRESHOLD WITH FULL WEATHER STRIPPING AROUND DOOR
- 18. SLIDING MIRRORED CLOSET DOORS
- 19. 5 ADJUSTABLE UTILITY SHELVES
- 20. LINE OF SHELF AND POLE ABOVE
- 21. COMBINATION CARBON MONOXIDE & SMOKE DETECTORS - HARD-WIRE REQUIRED IN NEW CONSTRUCTION, BATTERY POWERED IN EXISTING CONSTRUCTION
- 22. (N) REDWOOD POST
- 23. REDWOOD STEPS & LANDING (7-3/4" MAX. RISER, 10" MIN. TREAD)
- 24. CLASS 'A' COMPOSITION SHINGLES OVER ROOFING FELT
- 25. GALV. SHEET METAL FLASHING AT ALL HIPS, VALLEYS, PENETRATIONS, ROOF-TO-WALL INTERSECTIONS AND CRICKETS
- 26. 3" GSM GUTTERS & DOWNSPOUTS - DRAIN AWAY FROM HOUSE

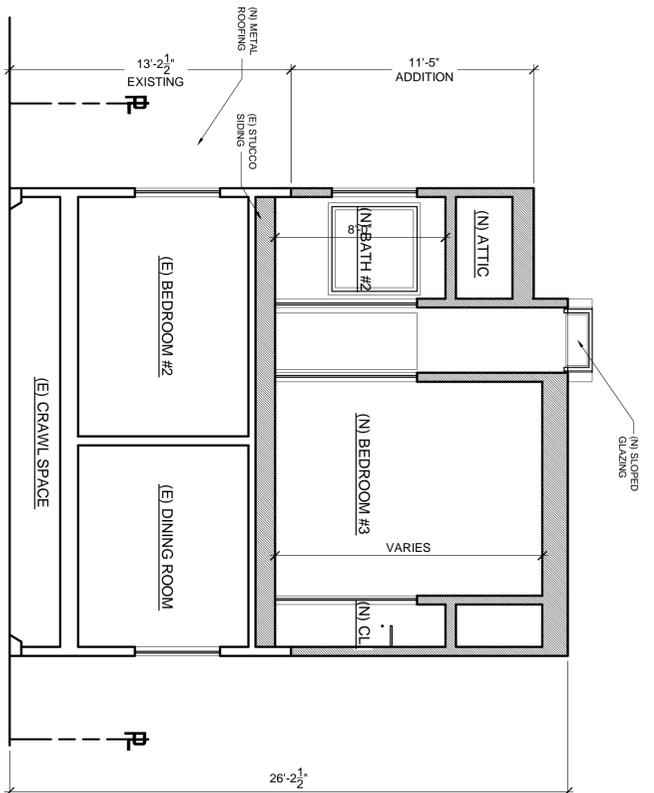
LEGEND



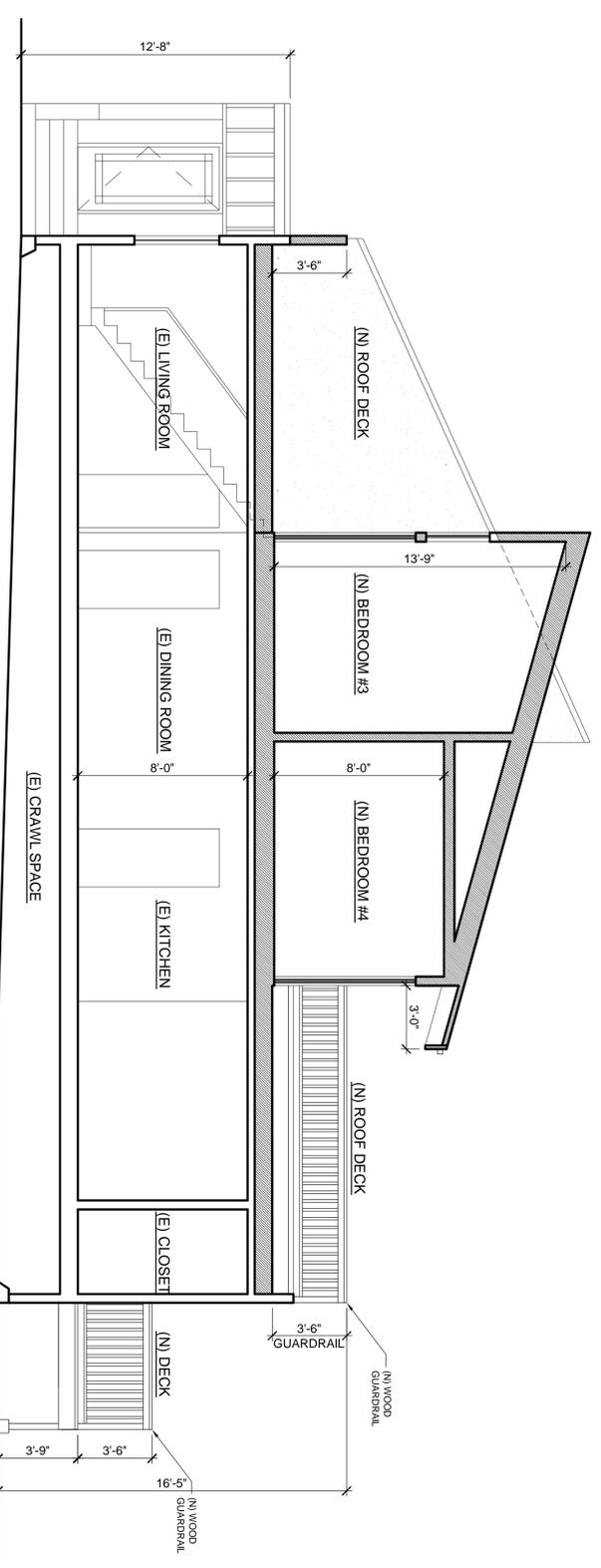
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<p>REVISIONS</p> <table border="1"> <tr> <td>02-22-16</td> <td>PA</td> </tr> </table>	02-22-16	PA	<p>BY</p>
02-22-16	PA		
<p>DRAWINGS:</p> <p>PROPOSED FLOOR PLANS & ROOF PLAN</p>	<p>SECOND STORY ADDITION</p> <p>1304 MARIN AVE.</p> <p>ALBANY, CA 94706 - APN 065-2644-002</p> <p>RON & ARLENE FINGER, OWNERS</p>		
<p>DRAWN: JJA</p> <p>CHECKED: LAP</p> <p>DATE: 11.12.15</p> <p>SCALE: 1/4" = 1'-0"</p> <p>JOB NO.: 2015.13</p> <p>SHEET: A-2.1</p> <p>OF SHEETS</p>	<p>110 CARLOS DR. #A</p> <p>ALBANY, CA 94722-9282</p> <p>TEL: (415) 922-1893</p> <p>FAX: (415) 922-1893</p> <p>e-mail: lapa@lpa.com</p> <p>LARRY A. PAUL, AIA</p>		

