

Remodel and Addition

714 Evelyn Avenue

Albany, CA

Project Data

Zoning Information

Assessors Parcel Number: 66-2808-7
 Zoning District: R-1
 Fire Zone: N/A
 Flood Zone: N/A
 Type of Construction: Type VB (not sprinklered)
 Occupancy Type: R-3
 Setback Requirements:
 Front: 15'
 Rear: 20'
 Side: 3'-9"
 Allowed FAR: 55%
 Allowed Site Coverage: 50%

FAR Calculations

	Existing	Proposed
A. Existing House:	1,320 s.f.	1,320 s.f.
B. Front Porch:	42 s.f.	42 s.f.
C. Basement:	152 s.f.	152 s.f.
D. Music Room:	209 s.f.	209 s.f.
E. Storage Shed	64 s.f.	---
F. Proposed Addition:	---	175 s.f.
G. Bsmt. Addition:	---	161 s.f.
	1,787 s.f.	2,059 s.f.

FAR Allowed: $3,750 \times 55\% = 2,062$ s.f.
 Proposed FAR Area: = 2,059 s.f.

Proposed Site Coverage:

A. House:	1,320 s.f.
B. Front Porch:	42 s.f.
C. Addition:	161 s.f. (at grade)
D. Music Room:	209 s.f.
	1,752 s.f.

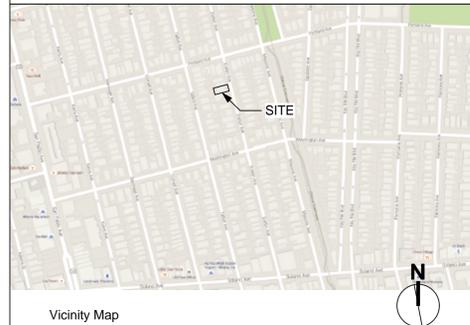
Site Coverage: $1,742 \text{ s.f.} / 3,750 \text{ s.f.} = 47\%$

Project Description

Work to consist of the following:

- Addition to back of house on main level (175 s.f.)
- Addition to basement level (161 s.f.)
- Demolition of storage shed (64 s.f.)
- Re-construction of stairs and back porch from kitchen
- Sump pump system
- Reconstruct north wall of (E) music room
- Relocate existing fence in back yard to property line

Vicinity Map



Applicable Codes

All Construction to Comply with the following Codes:

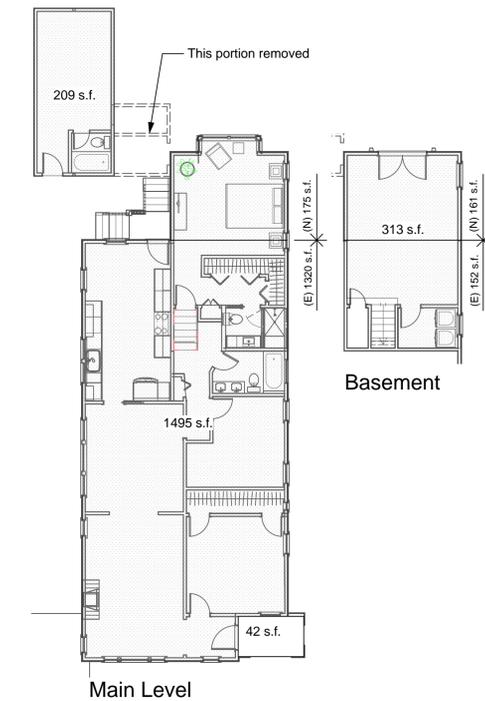
- 2013 California Building Code (CBC), Title 24, Part 2
- 2013 California Residential Building Code (CRC), Title 24, Part 2.5
- 2013 California Electrical Code (CEC), Title 24, Part 3
- 2013 California Mechanical Code (CMC), Title 24, Part 4
- 2013 California Plumbing Code (CPC), Title 24, Part 5
- 2013 California Energy Code (CEC), Title 24, Part 6
- 2013 California Green Building Standards Code

Symbols and Abbreviations

AB	Anchor Bolt
A.D.	Area Drain
AFF	Above Finished Floor
Bldg	Building
BR	Bedroom
Cab	Cabinet
Cem	Cement
CIP	Cast in Place
Cing	Ceiling
CMU	Concrete Masonry Unit
C.O.	Cleanout
Conc	Concrete
Cont	Continuous
Cpt	Carpet
CT	Ceramic Tile
CW	Cold Water
Det	Detail
DN	Down
DS	Downspout
(E)	Existing
EI	Elevation
EQ	Equal
F.D.	Floor Drain
GSM	Galvanized Sheet Metal
GWB	Gypsum Wallboard
Ht	Height
HW	Hot Water
HWH	Hot Water Heater
Lav.	Lavatory
Lin	Linen
MC	Medicine Cabinet
Min	Minimum
Mtl	Metal
(N)	New
NIC	Not in Contract
O.C.	On Center
OSB	Oriented Strand Board
Part	Partial
PL	Property Line
Plas	Plaster
Plywd	Plywood
PT	Paint
RA	Return Air
R&S	Rod and Shelf
SA	Supply Air
SD	Storm Drain
Sim	Similar
PT	Paint
TB	Towel Bar

