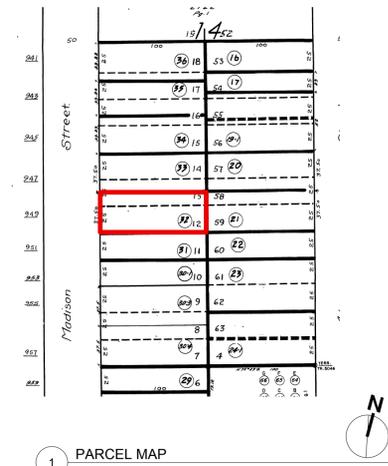




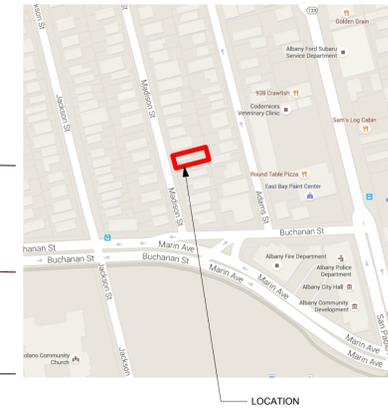
7 PHOTO OF EXISTING HOME



5 VIEW OF PROPOSED ADDITION



1 PARCEL MAP



2 VICINITY MAP

PROJECT DESCRIPTION

The proposed project is a renovation and addition to an existing one-story single family dwelling. Scope of work includes a second-story addition to the rear of the home, The renovation will include the existing kitchen, new laundry area and stair. The addition includes a new master bedroom suite, a study and a new bathroom.

PROJECT ADDRESS: 949 Madison Street
Albany, CA 94706

ASSESSOR'S PARCEL NO: 66-2722-32

OWNER: Sam Wong/ Angela Wong
949 Madison Street
Albany, CA 94706

ARCHITECT: CLAD
5771 Buena Vista Avenue
Oakland, CA 94618
510.654.4681

ZONING DISTRICT: R-2

TYPE OF CONSTRUCTION: TYPE V

BUILDING CODE: 2013 CA BUILDING CODE
2013 CA RESIDENTIAL CODE
2013 CA ELECTRICAL CODE
2013 CA MECHANICAL CODE
2013 CA PLUMBING CODE
2013 CA FIRE CODE
2013 CA ENERGY CODE
2013 CITY OF ALBANY AMENDMENTS
CITY OF ALBANY MUNICIPAL CODE

OCCUPANCY: R-3

LOT SIZE: 3,750sf

OVERALL HEIGHT: Avg. 28', Max. 35'

SETBACK REQUIREMENTS: FRONT 15'
SIDE 10% LOT WIDTH,
MIN. 3', MAX. 5'
REAR 20'

MAX. LOT COVERAGE: 50% LOT SIZE = 1,875sf

EXIST. LOT COVERAGE: 1073 sf

PROP. LOT COVERAGE: 1073 sf

MAX. F.A.R. 55% LOT SIZE = 2,063 gross sf

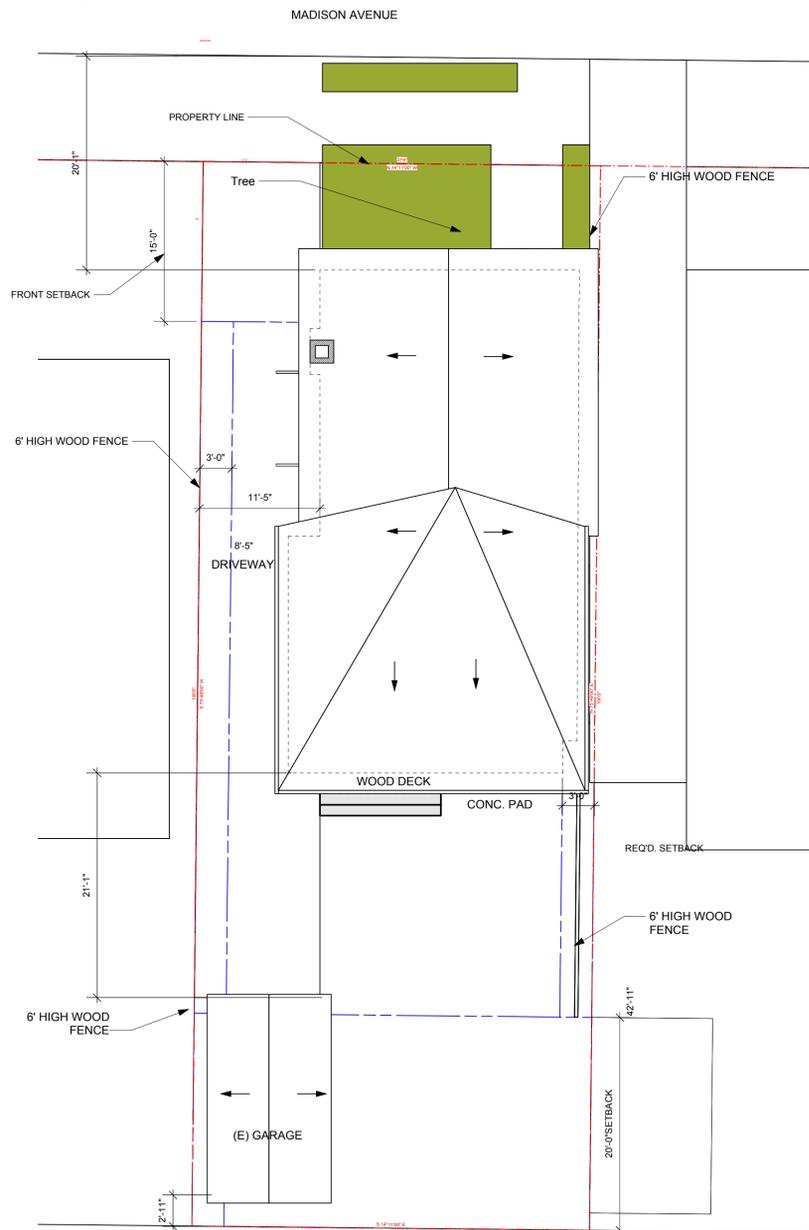
GROSS AREA: EXISTING LVL 1 1073sf
GARAGE/STORAGE 185 sf
EXISTING TOTAL 1,258sf

