

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT MOST STRINGENT REQUIREMENTS OF THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, CALIFORNIA FIRE CODE (CFC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NFPA, ETC.
- EXAMINATION OF THE SITE AND PORTIONS THEREOF, WHICH WILL AFFECT THE CONTRACTOR'S WORK, SHALL BE MADE BY THE CONTRACTOR WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF/HERSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. HE/SHE SHALL, AT SUCH TIME, ASCERTAIN AND CHECK ALL EXISTING CONDITIONS AND DIMENSIONS WHICH MAY AFFECT HIS/HER WORK. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE OWNER PRIOR TO START OF WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE FOR ANY EXPENSES TO WHICH HE/SHE MAY INCUR DUE TO THE FAILURE OR NEGLIGENCE ON HIS/HER PART TO MAKE SUCH EXAMINATION.
- WORK WHICH IS REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY USEABLE/OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY NOTED ON THE PLANS OR INCLUDED IN THE SPECIFICATIONS WILL BE PERFORMED AS PART OF THE CONTRACT.
- THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE CONSTRUCTION. MAINTAIN CLEANLINESS AND REQUIRED MEANS OF EGRESS/ACCESS. PROTECT NON-WORK AREAS FROM DAMAGE WHICH MAY OCCUR FROM NEW WORK. PROVIDE AND MAINTAIN TEMPORARY BARRIERS, CLOSURE WALLS, ETC. AS DEMOLITION, DUST, WATER, AND NECESSARY FOR THE SAFETY OF THE PUBLIC AND THE EMPLOYEES. DAMAGE TO EXISTING STRUCTURES AND EQUIPMENT SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- PROVIDE ALL NECESSARY PERSONNEL, EQUIPMENT, AND TEMPORARY BARRICADES TO PROTECT THE PUBLIC DURING EXCAVATION WORK. PROTECT STRUCTURES, SIDEWALKS, PAVEMENT, FENCES, BENCHES, AND FACILITIES WITHIN OR ADJACENT TO THE CONSTRUCTION SITE FROM DAMAGE DUE TO SETTLEMENT, UNDERMINING, WASHOUT, OR OTHER HAZARDS CREATED DURING EARTHWORK OPERATIONS. MAINTAIN BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS. REPAIR BROKEN OR CRACKED SIDEWALK CURB AND GUTTER DAMAGE DUE TO EARTHWORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING LEFT OVER MATERIALS, DEBRIS, TOOLS, AND EQUIPMENT INVOLVED AT THE CONCLUSION OF THE INSTALLATION. HE/SHE SHALL LEAVE THE ALL AREAS CLEAN AND IN PERFECT CONDITION. ALL FIXTURES AND REUSABLE MATERIALS TO BE REMOVED ARE TO BE STORED AND DISPOSED OF PER THE OWNER'S DIRECTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY UTILITIES FOUND IN MATERIAL TO BE REMOVED. ARRANGE AND PAY FOR DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION OF EXCAVATION. CUTBACK, CAP, DISCONNECT, AND IDENTIFY ALL SERVICES WHICH ARE NOT TO BE USED. NOTIFY THE AFFECTED UTILITY COMPANY IN ADVANCE OF STARTING THIS WORK AND OBTAIN THEIR APPROVAL. OBTAIN NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY IF A PERSON IS REQUIRED TO DESCEND INTO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH PRIOR TO COMMENCEMENT OF GRADING AND BUILDING WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- DIMENSIONS SHOWN ON PLANS ARE TO CENTER OF COLUMN, FACE OF STUDS AT INTERIOR PARTITIONS, AND FACE OF FINISH OR FACE OF CONCRETE AT EXTERIOR AND SHEAR WALLS, OR FACE OF FINISH FOR CLEAR DIMENSIONS OR DIMENSIONS FROM (E) SURFACES UNLESS OTHERWISE NOTED OR INDICATED.
- FLOOR ELEVATIONS AND PLAN DIMENSIONS OF EXISTING AND NEW CONSTRUCTION ARE BASED ON FIELD MEASUREMENTS AND SURVEY DATA AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED ON THE WALL AS SHOWN OR SHALL BE LOCATED 4" FROM FINISH JAMB TO FACE OF STUD.
- FINAL LOCATION OF ALL MECHANICAL EQUIPMENT AND ELECTRICAL EQUIPMENT, PANEL BOARDS, METERS, FIXTURES, FLUES, VENTS, ETC., SHALL BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO INSTALLATION. DESIGN AND LAYOUT OF ALL MECHANICAL AND ELECTRICAL SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR SUBJECT TO REVIEW BY THE OWNER PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE ALL FURRED CEILINGS, WALLS, AND SOFFITS NECESSARY TO SUIT MECHANICAL/ELECTRICAL EQUIPMENT INSTALLATION.
- ALL NEW PARTITIONS AROUND TOILETS AND CORRIDORS SHALL EXTEND TO THE STRUCTURE ABOVE TO PREVENT SOUND TRANSMISSIONS OVER WALLS.
- EXTEND ALL SOUND RATED PARTITIONS TO THE STRUCTURE ABOVE. FURNISH 4-1/4 LB. DENSITY GLASS FIBER INSULATION SHAPED TO FIT TIGHT SPACES. WALL MATERIAL SHALL FIT TIGHT TO THE CONFIGURATION OF THE STRUCTURE ABOVE TO PREVENT SOUND TRANSMISSION OVER WALL.
- VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS AND PROVIDE AS NECESSARY.
- ALL INTERIOR WALLS OVER 8'-0" HIGH AND ALL PLUMBING WALLS SHALL BE DOUBLE 2 X 4 NOMINAL STUDS OR 2 X 6 NOMINAL STUDS AT 16" O.C. ALL INTERIOR, AND NONBEARING INTERIOR PARTITIONS SHALL BE STIFFENED AS NECESSARY, AND COVERED WITH 5/8" GYPSUM WALLBOARD TYPICAL EACH SIDE AND MAY BE OF 2 X 4 NOMINAL WOOD STUDS AT 16" O.C. UP TO 10'-0" HIGH (SEE PARTITION TYPES). FULL HEIGHT PARTITIONS SHALL BE STIFFENED AS NECESSARY AND COVERED WITH 5/8" GYPSUM WALLBOARD TYPICAL AND 5/8" TYPE "X" GYPSUM WALLBOARD 1-HOUR CONSTRUCTION AT GARAGE.
- ALL FREE STANDING COLUMNS WITHIN SPACES SHALL BE FINISHED WITH THE FINISH SCHEDULED FOR WALLS UNLESS OTHERWISE SHOWN OR DETAILED.
- INSTALL TRANSITION STRIPS AT JUNCTION OF DIFFERENT FLOORING MATERIALS. AT OPENINGS PLACE TRANSITION STRIPS UNDER CENTERLINE OF DOOR. PROVIDE CHANGE OF COLOR TRANSITION STRIPS AT THE TOP AND BOTTOM OF ALL STAIRS PER ADA REQUIREMENTS.
- WHERE ADJOINING ROOMS HAVE COMPOSITION FLOORING OF DIFFERENT COLORS, MAKE CHANGE UNDER CENTERLINE OF DOOR.
- CAST-IN-PLACE CONCRETE SHALL BE FINISHED AS SPECIFIED.
- WHERE PLASTER OR CERAMIC TILE ABUTS METAL FRAMES PROVIDE CASING BEADS.
- ALL PARTITIONS AROUND SHAFTS SHALL EXTEND FROM FLOOR TO STRUCTURE ABOVE.

ABBREVIATIONS

Ø	DIAMETER	LT.	LIGHT
#	POUND OR NUMBER		
(E)	EXISTING	MAX.	MAXIMUM
ACOUS.	ACOUSTICAL	M.C.	MEDICINE CABINET
A.D.	AREA DRAIN	MDF	MEDIUM DENSITY FIBERBOARD
ADJ.	ADJUSTABLE	MECH.	MECHANICAL
AGGR.	AGGREGATE	MEMB	MEMBRANE
AL	ALUMINUM	MET.	METAL
APPROX.	APPROXIMATELY	MFR.	MANUFACTURER
ARCH.	ARCHITECTURAL	MH.	MANHOLE
ASB.	ASBESTOS	MIN.	MINIMUM
ASPH.	ASPHALT	MIR.	MIRROR
		MISC.	MISCELLANEOUS
BD.	BOARD	M.O.	MASONRY OPENING
BITUM.	BITUMINOUS	MTD.	MOUNTED
BLDG.	BUILDING	MUL.	MULLION
BLK.	BLOCK		
BLKG.	BLOCKING	N	NORTH
BM.	BEAM	N.I.C.	NOT-IN-CONTRACT
BOT.	BOTTOM	NO. OF#	NUMBER
B.U.R.	BUILT-UP ROOFING	NOM.	NOMINAL
		N.T.S.	NOT-TO-SCALE
		O.A.	OVERALL
CAB.	CABINET	OBS.	OBSCURE
C.B.	CATCH BASIN	O.C.	ON CENTER
CEM.	CEMENT	OD.	OUTSIDE DIAMETER
CER.	CERAMIC	OFF.	OFFICE
C.I.	CAST IRON	OPNG.	OPENING
C.G.	CORNER GUARD	OPP.	OPERABLE
CLG.	CEILING		
CLGK.	CAULKING		
CLQ.	CLOSE		
CLR.	CLEAR		
C.O.	CASED OPENING	PRCST.	PRECAST
COL.	COLUMN	PL.	PLATE
CONC.	CONCRETE	PLAM.	PLASTIC LAMINATE
CONN.	CONNECTION	PLAS.	PLASTER
CONST.	CONSTRUCTION	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	PR.	PAIR
CORR.	CORRIDOR	PT.	POINT
CTSK.	COUNTERSINK	P.T.D.	PAPER TOWEL DISPENSER
CNTR.	COUNTER	P.T.D.R	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
CTR.	CENTER	PTN.	PARTITION
		P.T.R.	PAPER TOWEL RECEPTACLE
DBL.	DOUBLE	Q.T.	QUARRY TILE
DEPT.	DEPARTMENT		
D.F.	DRINKING FOUNTAIN		
DET.	DETAIL	R.	RISER
DIA.	DIAMETER	RAD.	RADIUS
DIM.	DIMENSION	R.D.	ROOF DRAIN
DISP.	DISPENSER	REF.	REFRIGERATOR
DN.	DOWN	REFR.	REFRIGERATOR
D.O.	DOOR OPENING	RGTR.	REGISTER
DR.	DOOR	REINF.	REINFORCEMENT
DWR.	DRAWER	REQ.	REQUIRED
D.S.	DOWNSPOUT	RESIL.	SILENT
D.S.P.	DRY STANDPIPE	RM.	ROOM
DWG.	DRAWING	R.O.	ROUGH OPENING
		RWD.	REDWOOD
E.	EAST	R.W.L.	RAIN WATER LEADER
EA.	EACH		
E.J.	EXPANSION JOINT		
EL.	ELEVATION	S.	SOUTH
		S.C.	SOLID CORE
ELEC.	ELECTRICAL	S.C.D.	SEAT COVER DISPENSER
ELEV.	ELEVATOR	SCHED.	SCHEDULE
ENCL.	ENCLOSURE	S.D.	SOAP DISPENSER
EMERG.	EMERGENCY	SECT.	SECTION
E.P.	ELECTRICAL PANELBOARD	SH.	SHELF
EQ.	EQUAL	SHR.	SHOWER
EQPT.	EQUIPMENT	SHT.	SHEET
E.W.C.	ELECTRIC WATER COOLER	SIM.	SIMILAR
EXIST.	EXISTING	S.N.D.	SANITARY NAPKIN DISPENSER
EXPO.	EXPOSED	S.N.R.	SANITARY NAPKIN RECEPTACLE
EXP.	EXPANSION	SPEC.	SPECIFICATION
EXT.	EXTERIOR	SQ.	SQUARE
		S.ST	STAINLESS STEEL
F.A.	FIRE ALARM	S.SK.	SERVICE SINK
F.B.	FLAT BAR	STA.	STATION
F.D.	FLOOR DRAIN	STD.	STANDARD
FDN.	FOUNDATION	STL.	STEEL
F.E.	FIRE EXTINGUISHER	STOR.	STORAGE
F.E.C.	FIRE EXTINGUISHER CABINET	STR.	STRUCTURAL
F.H.C.	FIRE HOSE CABINET	SUSP.	SUSPENDED
FIN.	FINISH	SYM.	SYMMETRICAL
FL.	FLOOR		
FLASH.	FLASHING	TRD.	TREAD
FLUOR.	FLUORESCENT	T.B.	TOWEL BAR
F.O.C.	FACE OF CONCRETE	T.C.	TOP OF CURB
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.S.	FACE OF STUD	TER.	TERRAZZO
F.PRF.	FIREPROOF	T.G.	TONGUE & GROOVE
F.S.	FULL SIZE	THK.	THICK
FT.	FOOT OR FEET	T.P.	TOP OF PAVEMENT
FTG.	FOOTING	T.P.D.	TOILET PAPER DISPENSER
FURR.	FURRING	T.V.	TELEVISION
FUT.	FUTURE	T.W.	TOP OF WALL
		TYP.	TYPICAL
		UNF.	UNFINISHED
G.A.	GAUGE	U.O.N.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	UR.	URINAL
G.B.	GRAB BAR		
GL.	GLASS	VERT.	VERTICAL
GND.	GROUND	VEST.	VESTIBULE
GR.	GRADE		
GYP.	GYPSUM	W.	WEST
		W/	WITH
		W.C.	WATER CLOSET
		WD.	WOOD
H.B.	HOSE BIB	WO.	WITHOUT
H.C.	HOLLOW CORE	WP.	WATERPROOF
HDR.	HANDRAIL	W.SCT.	WAINSCOT
HDWD.	HARDWOOD	WT.	WEIGHT
HDWE.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HR.	HORIZONTAL		
HR.	HOUR		
		I.D.	INSIDE DIAMETER
		INSUL.	INSULATION
		INT.	INTERIOR
JAN.	JANITOR		
JT.	JOINT		
		KIT.	KITCHEN