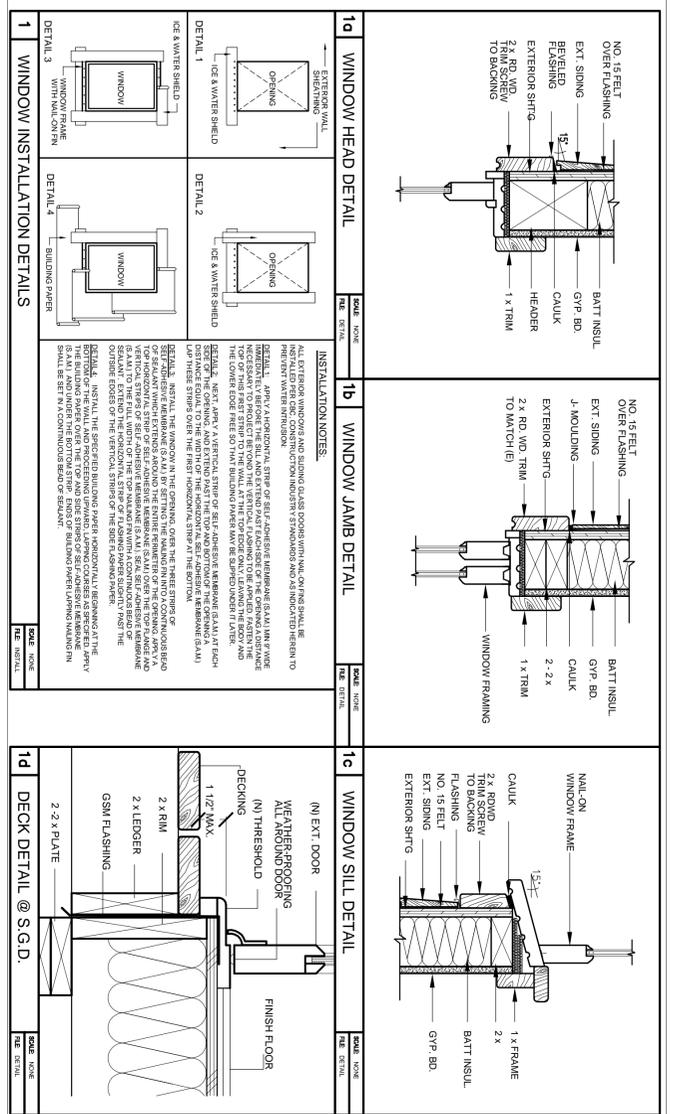




2 BUILDING SECTION



1 BUILDING SECTION



4 WINDOW DETAILS

3 WINDOW SCHEDULE

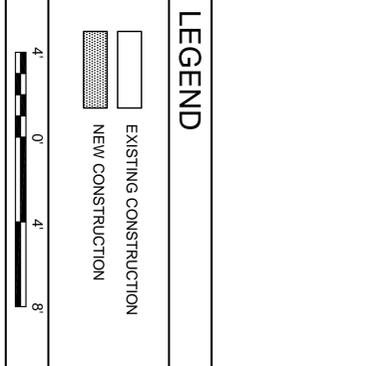
WINDOW SCHEDULE						
No.	WIDTH	HEIGHT	MATERIAL	GLAZING	SPECIAL	DETAILS / REMARKS
0	3-0	6-8	VINYL	DUAL	TEMP.	SL. GL. DRS. W/ TRANSOM
1	3-0	6-8	VINYL	DUAL	TEMP.	SL. GL. DRS.
2	3-0	6-8	VINYL	DUAL	TEMP.	FX. GL.
3	3-0	6-8	VINYL	DUAL	TEMP.	AWNING W/F.G.
4	4-0	1-0	VINYL	DUAL	TEMP.	SLIDING
5	2-0	4-0	VINYL	DUAL	TEMP.	SINGLE-HUNG
6	4-0	4-0	VINYL	DUAL	TEMP.	SLIDING
7	2-0	4-0	VINYL	DUAL	TEMP.	SLOPING F.G.

GENERAL NOTES

- ALL ANGLES OTHER THAN 90° SHALL BE 45° UNLESS OTHERWISE NOTED ON PLAN.
- STAIRWAYS SHALL COMPLY WITH CBC SEC. 1003.3.3.
- GLAZING SUBJECT TO HUMAN IMPACT SHALL BE SAFETY-TEMPERED AS PER CBC SEC. 2406.4.
- BEDROOM WINDOWS SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. PER CBC SEC. 310.4 (NET CLEAR OPENABLE AREA OF 5.7 S.F., MIN. 24" HEIGHT AND MIN. 20" WIDTH) AT ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AT CONDITIONED SPACES (MIN).
- PROVIDE WEATHER-RESISTIVE BARRIER AT ALL EXTERIOR WALLS, PER CBC SEC. 1402.1.

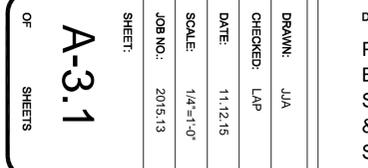
- SLOPING ROOF CLASS "A" COMPOSITION SHINGLES OVER 30# ROOFING FELTS.
- HORIZONTAL LAP SIDING OVER 2 LAYERS OF "D" TYPE PAPER OR TYVEK BUILDING WRAP.
- DBL. GLAZED WOOD WINDOW W/ TRIM TO MATCH (E).
- WOOD FRENCH DOOR W/ TEMP. GLASS TYP.
- LINE OF EXISTING GRADE (V.I.F.)
- MATCH EXISTING TRIM @ CORNERS
- GSM FLASHING @ ROOF EDGE
- REDWOOD POST
- GUARDRAIL 42" HIGH W/ OPENINGS < 4"
- GSM GUTTERS & DOWNSPOUTS TO MATCH EXISTING
- SEE STRUCTURAL DRAWINGS FOR ROOF STRUCTURE - TYP
- INSULATION @ CEILING - TYP. PER ENERGY DOCS. & MIN. R-19
- INSULATION @ RAISED FLOOR - TYP. PER ENERGY DOCS. & MIN. R-19

- INSULATION @ NEW EXTERIOR WALLS - TYP. PER ENERGY DOCS. & MIN. R-13
- SEE STRUCTURAL DRAWINGS FOR FLOOR & ROOF STRUCTURE - TYP
- REWOOD DECK W/ D.F.P.T. STRUCTURE
- ROOF SHEATHING (S.S.D.)
- 2 X FRAME WALL (S.S.D.)
- FLOOR SHEATHING OVER JOIST FRAMING (S.S.D.)
- STAIRWAY, AS PER CBC SEC. 1003.3.3
- 1/2" GYPSUM BOARD - TYP. U.O.N. & 5/8" TYPE "X" @ P.L.
- WALLS & BETWEEN GARAGE & LIVING SPACES
- PROVIDE FAJVE VENTS @ ALL RAFTER BAYS AND CONTINUOUS RIDGE VENT @ ALL RIDGES
- PROVIDE MIN. 1" AIRSPACE BETWEEN INSULATION & ROOF SHEATHING PER CBC SEC. 1203.2.