SYMBOLS	
	GRID LINES
	ROOMNAME/ROOMNUMBER
	DOORSCHEDULE KEY
	WINDOWSCHEDULE KEY
	WORK POINT/CONTROL POINT/ DATUM POINT
	SECTIONNUMBER/SHEETNUMBER
	DETAILNUMBER/SHEETNUMBER
	INTERLEVELATION KEY
	WALL TYPE KEY
	REVISION KEY

Area Diagrams



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consultant

project title

Residential Addition
714 Evelyn, Albany CA

client

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sheet title

Title Sheet & Site Plan

issue date

12/6/2015

revisions

scale

Scale

sheet number

T-1

Project Directory

Owner: Jill Nielsen
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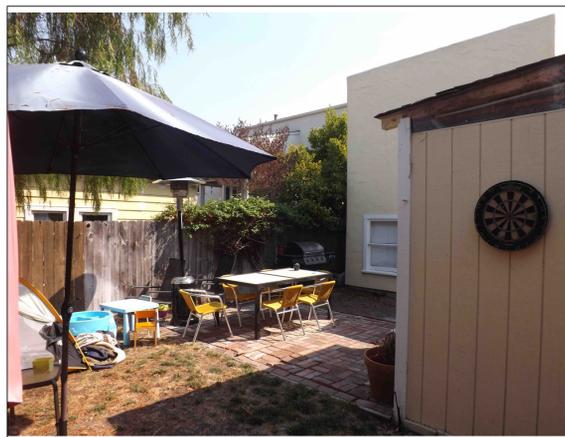
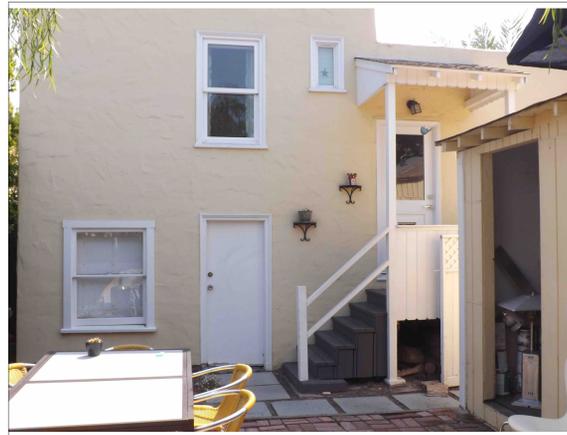
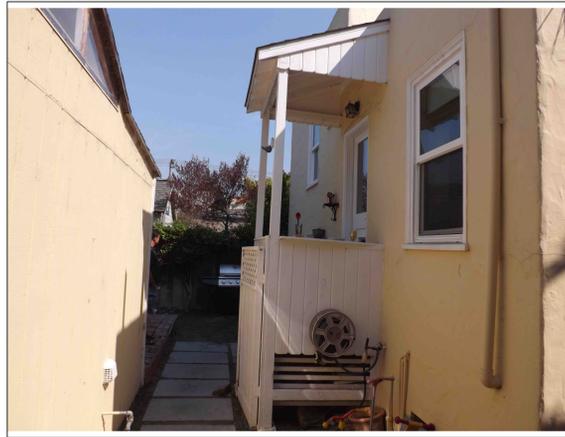


