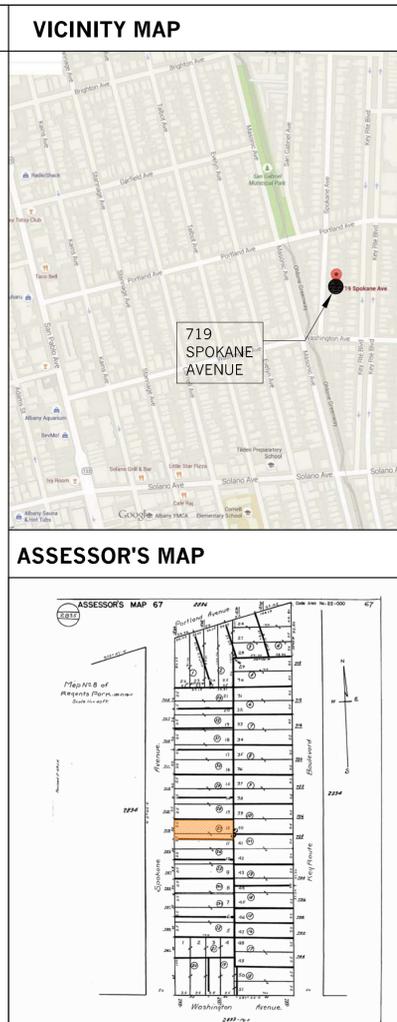


### GENERAL NOTES

- All work shall conform to the California Residential Code, 2013 Edition; California Plumbing Code, 2013 Edition; California Mechanical Code, 2013 Edition; California Electrical Code, 2013 Edition; 2013 Energy Code; City of Albany ordinances, Alameda County requirements and all other applicable codes and ordinances.
- The Contractor shall verify all conditions and dimensions on the site prior to beginning work. Contractor shall familiarize him/herself with vertical and lateral load transfer through framing to foundation. Dimensions, foundation layout, framing layout, load transfer through new and existing framing to foundation location of beams, bracing, etc. should all be verified prior to actual construction. Variance between the drawings and the actual site conditions, and any errors or omissions found in the drawings, shall be brought to the attention of the Architect before proceeding with the work. Upon discovery of unforeseen conditions on the site, the Contractor shall stop the work and request additional information from the Architect. The Contractor shall notify the Architect when the existing structure has been exposed.
- During demolition Contractor is to cap all electrical outlets, switches and utilities per code. Notify Owner 24 hours prior to any interruption in power or utilities.
- Brace and support exterior and interior walls as necessary prior to removal of existing structure so as to prevent any movement of the existing structure. The General Contractor shall be solely responsible for providing adequate shoring and bracing during construction for vertical and lateral loads as required for the protection of life and property during construction.
- Written dimensions shown in the drawings are to face of finish unless otherwise noted; they shall have precedence over any scaled dimensions. The Contractor shall not use scaled dimensions. Detail drawings have precedence over more general drawings.
- The Contractor shall guarantee all new work against leaks for a period of two years following completion of the work.
- The Contractor shall be responsible for restoring to original condition, at his own expense, any damage done by him or his agents to the existing buildings or grounds.
- The Contractor shall install all products and materials in accordance with the manufacturer's specifications and in accordance with the latest edition of Trade Standards, published by the trade associations.
- The Contractor shall comply with all applicable portions of Title 24 of the California Administrative Code.
- Dimensions, locations of doors, partitions, cabinet work and similar features to be verified on site.
- It shall be the Contractor's responsibility to coordinate layout of all the various components of the construction as required to accommodate the electrical layout indicated. Special attention should be given to framing layout to avoid cutting and reframing to achieve proper locations for fixtures.
- The Architect does not assume responsibility for construction means, methods, techniques, sequence or procedures of construction, or safety precautions, which are to remain the responsibility of the General Contractor.
- The Architect does not provide evaluation for the existence of hazardous material nor assume responsibility for their management. Should the Contractor encounter any hazardous materials in the performance of his work, the Contractor shall notify the Owner immediately and proceed with work only in compliance with applicable hazardous material handling regulations.
- Divert Construction and Demolition Waste as follows:
  - Divert all cardboard, concrete, asphalt and metals.
  - Divert 25% C&D waste, excluding all cardboard, concrete, asphalt, and metals.