REVISIONS	BY
02-22-16	PA

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 FAX: (415) 922-1853
 www.lapaul.com
 LARRY A. PAUL, AIA



SECOND STORY ADDITION
1304 MARIN AVE.
 ALBANY, CA 94706 - APN 065-2644-002
 RON & ARLENE FINGER, OWNERS

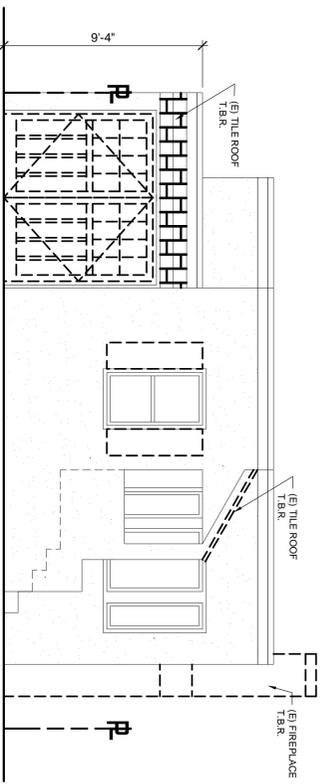
DRAWINGS:
 PROPOSED
 BUILDING
 SECTIONS
 & WINDOW
 SCHEDULE

DRAWN: JJA
 CHECKED: LAP
 DATE: 11-12-15
 SCALE: 1/4"=1'-0"
 JOB NO.: 2015-13

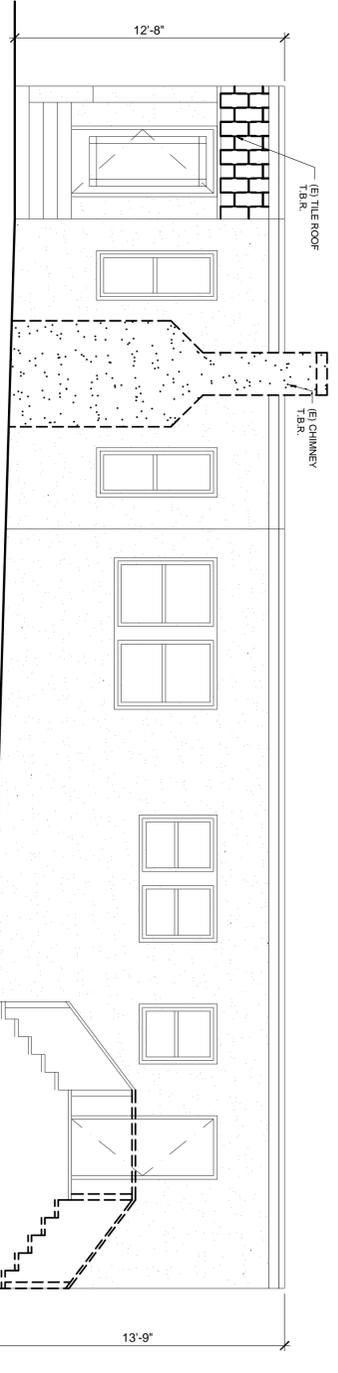
SHEET:
A-3.1
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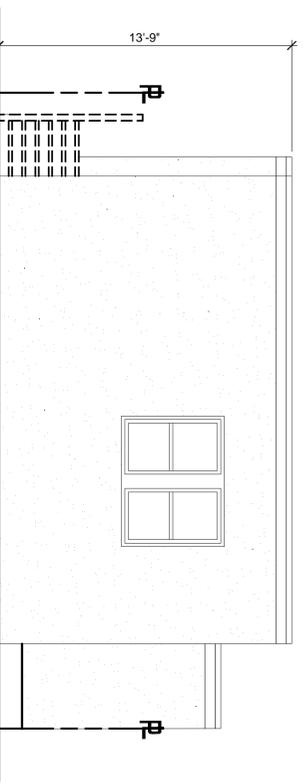
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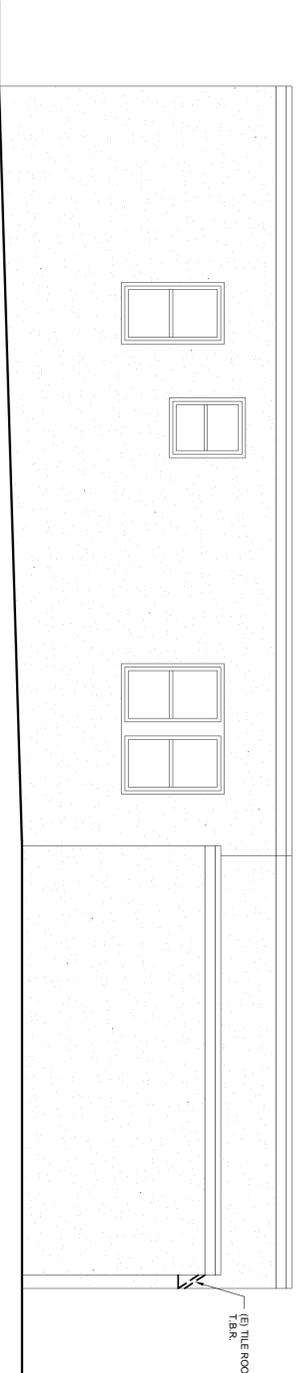
1 NORTH ELEVATION



