

VICINITY MAP	ASSESSOR'S MAP	AREA CALCULATIONS	PROJECT DATA	DRAWING INDEX
		<p>LOT COVERAGE</p> <p>LOT SIZE: 2,925 SQ. FT.</p> <p>ALLOWABLE LOT COVERAGE: 1,462.5 SQ. FT. (50%)</p> <p>EXISTING LOT COVERAGE EXISTING RESIDENCE: 1,095.1 SQ. FT. (37.5%)</p> <p>*NO CHANGE PROPOSED TO LOT COVERAGE</p> <p>FLOOR AREA RATIO</p> <p>MAXIMUM ALLOWABLE FLOOR AREA (F.A.R.): 2,062.0 SQ. FT. (55%)</p> <p>EXISTING FLOOR AREA (F.A.R.): 1,089.0 SQ. FT. (37.2%)</p> <p>PROPOSED FLOOR AREA (F.A.R.): 1,362.0 SQ. FT. (46.6%) (INCLUDES 60 SQ. FT. STAIR EXEMPTION)</p> <p>AREA CALCULATIONS</p> <p>EXISTING AREA (INCLUDING GARAGE): 1,089.0 SQ. FT.</p> <p>EXISTING AREA TO BE RENOVATED: 95 SQ. FT.</p> <p>NEW 1ST FLOOR (GARAGE CONVERSION): 279 SQ. FT.</p> <p>NEW 2ND FLOOR ADDITION: 333 SQ. FT.</p> <p>SUBTOTAL RENOVATED/NEW AREA: 707 SQ. FT. (65% OF EXIST. AREA)</p> <p>TOTAL AREA (EXISTING + PROPOSED): 1,422 SQ. FT.</p> <p>*NO FIRE SPRINKLERS REQUIRED BASED ON CALCULATIONS ABOVE.</p>	<p>OWNER: ANNA GOLENBERG AND DANIEL ST. ANDRE 924 KEY ROUTE BLVD. ALBANY, CA 94706</p> <p>PROJECT SCOPE</p> <p>FIRST FLOOR: RENOVATE EXISTING KITCHEN AND CONVERT EXISTING ONE-CAR GARAGE TO EXPANDED KITCHEN AND FAMILY ROOM.</p> <p>NEW SECOND FLOOR ADDITION: INCLUDES NEW MASTER BEDROOM, MASTER BATH, AND WALK-IN CLOSET</p> <p>EXTERIOR: NEW UNCOVERED 2-CAR PARKING SPACE AT SOUTH SIDE OF HOUSE. NEW DECK AND STAIR AT REAR OF HOUSE.</p> <p>ZONING: R-1</p> <p>APN: 065-2652-060-00</p> <p>OCCUPANCY: R-3</p> <p>CONSTRUCTION TYPE: VB</p> <p>FIRE SPRINKLERS: NONE</p>	<p>A - 0.0 GENERAL NOTES /SITE PLAN/PROJECT DATA</p> <p>A - 1.0 EXISTING FLOOR PLAN SHOWING DEMOLITION, EXISTING ELEVATIONS, AND WINDOW DETAILS</p> <p>A - 2.0 PROPOSED FIRST FLOOR PLAN, PROPOSED SECOND FLOOR PLAN, PROPOSED ROOF PLAN, AND DOOR AND WINDOW SCHEDULES</p> <p>A - 3.0 PROPOSED EXTERIOR ELEVATIONS AND SECTIONS</p>
<p>APPROVAL STAMPS</p>				