PROPOSED LVL 1 1073sf
PROP. LVL 2 606sf
GARAGE/STORAGE 185sf
ATRIUM/STAIR EXEMPT. -40sf

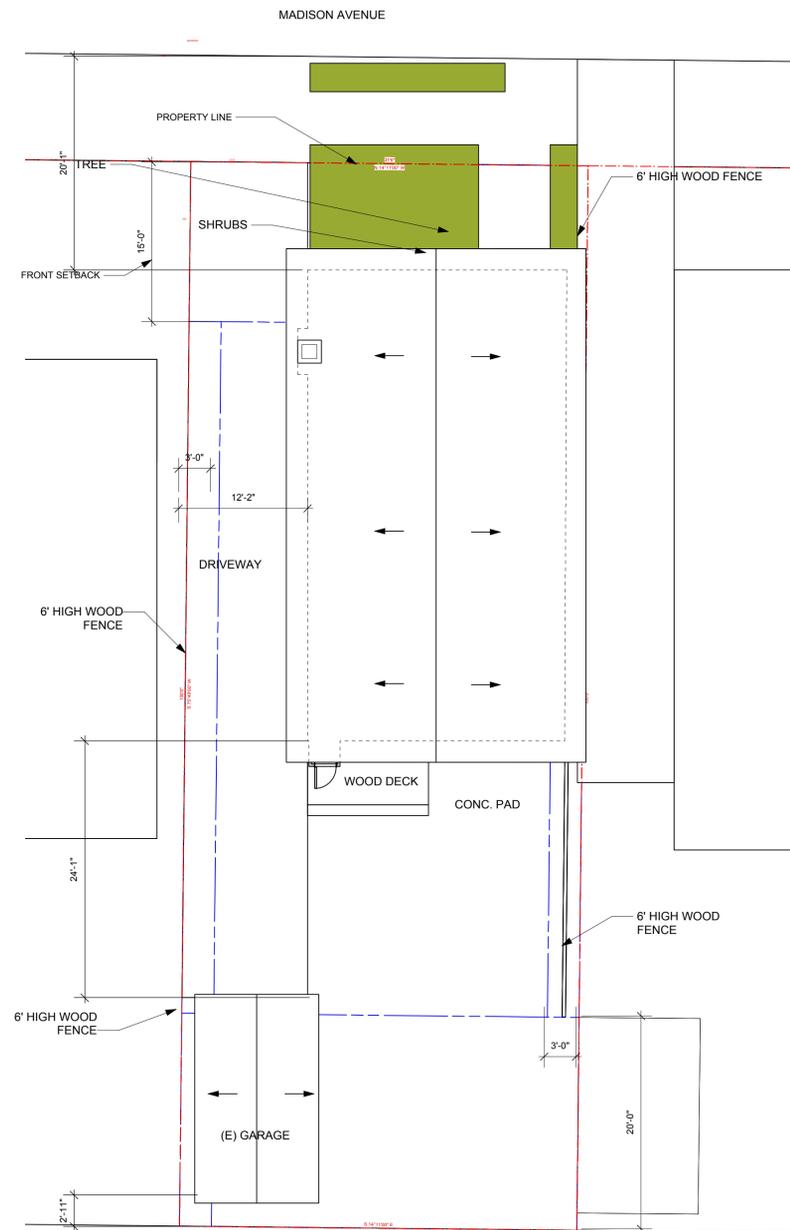
PROP. TOTAL 1824sf

INDEX

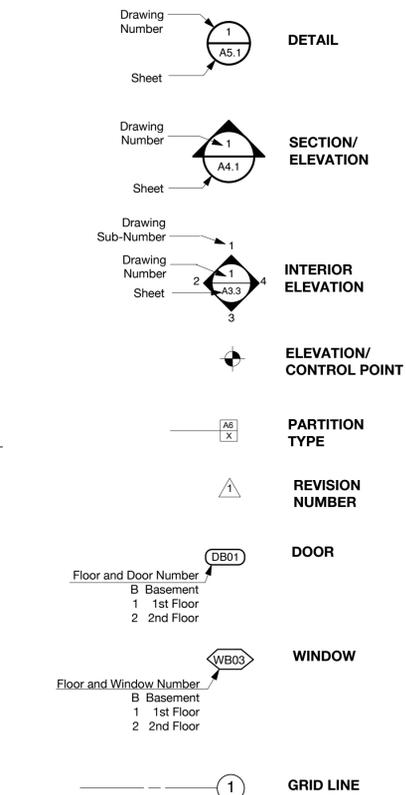
SHEET	DESCRIPTION
A0.0	COVER / SITE PLAN/ ROOF PLAN
A0.1	GREEN BUILDING CHECK LIST
A2.1	PLANS- EXISTING AND PROPOSED
A3.1	ELEVATIONS/ SECTION
A3.2	ELEVATIONS



6 PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"



4 EXISTING SITE PLAN
Scale: 1/8" = 1'-0"



3 Symbols-Keys

Owner: Sam Wong/ Angela Wong
949 Madison Street
Albany, CA 94706

949 MADISON



Revision _____ Date _____

Issue Date: 23 FEB 2016

COVER

Scale: as noted

A0.0

Project: 949MAD

©2015-16. All ideas, concepts, drawings and written material appearing herein constitute the original and unpublished work of chiu lao architecture design and the same may not be duplicated, used or disclosed without the written consent of the architect.



GreenPoint Rated Existing Home Checklist



A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

This checklist is used to track projects seeking a Whole House or Elements Label using the GreenPoint Rated Existing Home Rating System. The minimum requirements for each label are listed in the project summary at the end of this checklist. Selected measures can be awarded points based on the percentage of presence of the measure in the home. The measure or practice must be found in at least 10% of the home to earn points.

Column A is a drop-down menu with the options of "Yes," "No," or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the yellow "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated Existing Home Rating Manual, available at www.builditgreen.com/greenpoint-rated

GreenPoint Rated Existing Home Checklist version 2.1

949 Madison St. Albany CA
AA. COMMUNITY
1. Home is Located within 1/2 Mile of a Major Transit Stop
2. Compact Development & House Size
3. Pedestrian and Bicycle Access Alternative Transportation
4. Safety & Social Gathering
5. Diverse Households
A. SITE
1. Protect Existing Topsoil from Erosion and Reuse after Construction
2. Divert Construction and Demolition Waste
3. Construction LAD Management Plan
B. FOUNDATION
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag

© 2011 Build It Green GreenPoint Rated Existing Home Checklist v2.0

949 Madison St. Albany CA
C. LANDSCAPE
1. Resource-Efficient Landscapes
2. High-Efficiency Irrigation Systems Installed
3. Minimal Turf Areas
4. Shade Trees Planted
5. Plants Grouped by Water Needs (Hydrozoning)
6. High-Efficiency Irrigation Systems Installed
7. Compost and Recycle Garden Trimmings on Site
8. Mulch in All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement
9. Use Environmentally Preferable Materials for Non-Plant Landscape Elements and Fencing
10. Light Pollution Reduced by Shielding Fixtures and Directing Light Downward
11. Rain Water Harvesting System (1 point for ≤ 350 gallons, 2 points for > 350 gallons)
12. Soil Amended with Compost
M. APPLIANCES AND LIGHTING
1. ENERGY STAR Dishwasher (Must Meet Current Specifications) (Mutually Exclusive with J3)
2. ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less
3. ENERGY STAR Refrigerator Installed
4. Built-In Recycling & Composting Center
5. Ecological Binoculars (Required for Whole House)
6. Verification of Entire Electrical System
7. Energy Efficient Lighting
8. Low-Mercury Lamps (Linear and Compact Fluorescent)
9. Lighting Controls Installed
N. OTHER
1. Incorporate GreenPoint Certified in Blueprints or Distribute Checklist (Required for Whole House and Elements)
2. Develop Homeowner Manual of Green Features/Benefits
3. Hazardous Waste Remediation
4. Gas Shut Off Valve (instant non-motion)
P. INNOVATIONS
A. Site
1. Soil Site
B. Foundation: No Innovation Measures At This Time
C. Landscaping
1. Irrigation System Uses Recycled Wastewater
D. Structural Frame and Building Envelope
1. Design, Build and Maintain Structural Feet and Bolt Controls
2. Locate All Wood Siding, Trim, Structure At Least 12 Inches Above Soil
3. All Wood Framing 3 Feet from the Foundation Is Treated with Borates or Use Factory Incorporated Materials (DR Walls are Not Made of Wood)
4. Use Moisture-Resistant Materials and Practices in Wet Areas of Kitchens, Bathrooms, Utility Rooms, and Basements
5. Use FSC-Certified Engineered Lumber
6. Engineered Beams and Headers
7. Insulated Engineered Headers
8. Wood Joists or Walls Trusses for Floors
9. Wood Joists for Roof Rafters
10. Engineered or Finger-Jointed Studs for Vertical Applications
11. Roof Trusses
E. Exterior Finish
1. Green Roofs (25% or Roof Area Minimum)