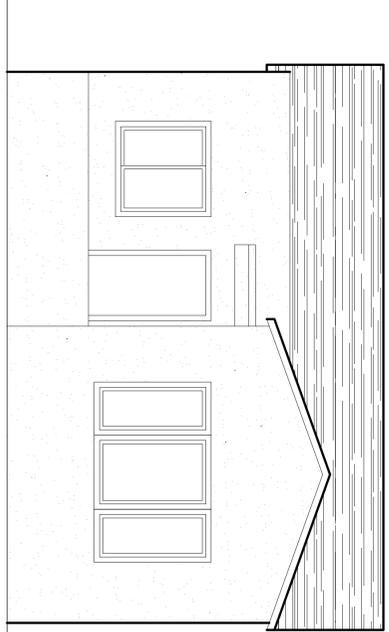
2 WEST ELEVATION



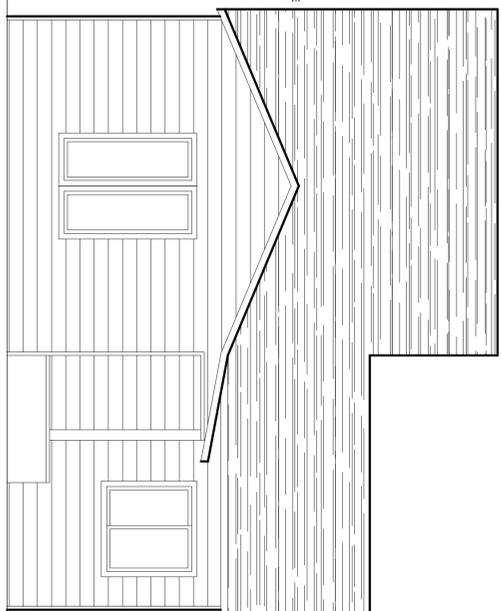
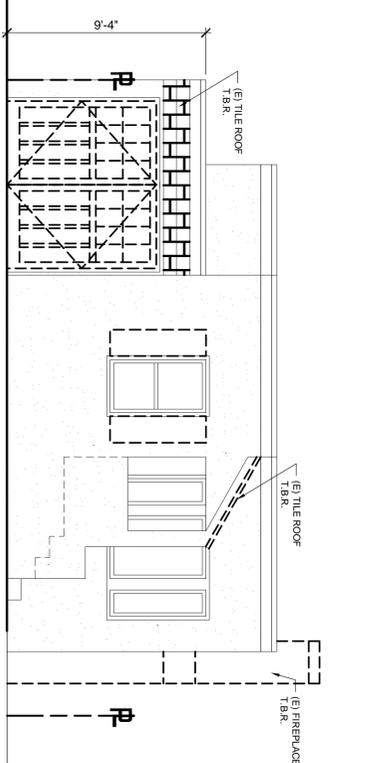
3 SOUTH ELEVATION