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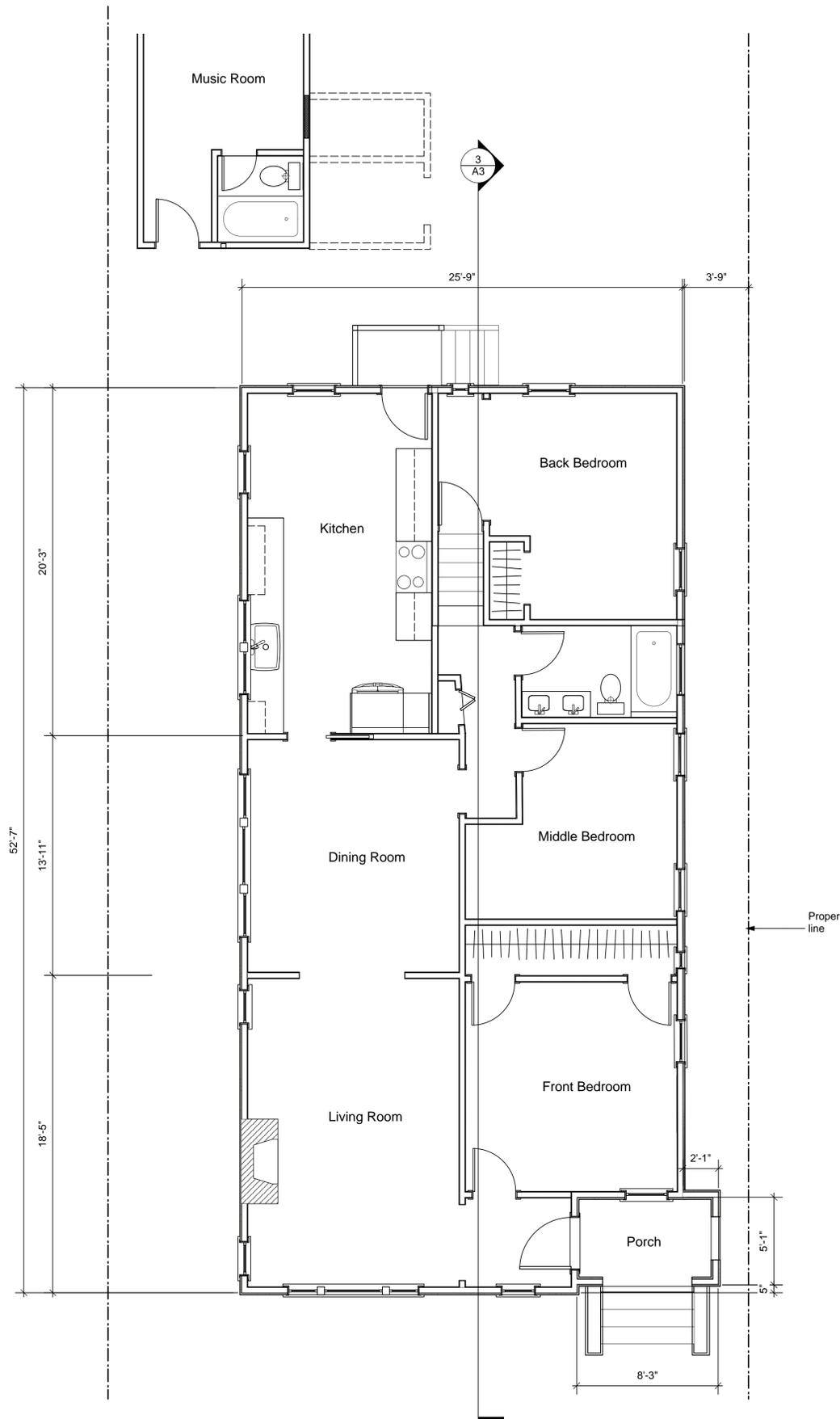