GENERAL NOTES	SITE PLAN
<ol style="list-style-type: none"> All work shall conform to the California Residential Code, 2010 Edition; California Plumbing Code, 2010 Edition; California Mechanical Code, 2010 Edition; California Electrical Code, 2010 Edition; 2010 Energy Code; City of Albany ordinances, Alameda County requirements and all other applicable codes and ordinances. The Contractor shall verify all conditions and dimensions on the site prior to beginning work. Contractor shall familiarize him/herself with vertical and lateral load transfer through framing to foundation. Dimensions, foundation layout, framing layout, load transfer through new and existing framing to foundation location of beams, bracing, etc. should all be verified prior to actual construction. Variance between the drawings and the actual site conditions, and any errors or omissions found in the drawings, shall be brought to the attention of the Architect before proceeding with the work. Upon discovery of unforeseen conditions on the site, the Contractor shall stop the work and request additional information from the Architect. The Contractor shall notify the Architect when the existing structure has been exposed. During demolition Contractor is to cap all electrical outlets, switches and utilities per code. Notify Owner 24 hours prior to any interruption in power or utilities. Brace and support exterior and interior walls as necessary prior to removal of existing structure so as to prevent any movement of the existing structure. The General Contractor shall be solely responsible for providing adequate shoring and bracing during construction for vertical and lateral loads as required for the protection of life and property during construction. Written dimensions shown in the drawings are to face of finish unless otherwise noted; they shall have precedence over any scaled dimensions. The Contractor shall not use scaled dimensions. Detail drawings have precedence over more general drawings. The Contractor shall guarantee all new work against leaks for a period of two years following completion of the work. The Contractor shall be responsible for restoring to original condition, at his own expense, any damage done by him or his agents to the existing buildings or grounds. The Contractor shall install all products and materials in accordance with the manufacturer's specifications and in accordance with the latest edition of Trade Standards, published by the trade associations. The Contractor shall comply with all applicable portions of Title 24 of the California Administrative Code. Dimensions, locations of doors, partitions, cabinet work and similar features to be verified on site. It shall be the Contractor's responsibility to coordinate layout of all the various components of the construction as required to accommodate the electrical layout indicated. Special attention should be given to framing layout to avoid cutting and reframing to achieve proper locations for fixtures. The Architect does not assume responsibility for construction means, methods, techniques, sequence or procedures of construction, or safety precautions, which are to remain the responsibility of the General Contractor. The Architect does not provide evaluation for the existence of hazardous material nor assume responsibility for their management. Should the Contractor encounter any hazardous materials in the performance of his work, the Contractor shall notify the Owner immediately and proceed with work only in compliance with applicable hazardous material handling regulations. Divert Construction and Demolition Waste as follows: <ol style="list-style-type: none"> Divert all cardboard, concrete, asphalt and metals. Divert 25% C&D waste, excluding all cardboard, concrete, asphalt, and metals. 	<p style="text-align: right;">1/8" = 1'-0"</p> <p>5'-0" SIDE YARD SETBACK</p> <p>PROPERTY LINE 65'</p> <p>EXISTING 6'-0" HIGH WD. FENCE TO REMAIN</p> <p>EXISTING 3'-7 1/2"</p> <p>EXISTING LANDSCAPING TO REMAIN</p> <p>(N) 16' X 18' 2-CAR PARKING SPACE</p> <p>EXISTING SINGLE FAMILY RESIDENCE</p> <p>(N) WD. DECK</p> <p>2ND FLR. ADDITION SHOWN HATCHED</p> <p>EXISTING STAIRS AND PORCH TO REMAIN</p> <p>REMOVE EXISTING DRIVEWAY</p> <p>16'-0" MIN. CONC. DRIVEWAY</p> <p>EXISTING 6'-0"</p> <p>REMOVE EXISTING FENCE</p> <p>5'-0" SIDE YARD SETBACK</p> <p>30'-0" TO OHLONE GREENWAY</p> <p>(E) 13'-4"</p> <p>20' REAR YARD SETBACK</p> <p>ADJACENT RESIDENCE</p> <p>ADJACENT RESIDENCE</p> <p>(E) 7'-4"</p> <p>15' FRONT YARD SETBACK</p> <p>(E) SIDEWALK</p> <p>16'-0" (N) CURB CUT</p> <p>KEY ROUTE BLVD.</p> <p>REPAIR SIDEWALK AND CURB AT REMOVED CURB CUT PER CITY OF ALBANY DETAILS</p> <p>11/10</p>

CONDITIONS OF APPROVAL
<ol style="list-style-type: none"> THE APPLICANT SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION PRIOR TO COMMENCING ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENT. ALL MUD, DIRT, OR CONSTRUCTION DEBRIS CARRIED OFF THE CONSTRUCTION SITE ONTO ADJACENT STREETS SHALL BE REMOVED EACH DAY. NO MATERIALS SHALL BE DISCHARGED ONTO A SIDEWALK, STREET, GUTTER, STORM DRAIN OR CREEK. ANY DAMAGE TO STREET IMPROVEMENTS NOW EXISTING OR DONE DURING CONSTRUCTION ON OR ADJACENT TO THE SUBJECT PROPERTY SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER AT THE FULL EXPENSE OF THE APPLICANT. THIS SHALL INCLUDE SIDEWALK REPAIR, SLURRY SEAL, STREET RECONSTRUCTION OR OTHERS, AS MAY BE REQUIRED BY THE CITY ENGINEER. ALL IMPROVEMENTS WITHING THE PUBLIC RIGHT-OF-WAY, INCLUDING CURB, GUTTER, SIDEWALKS, DRIVEWAYS, PAVING AND UTILITIES, SHALL BE RECONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS AND/OR PLANS AND SHALL COMPLY WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE COMMUNITY DEVELOPMENT DEPARTMENT AND CHAPTER 14 OF THE CITY CODE. THE EXISTING UPPER SEWER LATERAL FOR THE SUBJECT BUILDING SHALL BE BROUGHT INTO COMPLIANCE WITH CHAPTER 15 OF THE ALBANY CITY CODE AND WITH ALL CURRENT REQUIREMENTS OF THE MAINTENANCE AND ENGINEERING DIVISION PRIOR TO FINAL BUILDING INSPECTION. THE OWNER AND BUILDER SHALL COMPLY WITH ALL CITY REQUIREMENTS REGARDING WATER POLLUTION PREVENTION, NOISE CONTROL, CONSTRUCTION WORK HOURS AND ARCHEOLOGICAL DISCOVERIES.