### AREA CALCULATIONS

LOT COVERAGE		FIRE SPRINKLER AREA CALCULATIONS	
LOT SIZE:	3,200 SQ. FT.	EXISTING GARAGE	250 SQ. FT.
ALLOWABLE LOT COVERAGE:	1,600 SQ. FT. (50%)	EXISTING MAIN FLOOR	1,147 SQ. FT.
EXISTING LOT COVERAGE	1,294 SQ. FT. (40%)	SUBTOTAL	1,397 SQ. FT.
EXISTING RESIDENCE		EXISTING AREA TO BE RENOVATED	200 SQ. FT.
PROPOSED LOT COVERAGE	1,294 SQ. FT.	NEW FLOOR AREA (UPPER LEVEL)	448 SQ. FT.
EXISTING RESIDENCE	26 SQ. FT.	SUBTOTAL (RENOVATED+NEW AREA)	648 SQ. FT.
ADDITION	26 SQ. FT.	(46% OF EXISTING)	
TOTAL	1,320 SQ. FT. (41%)		
*FIRE SPRINKLERS ARE NOT REQUIRED PER ALBANY MUNICIPAL CODE			
FLOOR AREA RATIO			
MAXIMUM ALLOWABLE FLOOR AREA (F.A.R.)	1760 SQ. FT. (55%)	<p>BASEMENT LEVEL</p>	
EXISTING FLOOR AREA (F.A.R.)			
BASEMENT	370 SQ. FT.		
MAIN FLOOR	1,147 SQ. FT.		
EXISTING SUBTOTAL	1,517 SQ. FT.	<p>MAIN LEVEL</p>	
COVERED PARKING EXEMPTION	(220 SQ. FT.)		
EXISTING TOTAL	1,297 SQ. FT. (40%)		
PROPOSED FLOOR AREA (F.A.R.)		<p>UPPER LEVEL</p>	
BASEMENT	370 SQ. FT.		
MAIN FLOOR	1,147 SQ. FT.		
UPPER FLOOR	448 SQ. FT.		
EXISTING SUBTOTAL	1,965 SQ. FT.		
COVERED PARKING EXEMPTION	(220 SQ. FT.)		
(N) TOTAL	1,745 SQ. FT. (54%)		