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Site Photos



Views of Existing Back Yard



1 Floor Plan (Existing)
Scale: 1/4" = 1'-0"



2 Basement Plan (Existing)
Scale: 1/4" = 1'-0"

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Floor Plans--Existing

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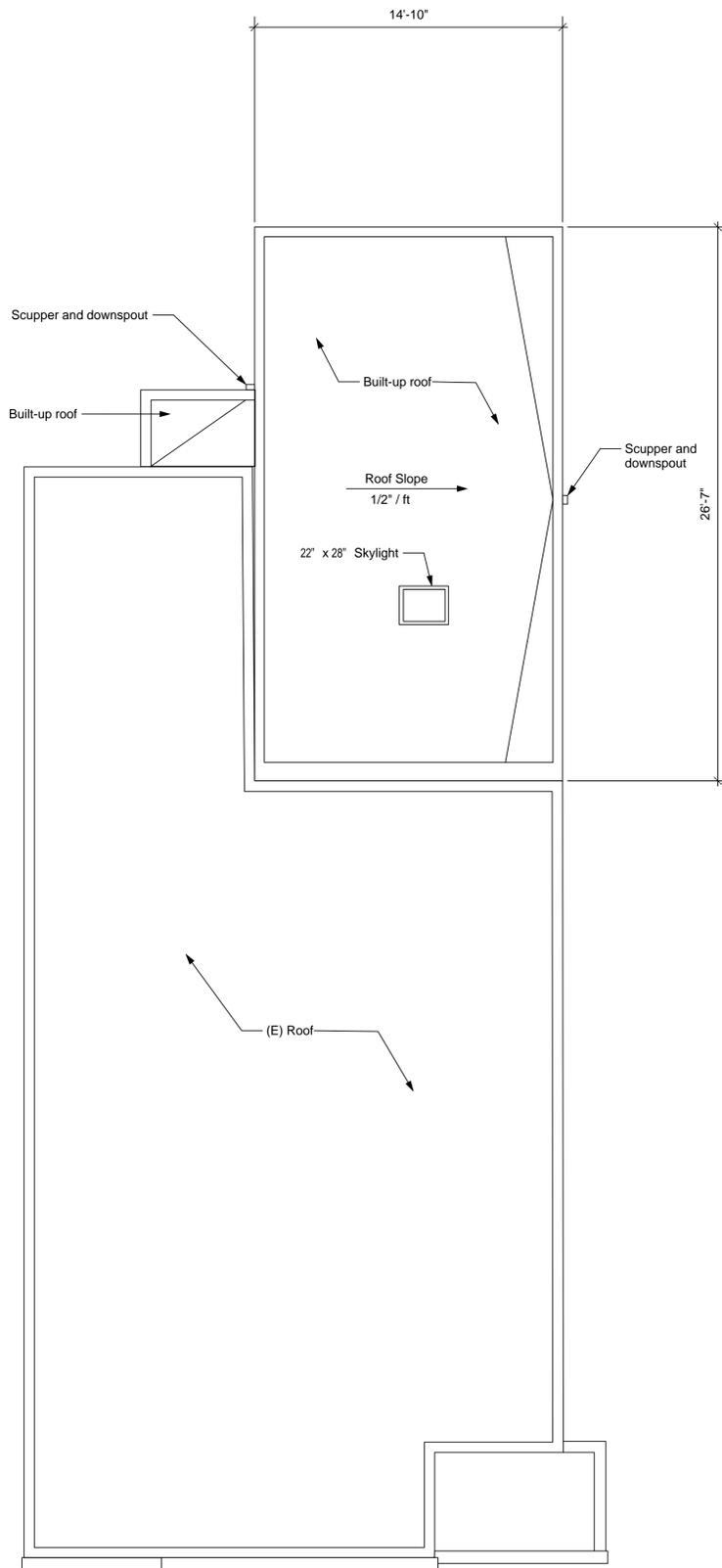
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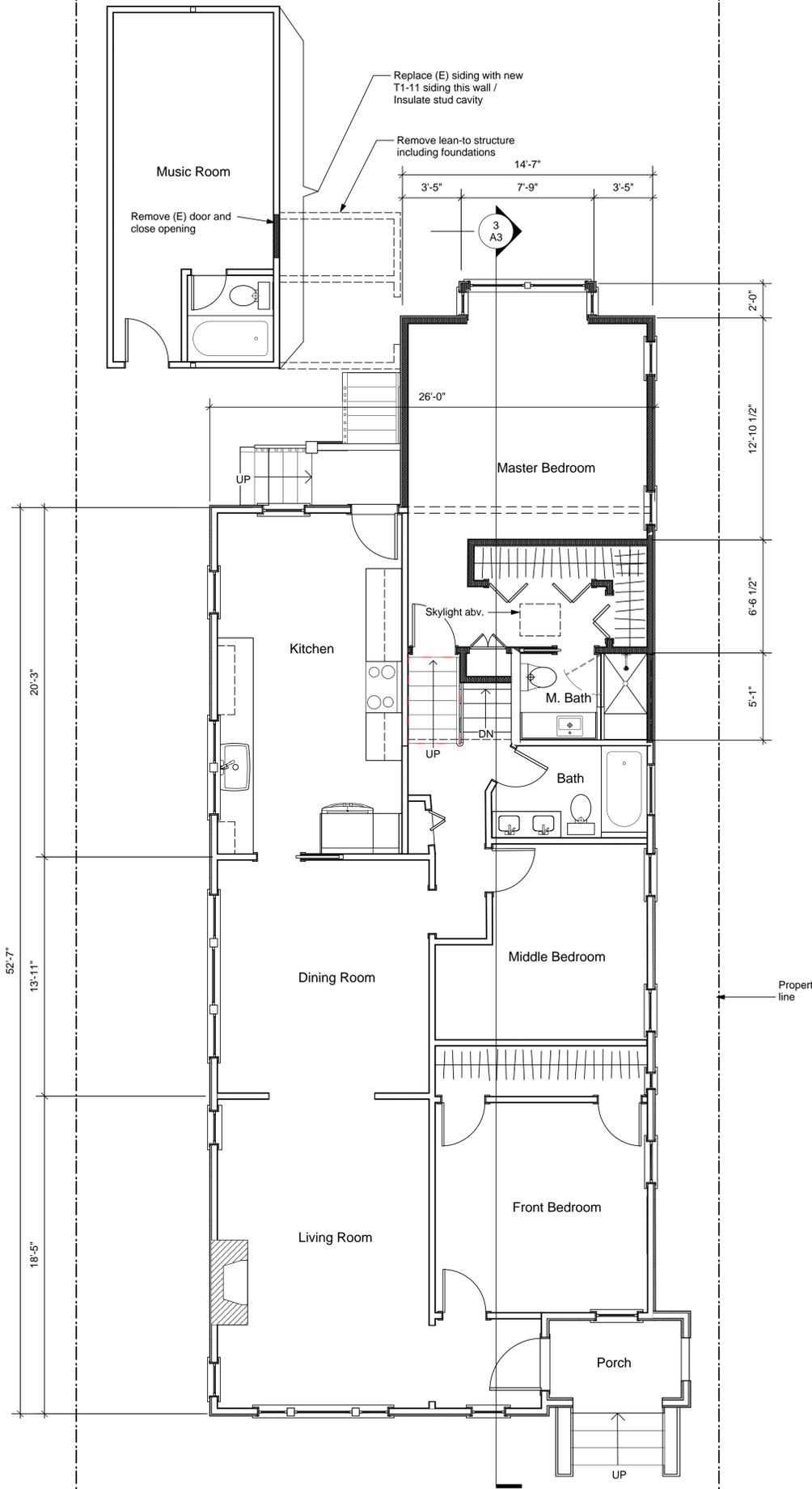
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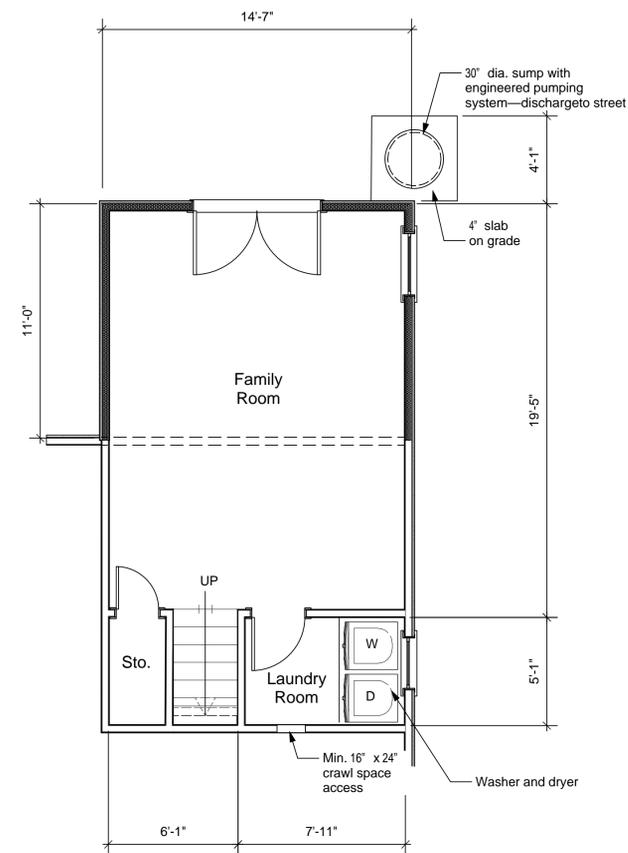
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3 Roof Plan
Scale: 1/4" = 1'-0"



