

2 PROPOSED SIDE ELEVATION
Scale: 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"

SHERMAN
architecture

1511 Valley Road
Kensington, CA
t 510.526.6330 / f 525.6290
emi@shermanarch.com

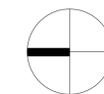
SKINNER ADDITION
1068 NIELSON AVENUE
ALBANY, CA 94707
apn 571-30-18



Owner:
JoAnne Skinner
1068 Nielson Avenue
Albany, CA 94707

No. Date Issue
11/18/15 STAFF DESIGN REVIEW

Revision Ref. North



Description
PROPOSED ELEVATIONS

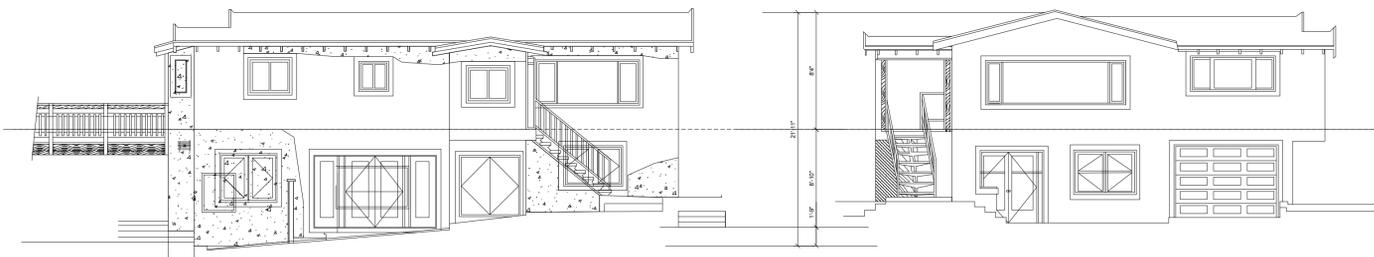
Scale
AS NOTED

Sheet

A2.0

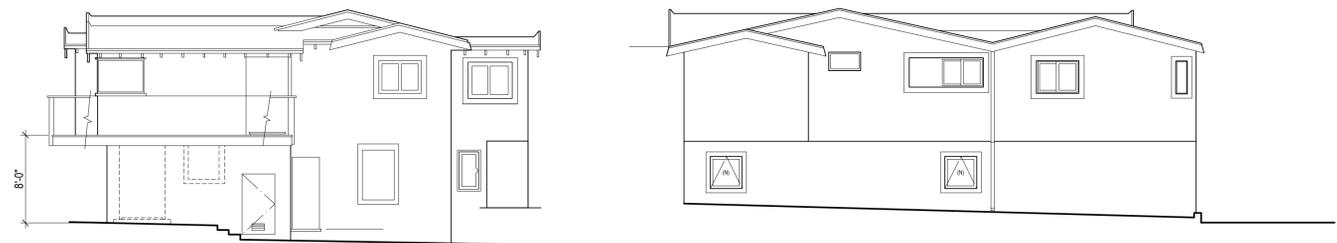


7 ADJACENT AND REAR OF SUBJECT PROPERTIES



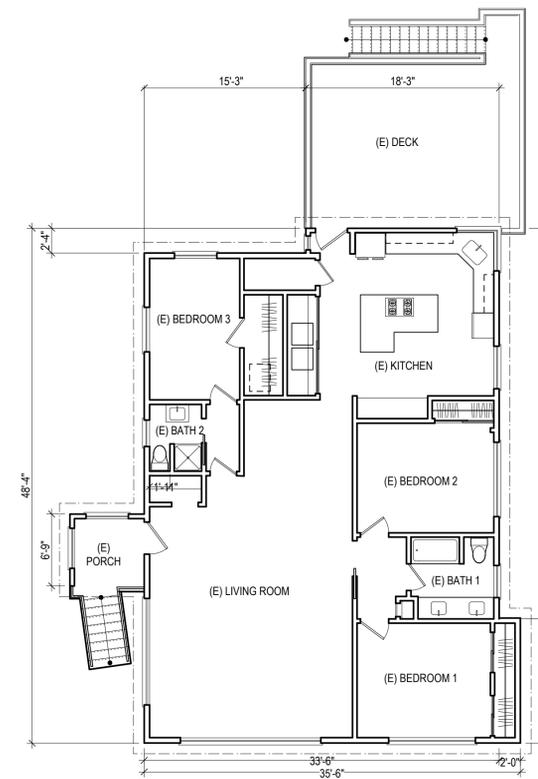
6 EXISTING SOUTH - SIDE ELEVATION
Scale: 1/8" = 1'-0"