4 EAST ELEVATION



5 STREET (NORTH) ELEVATION W/ NEIGHBORING PROPERTIES



LEGEND

EXISTING CONSTRUCTION

NEW CONSTRUCTION

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REVISIONS	BY
02-22-16	PA

DRAWINGS:
EXISTING EXTERIOR ELEVATIONS

SECOND STORY ADDITION
1304 MARIN AVE.
ALBANY, CA 94706 - APN 065-2644-002

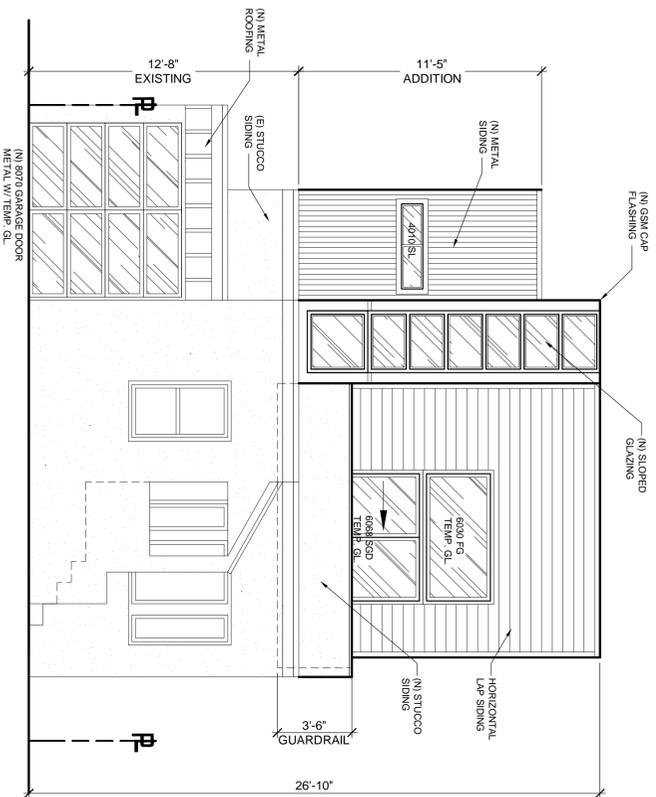
RON & ARLENE FINGER, OWNERS