1 Floor Plan
Scale: 1/4" = 1'-0"



2 Basement Plan
Scale: 1/4" = 1'-0"

Legend

- Existing 2 x 4 wood stud exterior wall (stucco finish)
- Existing 2 x 4 wood stud interior wall
- New 2 x 4 wood stud exterior wall (stucco finish)
- New 2 x 4 wood stud interior wall
- Existing wall to be demolished

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Floor and Roof Plans

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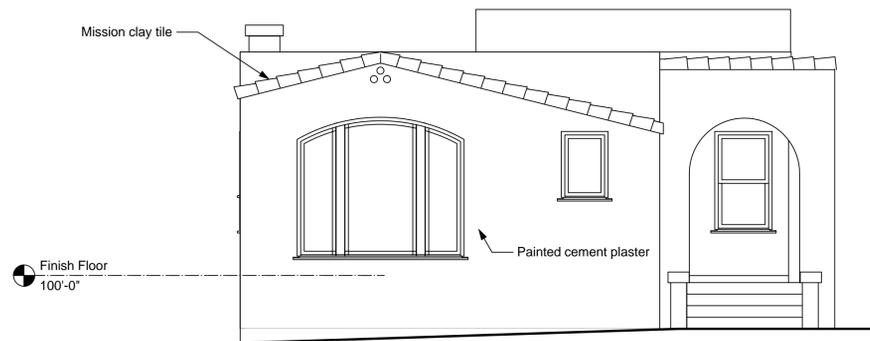
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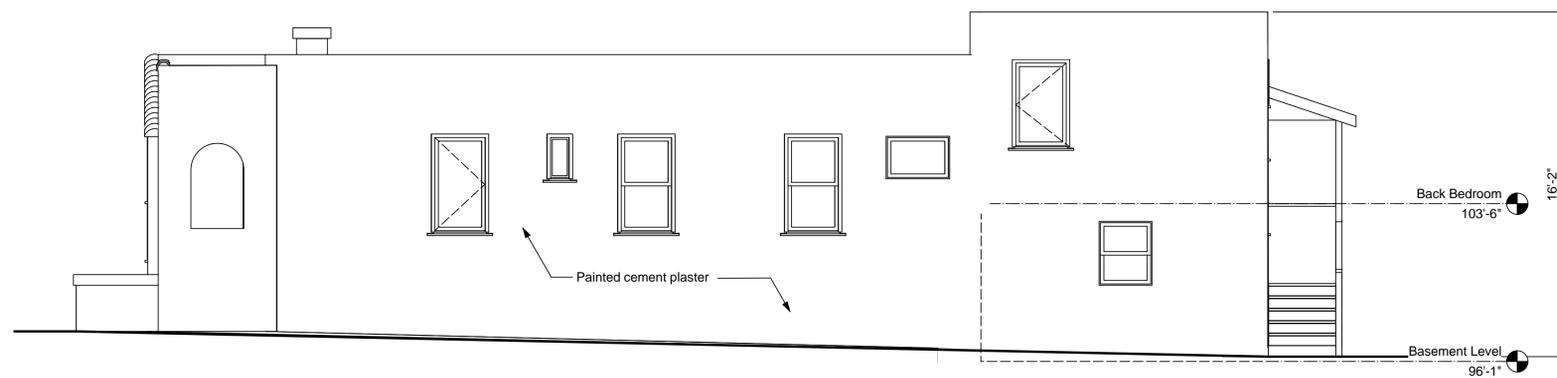
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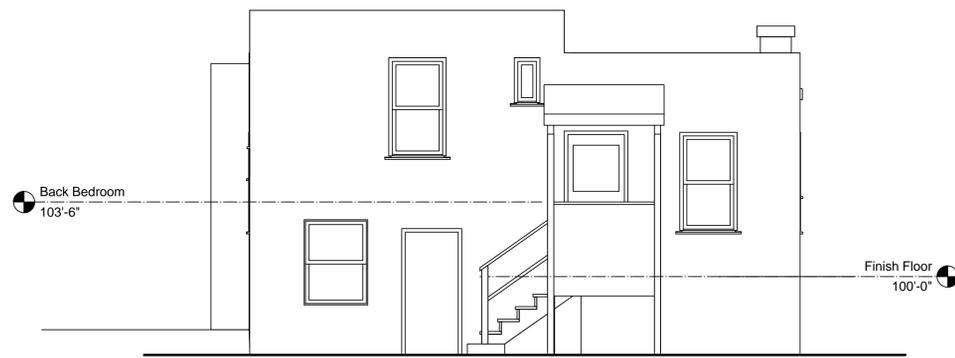
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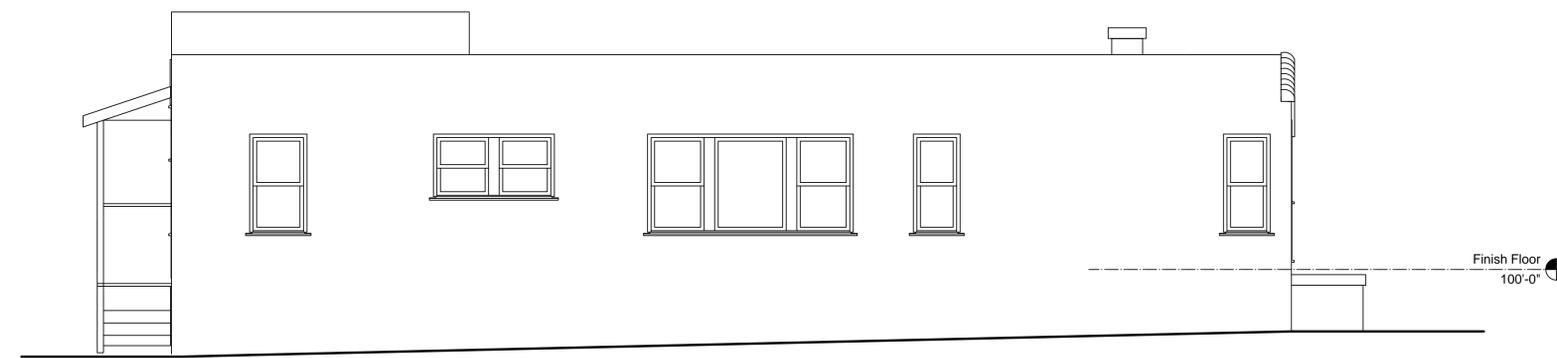
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Scale: 1/4" = 1'-0"