© 2011 Build It Green GreenPoint Rated Existing Home Checklist v2.0

949 Madison St. Albany CA
D. STRUCTURAL FRAME & BUILDING ENVELOPE
1. Optimal Value Engineering
2. Use Engineered Lumber
3. FSC-Certified Wood
4. Solid Wall Systems (Includes SIPs, ICFs, & Any Non-5/8" Frame Assembly)
5. Reduce Pollution Entering the Home from the Garage
6. Energy Seals on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)
7. Overhangs and Gutters
8. Retrofit/ Upgrade Structure for Lateral Load Reinforcement for Wind or Seismic
9. Energy Seals on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)
E. EXTERIOR FINISH
1. Recycled Content (No Virgin Plastic) or FSC-Certified Wood Decking
2. Rain Screen Wall System Installed
3. Durable & Noncombustible Cladding Materials
4. Durable & Fire-Resistant Roofing Materials or Assembly
F. INSULATION
1. Install Insulation with 93% Post-Consumer Recycled Content
2. Install Insulation that is Low-Emitting (Certified CA Residential Section 01360)
3. Insulation
3. Inspect Quality of Insulation Installation before Applying Drywall

© 2011 Build It Green GreenPoint Rated Existing Home Checklist v2.0

949 Madison St. Albany CA
G. PLUMBING
1. Distribute Domestic Hot Water Efficiently
2. High-Efficiency Toilets (Dual Flush or 1.28 gpf)
3. Water Efficient Fixtures
4. Plumbing Survey (No Plumbing Leaks) (Required for Whole House and Elements)
H. HEATING, VENTILATION & AIR CONDITIONING
1. General HVAC Equipment Verification and Correction
2. High-Efficiency Air Conditioning Air conditioning with Environmental Responsible Refrigerants
3. Sealed Combustion Units
4. Zoned, Hydronic Radiant Heating
5. High-Efficiency Air Conditioning Air conditioning with Environmental Responsible Refrigerants
6. Effective Ductwork Installation
7. High Efficiency HVAC Filter (MERV 8+)
8. No Fireplace OR Sealed Gas Fireplace with Efficiency Rating 20%+ using CSA Standards
9. ENERGY STAR Bathroom Fans Vented to the Outside
10. Mechanical Ventilation System for Cooling Installed
11. Mechanical Ventilation System for Heating Installed
12. Carbon Monoxide
13. Combustion Safety Backdraft Test
I. RENEWABLE ENERGY
1. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)
Enter % total energy consumption offset; 1 point per 4% offset

© 2011 Build It Green GreenPoint Rated Existing Home Checklist v2.0

949 Madison St. Albany CA
J. BUILDING PERFORMANCE
1. Energy Savings and Education (Required for Elements or Meet J3)
2. Energy Upgrades (Available for Elements Rating Only, Mutually Exclusive with J3. 3 point minimum and 8 point maximum credit required)
3. Design and Build Zero Energy Homes
4. Comprehensive Utility Bill Analysis
K. FINISHES
1. Entrways Designed to Reduce Tracked in Contaminants
2. Low-VOC Paint
3. Low-VOC Interior Wall/Ceiling Paints (<50 gpl VOCs regardless of sheen)
4. Coatings Meet SCCAQMD Rule 1113 for Low VOCs
5. Recycled Content Paint
6. Environmentally Preferable Materials for Interior Finishes: A) FSC-Certified Wood B) Reclaimed Materials C) Rapidly Renewable D) Recycled-Content E) Finger-Jointed or F) Local
7. For Newly Installed Products, Reduce Formaldehyde in Interior Finish - Meet Current CARB Airborne Toxic Control Measures (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (Required for Whole Building & Elements)
8. Reduce Formaldehyde in Interior Finishes - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates
9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb
L. FLOORING
1. Environmentally Preferable Flooring: A) FSC-Certified Wood B) Reclaimed or Refinished C) Rapidly Renewable D) Recycled-Content E) Exposed Concrete F) Local Flooring Adhesives Must Have <98 gpl VOCs and sealer must meet SCCAQMD Rule 1113.
2. Thermal Mass Floors
3. Flooring Meets CA Section 01330 or CR Green Label Plus Requirements

© 2011 Build It Green GreenPoint Rated Existing Home Checklist v2.0

949 Madison St. Albany CA
M. APPLIANCES AND LIGHTING
1. ENERGY STAR Dishwasher (Must Meet Current Specifications) (Mutually Exclusive with J3)
2. ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less
3. ENERGY STAR Refrigerator Installed
4. Built-In Recycling & Composting Center
5. Ecological Binoculars (Required for Whole House)
6. Verification of Entire Electrical System
7. Energy Efficient Lighting
8. Low-Mercury Lamps (Linear and Compact Fluorescent)
9. Lighting Controls Installed
N. OTHER
1. Incorporate GreenPoint Certified in Blueprints or Distribute Checklist (Required for Whole House and Elements)
2. Develop Homeowner Manual of Green Features/Benefits
3. Hazardous Waste Remediation
4. Gas Shut Off Valve (instant non-motion)
P. INNOVATIONS
A. Site
1. Soil Site
B. Foundation: No Innovation Measures At This Time
C. Landscaping
1. Irrigation System Uses Recycled Wastewater
D. Structural Frame and Building Envelope
1. Design, Build and Maintain Structural Feet and Bolt Controls
2. Locate All Wood Siding, Trim, Structure At Least 12 Inches Above Soil
3. All Wood Framing 3 Feet from the Foundation Is Treated with Borates or Use Factory Incorporated Materials (DR Walls are Not Made of Wood)
4. Use Moisture-Resistant Materials and Practices in Wet Areas of Kitchens, Bathrooms, Utility Rooms, and Basements
5. Use FSC-Certified Engineered Lumber
6. Engineered Beams and Headers
7. Insulated Engineered Headers
8. Wood Joists or Walls Trusses for Floors
9. Wood Joists for Roof Rafters
10. Engineered or Finger-Jointed Studs for Vertical Applications
11. Roof Trusses
E. Exterior Finish
1. Green Roofs (25% or Roof Area Minimum)

© 2011 Build It Green GreenPoint Rated Existing Home Checklist v2.0

949 Madison St. Albany CA
F. Insulation: No Innovation Measures At This Time
G. Plumbing
1. Graywater Pre-Flushing (Includes Clothes Washer at Minimum)
2. Graywater System Operational (Includes Clothes Washer at Minimum)
3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)
4. Composting or Wastewater Reuse
5. Install Drain Water Heater Recovery System
H. Heating, Ventilation and Air Conditioning (HVAC)
1. Renewable Energy: No Innovation Measures At This Time
I. Building Performance
1. Test Total Supply Air Flow Rates
2. Energy Budget Analysis (E) Completed by CEPE
K. Finishes: No Innovation Measures At This Time
L. Flooring: No Innovation Measures At This Time
M. Appliances: No Innovation Measures At This Time
N. Other
1. Homebuilder's Management Staff Are Certified Green Building Professionals
2. Comprehensive Owner's Manual and Homeowner Education Walkthroughs
3. Additional Innovations: List innovative measures that meet green building objectives. Points will be assessed by Build It Green and the GreenPoint Rater.
4. Describe Innovation Here and Enter Possible Points in Columns L-P
5. Describe Innovation Here and Enter Possible Points in Columns L-P
6. Describe Innovation Here and Enter Possible Points in Columns L-P
7. Describe Innovation Here and Enter Possible Points in Columns L-P
8. Describe Innovation Here and Enter Possible Points in Columns L-P
9. Describe Innovation Here and Enter Possible Points in Columns L-P
10. Describe Innovation Here and Enter Possible Points in Columns L-P
Summary
Total Available Points 224
Minimum Points Required (Whole House) 50
Minimum Points Required (Elements) 25
Total Points Achieved 88

