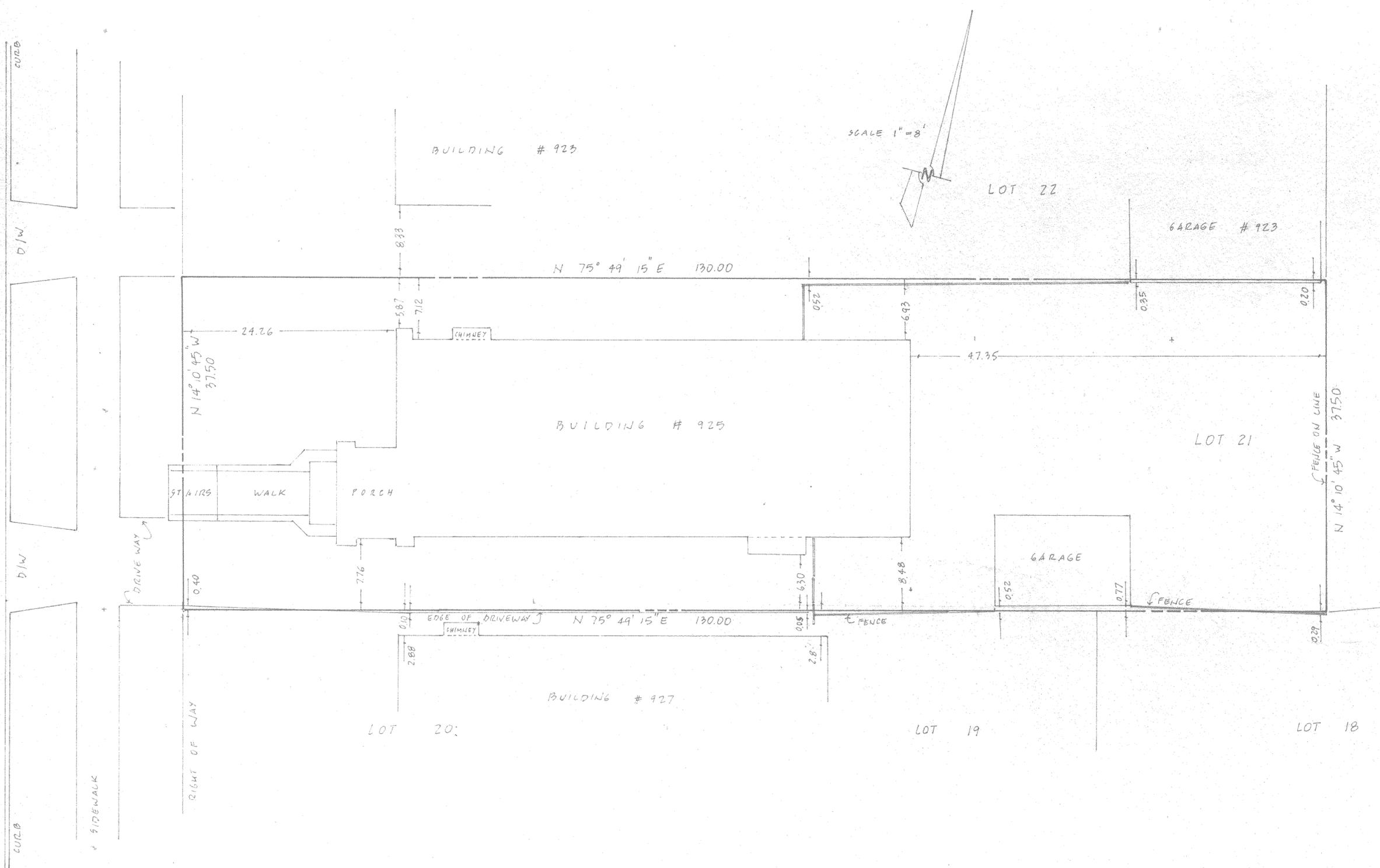
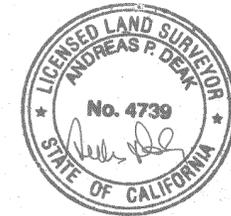