5 EXISTING EAST - FRONT ELEVATION
Scale: 1/8" = 1'-0"

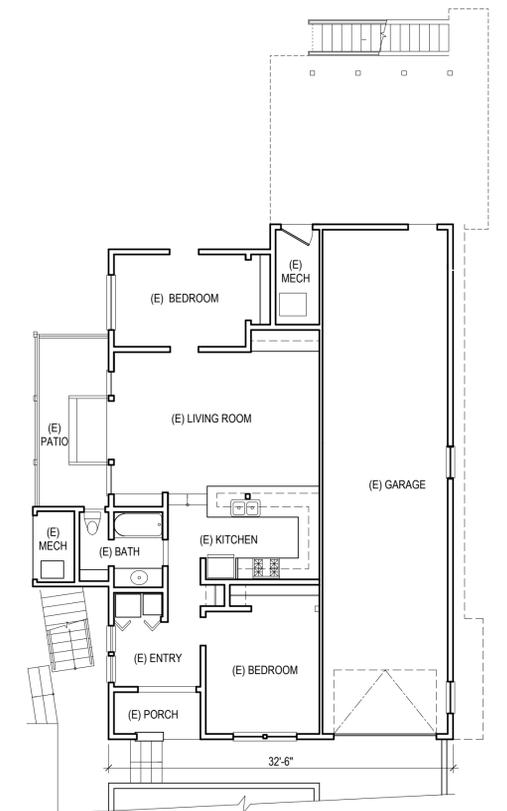


4 EXISTING WEST - REAR ELEVATION
Scale: 1/8" = 1'-0"