PROPOSED STREET ELEVATION SHOWING ADJACENT NEIGHBORS
<p>928 KEY ROUTE BLVD.</p> <p>924 KEY ROUTE BLVD.</p> <p>920 KEY ROUTE BLVD.</p>

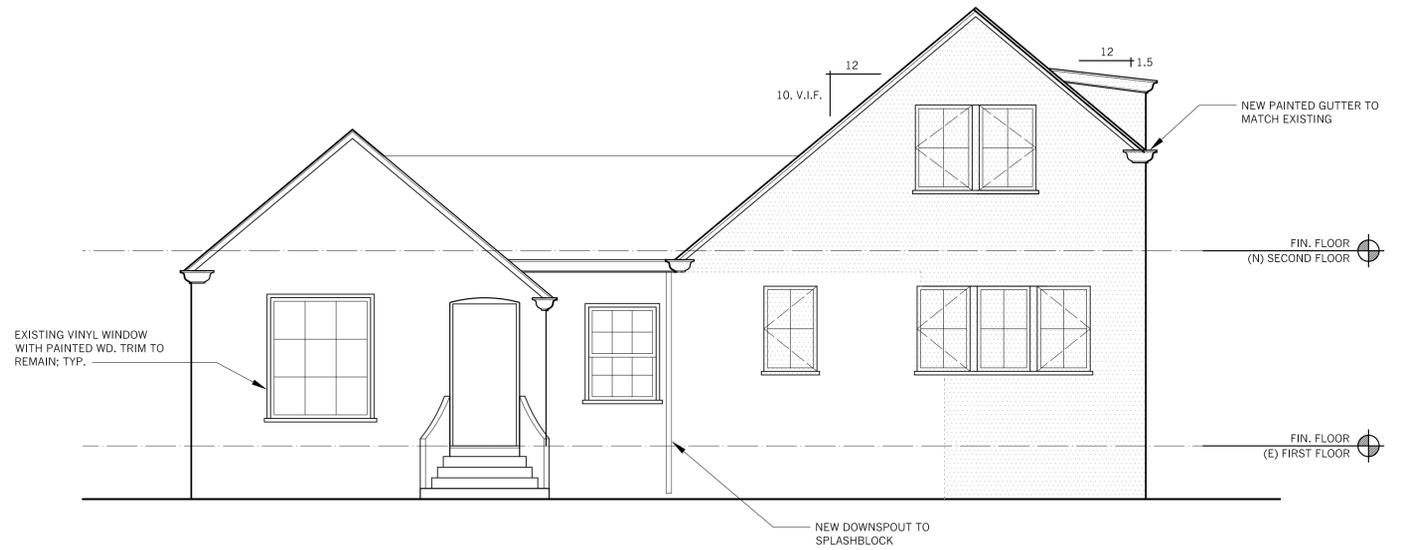
STAMP

ISSUE DATE

PRELIMINARY PRICING SET 10.12.2015
PLANNING SUBMITTAL 01.27.2016

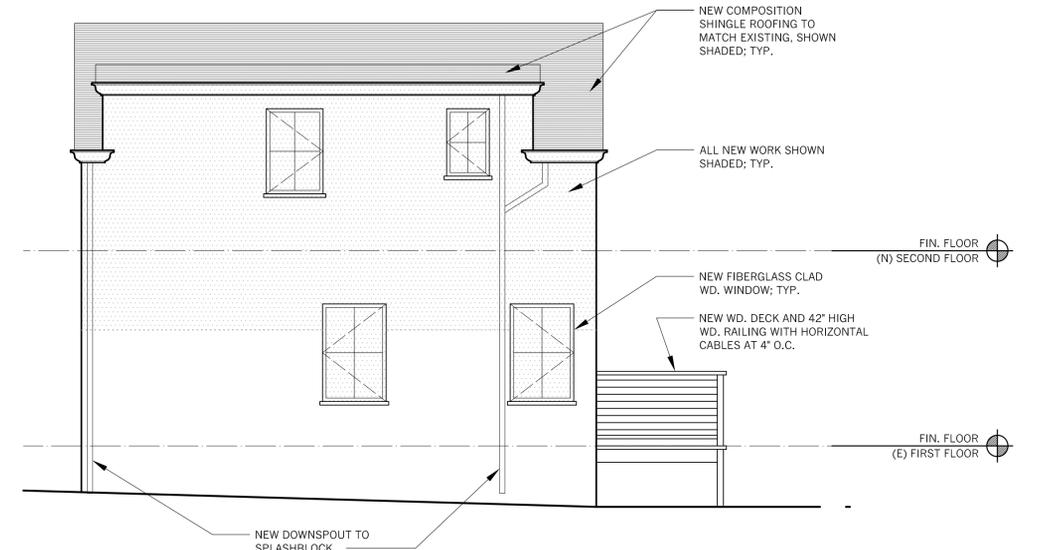
COVER SHEET

A - 0.0



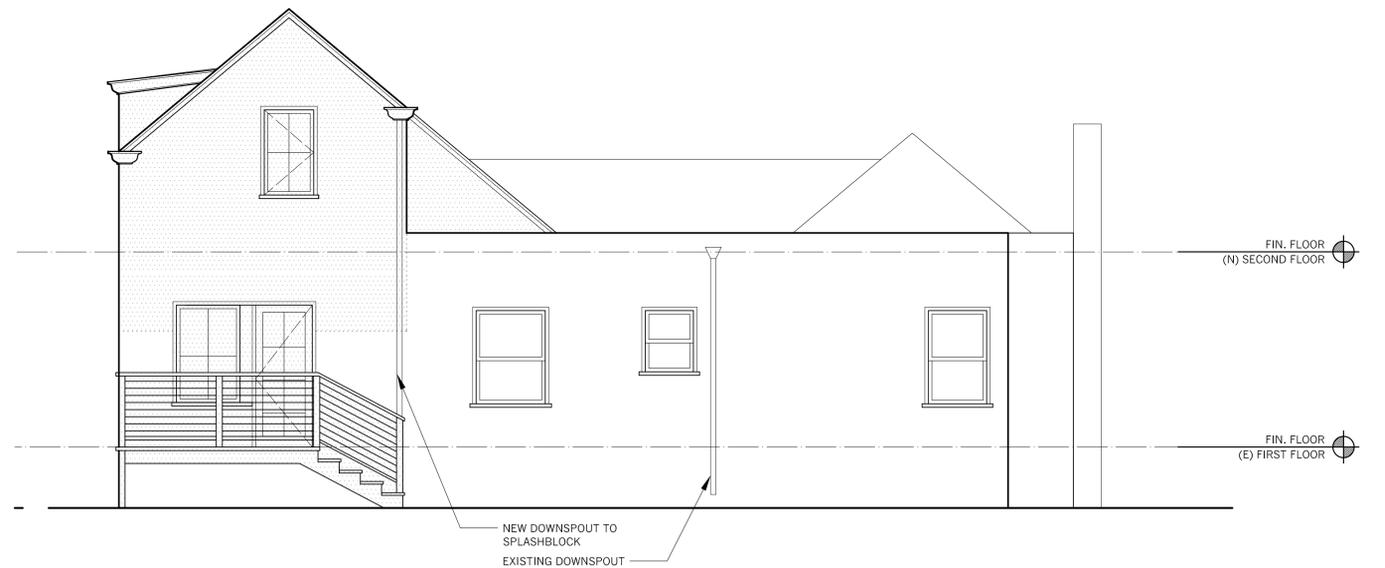
2 PROPOSED EAST ELEVATION

1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION

1/4" = 1'-0"



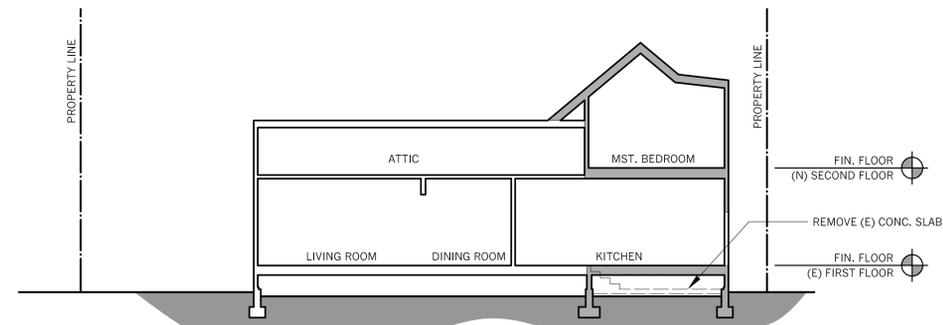
4 PROPOSED WEST ELEVATION

1/4" = 1'-0"



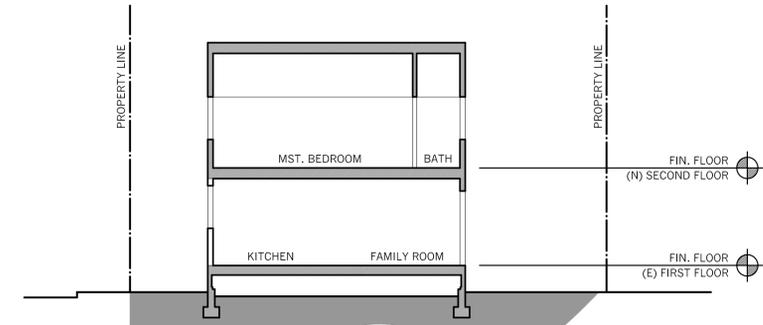
3 PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



6 PROPOSED BUILDING SECTION

1/8" = 1'-0"



5 PROPOSED BUILDING SECTION

1/8" = 1'-0"

DOOR SCHEDULE

CONTRACTOR TO COMPLY WITH MANUFACTURERS RECOMMENDATIONS ON INSTALLATION AND FINISHING, TYP.