DRAWN: JJA
CHECKED: LAP
DATE: 11.12.15
SCALE: 1/4"=1'-0"
JOB NO.: 2015.13
SHEET: A-4.0
OF SHEETS

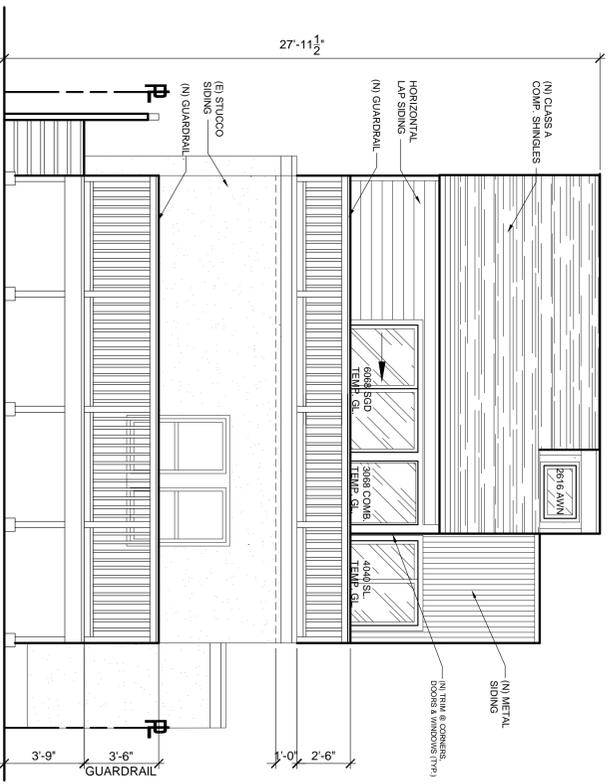
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TEL: (415) 922-3282
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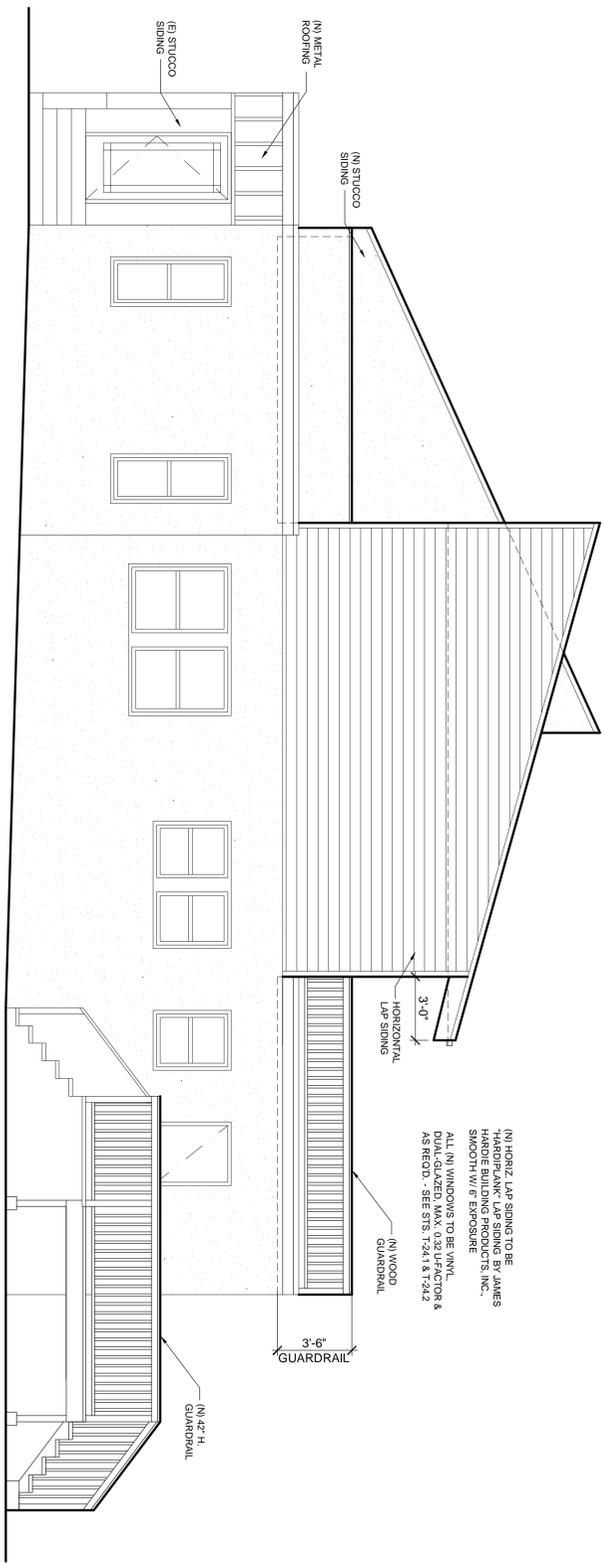
LICENSED ARCHITECT
LARRY A. PAUL
C-9725
NEW (158011)
STATE OF CALIFORNIA