### PROJECT DATA

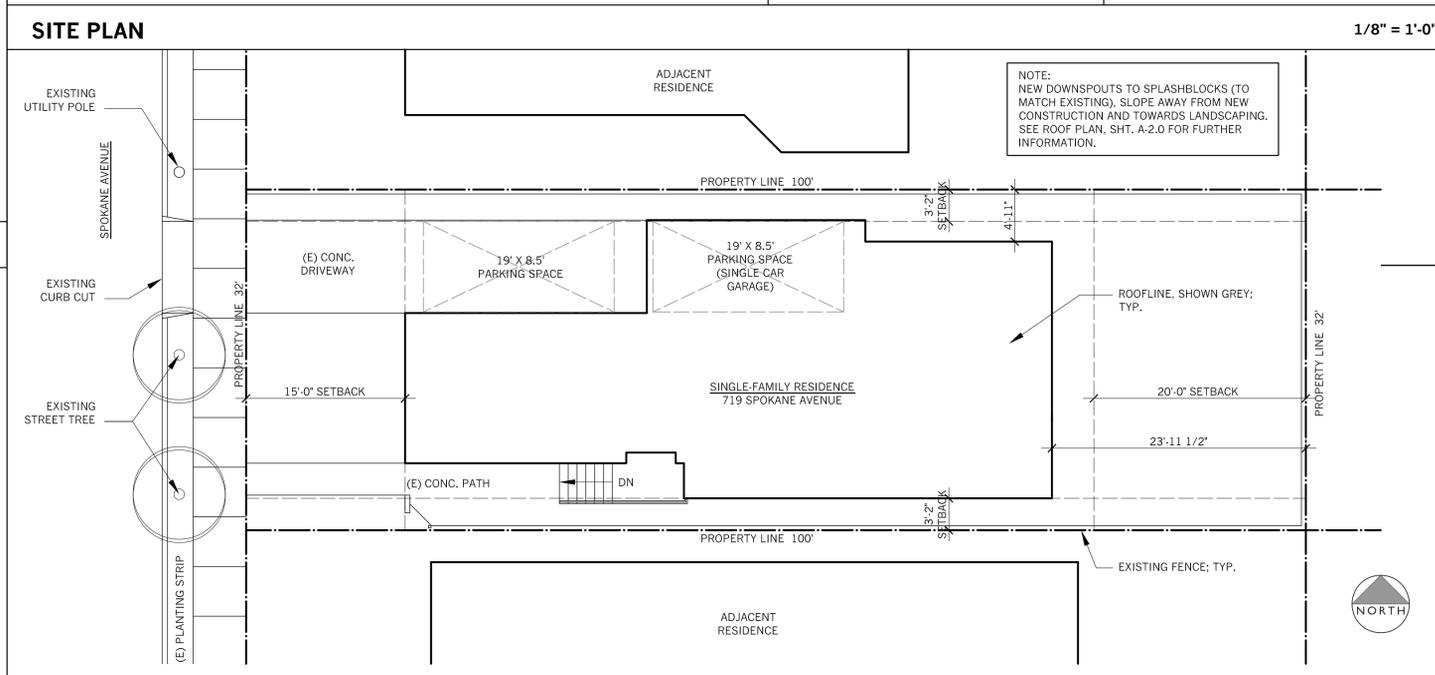
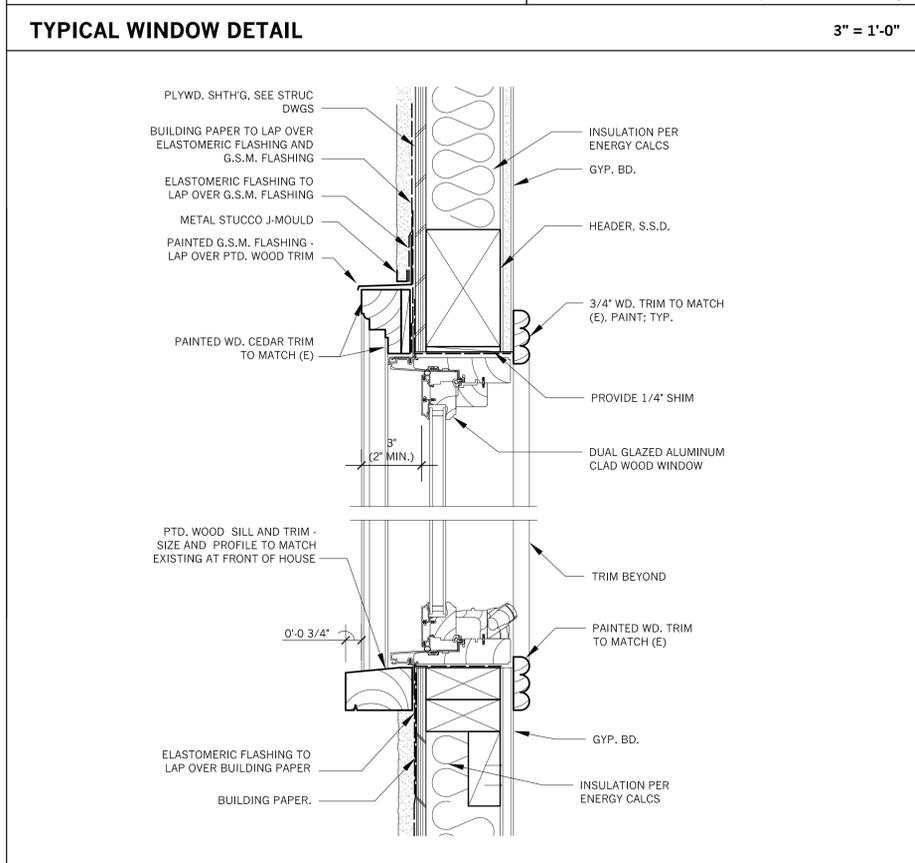
OWNERS: HOLLY AND MATT WHITE  
719 SPOKANE AVENUE  
ALBANY, CA 94706

PROJECT SCOPE:  
RENOVATION AND ADDITION TO AN EXISTING 1 1/2-STORY RESIDENCE:  
1. PROPOSED 448 SQ. FT. UPPER FLOOR TO INCLUDE (2)-BEDROOMS AND BATH.  
2. NEW STAIR AT MAIN FLOOR BEDROOM AND NEW BEDROOM WALL (220 SQ. FT. OF RENOVATED AREA).