LEGEND

	BITUMINOUS CONCRETE
	BRICK
	CERAMIC TILE
	CONCRETE
	CONCRETE BLOCK
	EARTH
	GYPSUM BOARD
	INSULATION BATT
	INSULATION BOARD
	METAL
	METAL LATH
	MORTAR
	PLASTER
	PLYWOOD
	ROCK FILL
	SAND
	STONE
	TERRAZZO
	WOOD FINISH
	WOOD FRAMING
	WOOD FRAMING
	EXISTING WALLS
	DEMOLISHED WALLS
	NEW WALLS

CONSULTANT DIRECTORY

TITLE-24 CONSULTANT:
NRG COMPLIANCE, Inc.
ENERGY COMPLIANCE CALCULATION SERVICE
P.O. BOX 3777,
SANTA ROSA, CALIFORNIA 95402
(T) 707.237.6957

DESCRIPTION OF WORK

- DEMOLITION:
FRONT DECK & STAIRS, AND INTERIOR PARTITIONS AND CEILING TO ACCEPT NEW WORK.
- NEW WORK:
CONSTRUCT NEW ENCLOSED ENTRY ADDITION TO (E) SINGLE FAMILY RESIDENCE AND RENOVATE INTERIOR AS SHOWN.
- ROOM USE:
ROOMS SHALL BE FOR RESIDENTIAL USE.
- DIFFERED ITEMS:
MECHANICAL & ELECTRICAL DRAWINGS TO BE PROVIDED BY DESIGN-BUILD SUB CONTRACTOR. MANUFACTURED ROOF TRUSSES IF ANY.

PROJECT INFORMATION

TITLE	RESIDENCE
CITY	ALBANY, CALIFORNIA
CODES	CALIFORNIA RESIDENTIAL CODE (2013 CRC), CALIFORNIA BUILDING CODE (2013 CBC), CALIFORNIA PLUMBING CODE (2013 CPC), CALIFORNIA MECHANICAL CODE (2013 CMC), CALIFORNIA ELECTRICAL CODE (2013 CEC), CALIFORNIA ENERGY CODE, CALIFORNIA FIRE CODE (2013 CFC), CALIFORNIA GREEN BUILDING CODE (2013 CGBC), ENERGY CODE (2013 T24)
CONSTRUCTION TYPE	TYPE V-B.
OCCUPANCY GROUP	GROUP R-3.
SPRINKLER	NOT REQUIRED
SEISMIC DESIGN CATEGORY	D
STORIES	1
LOT AREA	(EXISTING) 3,750 SF (PROPOSED) 3,750 SF
COVERAGE / FAR	40.24% / .402 48.69% / .487
BUILDING FLOOR AREA	
MAIN FLOOR	1,289.17 SF 1,325.97 SF
GARAGE	0.00 SF 0.00 SF
DECK	0.00 SF 131.85 SF
PORCH	55.78 SF 0.00 SF
TOTAL FLOOR AREA	1,344.95 SF 1,457.82 SF

OCCUPANT LOAD PER LATEST EDITION OF CBC CHAPTER 10
MAIN FLOOR = 1,326 SF / 200 SF PER PERSON = 7

SYMBOLS

	NUMBERS VERTICAL
	GRID LINES
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	KITCHEN EQUIPMENT NUMBER
	MATCH LINE
	WORK POINT
	SECTION
	SECTION IDENTIFICATION SHEET WHERE DRAWN
	LOCATION WHERE CUT
	DETAIL
	DETAIL IDENTIFICATION SHEET WHERE DRAWN
	LOCATION WHERE CUT
	INTERIOR ELEVATION
	SECTION IDENTIFICATION SHEET WHERE DRAWN
	PLAN INDICATION OF ELEVATION DRAWN
	ROOM IDENTIFICATION
	ROOM NAME
	ROOM NUMBER
	PROPERTY LINE
	NEW OR FINISHED CONTOURS
	EXISTING CONTOURS
	SPOT ELEVATIONS
	EXISTING GRADE
	NEW FINISH GRADE
	TOP OF WALL
	TOP OF CURB
	TOP OF PAVEMENT

DRAWING LIST

- GENERAL DRAWINGS** ● = DRAWINGS IN THIS SUBMITTAL
- G1.1 TITLE SHEET, ABBREVIATIONS, LEGEND, SYMBOLS, DRAWING LIST
 - G1.2 GREEN POINT RATING & CAL GREEN RESIDENTIAL MANDATORY MEASURES
 - G1.3 TITLE-24
 - G1.4 TITLE-24
 - G1.5 TITLE 24 & STORMWATER CHECKLIST
 - G1.6 CONDITIONS OF APPROVAL
 - G1.7 CONDITIONS OF APPROVAL & SOILS REPORT EXEMPTION FORM
- CIVIL DRAWINGS**
- C1.1 EXISTING & NEW SITE PLANS
 - C1.2 DRAINAGE DETAILS
- ARCHITECTURAL DRAWINGS**
- A1.1 EXISTING & NEW FLOOR PLANS
 - A1.2 ROOF PLAN
 - A2.1 EXISTING EXTERIOR ELEVATIONS
 - A2.2 NEW EXTERIOR ELEVATIONS
 - A3.1 BUILDING SECTIONS AND WALL SECTION
- STRUCTURAL DRAWINGS**
- S1.1 GENERAL NOTES AND SYMBOLS
 - S2.1 FOUNDATION & FLOOR FRAMING PLAN & DETAILS
 - S2.2 ROOF FRAMING PLAN & DETAILS
 - S6.1 DECK DETAILS & NOTES
- MECHANICAL / ELECTRICAL DRAWINGS**
- ME-1.1 MECHANICAL GENERAL NOTES
 - ME-1.2 ELECTRICAL GENERAL NOTES
 - ME-2.1 MECHANICAL / ELECTRICAL PLAN

VICINITY MAP



ARCHITECTURAL
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GE HZI WENG, YANG LI & QIAN LI, OWNERS

REVISIONS DATE

APPROVAL DATE

JOB:

DATE: 1/4/2016

SHEET TITLE:

TITLE SHEET

SHEET NO.

G1.1

REVISION 0

SHEET NOTES

SITWORK

- 1 (E) PLANTS WITH IRRIGATION SYSTEM SEE LANDSCAPE PLAN.
- 2 (N) SOD WITH AUTOMATIC IRRIGATION SYSTEM. SEE LANDSCAPE PLAN.
- 3 (E) SIDEWALK & CURB CUT PER CITY STD. DETAILS. TO REMAIN
- 4 (N) 3'-6" HIGH FENCE W/ GATE FIRST 24'-0" AND 6'-0" HIGH PICKET FENCE AROUND PROPERTY. ALL FENCES TO BE WOOD TO MATCH EXISTING. GATE TO BE SWINGING WITH HARDWARE.
- 5 A POSITIVE GRADIENT SHALL BE PROVIDED AWAY FROM THE FOUNDATION IN ORDER TO PROVIDE RAPID REMOVAL OF THE SURFACE WATER RUNOFF AWAY FROM THE FOUNDATION TO AN ADEQUATE DISCHARGE POINT. SLOPE SHALL NOT BE LESS THAN 5% FOR A DISTANCE OF 5 FT. FROM THE STRUCTURE. NO PONDING OF WATER SHALL BE ALLOWED ON THE PAD OR ADJACENT TO THE FOUNDATION. BEYOND 5 FT. FROM THE FOUNDATION THE SLOPE SHALL BE 1% MIN.

- 6 ALL WORK TO COMPLY WITH THE CITY OF ALBANY ORDINANCE FOR SETBACKS AND GRADING REQTS.

UTILITIES

- 7 (N) 150 AMP MAIN ELECTRIC PANEL WITH (N) 60 AMP ELECTRIC SUB PANEL IN KITCHEN
- 8 (N) 4" SANITARY SEWER LINE WITH 4" C.O. AT "Y" AS SHOWN.
- 9 ALL (N) PLUMBING IS TO BE CONNECTED TO (N) PLUMBING SYSTEM
- 10 DIMENSION TO FACE OF FOOTING ALLOWING 1" CLEARANCE TO SETBACK LINE FOR EXTERIOR FINISH MATERIAL.
- 11 1" DOMESTIC WATERLINE CONNECTED TO EBMUD METER.
- 12 PG&E GAS LINE AND METER.
- 13 TELEPHONE CONNECTION.
- 14 PROPERTY LINE.
- 15 LOW NOT USED.
- 16 (E) CONCRETE PARKING PADS FOR 2 STANDARD CAR PARKING SPACES
- 17 PROVIDE (N) FOUNDATION DRAINAGE SYSTEM WITH 4" DIA. PERFORATED PIPE AND MIRADRAIN OR EQUAL WATER PROOFING.
- 18 DIVERT A MINIMUM OF 50% OF ALL CONSTRUCTION DEMOLITION WASTE TO A GREEN CERTIFIED DISPOSAL FACILITY.
- 19 PROVIDE (N) 1-1/2" DIA. ROOF DRAINS CONNECTED TO THE 4" DIA. SOLID PIPE PERIMETER SYSTEM.
- 20 (N) STREET TREE PER CITY OF ALBANY REQUIREMENTS.