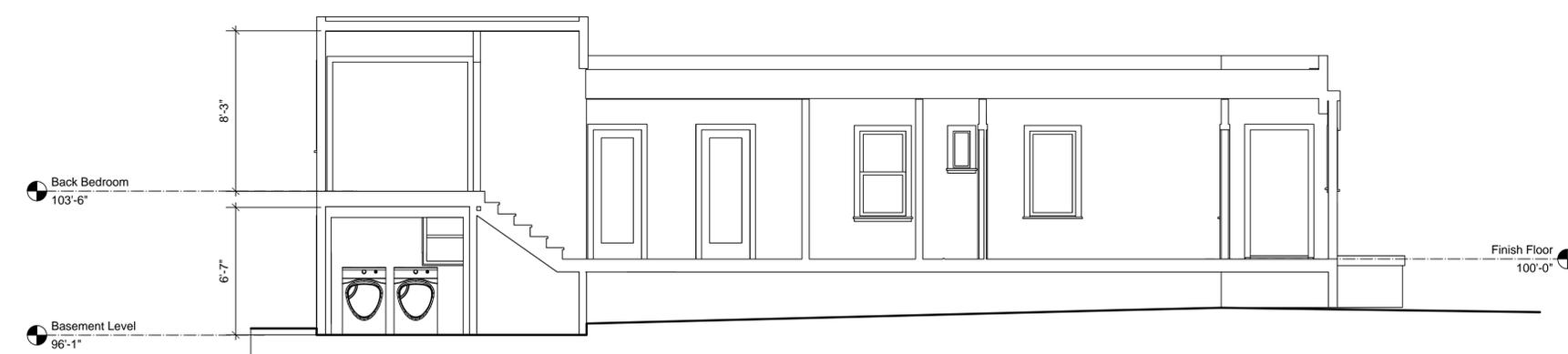
2 North Elevation
Scale: 1/4" = 1'-0"