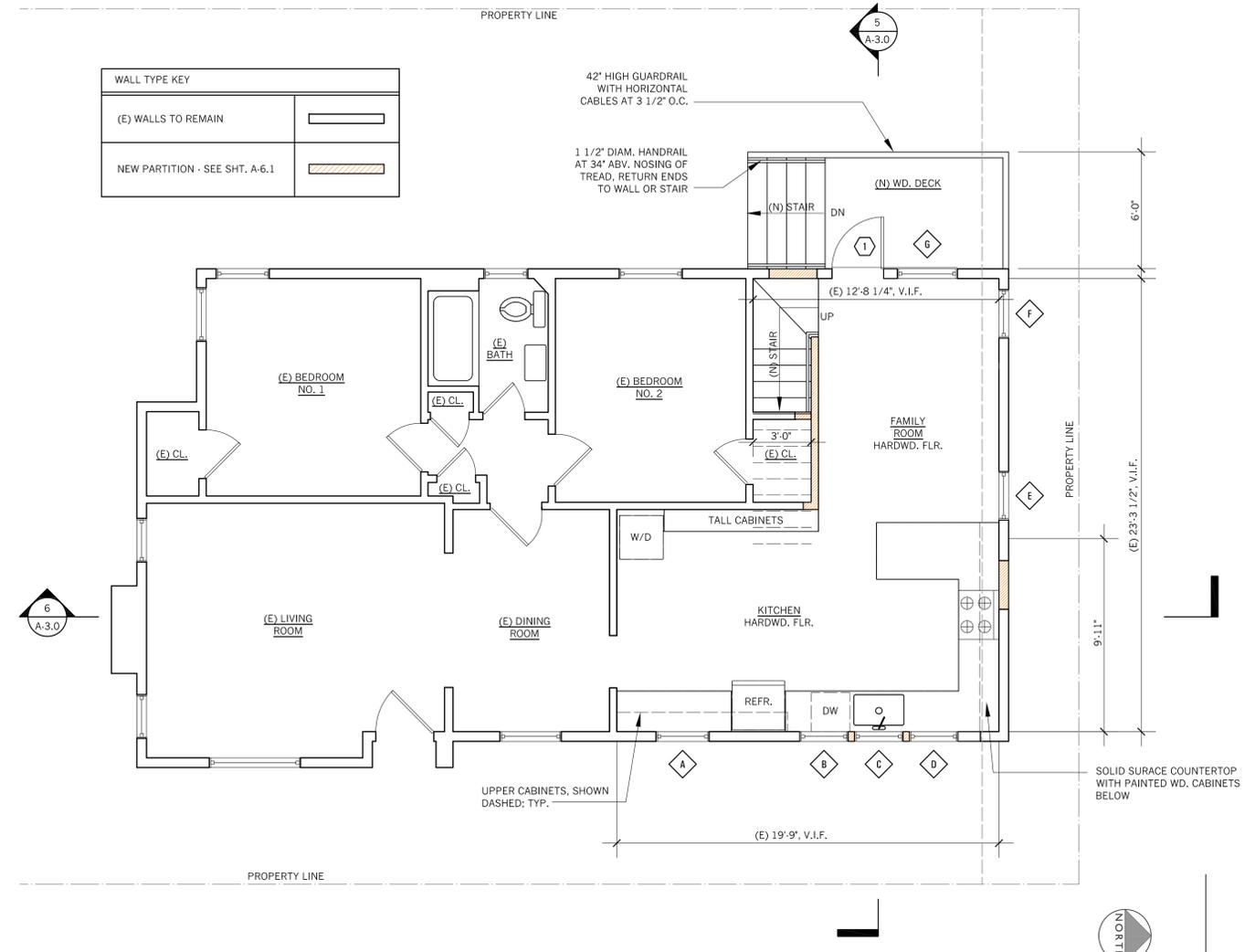
DOOR NUMBER	DOOR LEAF SIZE (W X H, FRAME SIZE)	MANUFACT./ MODEL NO.	OPERATION	FINISH (IN/OUT)	GLAZING	COMMENT
1	3'-0" X 6'-8"	MARVIN INTEGRITY	OUTSWING	PAINT/FIBERGLASS	DUAL TEMPERED	
2	NOT USED					
3	2'-6" X 6'-8" X 1 3/8"		IN SWING	PAINT/PAINT		FLAT PANEL (TO MATCH EXIST.)
4	2'-6" X 6'-8" X 1 3/8"		OUTSWING	PAINT/PAINT		FLAT PANEL (TO MATCH EXIST.)
4	2'-6" X 3'-0" X 1 3/8"; V.L.F.		OUTSWING	PAINT/PAINT		ATTIC ACCESS; 22" X 30" MIN.