© 2011 Build It Green GreenPoint Rated Existing Home Checklist v2.0



Revision _____ Date _____

Issue Date: 23 FEB 2016

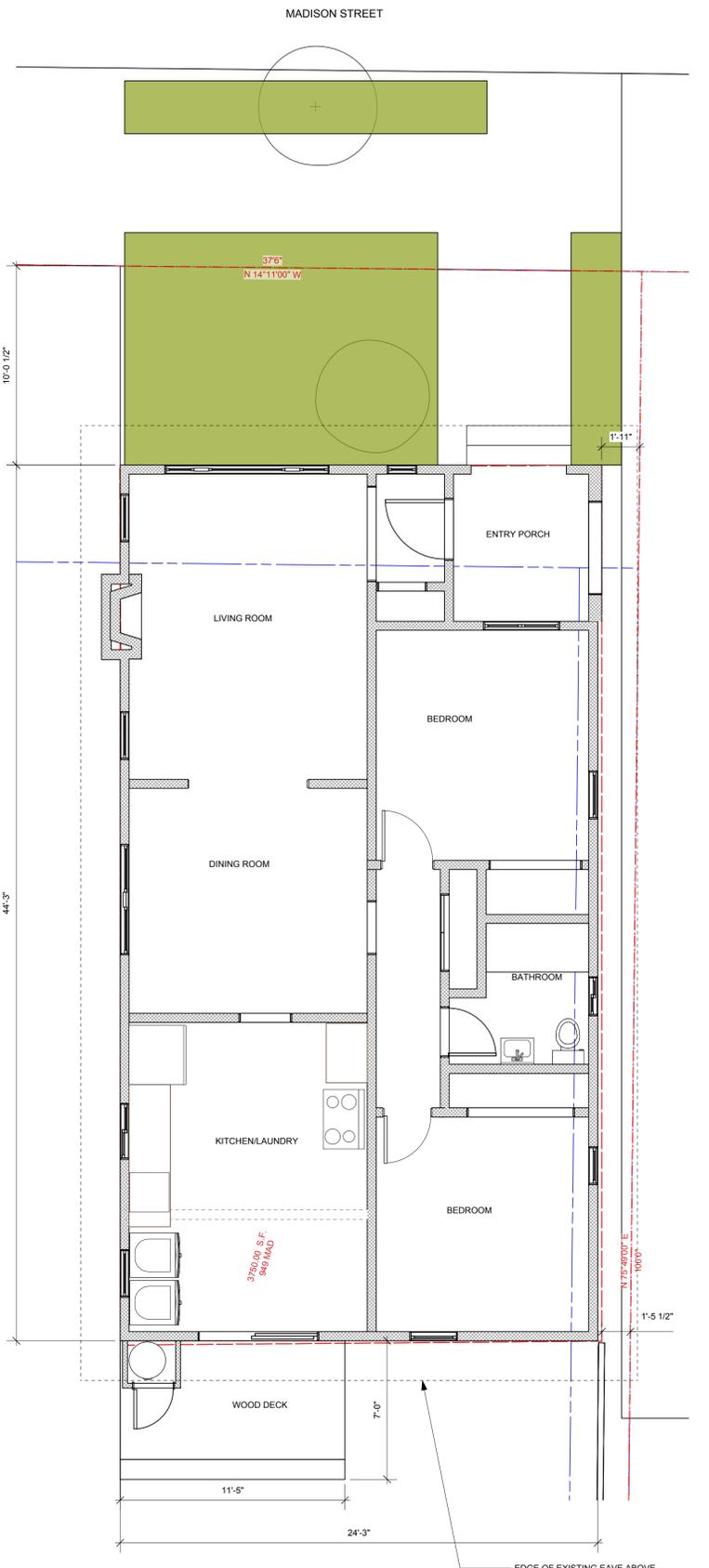
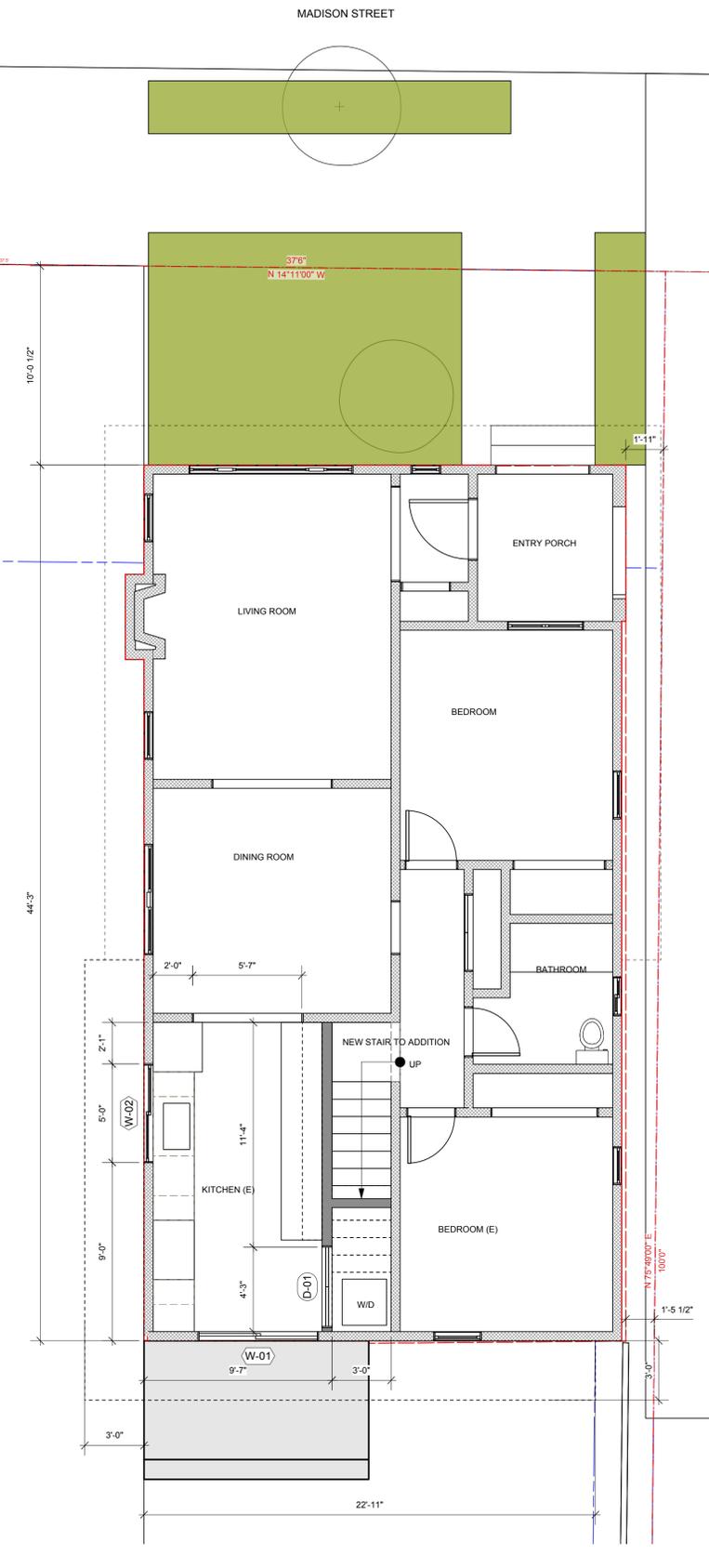
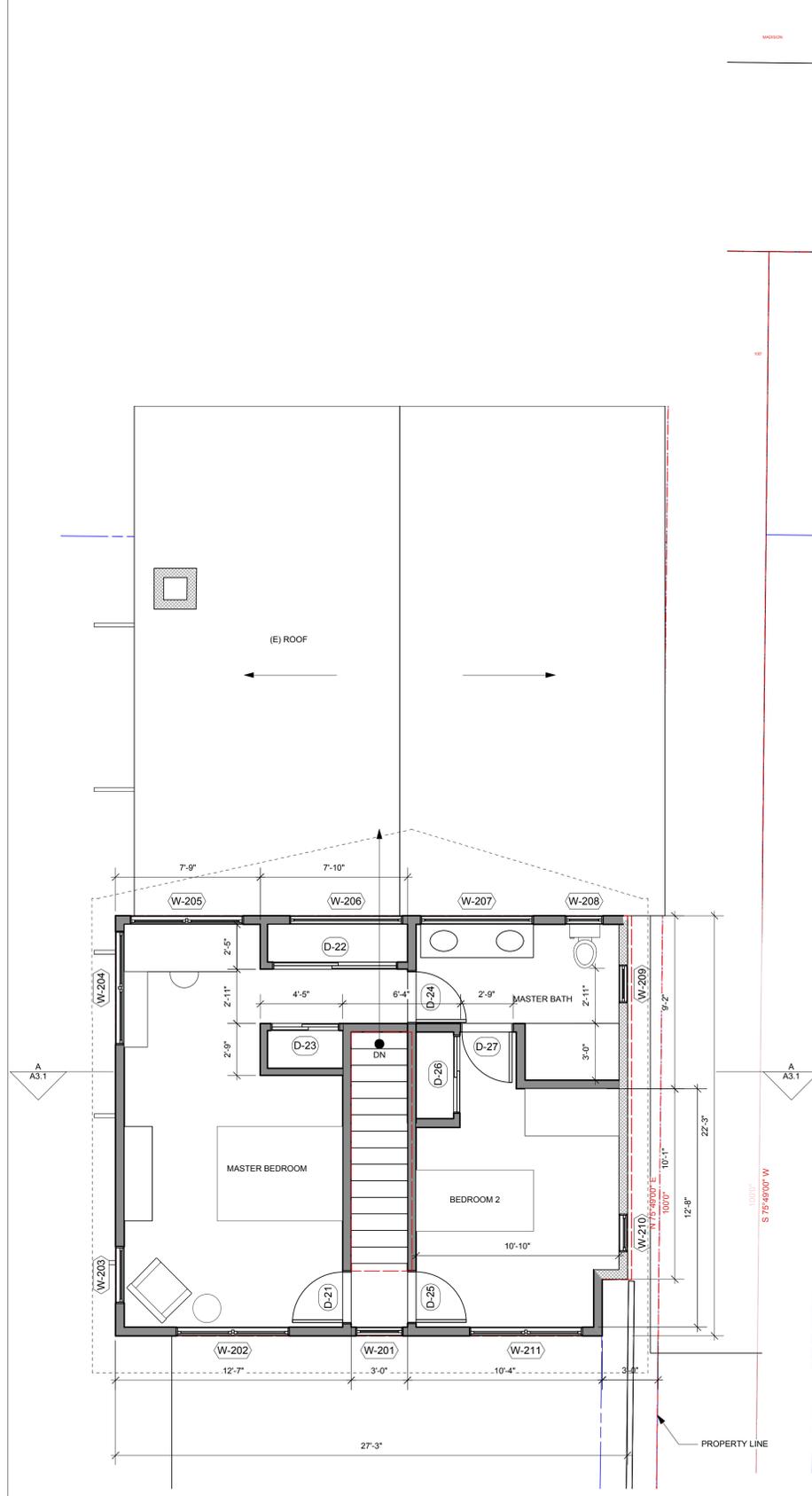
PLANS