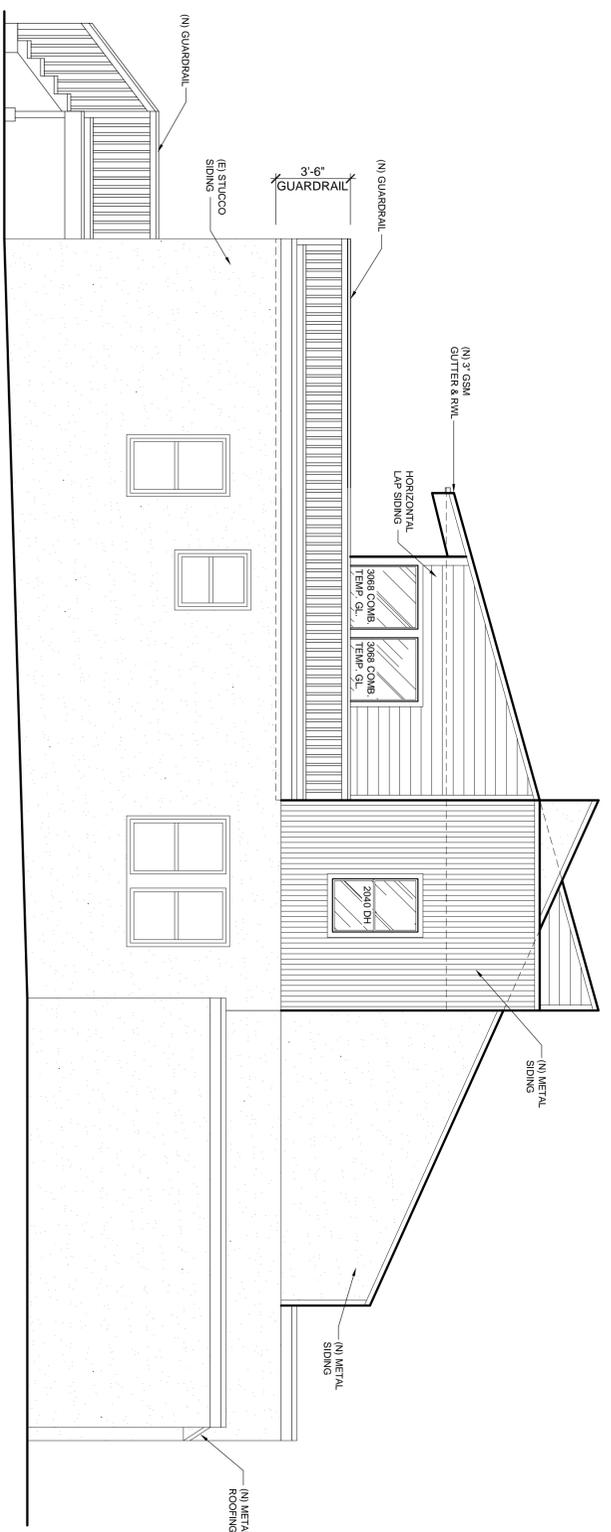
1 NORTH ELEVATION



3 SOUTH ELEVATION



2 WEST ELEVATION



4 EAST ELEVATION

GENERAL NOTES

A. SOFFITS AND OTHER VISIBLE EXTERIOR FINISH ELEMENTS NOT FULLY SHOWN OR DETAILED ON THE PLANS SHALL BE FINISHED IN THE SAME CHARACTER AS FOR SIMILAR CONDITIONS.

