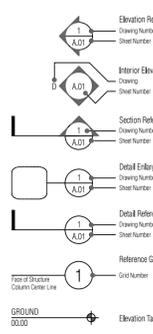
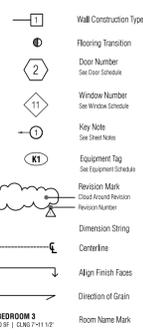


**SYMBOLS**

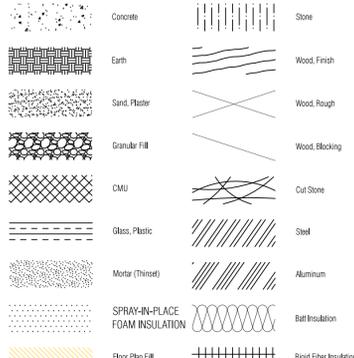
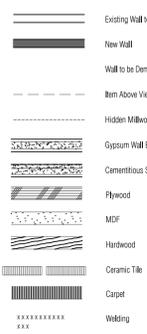
**REFERENCE SYMBOLS**



**DRAWING SYMBOLS**



**MATERIAL SYMBOLS**



**ABBREVIATIONS**

<b>&amp;</b> AND	<b>AT</b> FOUND OR NUMBER	<b>AB</b> ANCHOR BOLT	<b>AC</b> ACOUSTIC	<b>ADJ</b> ADDENDUM	<b>AFF</b> ABOVE FINISH FLOOR	<b>ALT</b> ALTERNATE	<b>ALUM</b> ALUMINUM	<b>BD</b> BOARD	<b>BLG</b> BLOCK	<b>BLKG</b> BLOCKING	<b>BOT</b> BOTTOM OF TRUSS	<b>BOW</b> BOTTOM OF WALL BASEMENT	<b>BSMT</b> BASEMENT	<b>C</b> CENTERLINE	<b>CEM</b> CEMENT	<b>CJ</b> CONTROL JOINT	<b>CLKG</b> CAULKING	<b>CLNG</b> CEILING	<b>CLR</b> CLEAR	<b>CMU</b> CONCRETE MASONRY UNIT	<b>COL</b> COLUMN	<b>CONC</b> CONCRETE	<b>CONSTR</b> CONSTRUCTION	<b>CONT</b> CONTINUOUS	<b>COORD</b> COORDINATE	<b>CT</b> CERAMIC TILE	<b>CTSK</b> COUNTERSUNK	<b>d</b> PENNY	<b>D</b> DEPTH	<b>DBL</b> DOUBLE	<b>DET</b> DETAIL	<b>DF</b> DOUGLAS FIR	<b>DIA</b> DIAMETER	<b>DIM</b> DIMENSION	<b>DN</b> DOWN	<b>DW</b> DISHWASHER	<b>DWG</b> DRAWING	<b>E</b> EAST	<b>EX</b> EXISTING	<b>EA</b> EACH	<b>EL</b> ELEVATION	<b>ELEC</b> ELECTRICAL	<b>ELEV</b> ELEVATION	<b>EP</b> ELECTRICAL PANEL	<b>EXP JT</b> EXPANSION JOINT	<b>EQ</b> EQUAL	<b>EXT</b> EXTERIOR	<b>FD</b> FLOOR DRAIN	<b>FN</b> FOUNDATION	<b>FE</b> FIRE EXTINGUISHER	<b>FF</b> FINISH FLOOR	<b>FIN</b> FINISH	<b>FL</b> FLOOR	<b>FC</b> FACE OF CONCRETE	<b>FF</b> FACE OF FINISH	<b>FOS</b> FACE OF STUD	<b>FOSH</b> FACE OF SHEATHING	<b>FRMG</b> FRAMING	<b>FT</b> FOOT	<b>FTB</b> FOOTING	<b>FURR</b> FURRING	<b>GA</b> GAGE	<b>GALV</b> GALVANIZED	<b>GC</b> GENERAL CONTRACTOR	<b>GEC</b> GROUNDING ELECTRODE CONDUCTOR	<b>GFCI</b> GROUND FAULT CIRCUIT INTERRUPTER	<b>GL</b> GLASS	<b>GLB</b> GLUE LAM BEAM	<b>GR</b> GRADE	<b>GSF</b> GROSS SQUARE FEET	<b>GSM</b> GALVANIZED SHEET METAL	<b>GV</b> GAS VENT	<b>GWB</b> GYPSUM WALL BOARD	<b>H</b> HEIGHT	<b>HRDL</b> HANDRAIL	<b>HOWD</b> HARDWOOD	<b>HGT</b> HEIGHT	<b>HORIZ</b> HORIZONTAL	<b>HB</b> HOSE BIBB	<b>HC</b> HOLLOW CORE	<b>HR</b> HOUR	<b>IN</b> INCH	<b>INCL</b> INCLUDING	<b>INSUL</b> INSULATION	<b>INT</b> INTERIOR	<b>INTM</b> INTERMEDIATE	<b>JT</b> JOINT	<b>JST</b> JOIST	<b>KD</b> KILN DRIED	<b>L</b> ANGLE	<b>LAM</b> LAMINATE	<b>LT</b> LIGHT	<b>MAX</b> MAXIMUM	<b>MB</b> MACHINE BOLT	<b>MDF</b> MEDIUM DENSITY FIBERBOARD	<b>MECH</b> MECHANICAL	<b>MEMB</b> MEMBRANE	<b>MFR</b> MANUFACTURER	<b>MIN</b> MINIMUM	<b>MISC</b> MISCELLANEOUS	<b>MTD</b> MOUNTED	<b>MTL</b> METAL	<b>MUL</b> MULLEN	<b>N</b> NORTH	<b>(N)</b> NEW	<b>NOT IN CONTRACT NUMBER</b> NOT IN CONTRACT NUMBER	<b>NET SQUARE FEET</b> NET SQUARE FEET	<b>NOT TO SCALE</b> NOT TO SCALE	<b>ON CENTER</b> ON CENTER	<b>OWNER FURNISHED CONTRACTOR INSTALLED</b> OWNER FURNISHED CONTRACTOR INSTALLED	<b>OPENING</b> OPENING	<b>ORIENTED STRAND BOARD</b> ORIENTED STRAND BOARD	<b>PEN</b> PLYWOOD EDGE NAILING	<b>PL</b> PROPERTY LINE	<b>PLAM</b> PLASTIC LAMINATE	<b>PLWD</b> PLYWOOD	<b>PNT</b> PAINTED	<b>PR</b> PAIR	<b>PT</b> PRESSURE TREATED	<b>PTR</b> PARTITION	<b>QTY</b> QUANTITY	<b>R</b> RISER	<b>RAD</b> RADIUS	<b>RDWD</b> REDWOOD	<b>REF</b> REFRIGERATOR	<b>REIN</b> REINFORCED	<b>REQD</b> REQUIRED	<b>RESIL</b> RESILIENT	<b>REV</b> REVISION	<b>RFG</b> ROOFING	<b>RM</b> ROOM	<b>RO</b> ROUGH OPENING	<b>RWD</b> RAINWATER DRAINAGE	<b>RWL</b> RAINWATER LEADER	<b>SCHED</b> SCHEDULE	<b>SECT</b> SECTION	<b>SF</b> FOOT/FEET	<b>SHT MTL</b> SHEET METAL	<b>SIM</b> SIMILAR	<b>SL</b> SEAL	<b>SLD</b> SEE LANDSCAPE DRAWINGS	<b>SPEC</b> SPECIFICATIONS	<b>SQ</b> SQUARE	<b>SSD</b> SEE STRUCTURAL DRAWINGS	<b>SSTL</b> STAINLESS STEEL	<b>STD</b> STANDARD	<b>STL</b> STEEL	<b>STOR</b> STORAGE	<b>STRUCT</b> STRUCTURAL	<b>SYM</b> SYMBOL	<b>SYS</b> SYSTEM	<b>T</b> TREAD	<b>T&amp;G</b> TONGUE AND GROOVE	<b>TEL</b> TELEPHONE	<b>THK</b> THICK	<b>TO</b> TOP OF	<b>TOF</b> TOP OF STRUCTURE	<b>TOS</b> TOP OF TRUSS	<b>TOT</b> TOP OF WALL	<b>TOW</b> TYPICAL	<b>UNLESS OTHERWISE NOTED</b> UNLESS OTHERWISE NOTED	<b>VERT</b> VERTICAL	<b>VG</b> VERTICAL GRAIN	<b>VF</b> VERIFY IN FIELD	<b>W</b> WIDTH	<b>W</b> WITH	<b>WC</b> WATER CLOSET	<b>WD</b> WOOD	<b>WDW</b> WINDOW	<b>WP</b> WATER PROOFING	<b>WRC</b> WESTERN RED CEDAR
------------------	---------------------------	-----------------------	--------------------	---------------------	-------------------------------	----------------------	----------------------	-----------------	------------------	----------------------	----------------------------	------------------------------------	----------------------	---------------------	-------------------	-------------------------	----------------------	---------------------	------------------	----------------------------------	-------------------	----------------------	----------------------------	------------------------	-------------------------	------------------------	-------------------------	----------------	----------------	-------------------	-------------------	-----------------------	---------------------	----------------------	----------------	----------------------	--------------------	---------------	--------------------	----------------	---------------------	------------------------	-----------------------	----------------------------	-------------------------------	-----------------	---------------------	-----------------------	----------------------	-----------------------------	------------------------	-------------------	-----------------	----------------------------	--------------------------	-------------------------	-------------------------------	---------------------	----------------	--------------------	---------------------	----------------	------------------------	------------------------------	--	--	-----------------	--------------------------	-----------------	------------------------------	-----------------------------------	--------------------	------------------------------	-----------------	----------------------	----------------------	-------------------	-------------------------	---------------------	-----------------------	----------------	----------------	-----------------------	-------------------------	---------------------	--------------------------	-----------------	------------------	----------------------	----------------	---------------------	-----------------	--------------------	------------------------	--------------------------------------	------------------------	----------------------	-------------------------	--------------------	---------------------------	--------------------	------------------	-------------------	----------------	----------------	--	--	----------------------------------	----------------------------	--	------------------------	--	---------------------------------	-------------------------	------------------------------	---------------------	--------------------	----------------	----------------------------	----------------------	---------------------	----------------	-------------------	---------------------	-------------------------	------------------------	----------------------	------------------------	---------------------	--------------------	----------------	-------------------------	-------------------------------	-----------------------------	-----------------------	---------------------	---------------------	----------------------------	--------------------	----------------	-----------------------------------	----------------------------	------------------	------------------------------------	-----------------------------	---------------------	------------------	---------------------	--------------------------	-------------------	-------------------	----------------	----------------------------------	----------------------	------------------	------------------	-----------------------------	-------------------------	------------------------	--------------------	--	----------------------	--------------------------	---------------------------	----------------	---------------	------------------------	----------------	-------------------	--------------------------	------------------------------