SANTA FE AVENUE



SCALE 1"=8'



BOUNDARY AND SITE SURVEY OF LOT 21 BLOCK 30  
 OF FAIRMOUNT PARK 23 M 78 ALBANY CALIFORNIA  
 FOR MR THORSTON TICENOR AND JULIE DURKEE  
 925 SANTA FE AVENUE ALBANY CA 94706  
 BY ANDREW DEAK  
 2116 BUENA VISTA AVE. ALAMEDA CA. 94501  
 SCALE 1"=8' DATE 3-10-2014 APN 65-2640-24

EXPIRES 9-30-2017

# 925 SANTA FE AVENUE, ALBANY

## NEW ACCESSORY BUILDING

### ABBREVIATIONS:

(E)	EXISTING
(N)	NEW
(R)	REMODEL
A.F.F.	ABOVE FINISHED FLOOR
ARCH.	ARCHITECTURAL
BLDG.	BUILDING
BM.	BEAM
B.O.	BOTTOM OF
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
C.L.	CENTERLINE
DET.	DETAIL
DIAG.	DIAGONAL
DIM.	DIMENSION
DWGS.	DRAWINGS
EL.	ELEVATION
EQ.	EQUAL
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
FIN.	FINISH
FIN. FLR.	FINISH FLOOR
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
FTG.	FOOTING
GL.	GLASS
HT.	HEIGHT
HOR.	HORIZONTAL
INT.	INTERIOR
MIN.	MINIMUM
MIR.	MIRROR
MET.	METAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O/C	ON CENTER
OPNG	OPENING
P.L.	PROPERTY LINE
PLAS.	PLASTER
PLYWD	PLYWOOD
PT.	POINT
R.	RISER
RAD	RADIUS
RD.	ROUND
REQ'D	REQUIRED
RWD.	REDWOOD
SHT.	SHEET
SIM.	SIMILAR
SQ.	SQUARE
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
T.	TREAD
T.O.	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W/	WITH
WD.	WOOD

### GENERAL NOTES:

- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES. CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE MOST RECENTLY ADOPTED VERSION OF THE INTERNATIONAL BUILDING CODE, CALIFORNIA BUILDING CODE, AND TITLE 24 REQUIREMENTS, NATIONAL ELECTRICAL CODE, UNIFORM PLUMBING CODE, UNIFORM MECHANICAL CODE, AND STATE AND LOCAL FIRE CODES. IF CONFLICTS OCCUR, THE MORE STRINGENT REGULATIONS GOVERNS. THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL REQUIRED PERMITS, FEES, LICENSES, AND INSPECTIONS AS REQUIRED.

WORK SHALL COMPLY WITH STATE AMENDMENTS TO STANDARD CODES AND LOCAL ORDINANCES, INCLUDING BUT NOT LIMITED TO:

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA FIRE CODE

- DO NOT SCALE DRAWINGS.

### VICINITY MAP



### PROJECT DESCRIPTION:

NEW ACCESSORY BUILDING IN THE REAR YARD

PROJECT ADDRESS: 925 SANTA FE AVENUE, ALBANY, CA  
 APN #: 65-2640-24  
 LOT SIZE: 4,875 SF  
 ZONING DISTRICT: R-1  
 OCCUPANCY GROUP: R-3  
 CONSTRUCTION TYPE: V-B  
 FIRE RATING: NOT RATED  
 (E) # BEDROOMS: 3  
 (N) # BEDROOMS: 3  
 (E) BATHROOMS: 1 FULL  
 (N) BATHROOMS: 1 FULL AND 1 HALF

FLOOR AREA:  
 MAX. ALLOWED = 0.55

ALL SQUARE FOOTAGE SHOWN BELOW ARE APPROXIMATE BASED ON FIELD MEASUREMENT.