B. SEE ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS AT EACH FLOOR. ALIGN WITH EXTERIOR DOORS AS APPROPRIATE OR INDICATED.

C. ALL GUTTERS, DOWNSPOUTS, FLASHINGS, VENTS, ELECTRICAL CONDUITS, ETC. SHALL BE PAINTED TO MATCH THE COLOR OF THE ADJACENT SURFACE. U.O.N.

D. ALL DOORS AND WINDOWS EXPOSED TO AMBIENT CONDITIONS AND UNCONDITIONED SPACES SHALL BE FLASHED, GASKETED, WEATHER STRIPPED OR OTHERWISE TREATED TO LIMIT AIR & MOISTURE INFILTRATION. AS PER TITLE 24 SECTION 2.5317.

E. THE SECTIONS PROVIDED ARE SCHEMATIC IN NATURE. SEE OTHER SHEETS FOR MORE SPECIFIC FRAMING AND FINISH INFORMATION.

REFERENCE NOTES

1. FLAT ROOF W/ BUILT-UP BITUMEN LAYERS. SLOPE TO DRAIN MIN. 1/4" PER FT.
2. HORIZONTAL LAP SIDING OVER 2 LAYERS OF "D" TYPE PAPER OR TYVEK BUILDING WRAP
3. DBL. GLAZED WOOD WINDOW W/ TRIM TO MATCH (E)
4. WOOD FRENCH DOOR W/ TEMP. GLASS TYP.
5. LINE OF EXISTING GRADE (V.I.F.)
6. MATCH EXISTING TRIM @ CORNERS
7. GSM FLASHING @ ROOF EDGE
8. REDWOOD POST
9. GUARDRAIL 42" HIGH W/ OPENINGS < 4"
10. GSM GUTTERS & DOWNSPOUTS TO MATCH EXISTING UNDER STAIRS SHALL BE 1-HR. FIRE-RESISTIVE CONSTRUCTION ON THE ENCLOSED SIDE AS PER CBC SEC. 1006.13
11. INSULATION @ CEILING - TYP. PER ENERGY DOCS. & MIN. R-19
12. INSULATION @ RAISED FLOOR - TYP. PER ENERGY DOCS. & MIN. R-19
13. INSULATION @ NEW EXTERIOR WALLS - TYP. PER ENERGY DOCS. & MIN. R-13
14. SEE STRUCTURAL DRAWINGS FOR FLOOR & ROOF STRUCTURE - TYP.
15. (N) REDWOOD DECK W/ D.F.P.T. STRUCTURE
16. ROOF SHEATHING (S.S.D.)
17. 2 X FRAME WALL (S.S.D.)
18. FLOOR SHEATHING OVER JOIST FRAMING (S.S.D.)
19. STAIRWAY AS PER CBC SEC. 1003.3.3
20. 1/2" GYPSUM BOARD - TYP. U.O.N. & 5/8" TYPE "X" @ P.L. WALLS & BETWEEN GARAGE & LIVING SPACES
21. CORRUGATED METAL SIDING
22. CEMENT PLASTER SIDING (TO MATCH EXISTING FINISH) W/ METAL LATH OVER 2 LAYERS OF "D" TYPE PAPER OR TYVEK BUILDING WRAP

LEGEND

EXISTING CONSTRUCTION

NEW CONSTRUCTION

SCALE: 1/4"=1'-0"

DATE: 11.12.15

CHECKED: LAP

DRAWN: JJA

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REVISIONS BY PA 02-22-16

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LARRY A. PAUL, AIA

LICENSED ARCHITECT C-9725 REN. 11/04/17 STATE OF CALIFORNIA

SECOND STORY ADDITION
1304 MARIN AVE.
ALBANY, CA 94706 - APN 065-2644-002

RON & ARLENE FINGER, OWNERS

DRAWINGS: PROPOSED EXTERIOR ELEVATIONS

JOB NO.: 2015.13

SCALE: 1/4"=1'-0"

DATE: 11.12.15

CHECKED: LAP

DRAWN: JJA

SHEET: A-4.1

OF SHEETS