ZONING: R-1  
APN: 067 2835 027 00  
FIRE SPRINKLERS: NONE  
OCCUPANCY: R-3  
CONSTRUCTION TYPE: VB

### DRAWING INDEX

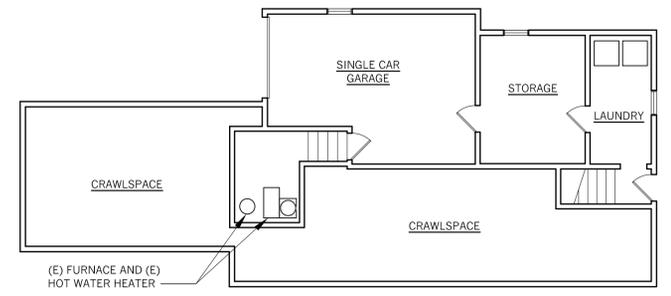
A-0.0	GENERAL NOTES, DRAWING INDEX, PROJECT DATA, AREA CALCULATIONS, AND SITE PLAN.
A-1.0	EXISTING FLOOR PLAN SHOWING DEMOLITION AND EXISTING ELEVATIONS
A-2.0	PROPOSED BASEMENT PLAN, MAIN FLOOR PLAN, UPPER FLOOR PLAN, AND ROOF PLAN
A-3.0	PROPOSED EXTERIOR ELEVATIONS AND SECTIONS



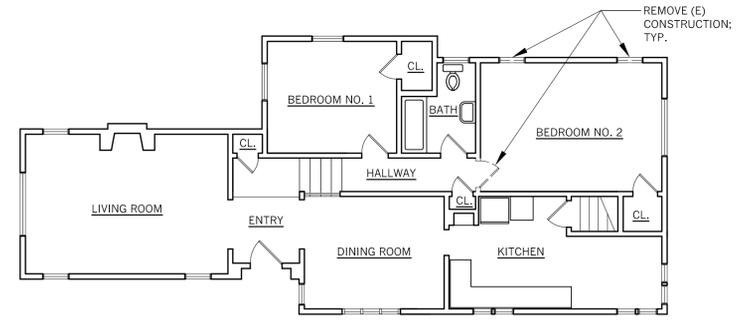
**WHITE  
RESIDENCE**

719 SPOKANE AVENUE  
ALBANY, CA 94706

CONSULTANTS



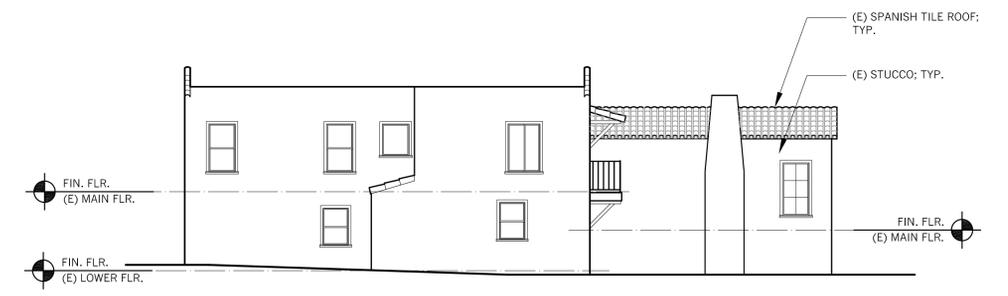
**1 EXISTING BASEMENT FLOOR PLAN** 1/8" = 1'-0"



**4 EXISTING MAIN FLOOR PLAN SHOWING DEMOLITION** 1/8" = 1'-0"



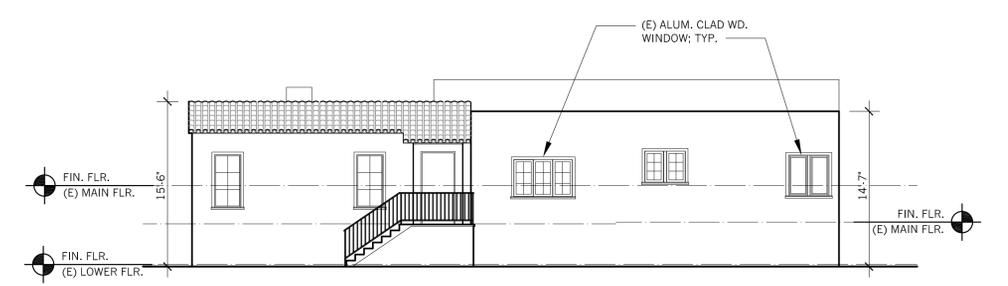
**3 EAST ELEVATION** 1/8" = 1'-0"



**2 NORTH ELEVATION** 1/8" = 1'-0"



**6 WEST ELEVATION** 1/8" = 1'-0"



**5 SOUTH ELEVATION** 1/8" = 1'-0"

STAMP

ISSUE	DATE
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PRELIMINARY PRICING SET	07/30/15
PLANNING SUBMITTAL	10/19/15

**EXISTING  
PLANS AND  
ELEVATIONS  
SHOWING  
DEMOLITION**