- ALL WORK SHALL BE IN CONFORMANCE WITH THE 2013 CALIFORNIA CODE OF REGULATIONS, INCLUDING:
  - 2013 CALIFORNIA BUILDING CODE (CBC)
  - 2013 CALIFORNIA PLUMBING CODE (CPC)
  - 2013 CALIFORNIA MECHANICAL CODE (CMC)
  - 2013 CALIFORNIA ELECTRICAL CODE (CEC)
  - 2013 CALIFORNIA RESEIDENTIAL CODE (CRC)
  - 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
  - 2013 CALIFORNIA FIRE CODE (CFC)
  - 2013 CALIFORNIA ENERGY CODE (CEC)
  - \*ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES
- IN THE EVENT OF CONFLICTS IN CODE REGULATIONS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER, IN WRITING, OF ANY DISCREPANCY BETWEEN THE APPLICABLE CODES AND THESE DOCUMENTS.
- THESE DOCUMENTS DESCRIBE DESIGN INTENT. CONTRACTOR SHALL PROVIDE ALL ASSOCIATED WORK, INCLUDING BUT NOT LIMITED TO PARTIAL DEMOLITION, SITE WORK, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FINISH WORK REQUIRED FOR A COMPLETE, OPERATIONAL, AND WATER TIGHT PROJECT. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR REASONABLY INFERRED FROM THEM.
- CONTRACTOR IS RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK RELATED TO SUCH COORDINATION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH UTILITIES TO DETERMINE LOCATION, INCLUDING BUT NOT LIMITED TO GAS, WATER, POWER, SEWER, TELEPHONE AND CABLE TELEVISION. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK RELATED TO SUCH COORDINATION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS OF THE SITE AND ALL DIMENSIONS AND DETAILS OF THE PROJECT COMPONENTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCY IN PLANS AND SPECIFICATIONS IMMEDIATELY. WORK SHALL NOT PROCEED WITHOUT ARCHITECT'S AUTHORIZATION.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK. ANY CHANGES OR INTERPRETATIONS OF THESE DOCUMENTS MADE WITHOUT CONSULTING THE ARCHITECT, AND ANY UNFORESEEN CONDITIONS RESULTING THEREFROM, SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT.
- DO NOT SCALE DRAWING, CONTACT ARCHITECT WHERE CLARIFICATION IS REQUIRED.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS SHALL APPLY IN SIMILAR LOCATIONS AND CONDITIONS.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- CONTRACTOR SHALL CONTINUOUSLY PROTECT EXISTING TREES, UTILITIES AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL REPLACE OR RESTORE DAMAGED PROPERTY, MATERIALS AND FINISHES AT NO ADDITIONAL COST TO OWNER. RESTORATION SHALL BE EQUAL TO THE ORIGINAL WORK AND FINISHES SHALL MATCH THE APPEARANCE OF EXISTING WORK.
- CONTRACTOR SHALL CONTINUOUSLY PROTECT THE PROJECT FROM, INCLUDING BUT NOT LIMITED TO WATER DAMAGE AND DAMAGE IN THE COURSE OF THE WORK, CONTRACTOR SHALL REPLACE OR RESTORE DAMAGED PROPERTY MATERIALS AND FINISHES AT NO ADDITIONAL COST TO OWNER. RESTORATION SHALL BE EQUAL TO THE ORIGINAL WORK AND FINISHES SHALL MATCH THE APPEARANCE OF EXISTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF PERSONS AND SECURITY OF PROPERTY, AND FOR SECURITY OF STORED MATERIALS AND EQUIPMENT, NOT LIMITED TO NORMAL HOURS OF WORK. CONTRACTOR SHALL MAINTAIN APPROPRIATE INSURANCE TO PROTECT THE OWNER, ARCHITECT AND CONTRACTOR.
- CONTRACTOR SHALL BROOM SWEEP THE PREMISES NIGHTLY. AT THE COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS AND TRASH CAUSED FROM THE WORK, SURPLUS MATERIALS, TOOLS, AND CONSTRUCTION EQUIPMENT, AND WILL LEAVE THE PROJECT IN CLEAN CONDITION.
- ALL MATERIALS, EQUIPMENT, AND ARTICLES INCORPORATED INTO THE WORK SHALL BE NEW, PROPER SPECIFIED GRADE, AND FREE OF DEFECTS. THE OWNER SHALL HAVE THE RIGHT TO REJECT DEFECTIVE OR SUBSTANDARD WORKMANSHIP, AND THE CONTRACTOR SHALL IMMEDIATELY CORRECT UNACCEPTABLE WORK AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL WARRANT THE ENTIRE WORK AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. SUB-CONTRACTORS SHALL WARRANT THEIR WORK AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR, EXCEPT FOR THE ROOFING SUB-CONTRACTOR WHO SHALL WARRANT HIS/HER WORK AGAINST DEFECTS FOR A PERIOD OF THREE YEARS FROM THE DATE OF ACCEPTANCE. CONTRACTORS AND SUB-CONTRACTORS SHALL SUBMIT THEIR WARRANTIES IN WRITING TO THE OWNER.
- PRIOR TO RECEIPT BY THE ARCHITECT, THE SUBMITTALS SHALL BE STAMPED AND SIGNED BY THE CONTRACTOR, SIGNIFYING THE CONTRACTOR'S REVIEW, APPROVAL, VERIFICATION OF FIELD DIMENSIONS, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL ALLOW FIVE WORKING DAYS MINIMUM FOR ARCHITECT TO PROCESS SUBMITTALS. REQUIRED SUBMITTALS INCLUDE SHOP DRAWINGS OF ALL CASEWORK AND SAMPLES OF ALL INTERIOR MATERIALS AND TRIM, WITH SPECIFIED FINISH AND IN QUANTITIES SUFFICIENT TO DEMONSTRATE VARIATION WITHIN THE MATERIAL.
- ELECTRICAL AND PLUMBING WORK TO BE DESIGN/BUILD PER CEC AND CPC. SEE SHT MEP01 FOR PLUMBING, ELECTRICAL, VENTILATION, AND FIRE PREVENTION GENERAL NOTES.