EXISTING SITE DATA

SITE AREA: 3,750.00 SF
 SITE COVERAGE: 1,324.95 SF
 LOT COVERAGE: 35.33 %
 FLOOR AREA RATIO: .353

PROPOSED SITE DATA

SITE AREA: 3,750.00 SF
 SITE COVERAGE: 1,457.82 SF
 LOT COVERAGE: 38.88 %
 FLOOR AREA RATIO: .388

EXISTING BUILDING DATA

LIVING AREA: 1,247.22 SF
 GARAGE AREA: 0.00 SF
 DECK AREA: 0.00 SF
 PORCH AREA: 35.78 SF
 TOTAL AREA: 1,324.95 SF

PROPOSED BUILDING DATA

LIVING AREA: 1,132.97 SF
 GARAGE AREA: 0.00 SF
 DECK AREA: 131.85 SF
 PORCH AREA: 0.00 SF
 TOTAL AREA: 1,457.82 SF

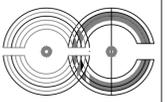
DESIGNER'S STATEMENT

THIS PLOT PLAN CORRECTLY REPRESENTS A PLOT PLAN MADE BY ME OR UNDER MY DIRECTION.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

BOUNDARY LINES ARE BASED UPON THE COUNTY ASSESSOR'S OFFICE RECORDS. NO NEW ADDITION IS WITHIN 12" OF A PROPERTY LINE THEREFORE NO BOUNDARY SURVEY IS REQUIRED.

JOHN W. COWEE, JR. ARCHITECT C-9199 JANUARY 2, 2016 EXPIRES 1/31/17



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REVISIONS	DATE

APPROVAL DATE

JOB:

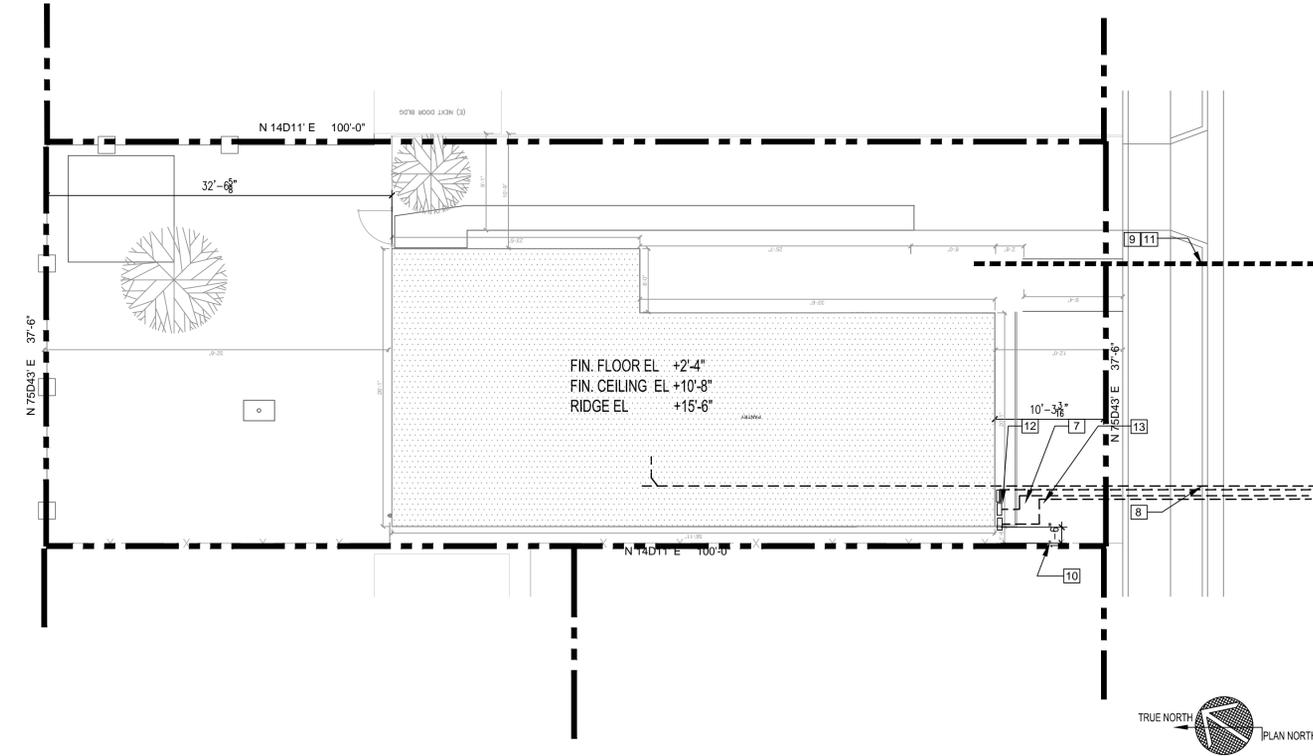
DATE: 1/4/2016

SHEET TITLE:
EXISTING & NEW SITE PLANS

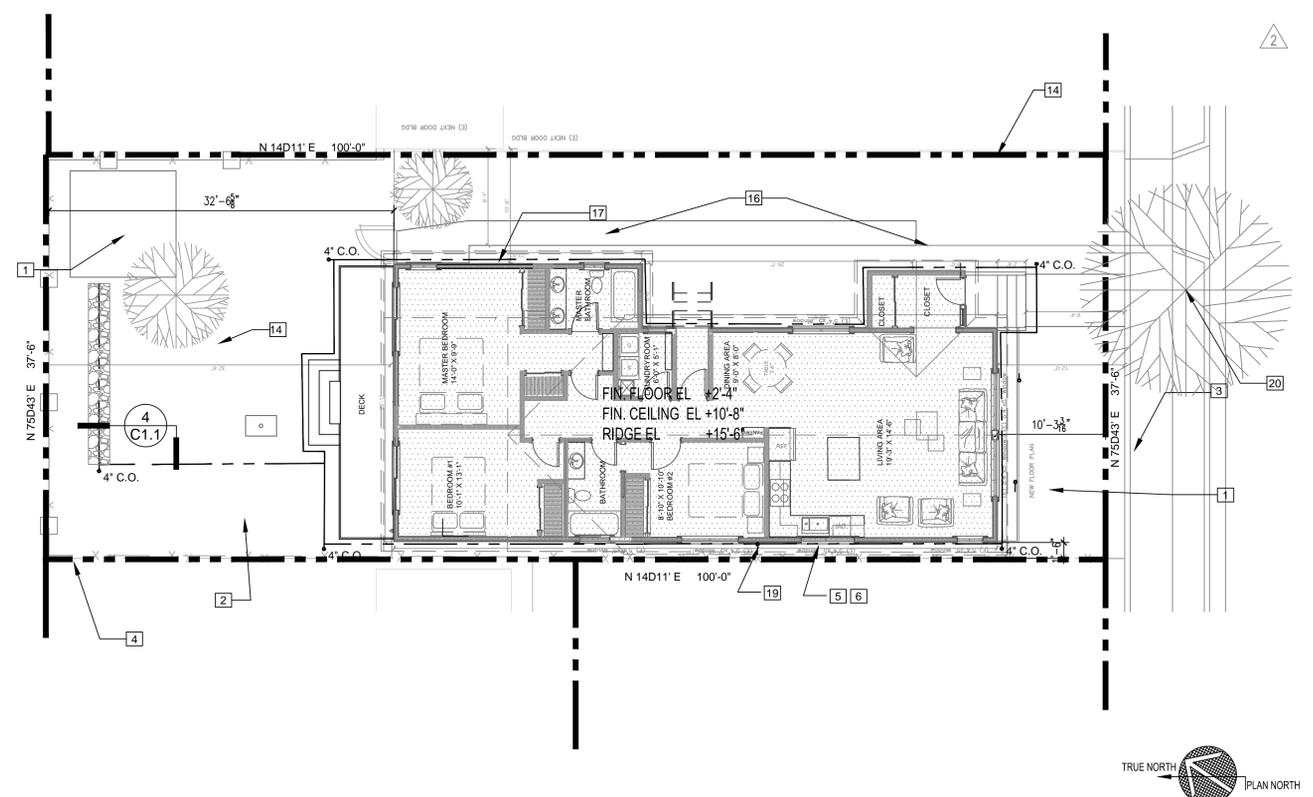
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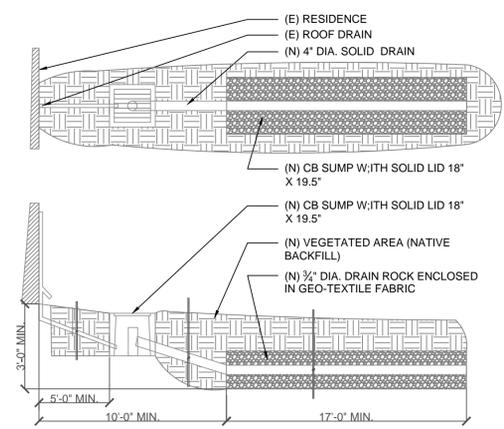


1 EXISTING SITE PLAN 1/8"=1'-0"



2 NEW SITE & DRAINAGE PLAN 1/8"=1'-0"

3



4 SHALLOW GRAVEL BASIN N.T.S.

NOTE:

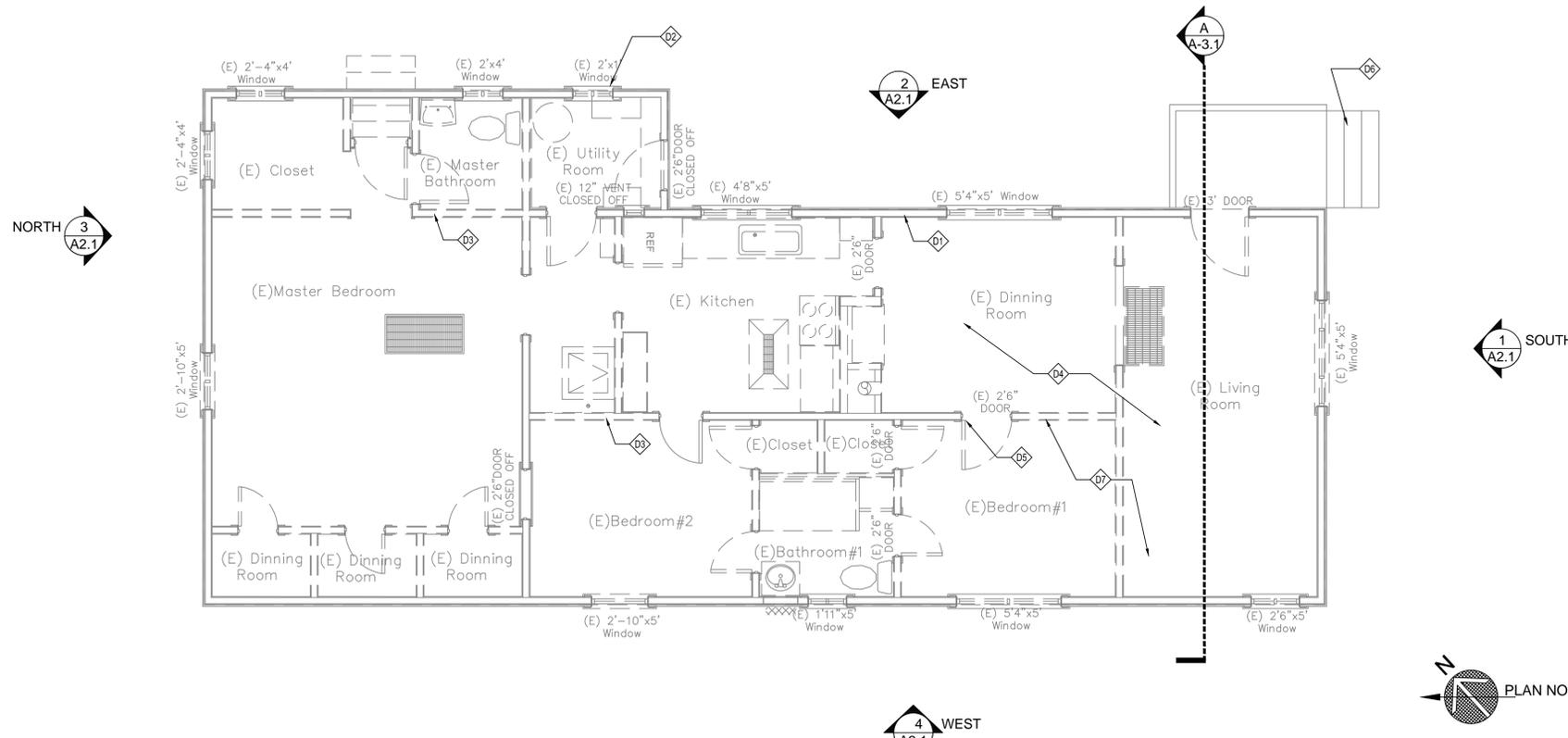
1. PROVIDE 4" DIA. PERFORATED PVC PIPE SCHEDULE 40 FOR FOUNDATION DRAINS AND 4" SOLID PVC PIPE SCHEDULE 40 FOR CLOSED DRAIN LINES AS WELL AS FOR ANY PROPOSED DRAINAGE INLETS. THE AREA DRAINS AND CLOSED CONDUIT SYSTEM SHALL BE FIELD VERIFIED FOR PROPER DRAINAGE BY THE BUILDING INSPECTOR.
2. RELOCATED AND NEW DOWNSPOUTS TO BE CONNECTED DIRECTLY TO THE CLOSED CONDUIT DRAIN PIPES. ROOF DRAINAGE IS REQUIRED TO BE TAKEN TO THE CURB AND DELIVERED TO THE CITY STORM DRAIN.
3. THE OWNER SHALL VERIFY THAT THE EXISTING UPPER SANITARY SEWER LATERAL COMPLIES WITH CITY ORDINANCE.
4. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
5. ANY BROKEN OR UPLIFTED SIDEWALK NOW EXISTING OR CAUSED BY THIS PROJECT SHALL BE REMOVED AND REPLACED.
6. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE SPECIFICATIONS AND DETAILED DRAWINGS OF THE CITY OF ALBANY.
7. THE CONTRACTOR SHALL REMOVE ANY MUD OR DIRT FROM THE STREET AND KEEP IT FROM DRAINS.
8. SEWER COMPLIANCE IS REQUIRED PER CHAPTER 15 OF THE ALBANY CITY CODE. ALL PROPERTIES, INCLUDING PROPERTIES WITH A VALID UPPER SEWER LATERAL CERTIFICATE OF COMPLIANCE, ARE REQUIRED TO UPGRADE THE UPPER LATERAL CONDITION TO MEET CURRENT STANDARD REQUIREMENTS THAT INCLUDES, BUT ARE NOT LIMITED TO:
 - 8.1. INSTALLATION OF A TWO-WAY CURBSIDE CLEANOUT WITH A LOOSE CAP AND A BUILDING CLEANOUT WITH A BACKWATER PREVENTION DEVICE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS SS5, SS6 AND TOE THE SATISFACTION OF THE PUBLIC WORKS MAINTENANCE AND ENGINEERING DIVISIONS PRIOR TO FINAL INSPECTION APPROVAL OF THE THE CONSTRUCTION PERMIT. THE PLANS MUST INDICATE A BACKWATER OVERFLOW PREVENTION DEVICE PER CITY STANDARD DETAILS SS-5 AND SS-6. (SEE DETAILS 2, 3, & 4 ON DRAWING C1.1).
9. NOTE ON DRAINAGE PLAN ALL PROPOSED DRAINAGE FOR THE PROJECT INCLUDING AREAS DRAINED AND FLOW PATTERNS (E.G. SHEET FLOW ROOF ROOF, DOWNSPOUTS, ETC.). SHOW THE AREA DRAINING TO EACH DOWNSPOUT AND THE DETAILS AT NEAR GRADE (E.G. BENDS IN DOWNSPOUTS, SPLASH BOCKS, ETC.).
10. PIPES COLLECTING SURFACE AND / OR ROOF WATERS SHOULD BE MAINTAINED SEPARATED FROM PIPES THAT COLLECT SUBSURFACE WATERS IN THE FOUNDATION DRAINS. THEY CAN BE LAID AT THE SAME TRENCH BUT SHOULD BE KEPT SEPARATED.
11. NOT ON THE SITE THE SIZE AND LOCATION OF ANY SITE SUBDRAINS THAT DAYLIGHT. THESE DRAINS ALSO ARE SHOWN ON THE STRUCTURAL FOUNDATION PLANS.
12. PROVIDE DRAIN LINE CLEANOUTS AT REGULAR INTERVALS AND AT LEAST ONE ON EACH CHANGE OF DIRECTION TO PROPERLY MAINTAIN THE DRAINAGE SYSTEM.
13. NO CONCENTRATED DRAINAGE OF SURFACE FLOW ACROSS SIDEWALKS SHALL BE PERMITTED. INSTALL SIDEWALK CROSS DRAINS PER CITY STANDARD DETAIL ST-10. ANY INCREASED RUNOFF CREATED BY IMPERVIOUS SURFACES IS REQUIRED TO BE COLLECTED AND CONVEYED TO THE STREET.

DEMOLITION NOTES:

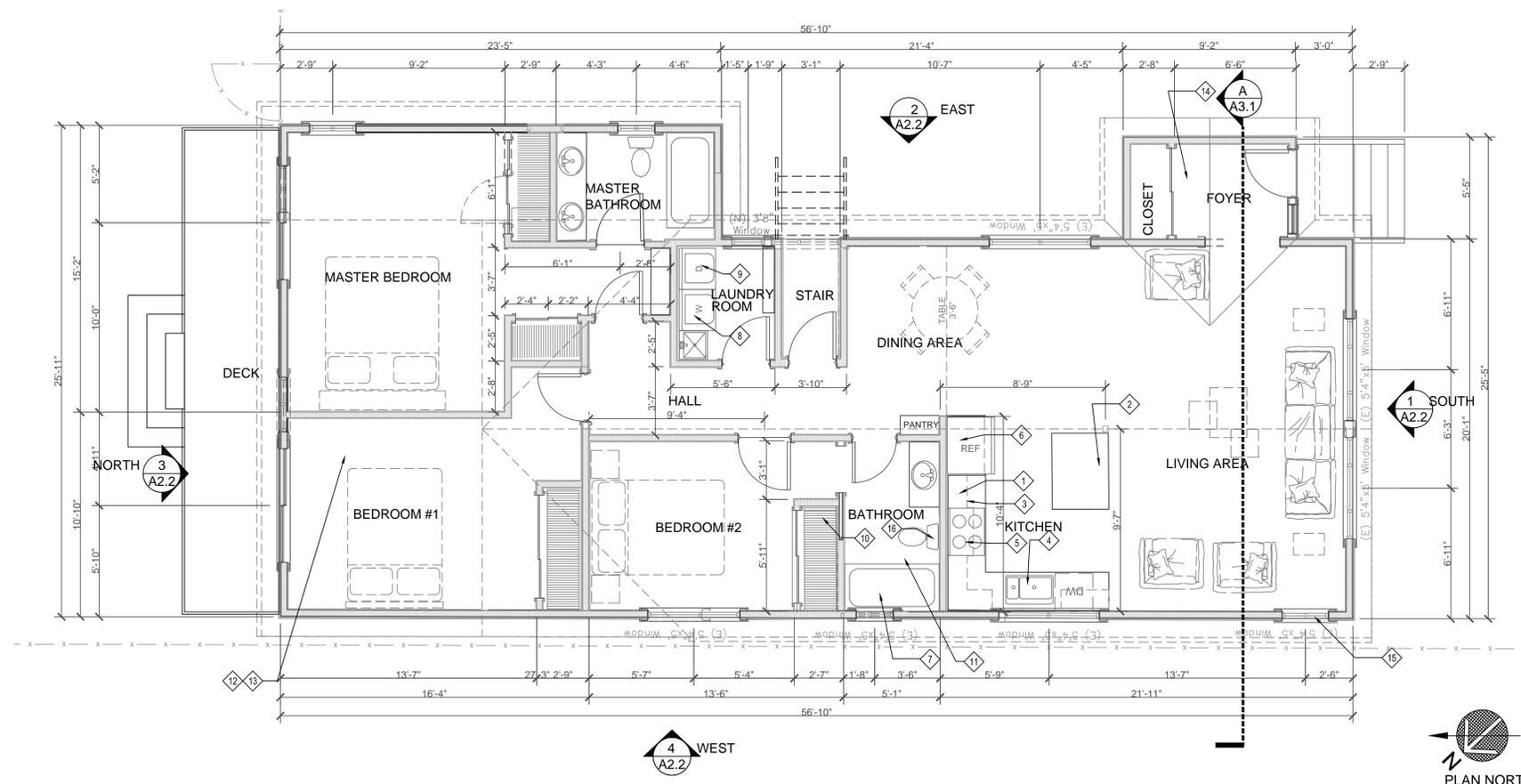
- ◇1 REMOVE (E) PLASTER AND LATH FINISH ON INTERIOR FACE OF ALL EXTERIOR WALLS. INSULATE WALLS PER TITLE-24 AND PREP WALLS FOR NEW FINISH.
- ◇2 REMOVE (E) WINDOW SASH AND FRAMES. PROVIDE (N) FRAMES AND WINDOWS TO MATCH DESIGN AND CONFIGURATION OF (E) WINDOWS.
- ◇3 REMOVE (E) INTERIOR LATH & PLASTER OVER 2X STUD WALLS. SUPPORT CEILINGS TO REMAIN AS NECESSARY. CUT BACK AND CAP ALL UTILITIES IN THE WAY OF DEMOLITION OR (N) WORK. SEE GENERAL NOTES ON G-1 FOR MORE INFORMATION.
- ◇4 REMOVE (E) CEILINGS IN DINING ROOM AND LIVING ROOM TO PREPARE FOR (N) VAULTED CEILINGS. SUPPORT ROOF AS NECESSARY UNTIL (N) FRAMING IS IN PLACE. SEE ROOF FRAMING PLAN S2.2 AND (N) CEILING PLAN E1.1.
- ◇5 REMOVE (E) DOORS AND FRAMES.
- ◇6 REMOVE (E) STAIRS, PORCH, AND SUPPORT FRAMING.
- ◇7 PATCH AND REPAIR HARDWOOD FLOORS WHERE DAMAGED AND WHERE WALLS HAVE BEEN REMOVED.

PARTITION LEGEND (USED ON THIS PROJECT =)

- (E) 2x4 STUD EXTERIOR WALL - REMOVE (E) SHINGLES AND SUBSTRATE AND ADD (N) 7/8" STUCCO O/ DIAGONAL O/ (N) 1/2" PLYWOOD SHEATHING SHEAR NAILED AND INSULATION PER TITLE 24 ON EXTERIOR & (E)1/2" LATH AND PLASTER ON INTERIOR TO REMAIN. CONVENTIONAL CONSTRUCTION.
- (E) 2x4 STUD INTERIOR WALL - (N) 5/8" GYP. BD. LATH EACH SIDE O/ (E) 2x4 STUDS TO REMAIN. (CONVENTIONAL CONSTRUCTION).
- (N) 2x6 STUD INTERIOR PLUMBING WALL - 5/8" GYP. BD. LATH ROOM SIDE O/ (E) 2x4 STUDS TO REMAIN. (CONVENTIONAL CONSTRUCTION). (N) TILE & CEMENT BACKER BOARD ON BATHROOM SIDE.
- (N) 2x4 STUD EXTERIOR WALL - 7/8" STUCCO O/ LATH, 1/2" CDX PLYWOOD SHEAR NAILED EXTERIOR, INSULATION PER TITLE 24 & 5/8" GYP. BD. INTERIOR
- (N) 2x4 STUD INTERIOR WALL - 5/8" GYP. BD. EACH SIDE.
- (N) 2x6 STUD INTERIOR PLUMBING WALL - 5/8" GYP. BD. EACH SIDE. TILE & CEMENT BACKER BOARD ON BATHROOM SIDE.
- (N) 2x4 STUD INTERIOR WALL - 5/8" GYP. BD. O/ 1/2" CDX PLYWOOD SHEAR NAILED EACH SIDE



1 EXISTING FLOOR & DEMOLITION PLAN SCALE 1/4"=1'-0" NOTES SHOWN ARE TYPICAL FOR ALL SIMILAR LOCATIONS U.O.N.



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NOTES:

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- ◇ REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- ◇ SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP AND SHALL BE THE PHOTOELECTRIC TYPE.
- ◇ EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE / RESCUE. IT SHALL HAVE THE FOLLOWING:
 - A. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
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 - C. A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES
 - D. A MINIMUM FINISHED SILL HEIGHT OF 44 INCHES.
 - E. BARS, GRILLES OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS (IBC 310.4).
- ◇ EXTERIOR WALL - EXTERIOR FACE: 7/8" 3-COAT STUCCO OVER TYVEK, 1/2" CDX PLYWOOD, 2x6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION, INTERIOR FACE: 5/8" GYP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
- ◇ INTERIOR WALLS - 2x4 STUDS @ 16" O.C. WITH 5/8" GYP.BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH, R-13 AT BATHROOM U.O.N.
- ◇ PLUMBING WALL - 2x6 STUDS @ 16" O.C. WITH 5/8" WP. GYP. BD. ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT INSULATION AT BATHROOM.