WINDOW SCHEDULE

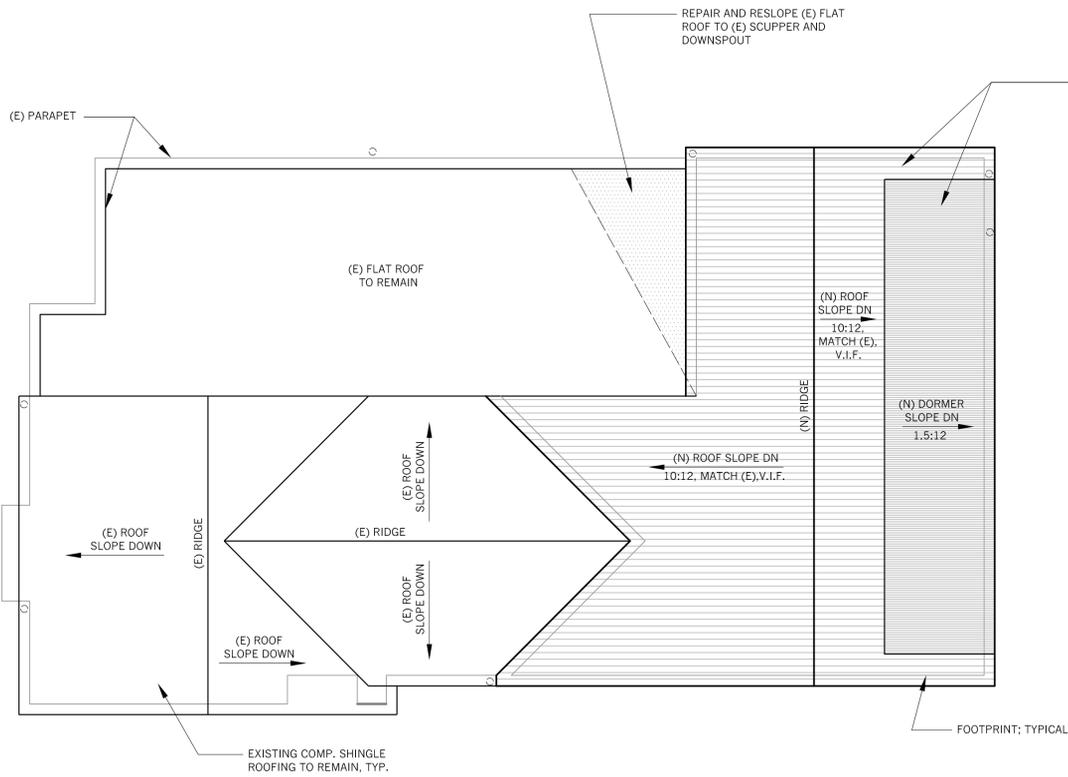
TYPE NO.	FRAME SIZE, V.I.F. (W X H)	MANUF.	MODEL NO.	OPERATION	FINISH (IN/OUT)	FINISH HD. HEIGHT	GLAZING	COMMENTS
A	2'-4" X 3'-11 1/8"	MARVIN INTEGRITY	ICA2947	CASEMENT	PAINT/FIBERGLASS	7'-6"	DUAL	
B	2'-4" X 3'-11 1/8"	MARVIN INTEGRITY	ICA2947	CASEMENT	PAINT/FIBERGLASS	7'-6"	DUAL	
C	2'-4" X 3'-11 1/8"	MARVIN INTEGRITY	ICA2947	FIXED	PAINT/FIBERGLASS	7'-6"	DUAL	
D	2'-4" X 3'-11 1/8"	MARVIN INTEGRITY	ICA2947	CASEMENT	PAINT/FIBERGLASS	7'-6"	DUAL	
E	3'-0" X 4'-7 1/8"	MARVIN INTEGRITY	ICA3755 E	CASEMENT	PAINT/FIBERGLASS	6'-8"	DUAL	
F	3'-0" X 4'-7 1/8"	MARVIN INTEGRITY	ICA3755 E	CASEMENT	PAINT/FIBERGLASS	6'-8"	DUAL	
G	3'-0" X 4'-7 1/8"	MARVIN INTEGRITY	ICA3755 E	FIXED	PAINT/FIBERGLASS	6'-8"	DUAL, TEMPERED	
H	2'-8" X 3'-11 1/8"	MARVIN INTEGRITY	ICA3347 E	CASEMENT	PAINT/FIBERGLASS	6'-8"	DUAL	EGRESS WINDOW
J	2'-8" X 3'-11 1/8"	MARVIN INTEGRITY	ICA3347 E	CASEMENT	PAINT/FIBERGLASS	6'-8"	DUAL	
K	2'-8" X 3'-11 1/8"	MARVIN INTEGRITY	ICA3347 E	CASEMENT	PAINT/FIBERGLASS	6'-8"	DUAL	
L	2'-0" X 3'-3 1/8"	MARVIN INTEGRITY	ICA2539	CASEMENT	PAINT/FIBERGLASS	6'-8"	DUAL	
M	NOT USED							
N	2'-4" X 3'-11 1/8"	MARVIN INTEGRITY	ICA2947	CASEMENT	PAINT/FIBERGLASS	6'-8"	DUAL	
P	3'-0" X 4'-11 1/8"	MARVIN INTEGRITY	ICA3759 E	FIXED	PAINT/FIBERGLASS	6'-0"; V.I.F.	DUAL, TEMPERED	