**GREEN BUILDING GENERAL NOTES**

- ADD CITY OF ALBANY GREEN BUILDING NOTES

**SPECIAL INSPECTIONS AND OBSERVATIONS**

THE FOLLOWING WORK SHALL REQUIRE SPECIAL INSPECTION AS PER CBC SECTION 1701

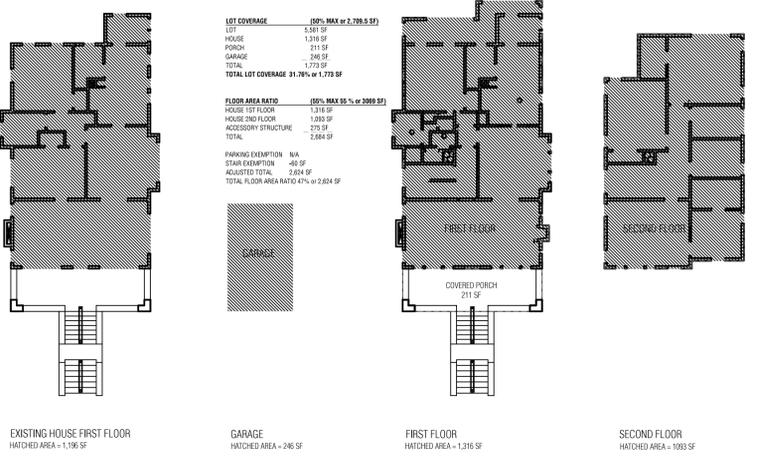
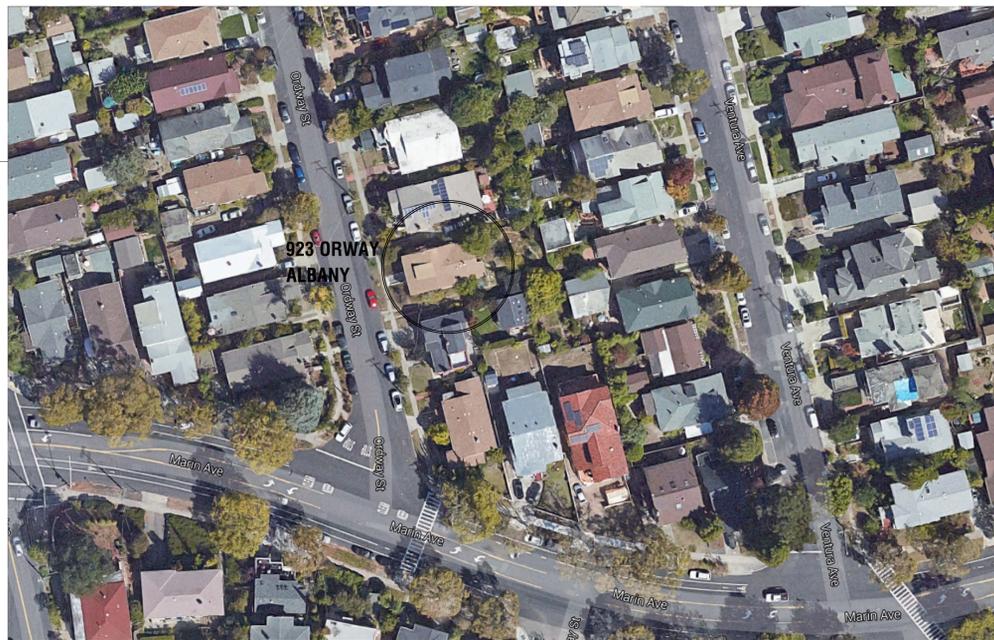
- EPOXY HOLDOWN ANCHORS IN CONCRETE
- SHEAR PANEL NAILING AND HARDWARE INSTALLATION

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

THE FOLLOWING WORK SHALL REQUIRE STRUCTURAL OBSERVATION PER CBC SECTION 1702

- ANCHOR BOLT AND HOLDOWN INSTALLATION
- FOUNDATION REINFORCING
- SHEAR PANEL NAILING

**VICINITY MAP**



SHEET	TITLE	SUBMISSION & DATE	PLANNING PERMIT						
A0.0	COVER SHEET, ABBREVIATIONS, SYMBOLS, GENERAL NOTES		X						
-	BOUNDARY & TOPOGRAPHIC SURVEY		X						
A0.1	WINDOW SCHEDULE		X						
A1.0	SITE PLAN		X						
A2.0	EXISTING FLOOR PLAN, EXISTING ROOF PLAN		X						
A2.1	PROPOSED 1ST FLOOR & 2ND FLOOR PLAN		X						
A2.2	PROPOSED BASEMENT AND ROOF PLAN		X						
A3.0	EXISTING EXTERIOR ELEVATIONS		X						
A3.1	PROPOSED EXTERIOR ELEVATIONS		X						
A3.2	WHOLE BUILDING SECTIONS & NEIGHBORHOOD CONTEXT ELEVATIONS		X						

**STRUCTURAL DRAWINGS**

S1									
S2									
S3									
S4									

**PROJECT INFORMATION**

<b>PROJECT ADDRESS</b>	923 ORWAY, ALBANY, CA 94706	<b>ENERGY</b>	<b>ENERGY PERFORMANCE SRVCS</b>
<b>ASSESSOR'S PARCEL</b>	65-2625-19		MICHAEL KUNZ LIC. P.O. BOX 334 GRASS VALLEY, CA 95945 888 828 9488
<b>OCCUPANCY</b>	R-3		
<b>CONSTRUCTION TYPE</b>	V-8		
<b>ZONING DISTRICT</b>	R-1		
<b>PROJECT DESCRIPTION</b>	Second story addition to an existing 1,196 square foot residence. Remodel on the first level to include kitchen, family room, powder room, gas fireplace in new location and new stairwell. Most windows to be new units. The existing building footprint will be expanded at the back by 2'-5" feet on SE corner and 4'-5" on NE corner. 2nd floor to include 3 bedrooms, 2 baths and a laundry room.		

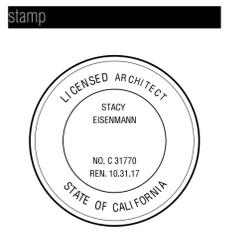
<b>OWNER</b>	<b>KELLY AND MIKE SMITH</b> 923 ORWAY ALBANY, CA 94706 keldsmith@yahoo.com	<b>ENERGY</b>	<b>ENERGY PERFORMANCE SRVCS</b> MICHAEL KUNZ LIC. P.O. BOX 334 GRASS VALLEY, CA 95945 888 828 9488
<b>ARCHITECT</b>	<b>EISENMANN ARCHITECTURE</b> STACY EISENMANN LIC. 853 RAMONA AVENUE ALBANY CA 94706 510 558 8442 stacy@eisenmannarchitecture.com	<b>SURVEY</b>	<b>MORAN ENGINEERING, INC</b> JEFFERY BLACK LIC. 1930 SHATTUCK AVENUE, SUITE A BERKELEY, CA 94704 510 848 1930
<b>ENGINEER</b>	<b>TBD</b>	<b>CONTRACTOR</b>	<b>OLIVER BUILDERS, INC.</b> SEVERIN OLIVER LIC. 682120 1448 STANNAGE AVENUE BERKELEY, CA 94702 510 527 5171 sev@oliverbuilders.com

DEFERRED SUBMITTAL:  
RESIDENTIAL SPRINKLER SYSTEM

architect

**EISENMANN ARCHITECTURE**

contact **STACY EISENMANN**  
address **853 RAMONA AVENUE ALBANY CA 94706**  
phone **510 558 8442**  
email **stacy@eisenmannarchitecture.com**



All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

project

**SMITH RESIDENCE**

contacts **Kelly & Mike SMITH**  
address **923 ORDWAY ALBANY CA 94706**  
phone **510-684-6401**  
email **keldsmith@yahoo.com**