### CONDITIONED SPACES:

EXISTING MAIN HOUSE	1304 SF
TOTAL EXISTING SQUARE FOOTAGE	

NEW MAIN HOUSE	1304 SF
ACCESSORY STRUCTURE	198 SF
TOTAL PROPOSED SQUARE FOOTAGE	1502 SF

TOTAL SQUARE FEET ADDED 198 SF

### UNCONDITIONED SPACES:

EXISTING GARAGE	160 SF
-----------------	--------

F.A.R = 1502SF/4875 SF = 0.30 < 0.55 ALLOWED

EXISTING LOT COVERAGE  
 MAX. ALLOWED = 50%

LOT SIZE:	4,875 SF
EXISTING STRUCTURE	
HOUSE	1318 SF
DECK AND STAIR	154 SF
GARAGE	160 SF
TOTAL	1632 SF = 34%

(E) IMPERVIOUS	
TOTAL STRUCTURE	1632 SF
DRIVEWAY	773 SF
FRONT CONCRETE STAIR AND WALKWAY	180 SF
TOTAL	2585 SF = 53%

### SHEET LISTS:

A1	SITE SURVEY
A2	GENERAL AND PROJECT NOTES
A3	EXISTING AND PROPOSED SITE PLANS
	(N) FLOOR AND ROOF PLANS AND ELEVATIONS

### DIRECTORY:

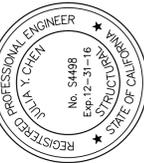
DESIGNER/STRUCTURAL ENGINEER:  
 JULIA Y. CHEN  
 JULIA Y. CHEN DESIGN INC.  
 115 ROCCA DRIVE  
 FAIRFAX, CA 94930  
 (415) 721-7238  
 julia@jycdesign.com

OWNER:  
 THORSTON AND JULIE TICHENOR  
 925 SANTA FE AVENUE  
 ALBANY, CA 94706  
 (510) 548-2900  
 thorandjulie@sbcglobal.net

PROPOSED LOT COVERAGE  
 MAX. ALLOWED = 50%

LOT SIZE:	4,875 SF
PROPOSED STRUCTURE	
HOUSE	1318 SF
DECK AND STAIR	154 SF
GARAGE	160 SF
ACCESSORY STRUCTURE	198 SF
TOTAL	1830 SF = 37.5%

(N) IMPERVIOUS	
TOTAL STRUCTURE	1830 SF
DRIVEWAY	773 SF
FRONT CONCRETE STAIR AND WALKWAY	180 SF
TOTAL	2783 SF = 57.1%



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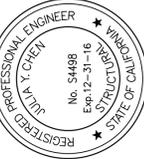
TICHENOR RESIDENCE  
 NEW ACCESSORY BUILDING  
 925 SANTA FE AVENUE  
 ALBANY, CALIFORNIA  
 APN: 65-2640-24