FLOOR PLAN NOTES:

- 1 24" DEEP BASE CABINET WITH 36" HIGH COUNTERTOP AND SPLASH.
- 2 36" HIGH ISLAND CABINET WITH COUNTERTOP AND EATING BAR.
- 3 13" DEEP OVERHEAD CABINET.
- 4 TWO COMPARTMENT SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS IN MANUFACTURER'S SPECIFICATIONS.
- 5 30" SLIDE-IN RANGE/OVEN WITH MICROWAVE, LIGHT AND EXHAUST FAN ABOVE (DUCT TO OUTSIDE AIR) - VERIFY DIMENSIONS & REQUIRED CLEARANCES WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATING CABINETS.
- 6 30" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICE MAKER (RECESSED IN WALL).
- 7 32" X 60" ENAMELED STEEL TUB AND SHOWER WITH CERAMIC TILE FINISH ON (3) WALLS TO 80" ABOVE FLOOR - PROVIDE CLEAR TEMPERED GLASS ENCLOSURE AND DOOR (DOOR SHALL HAVE INTEGRAL TOWEL BAR) - ALL SHOWER AND TUB / SHOWER COMBINATIONS ARE REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE TYPE PER (UPC 410.7).
- 8 WASHER SPACE - PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER) RECESSED IN WALL.
- 9 DRYER SPACE - PROVIDE SMOOTH METAL DRYER VENT WITH BACK DRAFT DAMPER - VENT TO OUTSIDE AIR. LENGTH OF CLOTHES DRYER VENT NOT TO EXCEED 14 FT. WITH MAXIMUM OF TWO 90 DEGREE TURNS. TERMINATION TO BE 3'-0" MINIMUM CLEAR FROM PROPERTY LINE.
- 10 SHELF AND POLE (DOUBLE POLE SHELF @ MASTER CLOSET).
- 11 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- 12 GAS WATER HEATER ON CONCRETE PAD IN CRAWL SPACE - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR / STRAP LOCATED TO MAINTAIN A DISTANCE OF 4 INCHES ABOVE THE CONTROLS AND INSULATION PER TITLE-24 ENERGY CALCULATIONS. PROVIDE PRESSURE RELIEF VALVE WITH 1/2" COPPER DRAIN TO OUTSIDE. (PRIDE WATER HEATER VENT THROUGH ROOF) & 12"x12" LOUVER T&B.
- 13 FORCED AIR UNIT IN CRAWL SPACE - PROVIDE LIGHT, SWITCH, 110V RECEPTACLE AND FUEL GAS PER CMC SEC 319. PROVIDE 22" X 30" MIN. ACCESS DOOR.
- 14 (N) ENTRY FOYER AND STAIRS TO REPLACE PORCH.
- 15 VINYL REPLACEMENT WINDOWS IN CONFIGURATIONS TO MATCH (E) WINDOWS TO BE REMOVED TYPICAL.
- 16 1.28 GPM TOILET.

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APPROVAL DATE
 JOB:

DATE: 1/4/2016

SHEET TITLE:
EXISTING & DEMOLITION & NEW FLOOR PLANS

SHEET NO.

A1.1

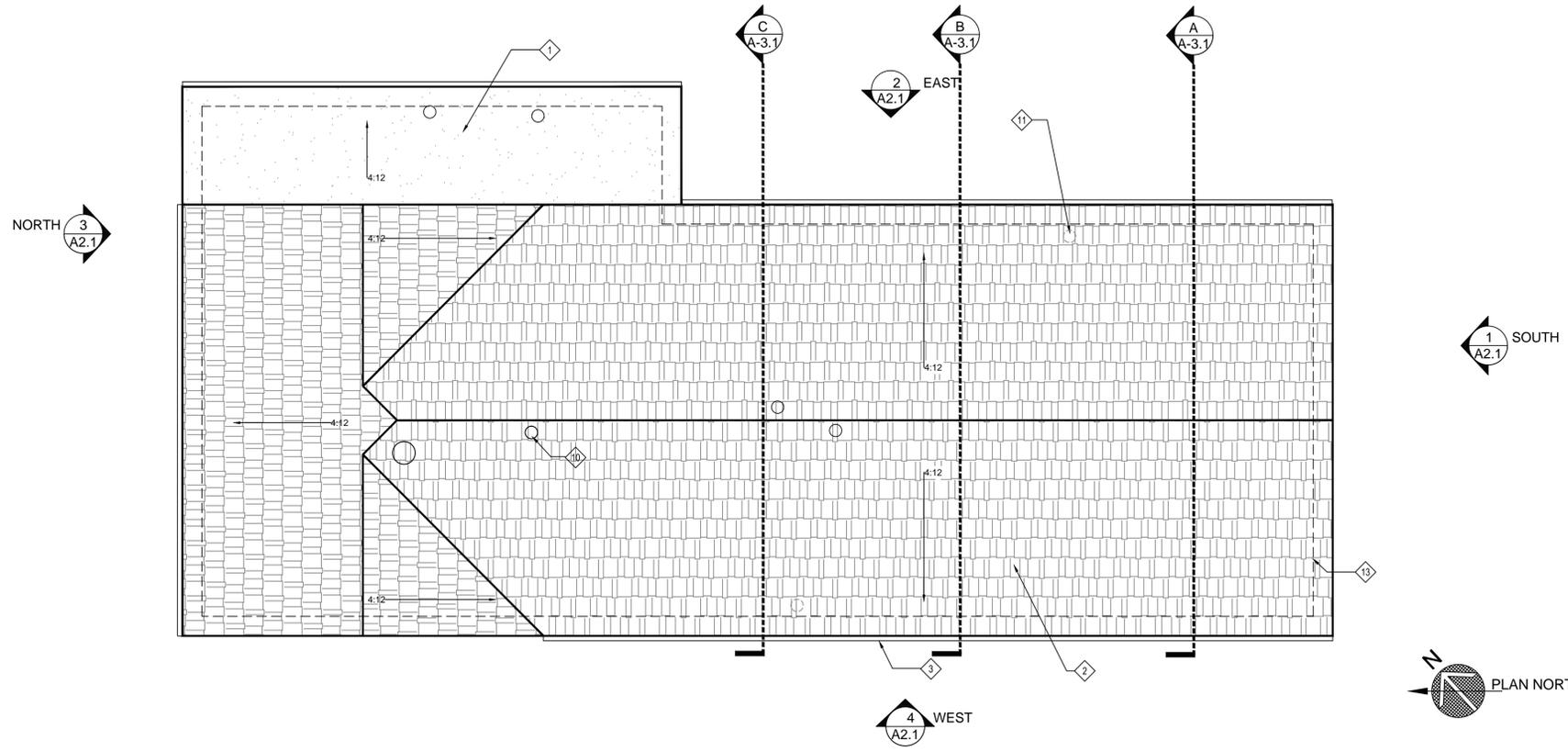
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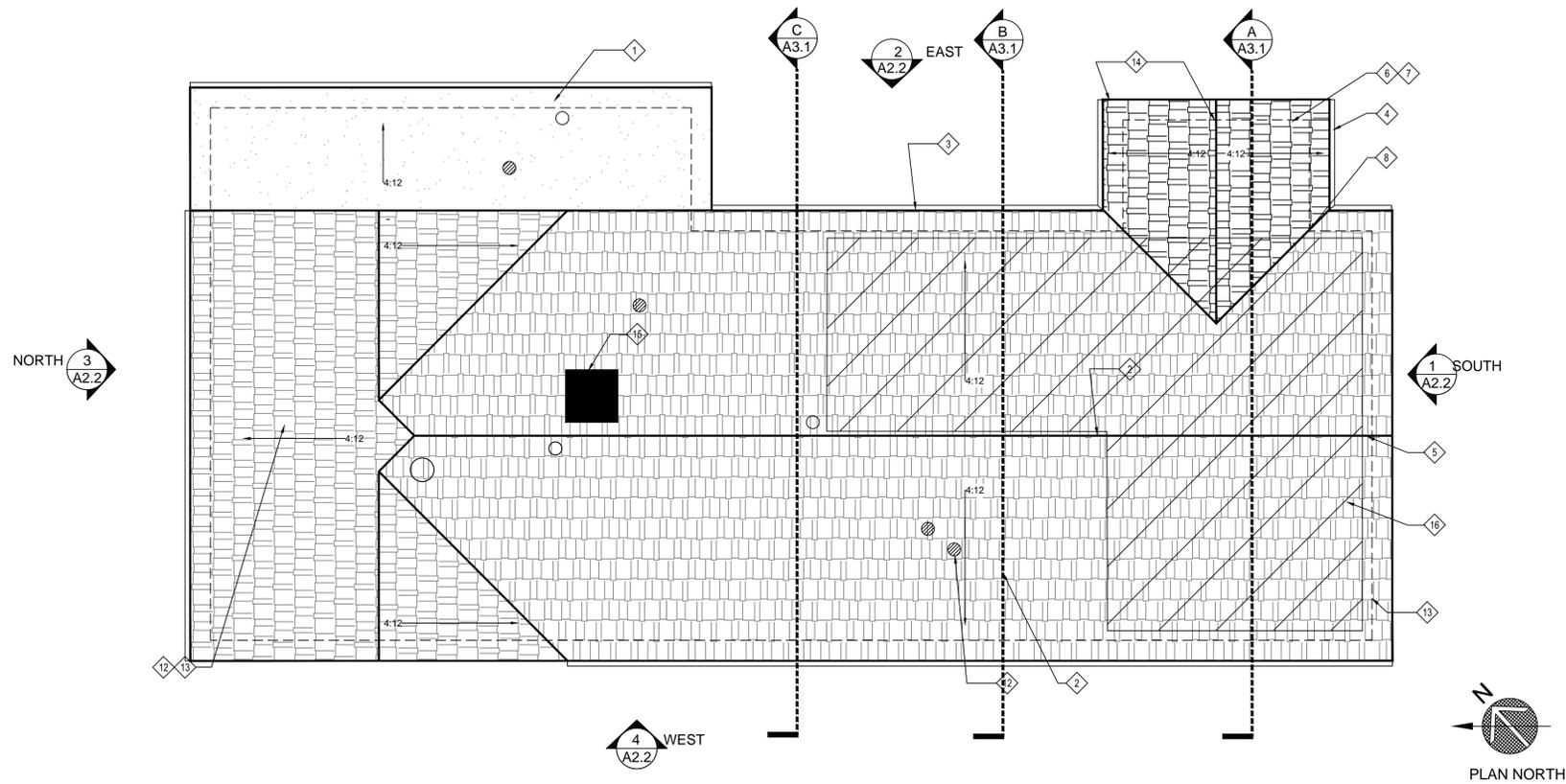
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ROOF PLAN NOTES:

- 1 (E) LOW SLOPED ROOF TO REMAIN. PATCH & REPAIR TAR & GRAVEL ROOFING.
- 2 (E) SINGLE ROOFING TO REMAIN. PATCH & REPAIR AS NECESSARY.
- 3 (E) 2" W X 4" DEEP GUTTER TO REMAIN.
- 4 (N) 2" W X 4" DEEP GUTTER TO MATCH (E)
- 5 (E) RIDGE TO REMAIN.
- 6 (N) CALIFORNIA FRAMING & SHINGLES TO MATCH (E) ROOF
- 7 (N) ROOF SLOPED TO MATCH (E)
- 8 (N) VALLEY FLASHING.
- 9 (E) ROOF VENT TO BE REMOVED.
- 10 (E) ROOF VENT TO REMAIN.
- 11 (E) PLUMBING VENT TO BE REMOVED.
- 12 (N) PLUMBING VENT W/ ROOF JACK & FLASHING.
- 13 (E) WALL OUTLINE BELOW.
- 14 (N) RIDGE & FASCIA TO MATCH (E).
- 15 (N) 30" X 30" PLASTIC BUBBLE SKYLIGHT ON 4" CURB.
- 16 (N) VAULTED CEILING BELOW THIS AREA.