ISSUE

PERMIT **12.18.2015**



scale

NO SCALE

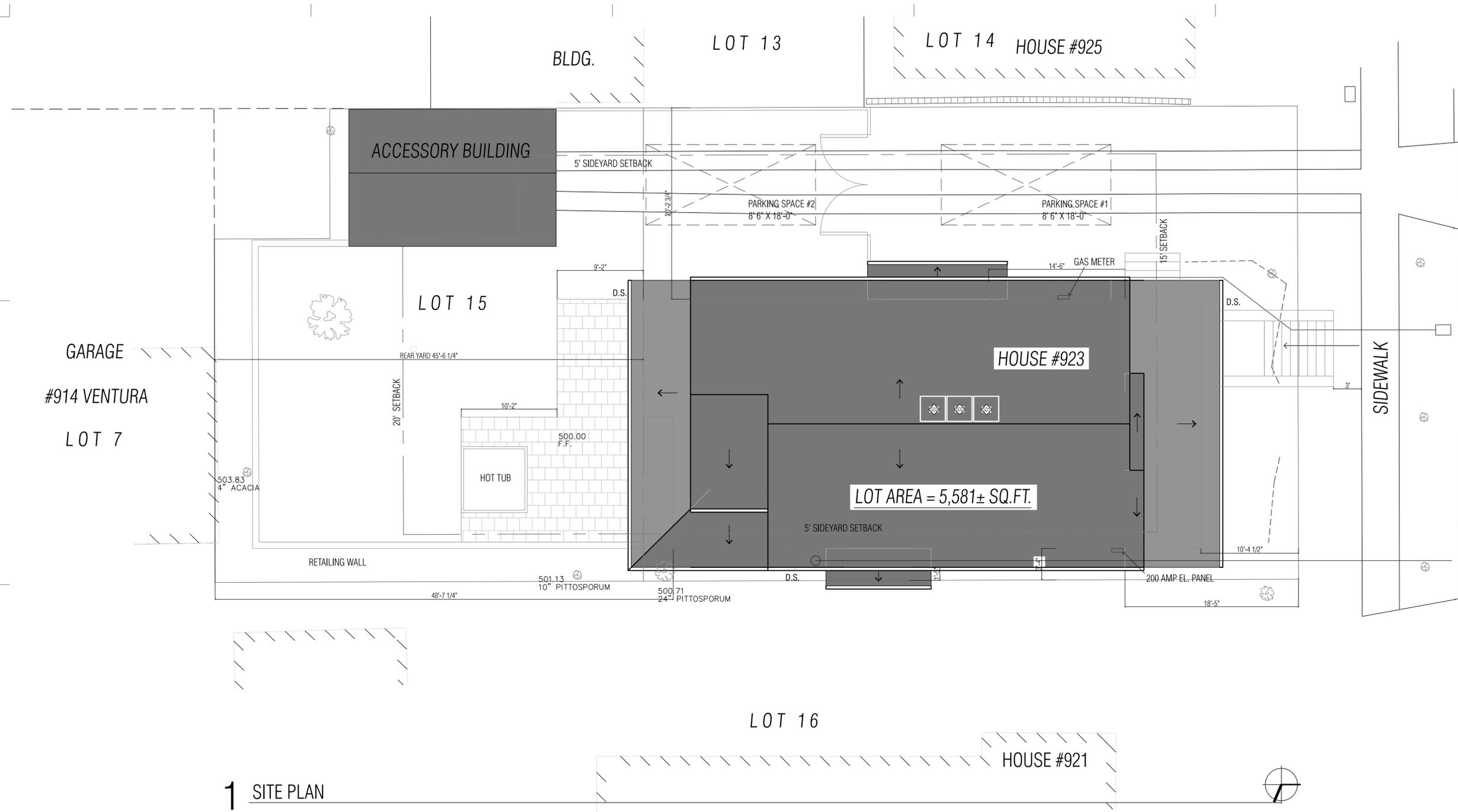
date

12.15.18

title **sheet number**

COVER SHEET

**A0.0**



1 SITE PLAN

KEY	
	PROPERTY LINE
	CITY SETBACK LINE
	DOWNSPOUT
	SUB-GRADE SOLID CONDUIT DRAIN
	SUB-GRADE PERFORATED DRAIN
	SLOPE (1/4" / FT U.O.A.)
	SPOT ELEVATION
	EXISTING TREE
	NEW TREE
	LINE CLEAN OUT (WYE W/ CAP)
	TWO WAY LINE CLEAN OUT (TEE W/ CAP)
	DOWNSPOUT
	HARDSCAPE (IMPERVIOUS AREAS)
	GAS LINE AT HOUSE
	PHONE AND DATA
	MAIN ELECTRICAL PANEL

architect

**EISENMANN ARCHITECTURE**

contact STACY EISENMANN  
 address 853 RAMONA AVENUE ALBANY CA 94706  
 phone 510 558 8442  
 email stacy@eisenmannarchitecture.com

stamp



All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

project

**SMITH RESIDENCE**

contacts Kelly & Mike SMITH  
 address 923 ORDWAY ALBANY CA 94706  
 phone 510-684-6401  
 email keldsmith@yahoo.com

ISSUE PERMIT 12.18.2015

PRELIMINARY NOT FOR CONSTRUCTION

scale

3/16" = 1'-0"