WINDOW NOTES:

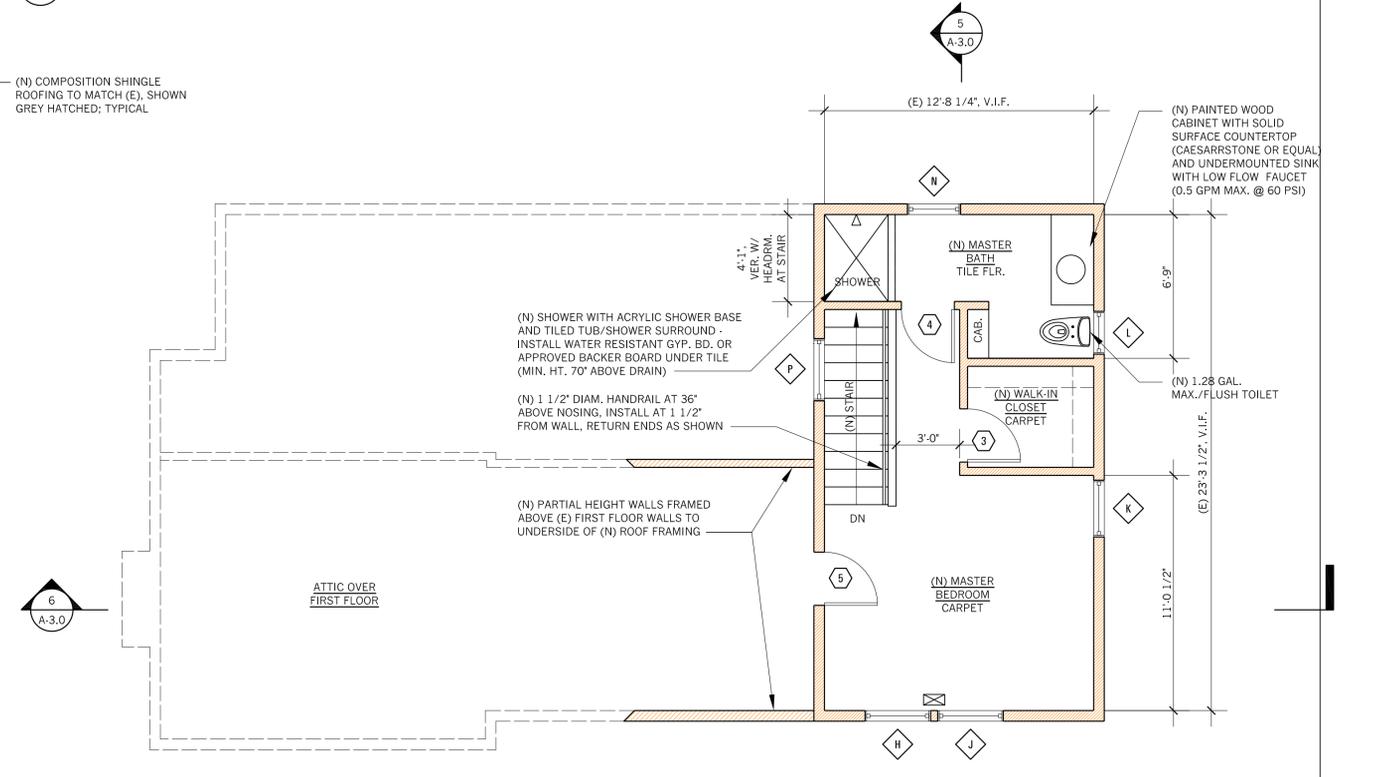
- EGRESS WINDOWS TO MEET MINIMUM REQUIREMENTS PER CRC SECTION R310 AS FOLLOWS:
 - MINIMUM NET CLEAR OPENING IS 5.7 SQ. FT.
 - MINIMUM DIMENSIONS ARE: HEIGHT = 24", WIDTH = 20", MAXIMUM HEIGHT FROM FLOOR TO OPENING = 44"
- ALL GLAZING MATERIAL SHALL BE NON-REFLECTIVE.
- SEE SHT. A-1.0 FOR TYPICAL WINDOW DETAILS.