GENERAL AND  
 PROJECT NOTES

REVISIONS	BY

JOB NUMBER	2014-16
DRAWN	CHEN
CHECKED	CHEN
DATE	12/08/2015
SCALE	AS SHOWN
SHEET	A1
OF SHEETS	

ISSUED FOR PLANNING REVIEW, 12/8/2015



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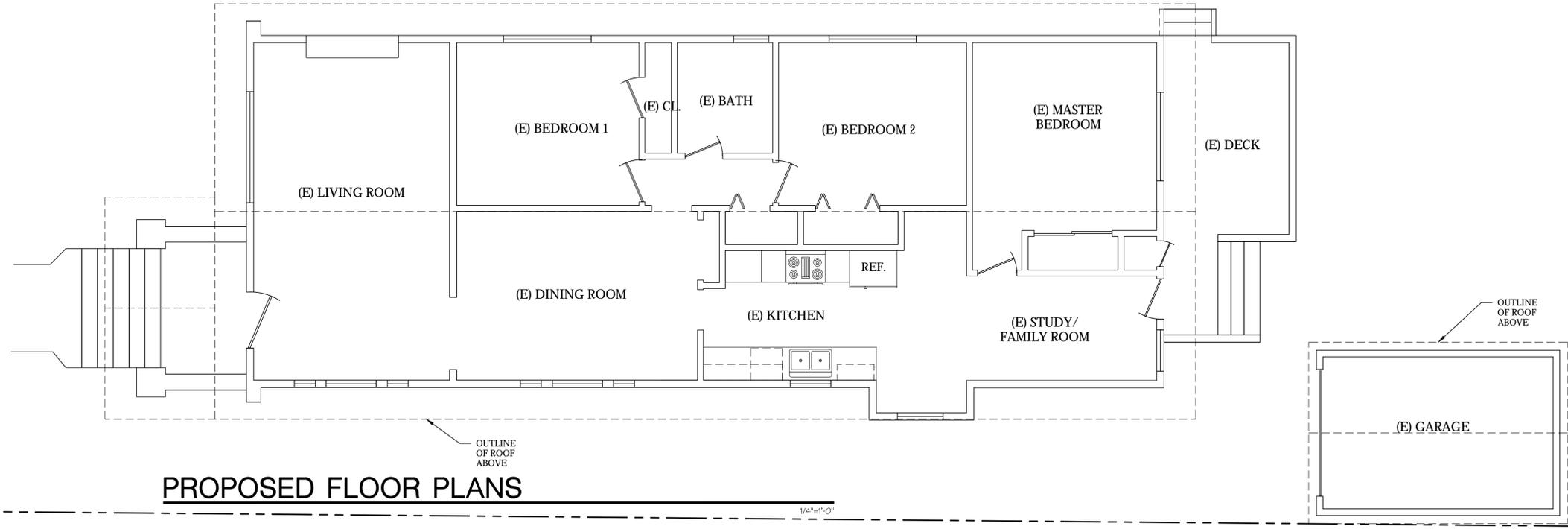
TICHENER RESIDENCE  
 NEW ACCESSORY BUILDING  
 925 SANTA FE AVENUE  
 ALBANY, CALIFORNIA  
 APN: 65-2640-24