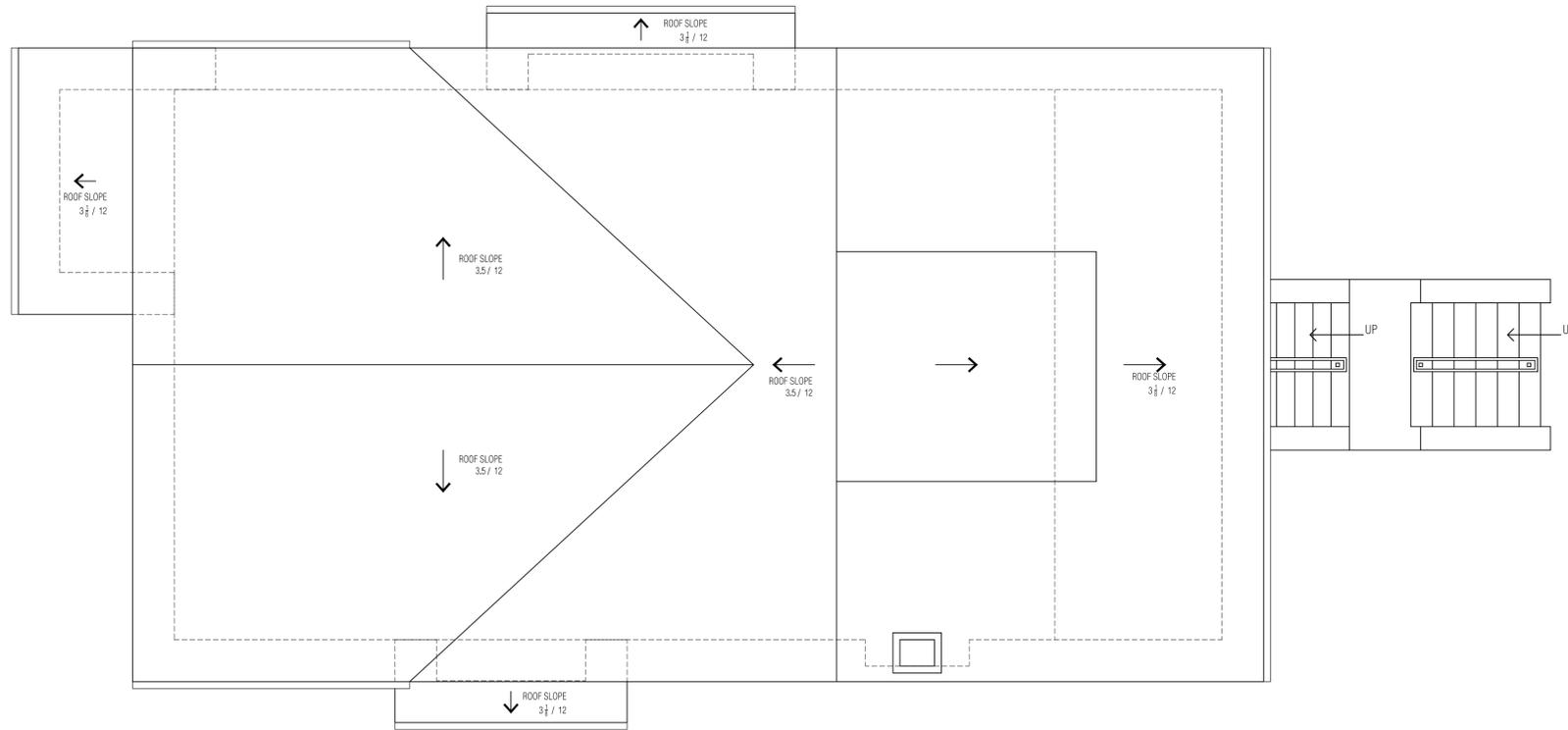
date

12.15.18

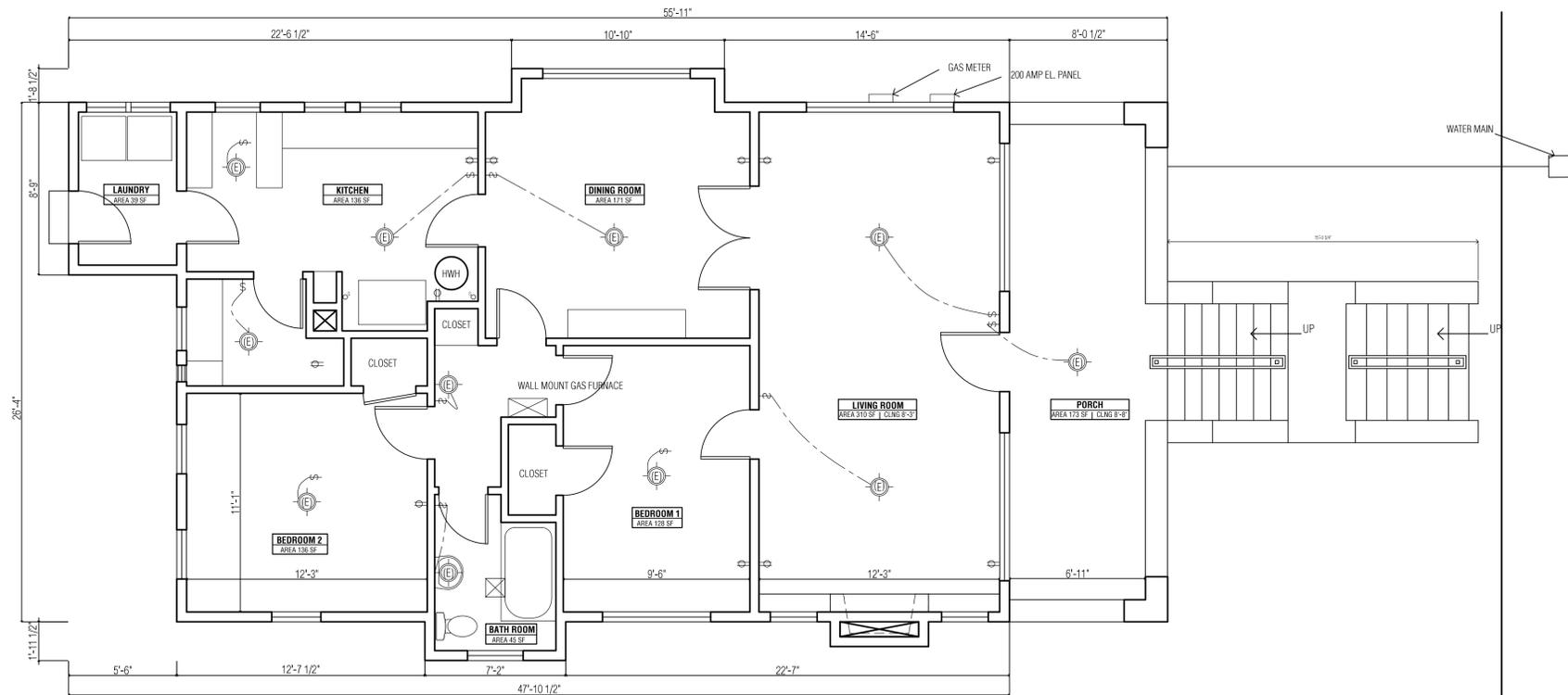
title sheet number

SITE PLAN

**A1.0**



2 EXISTING ROOF PLAN



1 EXISTING FIRST LEVEL FLOOR PLAN

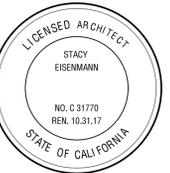


architect

**EISENMANN  
ARCHITECTURE**

contact STACY EISENMANN  
address 853 RAMONA AVENUE  
ALBANY CA 94706  
phone 510 558 8442  
email stacy@eisenmannarchitecture.com

stamp



All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

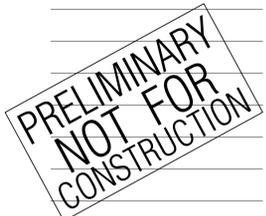
project

**SMITH  
RESIDENCE**

contacts Kelly & Mike SMITH  
address 923 ORDWAY  
ALBANY CA 94706  
phone 510-684-6401  
email keldsmith@yahoo.com

ISSUE

PERMIT 12.18.2015



scale

1/4"=1'-0"