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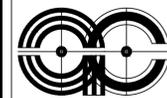
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SHEET TITLE:
 EXISTING & NEW ROOF PLANS & DETAILS

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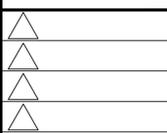
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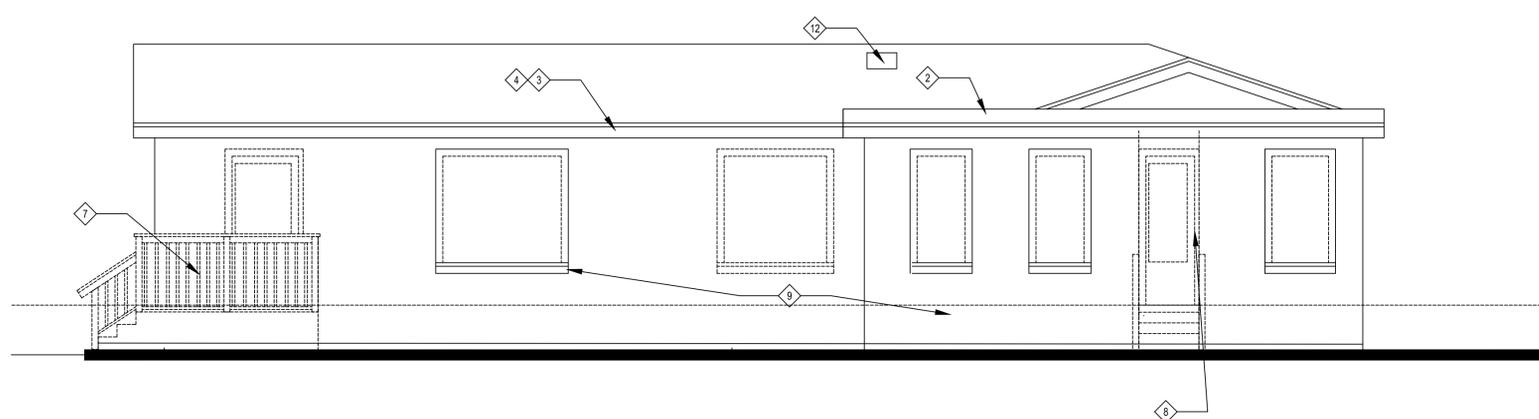
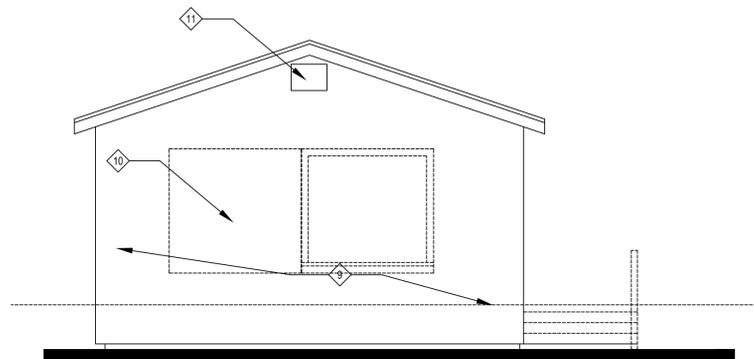
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A2.1

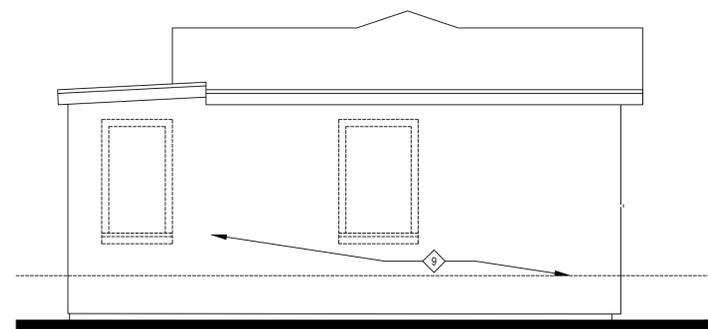
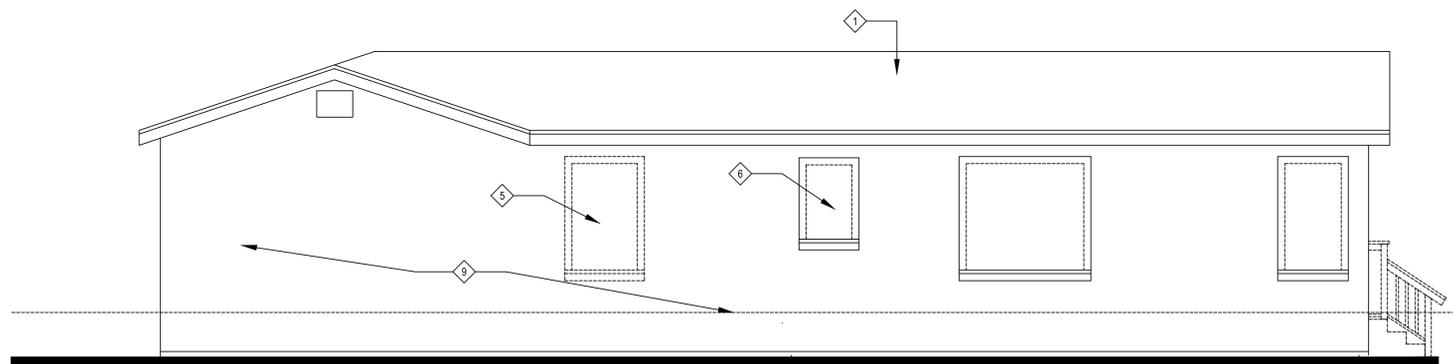
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2 (E) FRONT ELEVATION SCALE 1/4"=1'-0"

1 (E) RIGHT ELEVATION SCALE 1/4"=1'-0"



4 (E) LEFT ELEVATION SCALE 1/4"=1'-0"

4 (E) REAR ELEVATION SCALE 1/4"=1'-0"

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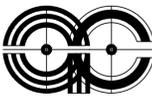
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- Ⓐ (E) ROOF WITH 4:12 SLOPE & COVERED WITH (E) COMPOSITION ROOFING MATERIALS, PATCH AND REPAIR AS NECESSARY.
- Ⓒ (E) ROOF SLOPE 1:12 TO REMAIN. PATCH AND REPAIR T&G ROOFING.
- Ⓓ (E) EXTERNAL SHEET METAL GUTTER AT EAVE.
- Ⓔ (E) EAVE OVERHANG IS 12" TYPICAL.
- Ⓕ (E) WINDOW TO BE REMOVED COMPLETELY AND REPLACED WITH (N) DUAL GLAZED VINYL WINDOW AND WOOD TRIM TO MATCH (E) (SEE NEW WORK).
- Ⓖ (E) WINDOWS TO BE REPLACED WITH NEW DUAL GLAZED WINDOWS IN (E) OPENING AND KEEP (E) TRIM.
- Ⓗ (E) PORCH TO BE REMOVED AND REPLACED WITH (N) ENTRY ENCLOSURE.
- Ⓖ (N) STUD WALL TO MATCH (E) EXTERIOR WALL TO REPLACE OPENING. (SEE NEW WORK).

- Ⓗ (E) SHINGLE AND WOOD SIDING AND ANY DRYROT TO BE REMOVED. PREPARE WALLS TO RECEIVE (N) WORK AS SHOWN.
- Ⓖ (N) OPENING TO RECEIVE (N) BAY WINDOW.
- Ⓗ (E) GABLE END VENT TO REMAIN.
- Ⓖ (N) OPENING FOR (N) SKYLIGHT (SEE A1.2).

SHEET NOTES

ELEVATION NOTES (SEE A1.1, A1.2, & A2.2 FOR NEW WORK)



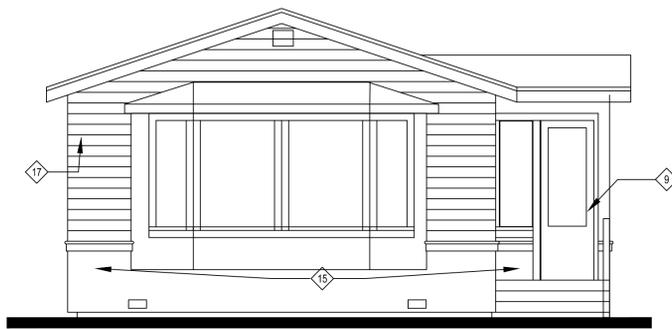
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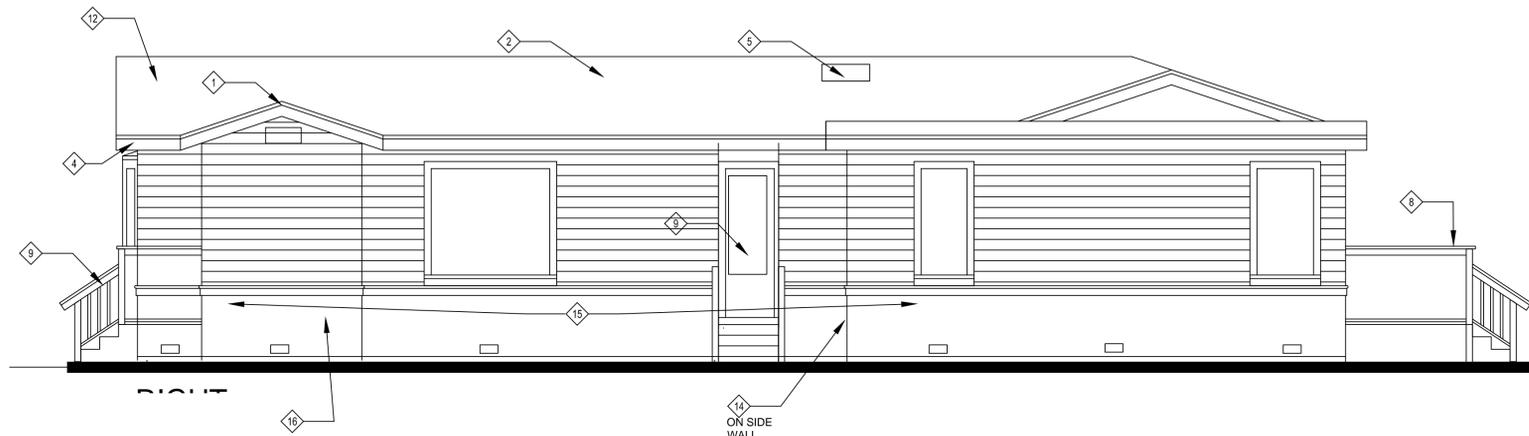