EXISTING AND  
 PROPOSED SITE  
 PLANS

ISSUED FOR PLANNING REVIEW, 12/8/2015

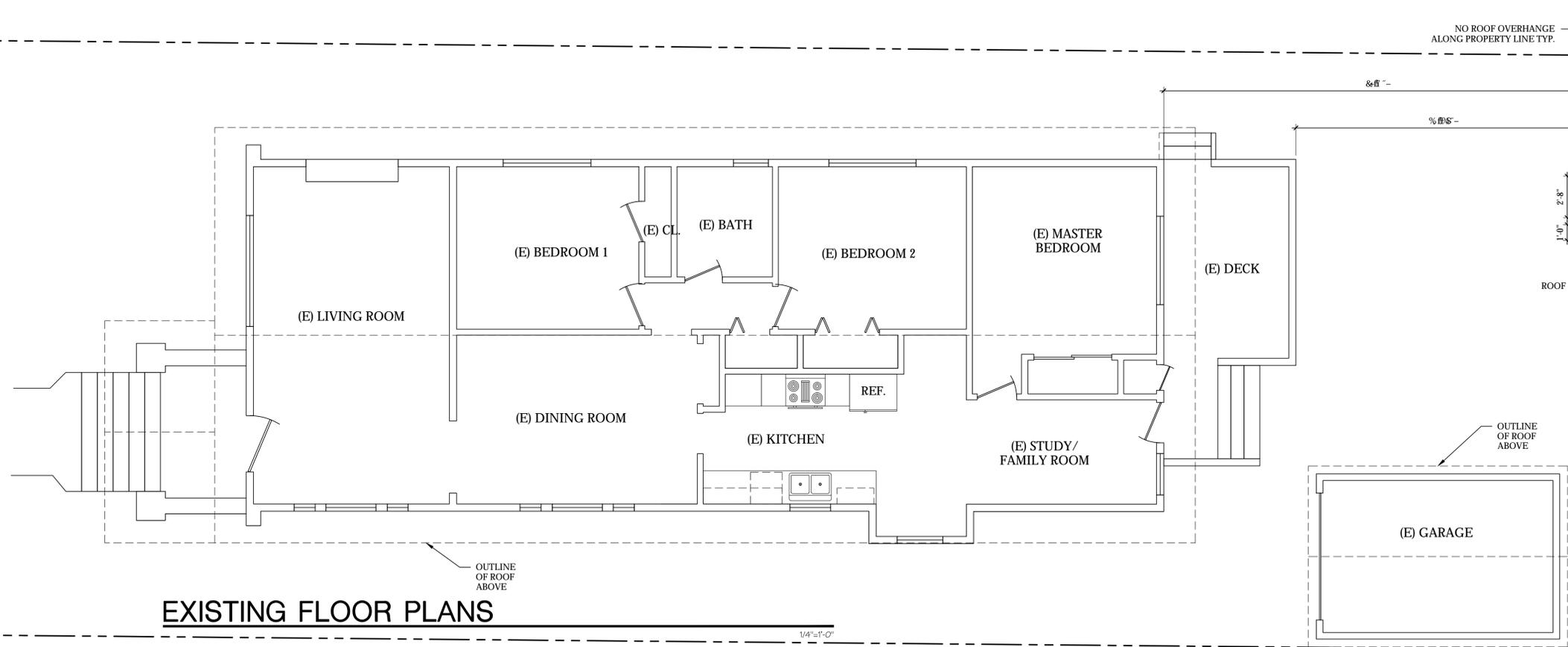
REVISIONS	BY

JOB NUMBER	2014-16
DRAWN	CHEN
CHECKED	CHEN
DATE	12/08/2015
SCALE	1/4"=1'-0"
SHEET	A2
OF SHEETS	



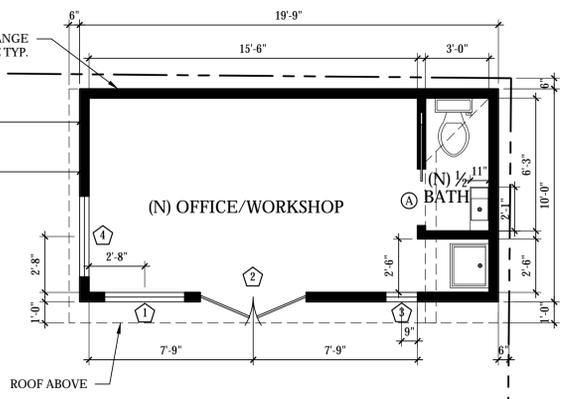
PROPOSED FLOOR PLANS

1/4"=1'-0"



EXISTING FLOOR PLANS

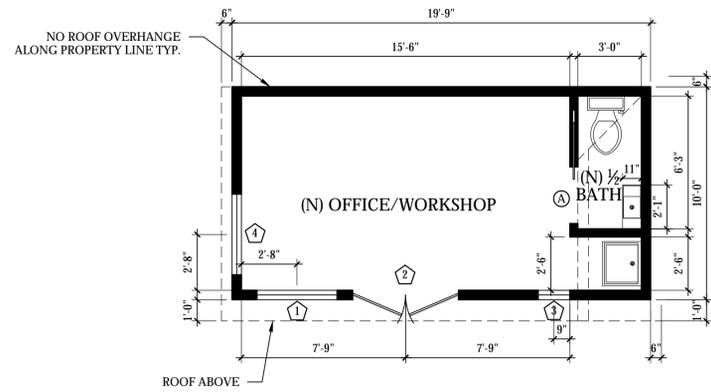
1/4"=1'-0"



NO ROOF OVERHANGE ALONG PROPERTY LINE TYP.

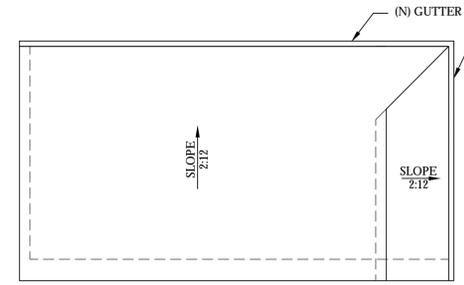
ROOF ABOVE

OUTLINE OF ROOF ABOVE



**(N) FLOOR PLAN**

1/4"=1'-0"



**(N) ROOF PLAN**

1/4"=1'-0"

**FLOOR PLAN NOTES:**

- VERIFY ALL DIMENSION AT FIELD. CONTACT THE ENGINEER OF RECORD OF ANY DISCREPANCIES.