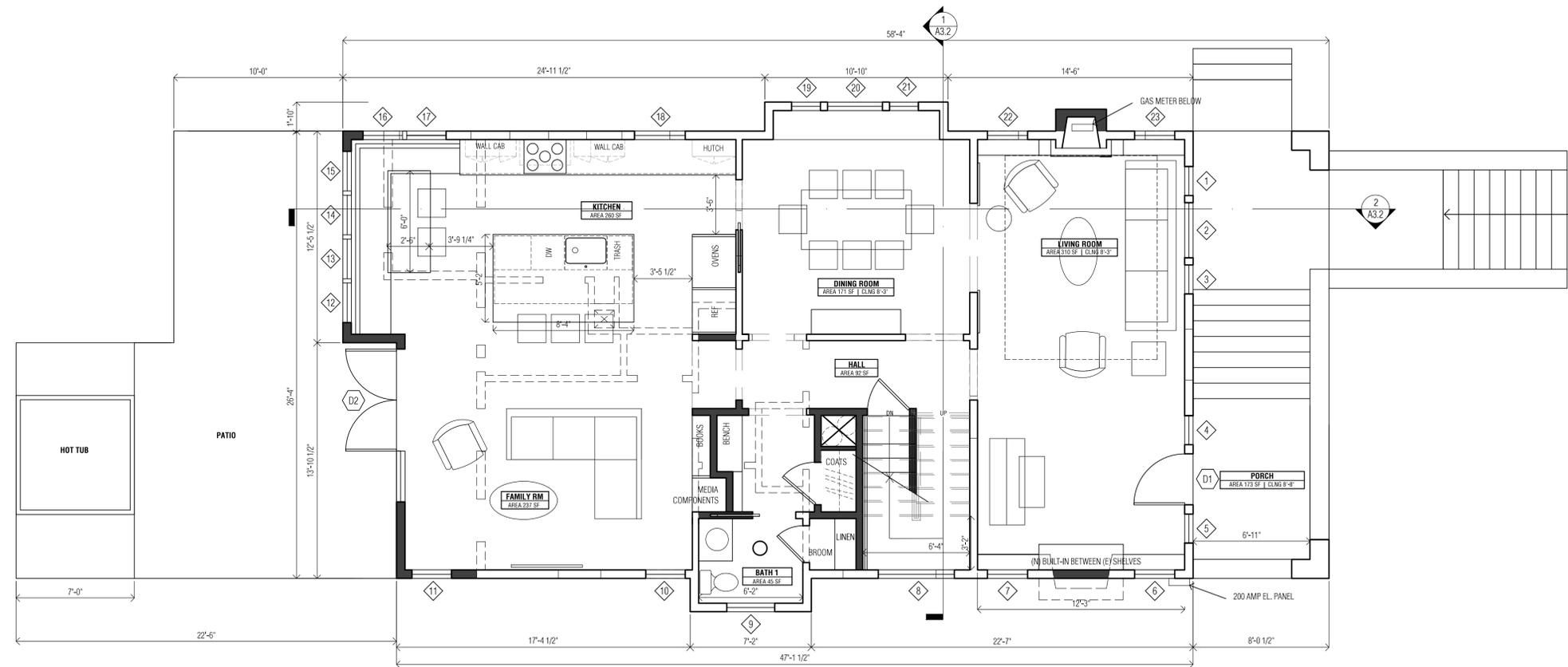
date

12.15.18

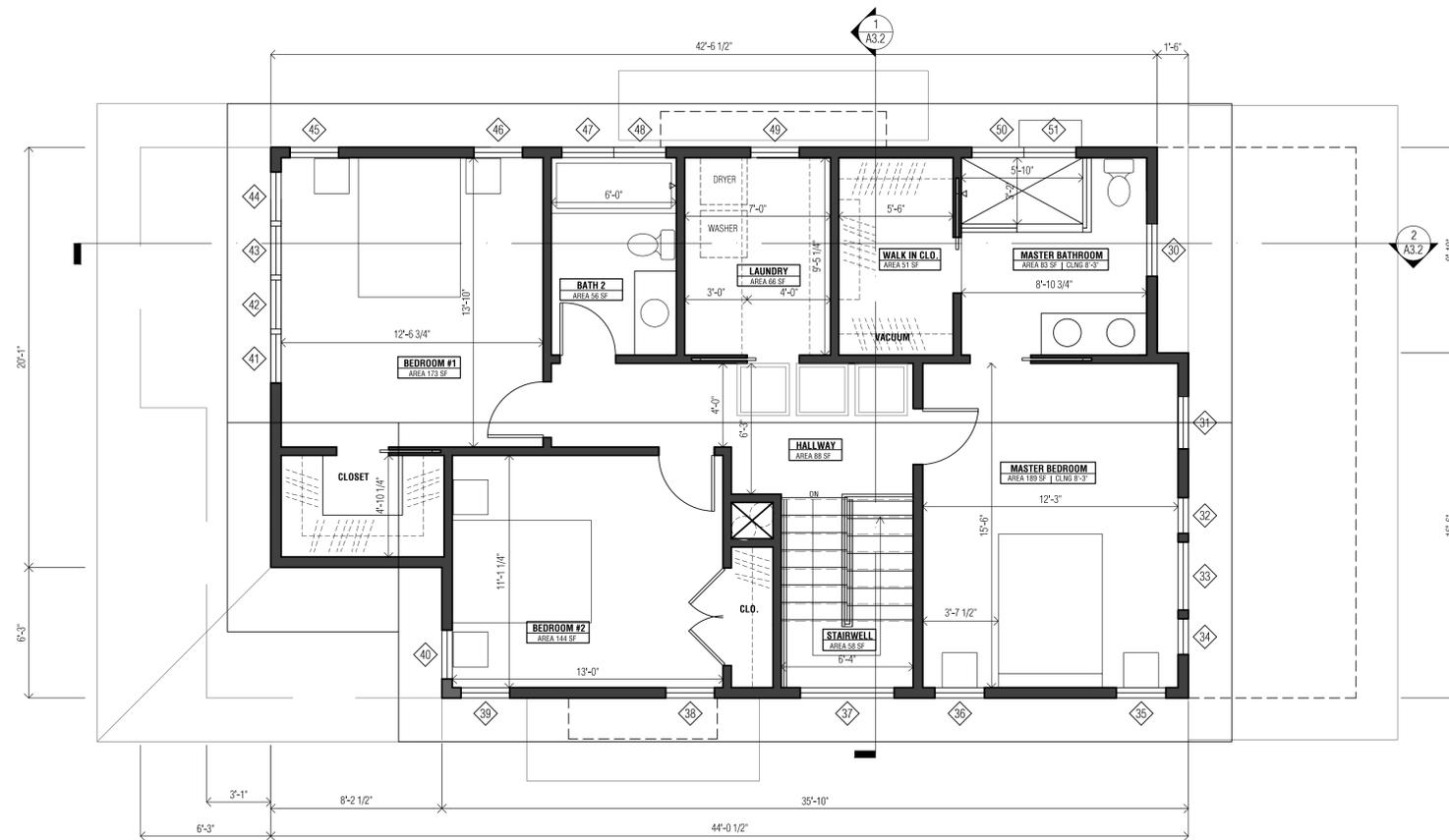
title sheet number

EXISTING FLOOR PLAN, EXISTING  
ROOF PLAN

**A2.0**



1 PROPOSED FIRST LEVEL FLOOR PLAN



2 PROPOSED SECOND LEVEL FLOOR PLAN

architect

**EISENMANN  
ARCHITECTURE**

contact STACY EISENMANN  
address 853 RAMONA AVENUE  
ALBANY CA 94706  
phone 510 558 8442  
email stacy@eisenmannarchitecture.com

stamp



All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

project

**SMITH  
RESIDENCE**

contacts Kelly & Mike SMITH  
address 923 ORDWAY  
ALBANY CA 94706  
phone 510-684-6401  
email keldsmith@yahoo.com

ISSUE

PERMIT 12.18.2015

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

scale

1/4"=1'-0"

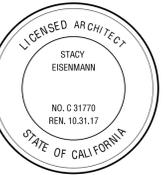
date

12.15.18

title sheet number

PROPOSED 1ST FLOOR & 2ND  
FLOOR PLAN

**A2.1**

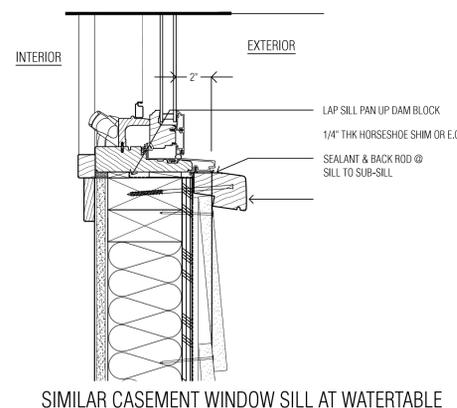
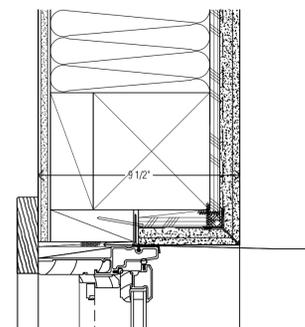


All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

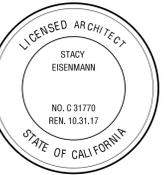
SMITH RESIDENCE



ID	LOCATION	OPERATION	PRODUC.I.D.	TYPE	SIZE (MANUFACTURE SPEC)		FINISH HEAD HEIGHT	FRAME CONSTRUCTION		SASH CONSTRUCTION		GLAZING TYPE	HARDWARE FINISH	HARDWARE TYPE	COUNT	NOTES
					WIDTH	HEIGHT		TYPE	FINISH / COLOR	TYPE	FINISH / COLOR					
FIRST FLOOR																
1	LIVING ROOM	(E) CASEMENT			20"	60"		WD	PT	WD	PT					
2	LIVING ROOM	(E) DOUBLE HUNG			40"	60"		WD	PT	WD	PT					
3	LIVING ROOM	(E) CASEMENT			20"	60"		WD	PT	WD	PT					
4	LIVING ROOM	CASEMENT			20"	60"		WD	PT	WD	CLAD					
5	LIVING ROOM	CASEMENT			20"	60"		WD	PT	WD	CLAD					
6	LIVING ROOM	(E) CASEMENT			28"	28"		WD	PT	WD	PT					
7	LIVING ROOM	(E) CASEMENT			28"	28"		WD	PT	WD	PT					
8	STARWELL	PICTURE			54"	60"		WD	PT	WD	CLAD					
9	BATH 1	(E) CASEMENT			34"	34"		WD	PT	WD	PT					
10	FAMILY ROOM	DOUBLE HUNG			28"	54"		WD	PT	WD	CLAD					
11	FAMILY ROOM	DOUBLE HUNG			28"	54"		WD	PT	WD	CLAD					
12	KITCHEN	CASEMENT			28"	54"		WD	PT	WD	CLAD					
13	KITCHEN	PICTURE			28"	54"		WD	PT	WD	CLAD					
14	KITCHEN	PICTURE			28"	54"		WD	PT	WD	CLAD					
15	KITCHEN	CASEMENT			28"	54"		WD	PT	WD	CLAD					
16	KITCHEN	CASEMENT			28"	54"		WD	PT	WD	CLAD					
17	KITCHEN	CASEMENT			28"	54"		WD	PT	WD	CLAD					
18	KITCHEN	DOUBLE HUNG			36"	54"		WD	PT	WD	CLAD					
19	DINING ROOM	(E) CASEMENT			20"	60"		WD	PT	WD	PT					
20	DINING ROOM	(E) DOUBLE HUNG			40"	60"		WD	PT	WD	PT					
21	DINING ROOM	(E) CASEMENT			20"	60"		WD	PT	WD	PT					
22	LIVING ROOM	CASEMENT			28"	28"		WD	PT	WD	CLAD					
23	LIVING ROOM	CASEMENT			28"	28"		WD	PT	WD	CLAD					
SECOND FLOOR																
30	MASTER BEDROOM	CASEMENT			30"	54"		WD	PT	WD	CLAD					
31	MASTER BEDROOM	CASEMENT			30"	54"		WD	PT	WD	CLAD					
32	MASTER BEDROOM	CASEMENT			20"	54"		WD	PT	WD	CLAD					
33	MASTER BEDROOM	PICTURE			40"	54"		WD	PT	WD	CLAD					
34	MASTER BEDROOM	CASEMENT			20"	54"		WD	PT	WD	CLAD					
35	MASTER BEDROOM	CASEMENT			28"	54"		WD	PT	WD	CLAD					
36	MASTER BEDROOM	CASEMENT			28"	54"		WD	PT	WD	CLAD					
37	STARWELL	PICTURE			54"	54"		WD	PT	WD	CLAD					
38	BEDROOM 2	CASEMENT			28"	54"		WD	PT	WD	CLAD					
39	BEDROOM 2	CASEMENT			28"	54"		WD	PT	WD	CLAD					
40	BEDROOM 2	CASEMENT			28"	54"		WD	PT	WD	CLAD					
41	BEDROOM 2	CASEMENT			28"	54"		WD	PT	WD	CLAD					
42	BEDROOM 3	CASEMENT			28"	54"		WD	PT	WD	CLAD					
43	BEDROOM 3	CASEMENT			28"	54"		WD	PT	WD	CLAD					
44	BEDROOM 3	CASEMENT			28"	54"		WD	PT	WD	CLAD					
45	BEDROOM 3	CASEMENT			28"	54"		WD	PT	WD	CLAD					
46	BEDROOM 3	CASEMENT			28"	54"		WD	PT	WD	CLAD					
47	BATH 2				28"	18"		WD	PT	WD	CLAD					
48	BATH 2				28"	18"		WD	PT	WD	CLAD					
49	LAUNDRY	CASEMENT			28"	54"		WD	PT	WD	CLAD					
50	MASTER BATH	CASEMENT			28"	18"		WD	PT	WD	CLAD					
51	MASTER BATH				28"	18"		WD	PT	WD	CLAD					
S01	STARWELL	SKYLIGHT	VELUX FS-M02		30"	30"		ALUM		ALUM						
S02	STARWELL	SKYLIGHT	VELUX FS-M02		30"	30"		ALUM		ALUM						
S03	STARWELL	SKYLIGHT	VELUX FS-M02		30"	30"		ALUM		ALUM						