3 West Elevation
Scale: 1/4" = 1'-0"



4 South Elevation
Scale: 1/4" = 1'-0"



5 Cross Section
Scale: 1/4" = 1'-0"

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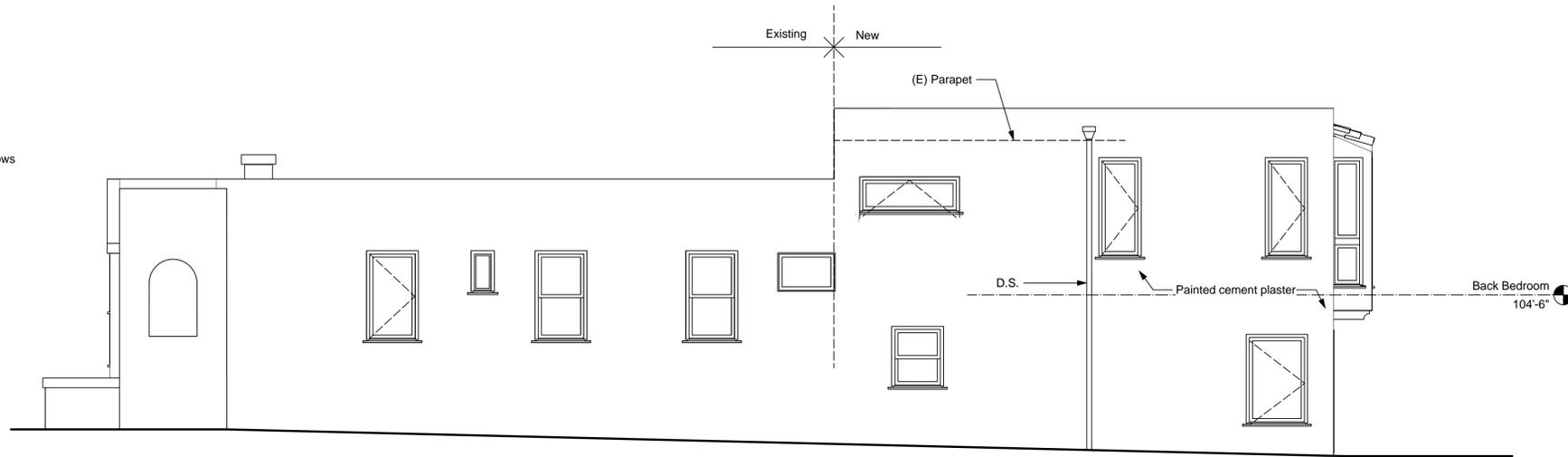
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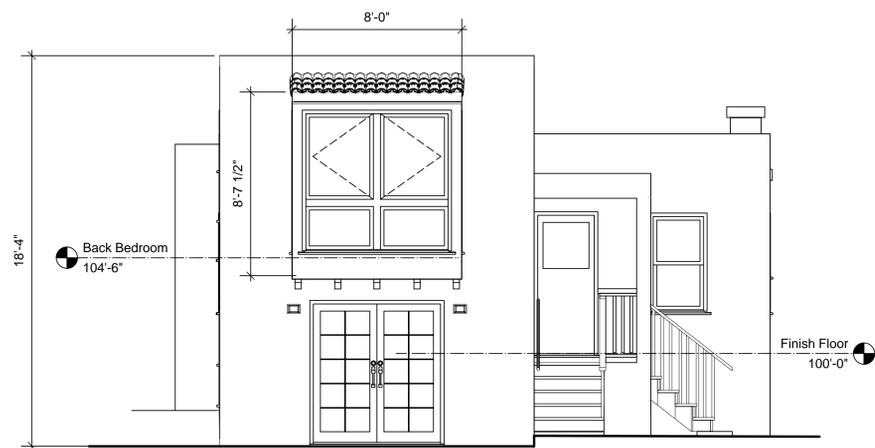
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Existing Elevations
& Cross Section
issue date
12/6/2015
revisions
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Scale
sheet number