Scale: as noted

A2.1

Project: 949MAD

©2015-16. All ideas, concepts, drawings and written material appearing herein constitute the original and unpublished work of chiu lao architecture design and the same may not be duplicated, used or disclosed without the written consent of the architect.



A2.1



Revision _____ Date _____

Issue Date: 23 FEB 2016

Elevations

Scale: NA

A3.1

Project: 949MAD

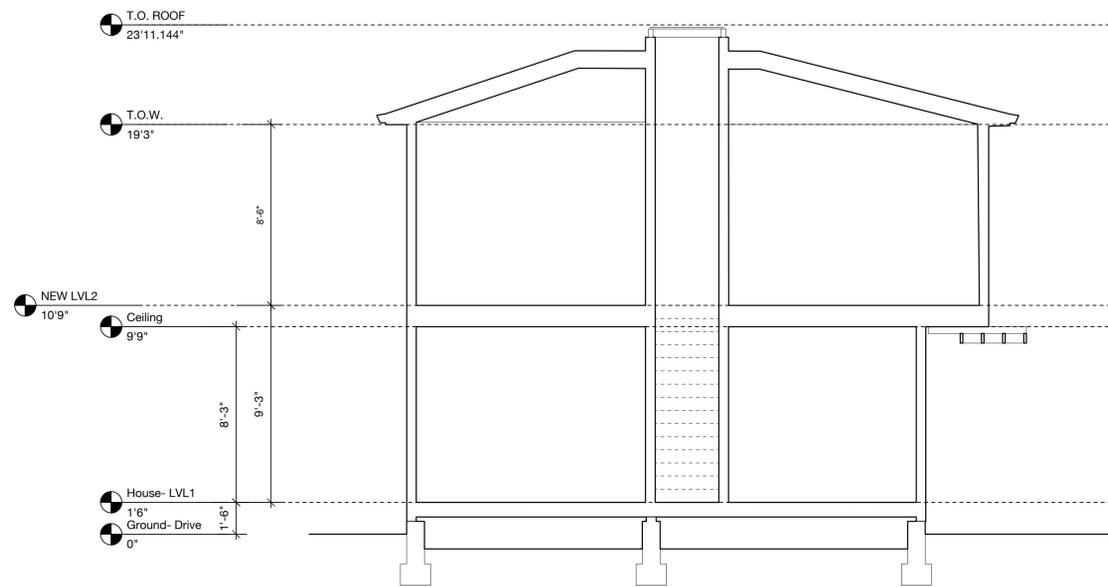
©2015-16. All ideas, concepts, drawings and written material appearing herein constitute the original and unpublished work of chiu lao architecture design and the same may not be duplicated, used or disclosed without the written consent of the architect.