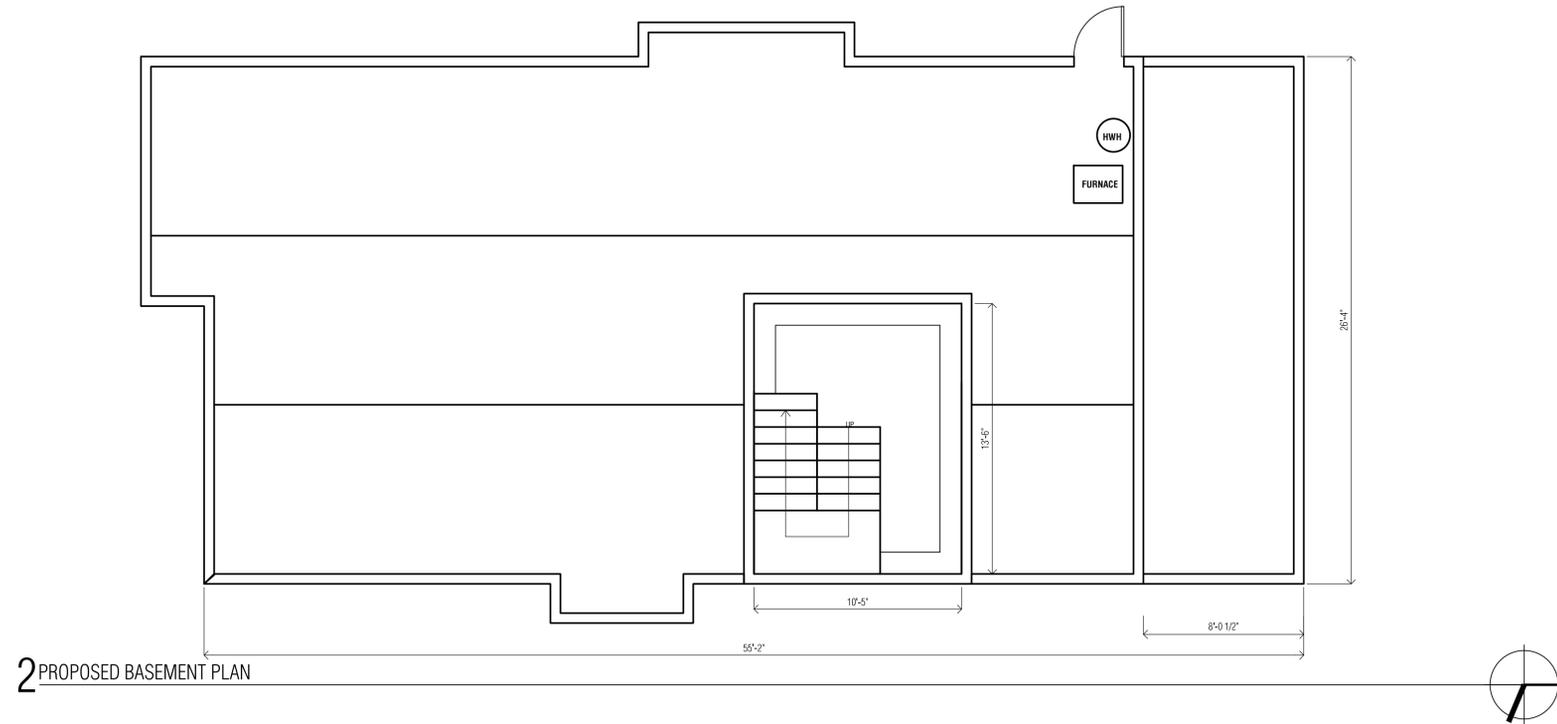
SIMILAR CASEMENT WINDOW SILL AT WATERTABLE



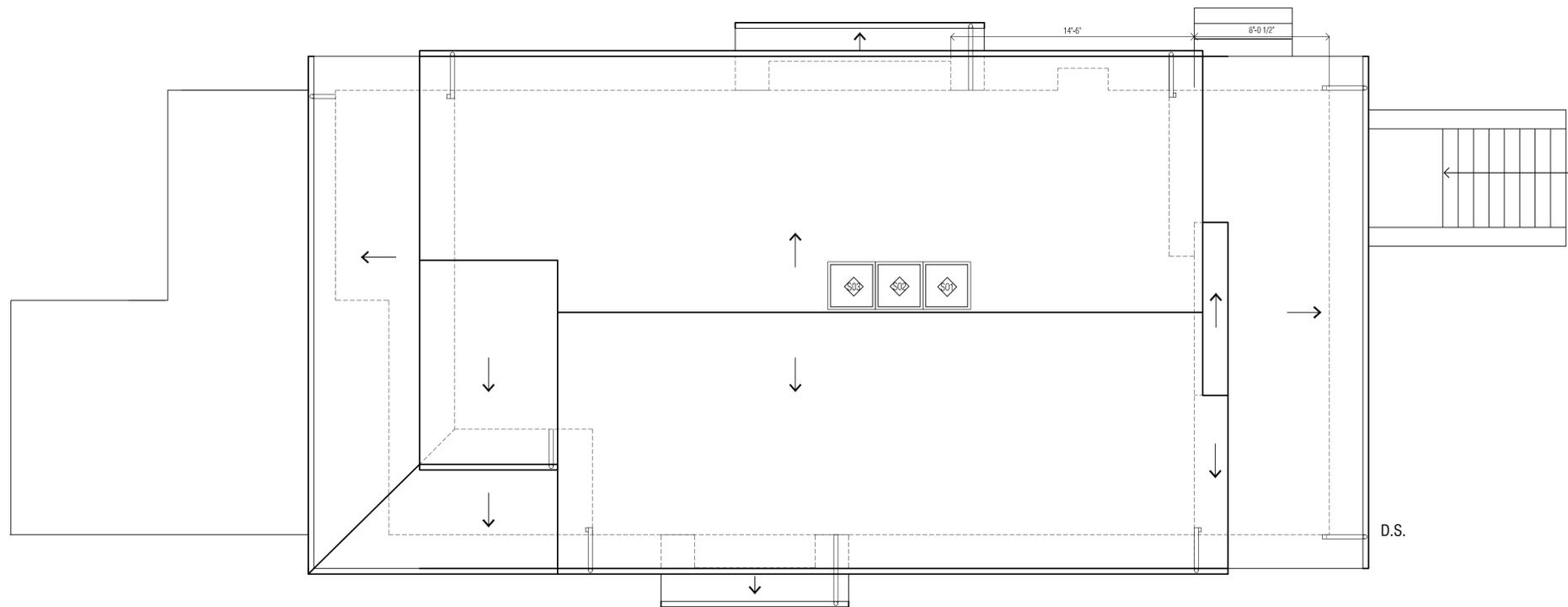
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