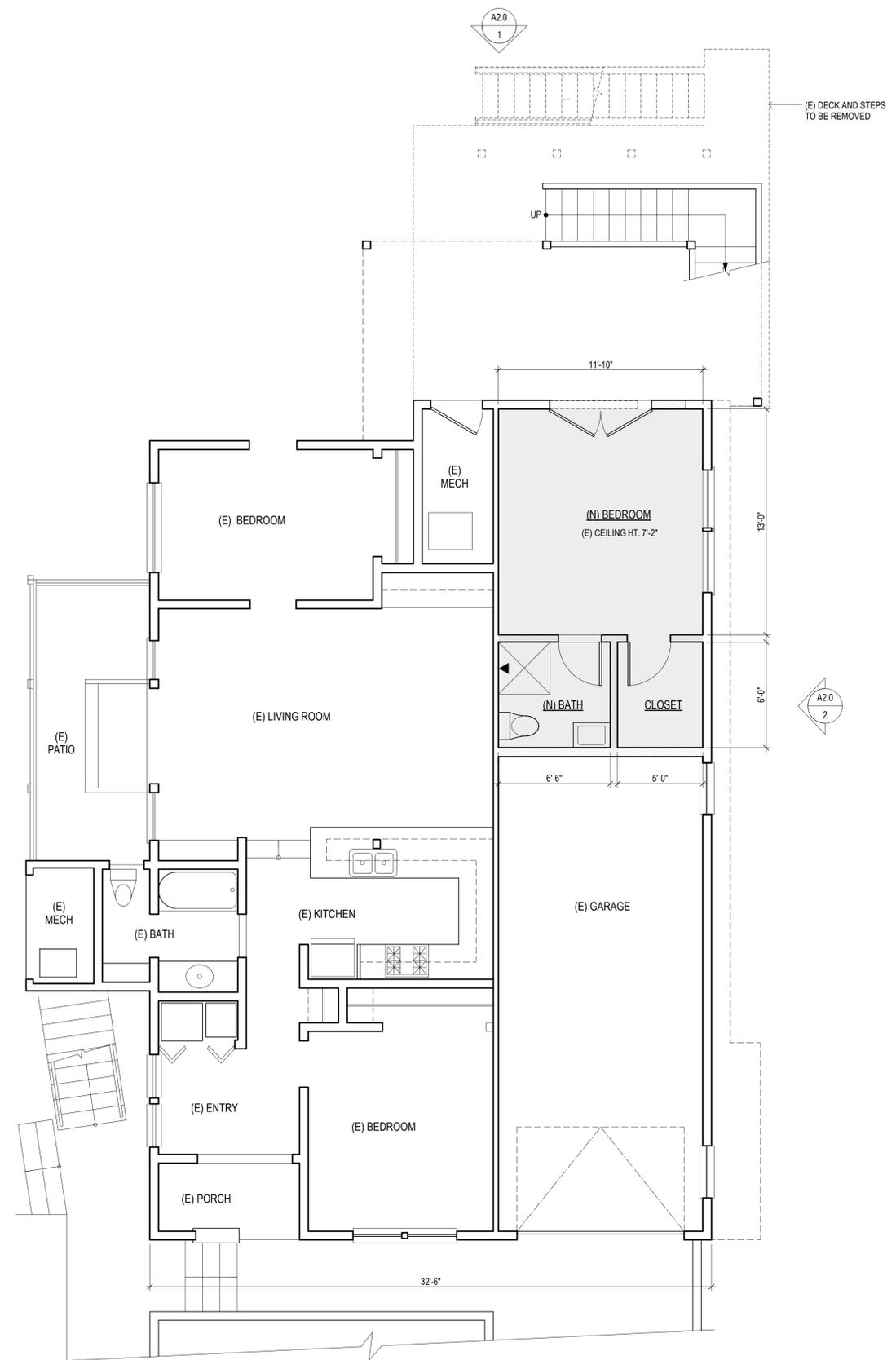
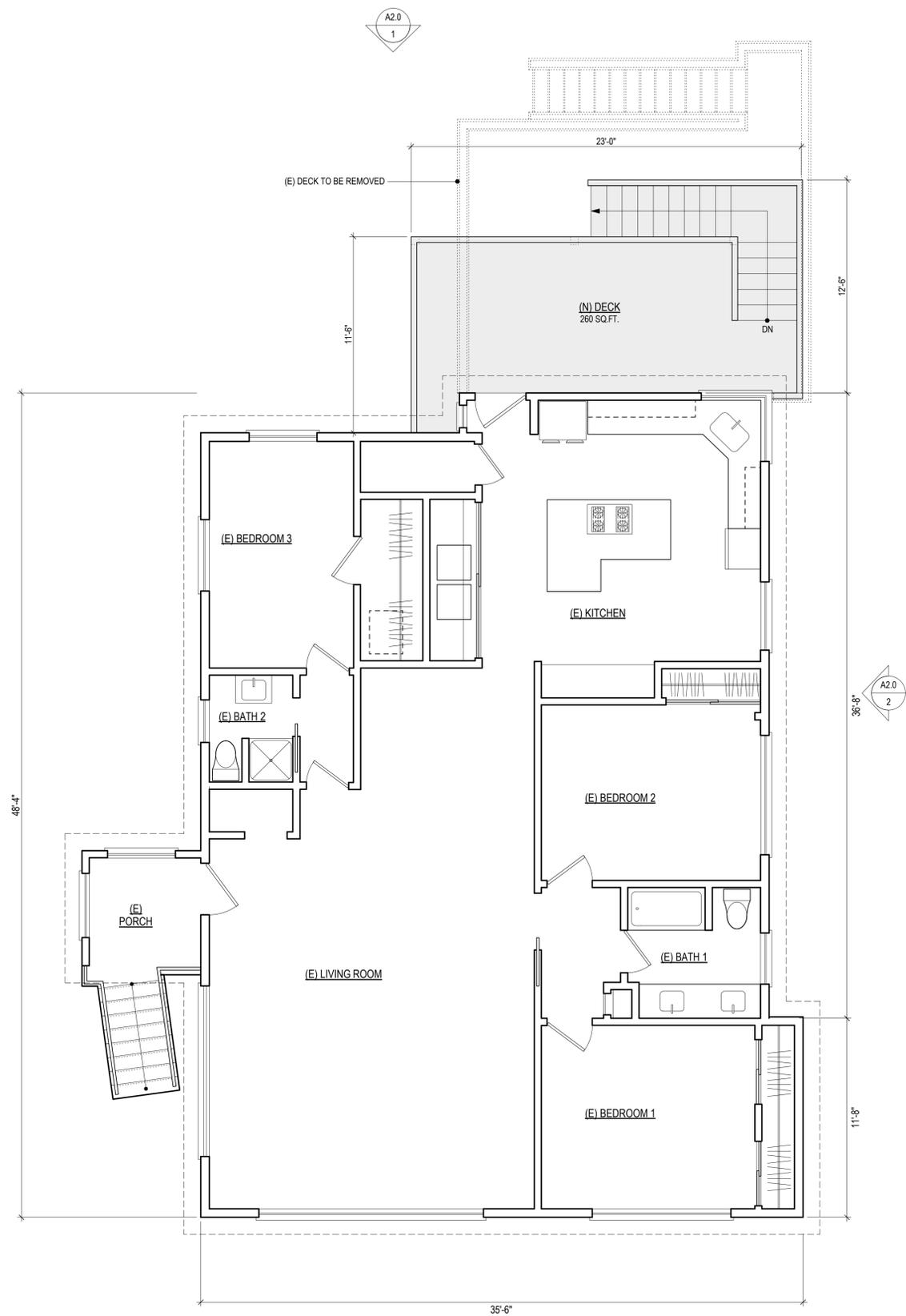
3 EXISTING NORTH - SIDE ELEVATION
Scale: 1/8" = 1'-0"