Window Schedule

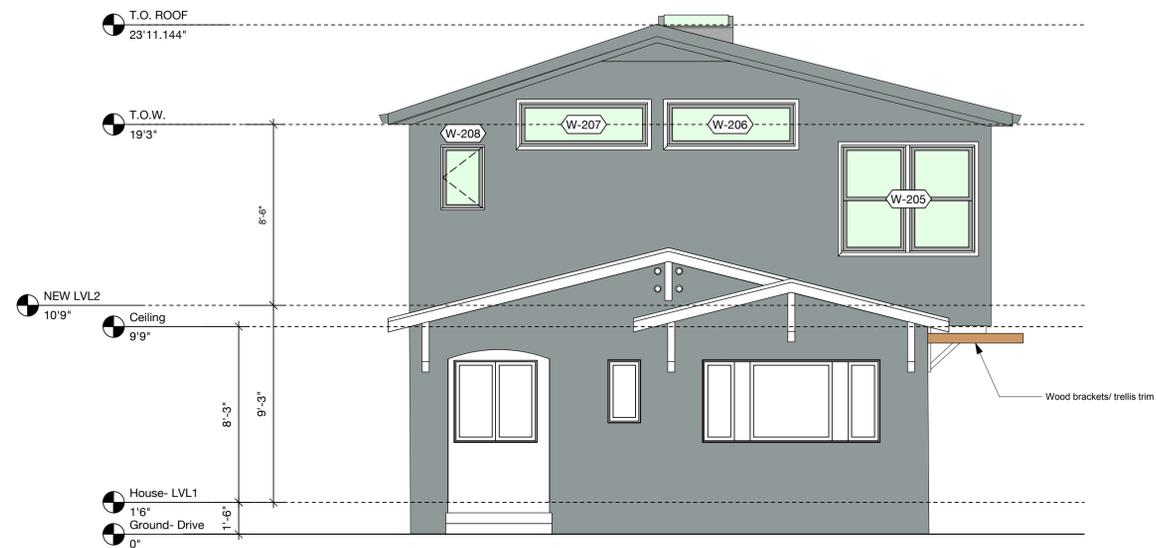
I.D.	Room Location	Width	Height	Install Height	Window Style	Meets Egress	Comments
W-102	Kitchen	5'0"	2'10"	Match Existing Header	Horizontal Slider		
W-201	Level 2 Corridor	2'6"	6'6"	8'-0" (hdr)	Awning + Fixed Glass		Tempered Glass Required
W-202	Master Bedroom	6'0"	5'0"	8'-0" (hdr)	2 Wide Operating Double-Hung Units	Yes	
W-203	Master Bedroom	3'0"	5'0"	8'-0" (hdr)	Double-Hung	Yes	
W-204	Master Bedroom	6'0"	5'0"	8'-0" (hdr)	2 Wide Operating Double-Hung Units	Yes	
W-205	Master Bedroom	6'0"	5'0"	8'-0" (hdr)	2 Wide Operating Double-Hung Units	Yes	
W-206	Master Bedroom	6'0"	2'0"	10'-0" (hdr)	Fixed Glass		Tempered Glass Required
W-207	Master Bathroom	6'0"	2'0"	10'-0" (hdr)	Fixed Glass		Tempered Glass Required
W-208	Master Bathroom	2'0"	3'0"	8'-0" (hdr)	Casement		Tempered Glass Required
W-209	Master Bathroom	2'0"	3'0"	8'-0" (hdr)	Frosted Fixed Glass		Tempered Glass Required
W-210	Level 2 Bedroom	2'0"	5'0"	8'-0" (hdr)	Double-Hung		
W-211	Level 2 Bedroom	6'0"	5'0"	8'-0" (hdr)	2 Wide Operating Double-Hung Units	Yes	

*Note: All windows to be fiberglass-clad material and assembly.

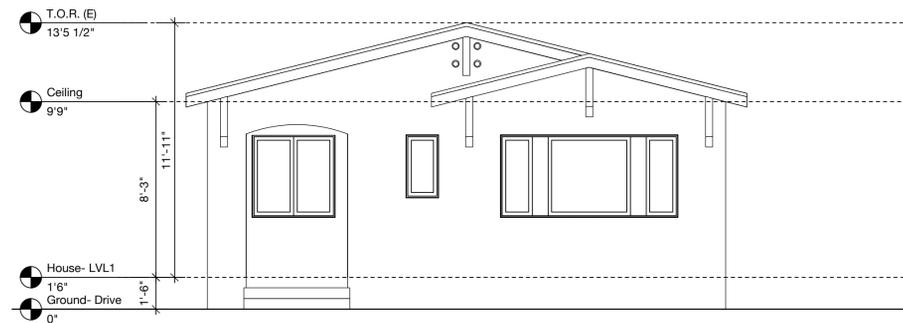
NOTE: REFER TO PLAN FOR LOCATION OF WINDOW



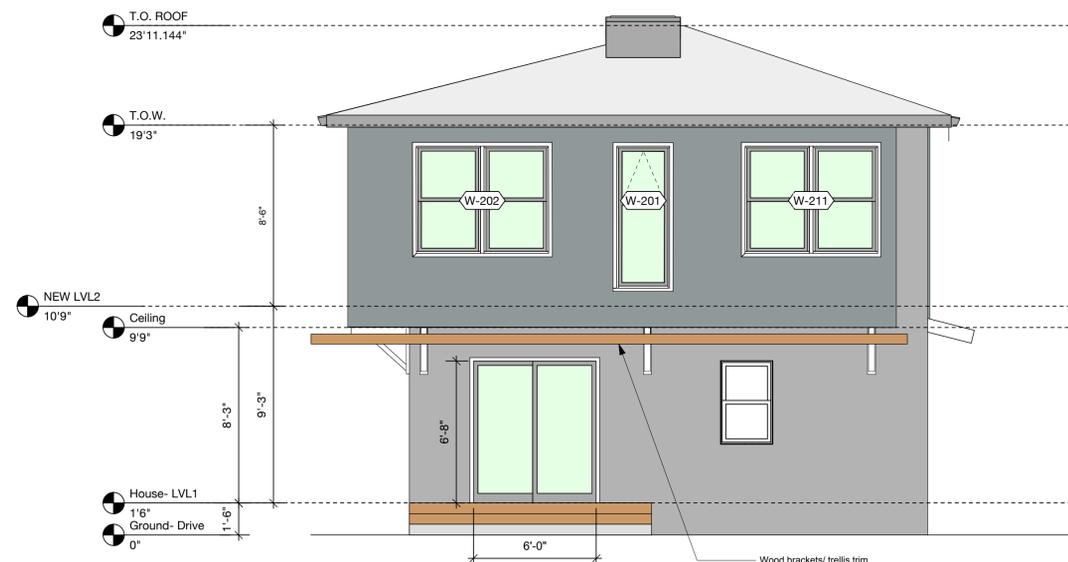
5 Proposed Section AA
Scale: 1/4" = 1'-0"



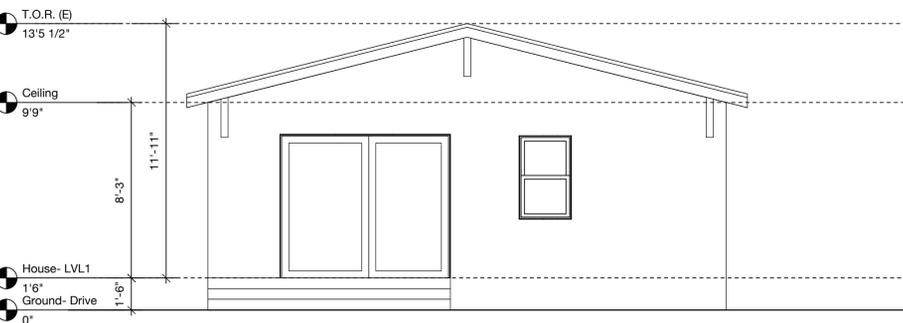
2 Proposed West Elevation
Scale: 1/4" = 1'-0"