SMITH RESIDENCE

PRELIMINARY NOT FOR CONSTRUCTION



2 PROPOSED BASEMENT PLAN

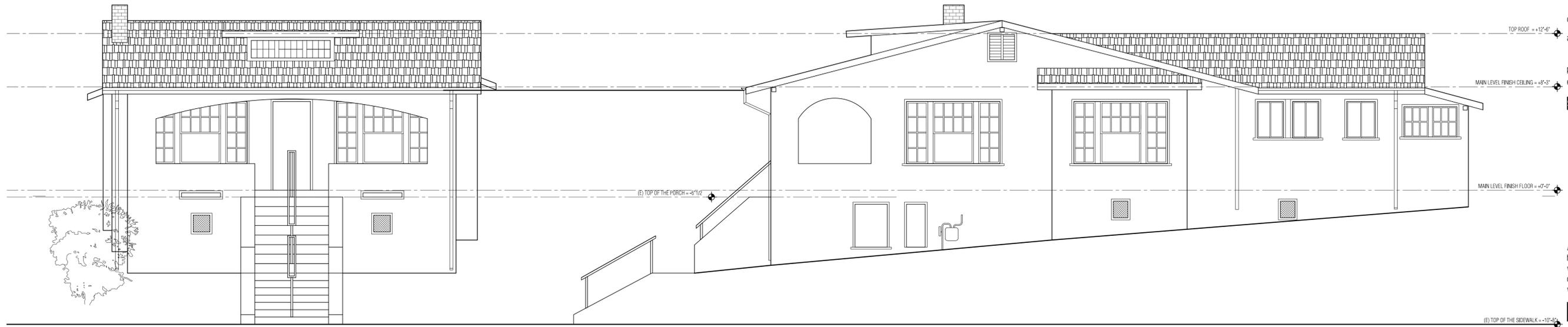


2 PROPOSED ROOF PLAN



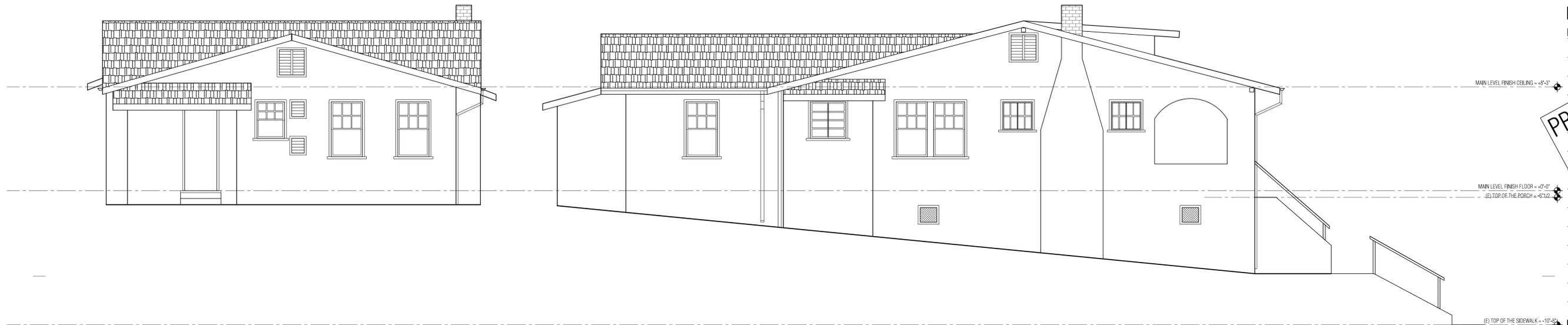
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

SMITH RESIDENCE



1 SIDE ELEVATION - WEST

2 SIDE ELEVATION - SOUTH



3 SIDE ELEVATION - EAST

4 SIDE ELEVATION - NORTH



All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

SMITH RESIDENCE

PRELIMINARY NOT FOR CONSTRUCTION

KEY NOTES - EXTERIOR

1	STUCCO MATCHES TEXTURE
2	COMPOSITE SHINGLE CERTAINTEED OR EQUAL
3	ALUMINUM CLAD WINDOWS/DOOR
4	(N) GUTTERS AND DOWNSPOUTS
5	CRAWLSPACE VENTILATION
6	SKYLIGHTS
7	ACCESS TO CRAWL SPACE
8	HOSE BIB
9	(N) ELEC. METER AND PANEL
10	(E) GAS METER
11	(E) SEWER ACCESS



1 FRONT ELEVATION - WEST



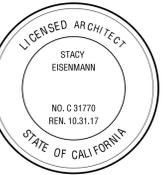
2 SIDE ELEVATION - SOUTH



3 REAR ELEVATION - EAST



4 SIDE ELEVATION - NORTH



All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

SMITH RESIDENCE

contacts Kelly & Mike SMITH  
address 923 ORDWAY ALBANY CA 94706  
phone 510-684-6401  
email keldsmith@yahoo.com

PERMIT 12.18.2015

PRELIMINARY NOT FOR CONSTRUCTION

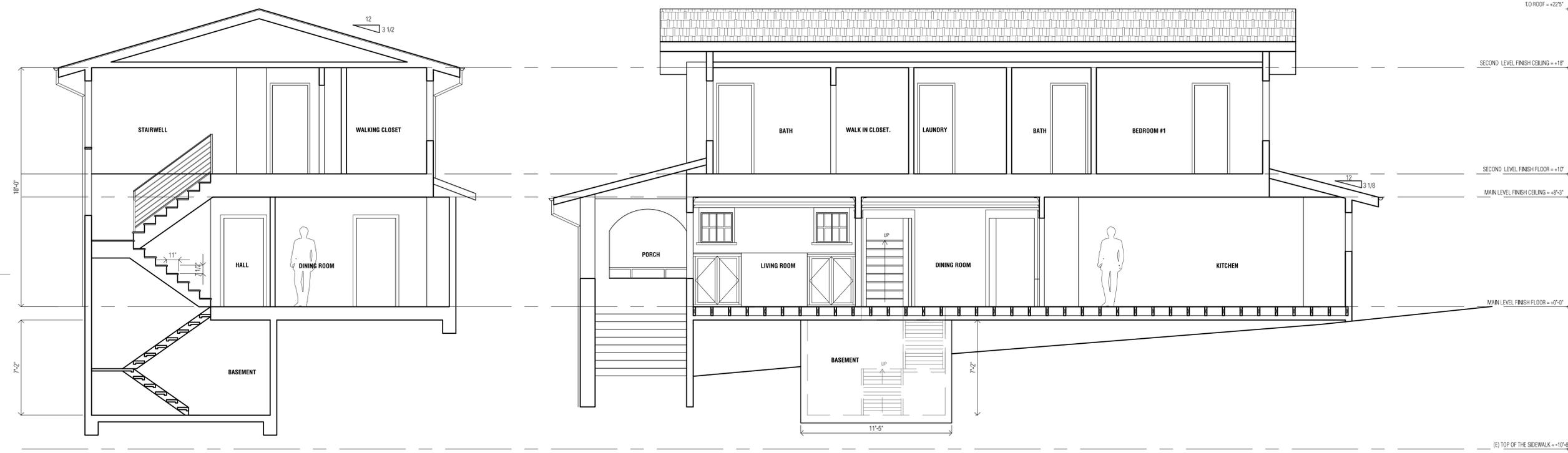
12.15.18

WHOLE BUILDING SECTIONS & NEIGHBORHOOD CONTEXT ELEVATIONS



3 NEIGHBORHOOD CONTEXT  
SCALE 3/16" = 1'

1 FRONT ELEVATION - WEST



1 SIDE SECTION  
SCALE 1/4" = 1'

2 SIDE SECTION  
SCALE 1/4" = 1'