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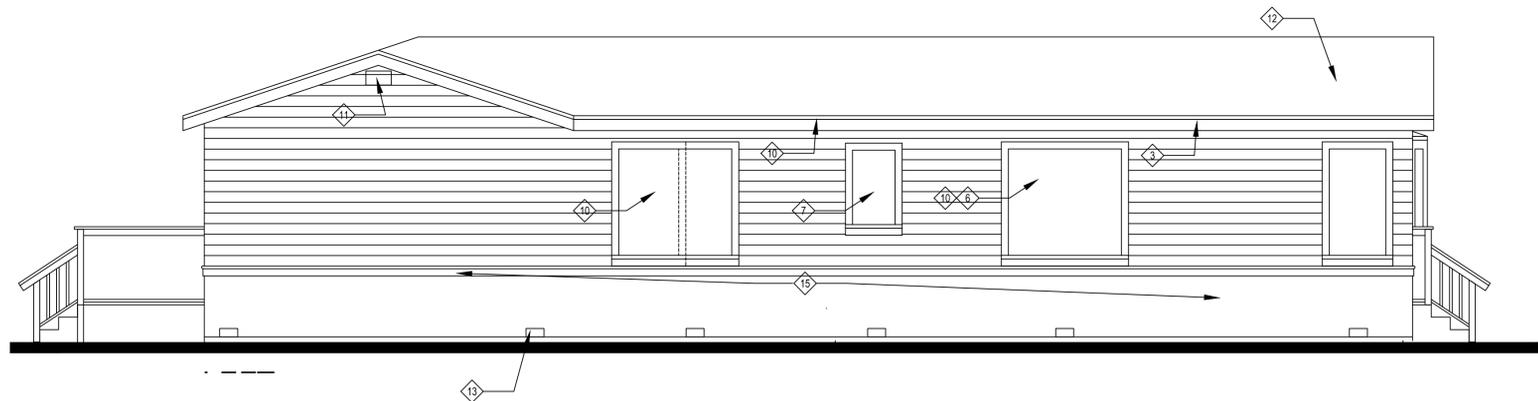
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- 1 (N) ROOF WITH 4:12 SLOPE & COVERED WITH (N) COMPOSITION ROOFING MATERIALS INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND HAVING A CLASS 'C' MINIMUM FIRE RETARDANT RATING. PRODUCTS SHALL COMPLY WITH CBC R905 AND CRC R902.1.
- 2 (E) ROOF SLOPE 4:12 TO REMAIN. SHINGLES TO BE REPAIRED OR REPLACED AS NECESSARY AT TIME OF NEW WORK.
- 3 (E) & (N) ROOFS HAVE AN EXTERNAL SHEET METAL GUTTER AT EAVE
- 4 (E) EAVE OVERHANG IS 12" TYPICAL.
- 5 (N) SKYLIGHT. (SEE ROOF PLAN).
- 6 (E) WINDOWS TO BE REPLACED WITH DUAL PANE VINYL WINDOWS IN EXISTING OPENING. PATCH AND REPAIR TRIM.
- 7 (N) WINDOWS AND TRIM TO MATCH (E) REPLACEMENT WINDOWS.
- 8 (N) DECK AT REAR.
- 9 (N) DOOR AND STAIRS AS SHOWN.
- 10 (N) EGRESS WINDOW (SEE SCHEDULE).

- 11 (N) ATTIC VENTILATION COMPLYING WITH CRC806 WITH GABLE END VENTS, ROOF RELIEF VENTS, AND WHOLE HOUSE FAN. VENT AREA EQUALS 1200 SF / 150 = 8 SF. GABLE END VENTS AND CONTINUOUS RIDGE VENTS TOTAL 3 SF + (1.5" DIA. (4.7 SQ. IN.) X 154 HOLES IN EAVE BLOCKING (2 MIN. PER RAFTER SPACE) = 5 SF.
- 12 PROVIDE 1" CLEAR AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING AT VAULTED CEILINGS. PROVIDE 1.5" DIA. (4.7 SQ. IN.) VENT HOLES IN EAVE (2 MIN. PER JOIST SPACE) AND CONTINUOUS RIDGE VENT. AREA EQUALS 300 SF / 150 = 2 SF / 4.75Q. IN. = 62 VENT HOLES MIN.
- 13 14"X8" FOUNDATION VENTS EQUAL TO 1800 SF/150 SF = 12 SF / .78 = 16 FOUNDATION VENTS MINIMUM. VENTS SHALL BE COVERED WITH CORROSION RESISTANT WIRING AND OPENINGS NOT EXCEEDING 1/4".
- 14 24" X 36" CRAWL SPACE ACCESS PANEL.
- 15 (N) HARDIE PLANK O/ LATH & (N) 2-LAYERS TYVEK O/ (N) 1/2" PLYWOOD EXISTING SUBSTRATE. CAP WITH WATERMARK.
- 16 (N) FOYER ENCLOSURE. (SEE PLAN).
- 17 (N) HARDIE BOARD LAP SIDING O/ LATH & (N) 2-LAYERS TYVEK O/ (N) 1/2" PLYWOOD EXISTING SUBSTRATE.

SHEET NOTES

ELEVATION NOTES

REVISIONS	DATE

APPROVAL DATE

JOB:

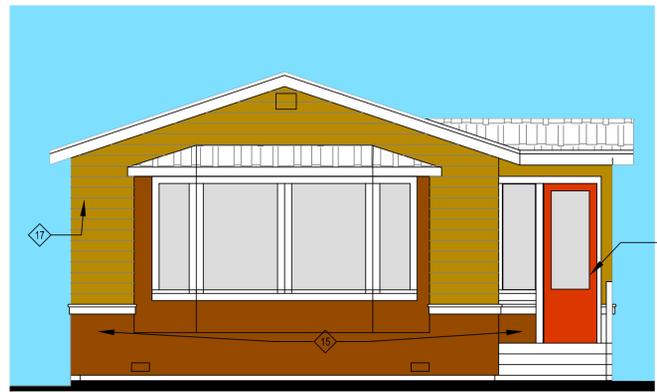
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PROPOSED
ELEVATIONS

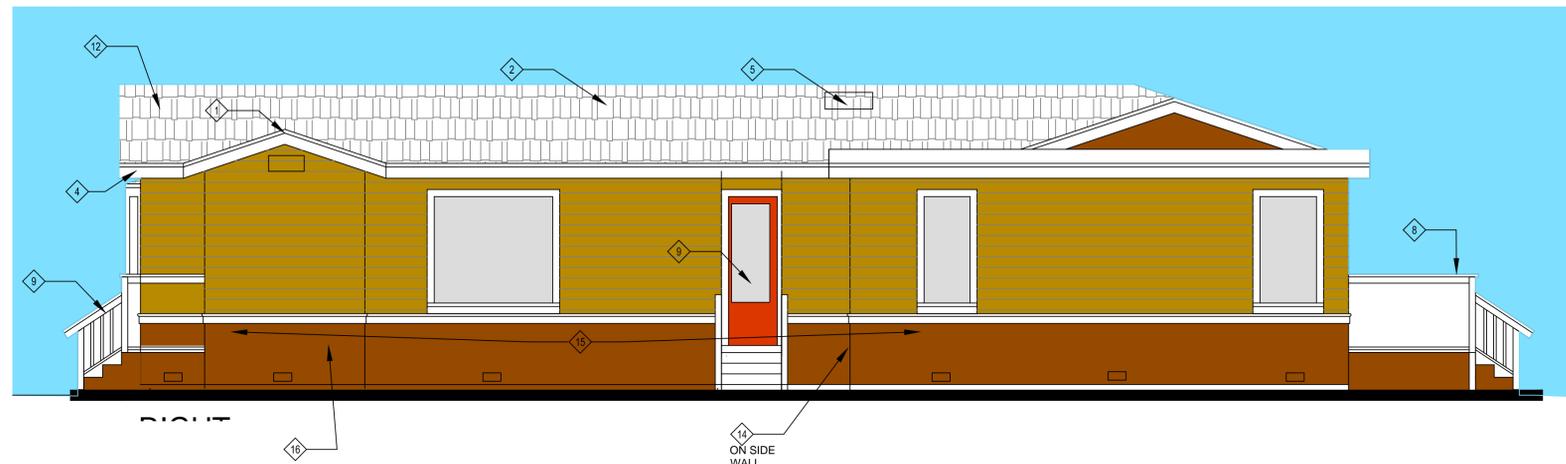
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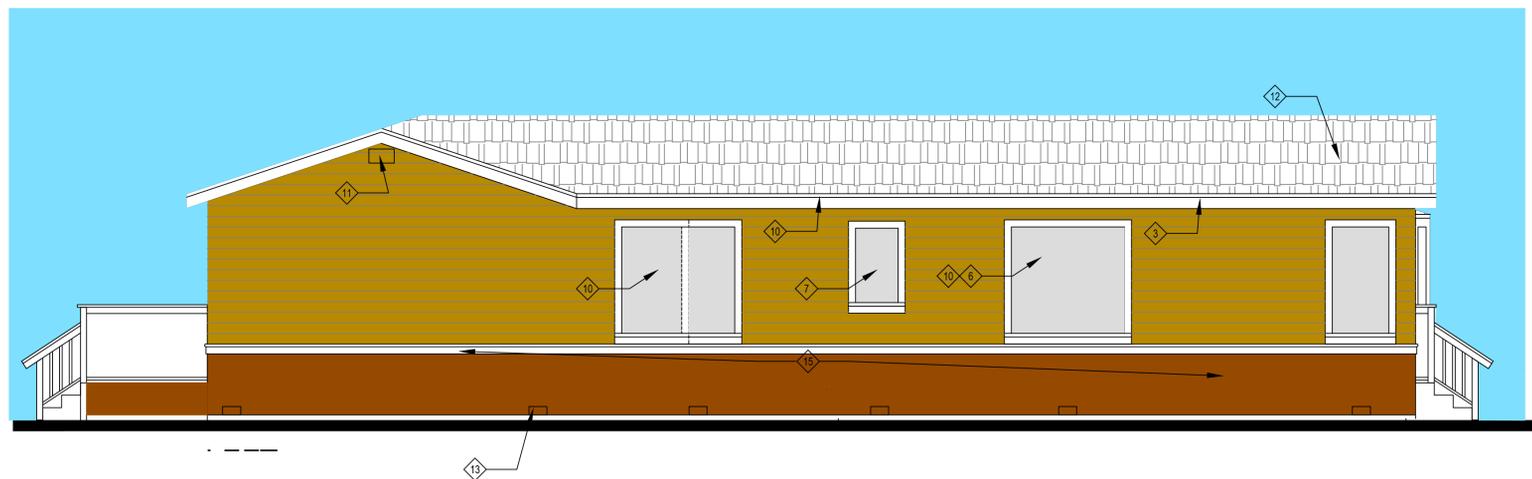
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1 (SOUTH) FRONT ELEVATION SCALE 1/4"=1'-0"



1 (EAST) RIGHT ELEVATION SCALE 1/4"=1'-0"



4 (WEST) LEFT ELEVATION SCALE 1/4"=1'-0"



3 (NORTH) REAR ELEVATION SCALE 1/4"=1'-0"

NOTES:

- A REFER TO GENERAL NOTES SHEET 'T-1' FOR ADDITIONAL INFORMATION.
- B REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- C SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24-HOUR BATTERY BACKUP.
- D EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE / RESCUE. IT SHALL HAVE THE FOLLOWING:
 - A. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 - B. A MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES.
 - C. A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
 - D. A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
 - E. BARS, GRILLES OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS (UBC 310.4).

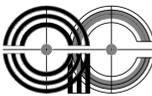
- E EXTERIOR WALL - EXTERIOR FACE: 7/8" 3-COAT STUCCO OVER TYVEK, 1/2" CDX PLYWOOD, 2x6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION, INTERIOR FACE: 5/8" GYP. BD. TAPE & TEXTURE LEVEL 5 FINISH. PATCH AND REPAIR (E) STUCCO AS REQUIRED. FINISH (N) STUCCO TO MATCH (E)
- F INTERIOR WALLS - 2x4 STUDS @ 16" O.C. WITH 5/8" GYP. BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N.
- G PLUMBING WALL - 2x6 STUDS @ 16" O.C. WITH 5/8" WP. GYP. BD. ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE, TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT INSULATION AT BATHROOM.