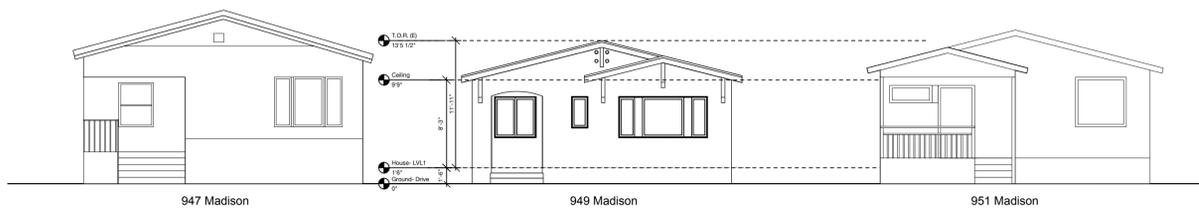
4 Existing West Elevation
Scale: 1/4" = 1'-0"



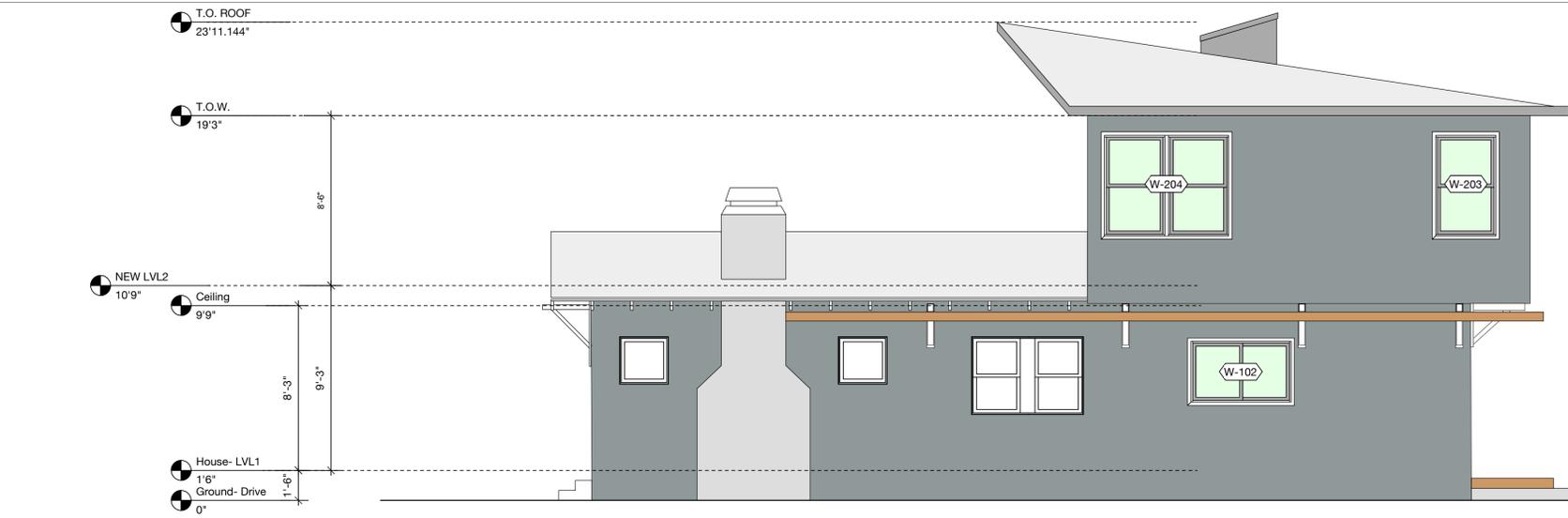
1 Proposed East Elevation
Scale: 1/4" = 1'-0"



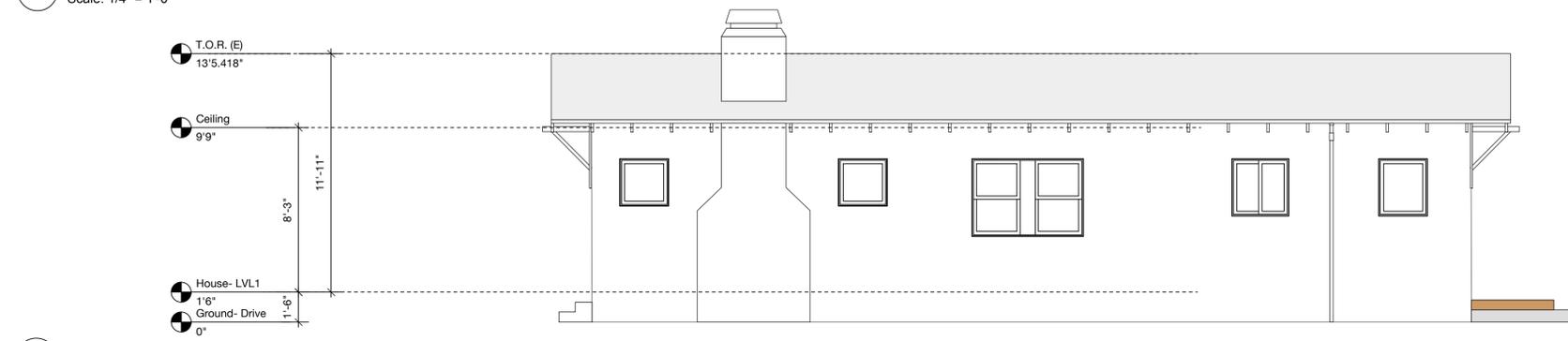
3 Existing East Elevation
Scale: 1/4" = 1'-0"



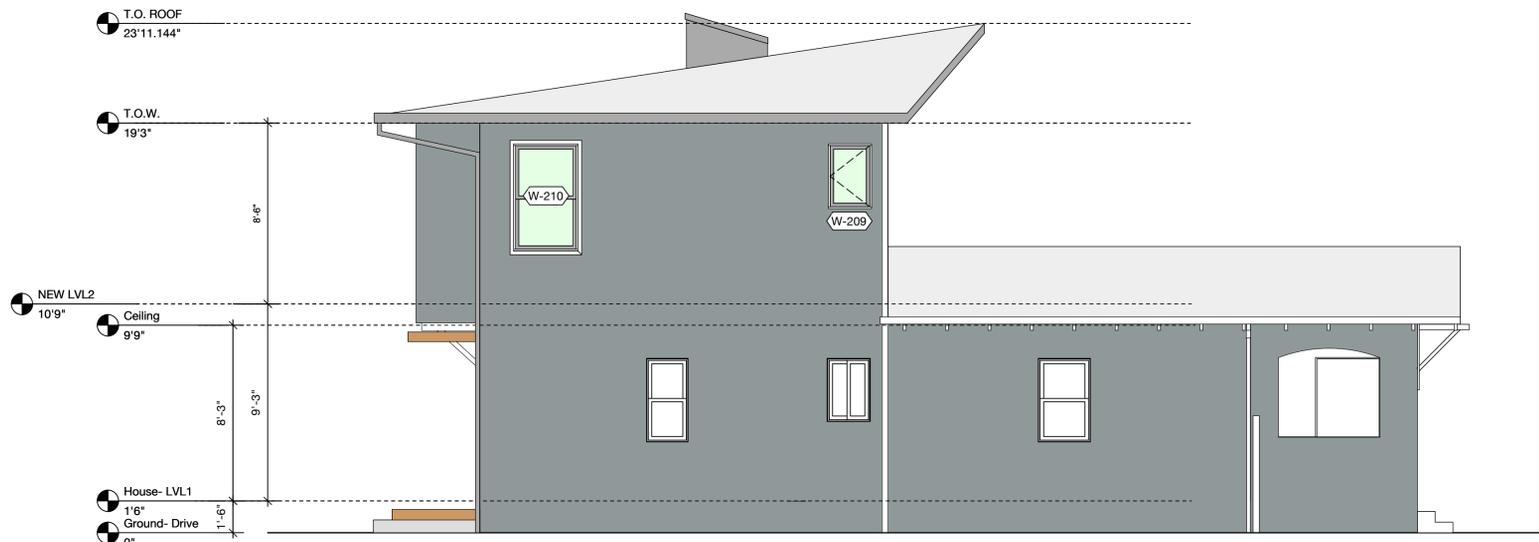
4.1 Existing Context Building Elevations
Scale: 1/8" = 1'-0"