1 PROPOSED FIRST FLOOR PLAN

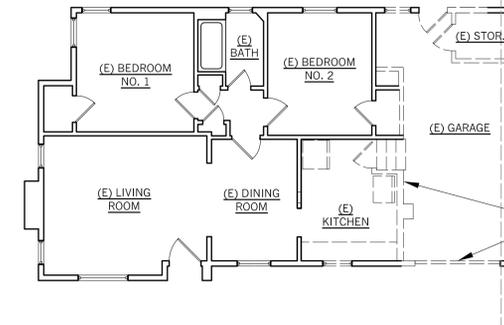


3 PROPOSED ROOF PLAN



2 PROPOSED SECOND FLOOR PLAN

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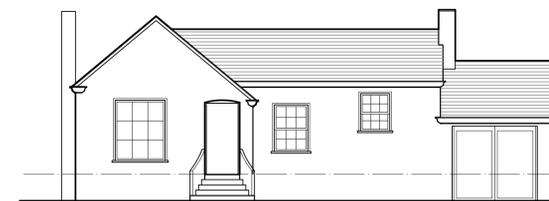


(E) CONSTRUCTION TO BE REMOVED SHOWN DASHED; TYP.



1 EXISTING FLOOR PLAN SHOWING DEMOLITION

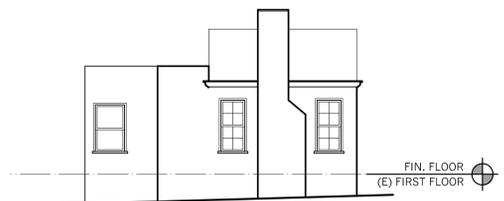
1/8" = 1'-0"



FIN. FLOOR
(E) FIRST FLOOR

3 EXISTING EAST ELEVATION

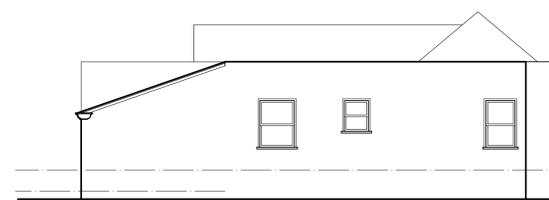
1/8" = 1'-0"



FIN. FLOOR
(E) FIRST FLOOR

2 EXISTING SOUTH ELEVATION

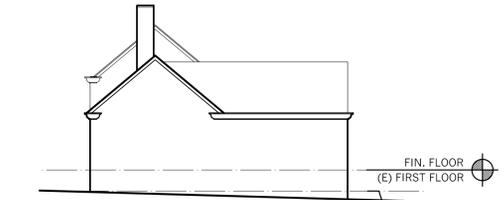
1/8" = 1'-0"



FIN. FLOOR
(E) FIRST FLOOR

5 EXISTING WEST ELEVATION

1/8" = 1'-0"

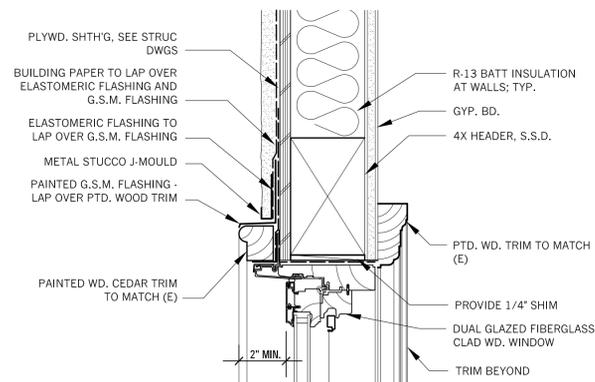


FIN. FLOOR
(E) FIRST FLOOR

FIN. FLOOR
(E) GARAGE

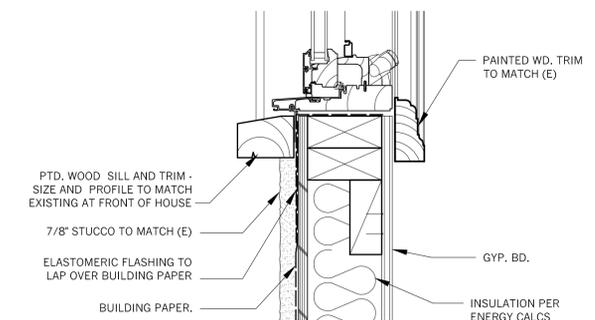
4 EXISTING NORTH ELEVATION

1/8" = 1'-0"



4 TYP. WINDOW HEAD (JAMB SIM.)

3" = 1'-0"



5 TYP. WINDOW SILL

3" = 1'-0"

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**EXISTING FLOOR
PLAN SHOWING
DEMOLITION,
EXISTING
ELEVATIONS,
AND WINDOW
DETAILS**

A - 1.0