- 1 (N) ROOF WITH 4:12 SLOPE & COVERED WITH (N) COMPOSITION ROOFING MATERIALS INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND HAVING A CLASS "C" MINIMUM FIRE RETARDANT RATING. PRODUCTS SHALL COMPLY WITH CBC R905 AND CRC R902.1.
- 2 (E) ROOF SLOPE 4:12 TO REMAIN. SHINGLES TO BE REPAIRED OR REPLACED AS NECESSARY AT TIME OF NEW WORK.
- 3 (E) & (N) ROOFS HAVE AN EXTERNAL SHEET METAL GUTTER AT EAVE
- 4 (E) EAVE OVERHANG IS 12" TYPICAL.
- 5 (N) SKYLIGHT. (SEE ROOF PLAN).
- 6 (E) WINDOWS TO BE REPLACED WITH DUAL PANE VINYL WINDOWS IN EXISTING OPENING. PATCH AND REPAIR TRIM.
- 7 (N) WINDOWS AND TRIM TO MATCH (E) REPLACEMENT WINDOWS.
- 8 (N) DECK AT REAR.
- 9 (N) DOOR AND STAIRS AS SHOWN.
- 10 (N) EGRESS WINDOW (SEE SCHEDULE).

- 11 (N) ATTIC VENTILATION COMPLYING WITH CRC806 WITH GABLE END VENTS, ROOF RELIEF VENTS, AND WHOLE HOUSE FAN. VENT AREA EQUALS 1200 SF / 150 = 8 SF. GABLE END VENTS AND CONTINUOUS RIDGE VENTS TOTAL 3 SF + (1.5" DIA. (4.7 SQ. IN.) X 154 HOLES IN EAVE BLOCKING (2 MIN. PER RAFTER SPACE) = 5 SF.
- 12 PROVIDE 1" CLEAR AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING AT VAULTED CEILINGS. PROVIDE 1.5" DIA. (4.7 SQ. IN.) VENT HOLES IN EAVE (2 MIN. PER JOIST SPACE) AND CONTINUOUS RIDGE VENT. AREA EQUALS 300 SF / 150 = 2 SF / 4.75Q. IN. = 62 VENT HOLES MIN.
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SHEET NOTES

ELEVATION NOTES



ARCHITECTURAL CONCEPTS

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GE HZI WENG, YANG LI & QIAN LI, OWNERS

REVISIONS	DATE

APPROVAL DATE

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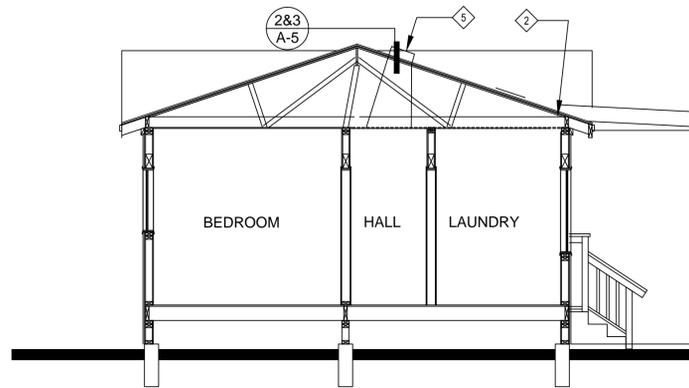
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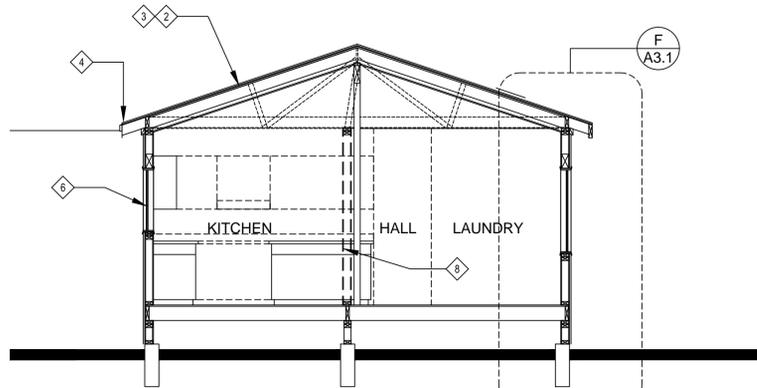
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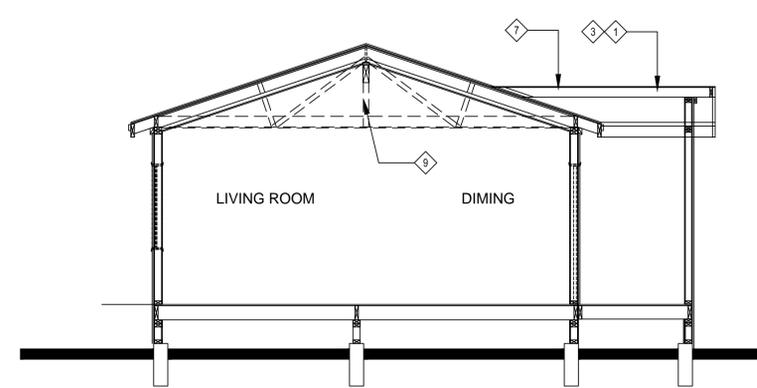
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SEE STRUCTURAL DRAWINGS FOR FRAMING DETAILS



SEE STRUCTURAL DRAWINGS FOR FRAMING DETAILS

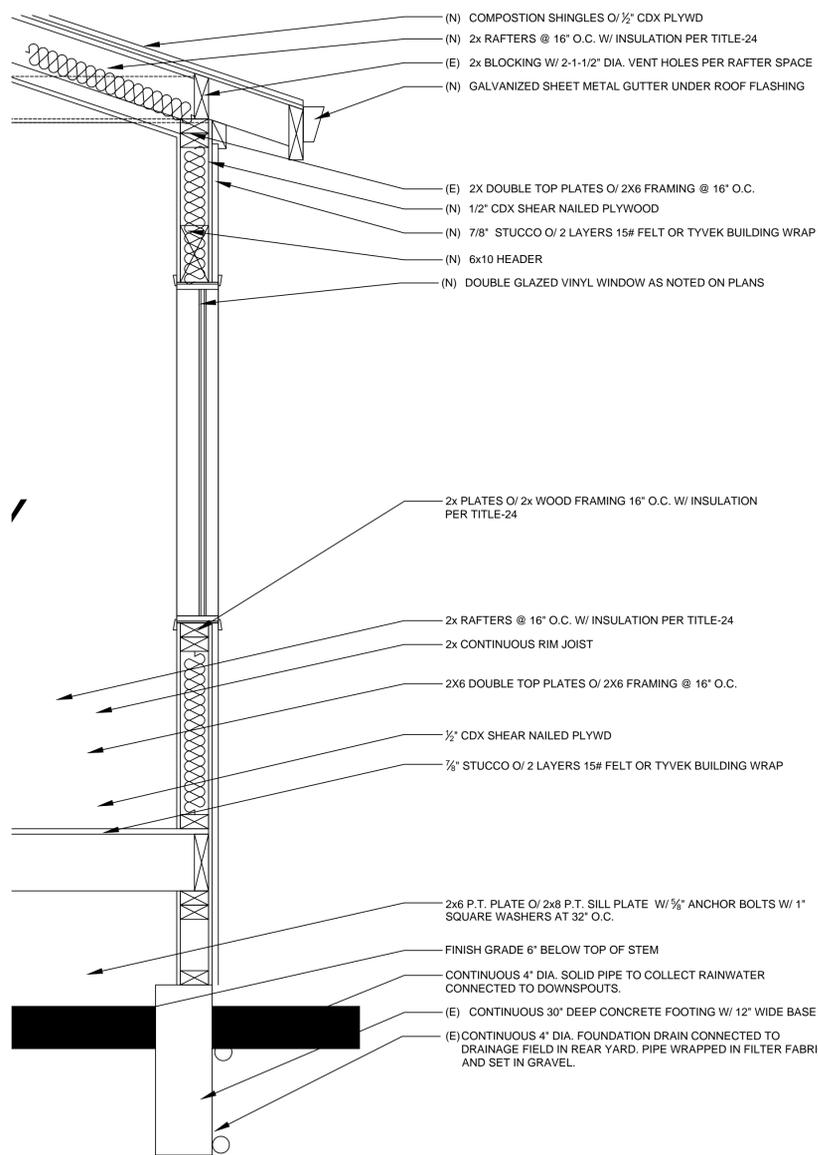


SEE STRUCTURAL DRAWINGS FOR FRAMING DETAILS

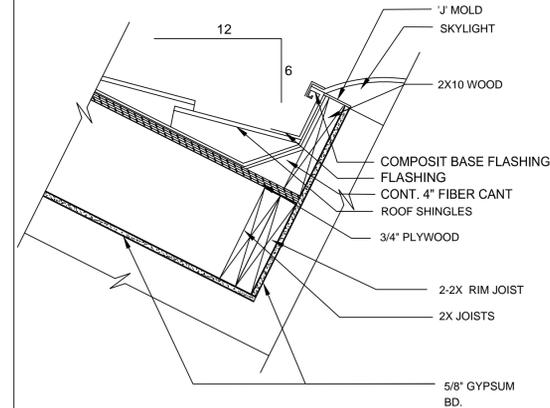
C BUILDING SECTION SCALE 1/4"=1'-0"

B BUILDING SECTION SCALE 1/4"=1'-0"

A BUILDING SECTION SCALE 1/4"=1'-0"



F WALL SECTION SCALE 3/4"=1'-0"



1 SKYLIGHT @ SHINGLE ROOF
1-1/2" = 1'-0" 07810

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 - D. A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
 - E. BARS, GRILLES OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS (UBC 310.4).
- EXTERIOR WALLS - REMOVE (E) SHINGLE FINISH AND BUILDING PAPER, REPAIR ANY DRYROT OR MOLD, ETC. COAT EXTERIOR FACE W/ 7/8" 3-COAT STUCCO OVER TYVEK, 1/2" CDX PLYWOOD SHEAR NAILED 6" EDGE-12" FIELD OVER (E) SUBSTRATE RE-NAILED TO (E) WOOD STUDS @ 16" O.C., R-15 HIGH DENSITY INSULATION. REMOVE (E) LATH & PLASTER INTERIOR FINISH AND REPLACE WITH 5/8" GYP. BD. TAPE & TEXTURE LEVEL 5 FINISH.
- INTERIOR WALLS - 2x4 STUDS @ 16" O.C. WITH 5/8" GYP.BD. EACH SIDE, TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N. REMOVE (E) LATH & PLASTER AS NECESSARY.
- PLUMBING WALL - 2x6 STUDS @ 16" O.C. WITH 5/8" WP. GYP. BD. ON WET SIDE AND 5/8" GYP. BD. ON DRY SIDE. TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD. AT TILE INSTALLATIONS. R-19 BATT INSULATION AT BATHROOM. REMOVE (E) LATH & PLASTER AS NECESSARY.

SHEET NOTES

- (N) ROOF WITH 4:12 SLOPE & COVERED WITH (N) COMPOSITION ROOFING MATERIALS.
- (E) ROOF SLOPE 4:12 TO REMAIN. SHINGLES TO BE REPLACED AT TIME OF NEW WORK.
- (E) & (N) ROOFS TO HAVE G.S.M. EXTERNAL GUTTER AT EAVE AND FLASHED UNDER ROOFING MATERIALS.
- (E) EAVE OVERHANG IS 12" TYPICAL.
- (N) SKYLIGHT CENTERED IN HALLWAY. SEE DETAILS.
- (E) WINDOWS TO BE REPLACED IN KIND. NEW WINDOWS TO MATCH REPLACEMENT WINDOWS.
- (N) ROOF AND WALL FRAMING - SEE FRAMING PLAN.
- (E) DEMOLISH (E) WALLS AS SHOWN - SEE DEMOLITION PLAN
- (E) DEMOLISH CEILING RAFTERS AND DOUBLE ROOF RAFTERS TO PROVIDE A VAULTED CEILING AS SHOWN

SECTION NOTES

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JOB:

DATE: 1/4/2016

SHEET TITLE:
 BUILDING SECTIONS

SHEET NO.
A3.1
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