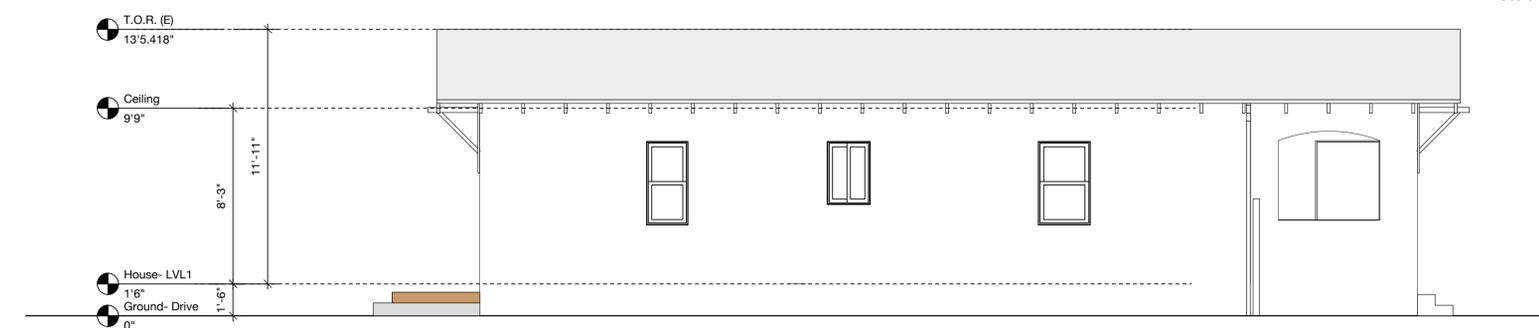
3 Proposed South Elevation
Scale: 1/4" = 1'-0"



4 Existing South Elevation
Scale: 1/4" = 1'-0"



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



2 Existing North Elevation
Scale: 1/4" = 1'-0"

Revision _____ Date _____

Issue Date: 23 FEB 2016

Elevations

Scale: NA

A3.2

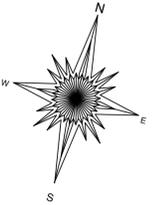
Project: 949MAD

©2015-16. All ideas, concepts, drawings and written material appearing herein constitute the original and unpublished work of chiu lao architecture design and the same may not be duplicated, used or disclosed without the written consent of the architect.

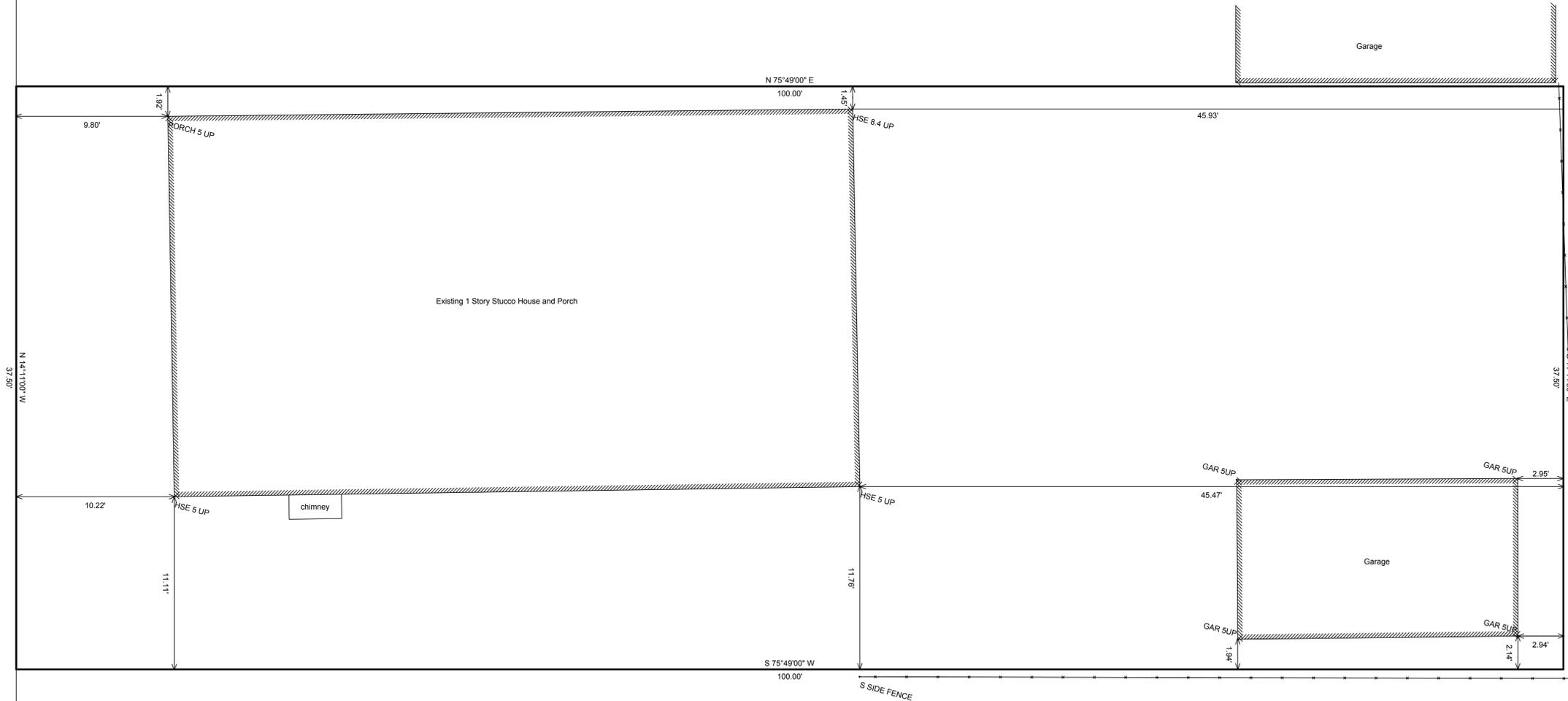
949 MADISON STREET, ALBANY, CA

APN. 66-2722-32

FEBRUARY, 2016



MADISON STREET (50' WIDE)



SCALE: 1 INCH = 4 FEET



Note:
This drawing was created using PC Survey software, and translated into .pdf format. No responsibility is taken by this office for the accuracy of the drawing. Please refer to the hard copy.
The data contained in this drawing remains the property of Paul O. Webb-Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Webb-Licensed Surveyor
2724 Ninth Street, Suite B
Berkeley, Ca. 94710