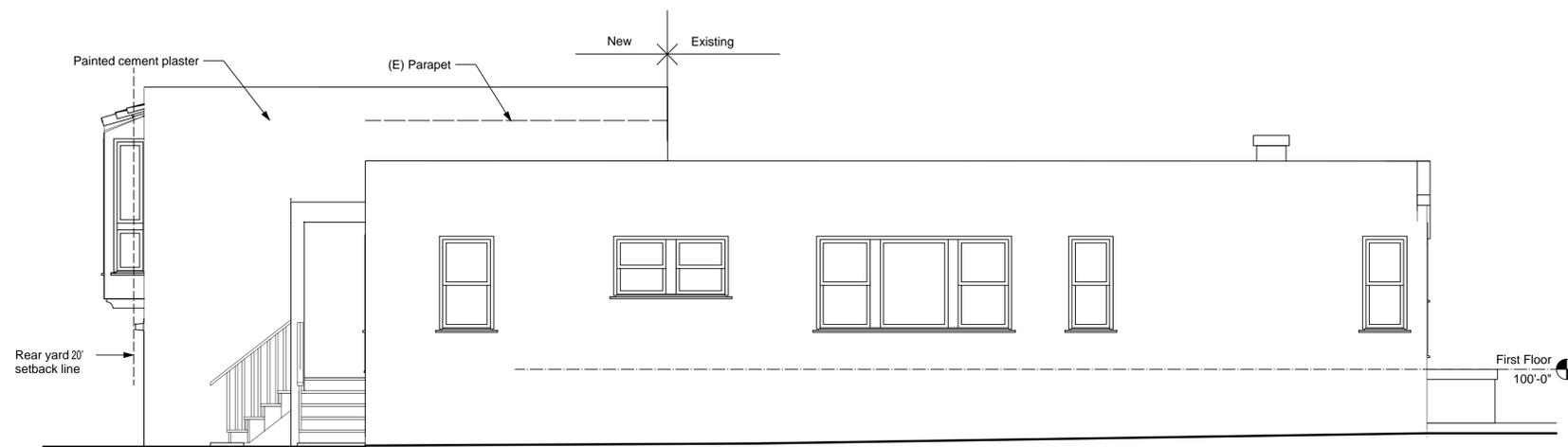
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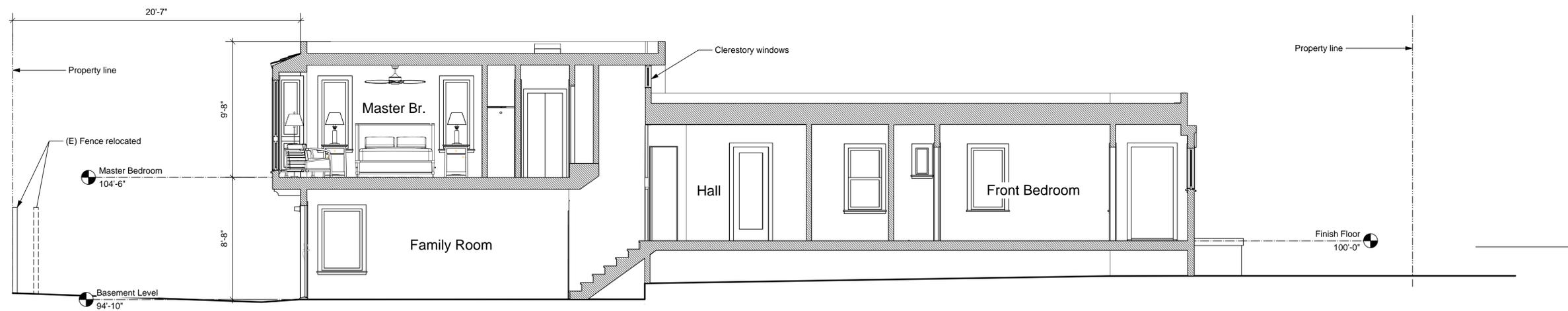
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Scale: 1/4" = 1'-0"



3 West Elevation
Scale: 1/4" = 1'-0"



4 South Elevation
Scale: 1/4" = 1'-0"



5 Section
Scale: 1/4" = 1'-0"

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Proposed Elevation & Section

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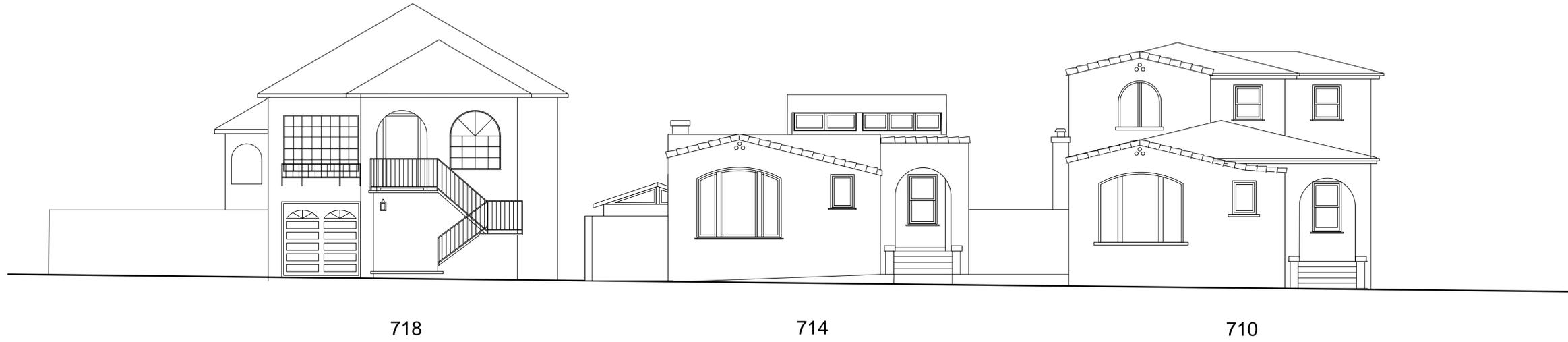
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A-4



1 Street Elevation
Scale: 3/16" = 1'-0"

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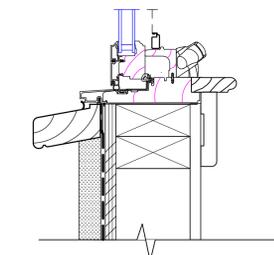
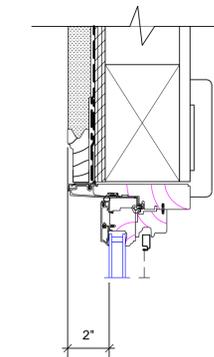
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2 Typical Window Details
Scale: 3" = 1'-0"

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Street Elevation
and Typical Window Detail

issue date

12/6/2015

revisions

scale

Scale

sheet number

A-5