**LEGENDS:**

- INDICATES EXISTING WALLS
- INDICATES NEW WALLS
- INDICATES SMOKE AND CARBON MONOXIDE DETECTOR

**DOOR SCHEDULE:**

DOOR ID	DOOR SIZE	DESCRIPTION
(A)	2'-4"Wx6'-8"H	1 1/4" THICK SLIDING DOOR

**DOOR NOTES:**

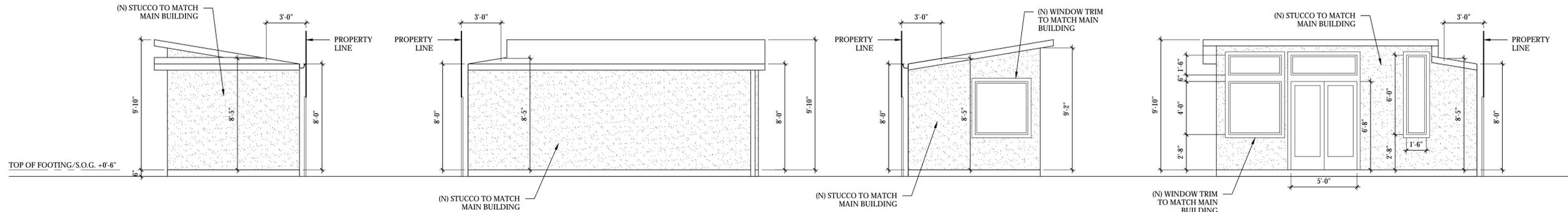
- DOOR DIMENSIONS ARE NOMINAL. VERIFY ALL OPENING SIZES IN FIELD.
- UNDERCUT INTERIOR DOORS 1/2" FOR AIRFLOW.

**WINDOW AND GLASS DOOR SCHEDULE:**

ID	UNIT SIZE	DESCRIPTION
1	4'-0"Wx4'-0"H	FIXED w/ 4'-0"x1'-6" TRANSOM
2	5'-0"Wx4'-0"H	TEMPERED GLASS DOOR w/ SECURITY (PAIR), 5'-0"x1'-6" TRANSOM
3	1'-6"Wx6'-0"H	FIXED
4	4'-0"Wx4'-0"H	FIXED

**WINDOW AND GLASS DOOR NOTES:**

- WINDOW DIMENSIONS ARE NOMINAL. ROUGH OPENING SIZE WILL VARY PER MANUFACTURER. VERIFY ALL REQUIRED OPENING SIZES WITH THE MANUFACTURER AND IN FIELD.
- TEMPORARY NFRC LABELS INDICATING LISTED U-VALUES FOR ALL FENESTRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION.
- EXTERIOR WINDOW TRIM AND FINISH TO MATCH (E)
- ALL WINDOWS AND DOOR TO BE ALUMINUM CLAD EXTERIOR AND WOOD INTERIOR.
- ALL (N) WINDOWS SHALL HAVE U-FACTOR OF 0.3.



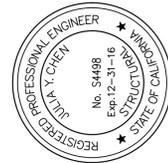
**PROPERTY LINE SIDE (EAST) ELEVATION**

**PROPERTY LINE REAR (NORTH) ELEVATION**

**SIDE (WEST) ELEVATION**

**FRONT (SOUTH) ELEVATION**

Julia Y. Chen Design, Inc.  
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Phone: (415) 721-7228  
Email: julia@jycdesign.com



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TICHERER RESIDENCE  
NEW ACCESSORY BUILDING  
925 SANTA FE AVENUE  
ALBANY, CALIFORNIA  
APN: 65-2640-24

(N) FLOOR AND ROOF  
PLANS AND  
ELEVATIONS

ISSUED FOR PLANNING REVIEW, 12/8/2015

REVISIONS	BY

JOB NUMBER 2014-16
DRAWN CHEN
CHECKED CHEN
DATE 12/08/2015
SCALE 1/4"=1'-0"
SHEET 9
<b>A3</b>
OF SHEETS