2 EXISTING UPPER LEVEL
Scale: 1/8" = 1'-0"



1 EXISTING LOWER LEVEL
Scale: 1/8" = 1'-0"



1 PROPOSED LOWER LEVEL
Scale: 1/4" = 1'-0"

SHERMAN
architecture

1511 Valley Road
Kensington, CA
t 510.526.6330 / f 525.6290
emi@shermanarch.com

EXISTING UPPER LEVEL
Scale: 1/4" = 1'-0"
SKINNER ADDITION
1068 NIELSON AVENUE
ALBANY, CA 94707
apn 571-30-18



Owner:
JoAnne Skinner
1068 Nielson Avenue
Albany, CA 94707

No. Date Issue
11/18/15 STAFF DESIGN REVIEW

Revision Ref. North



Description
PROPOSED FLOOR PLANS
Scale
AS NOTED

Sheet

A1.0

NEW 2x4 WALL		BUILDING SECTION	
NEW 2x6 WALL		ELEVATION	
(E) WALL		WALL SECTION	
LINE OF ITEM ABOVE		INTERIOR ELEVATION	
LINE OF ITEM BELOW		DETAIL	
CENTER LINE		WINDOW	
PROPERTY LINE		DOOR	
GRID LINE			
ELEVATION REF POINT			
(E) SPOT ELEVATION			
NEW SPOT ELEVATION			

SYMBOLS

THIS CONSTRUCTION CONTRACT IS FOR THE CONSTRUCTION OF A COMPLETE AND FULLY FUNCTIONING INSTALLATION. THESE DOCUMENTS DESCRIBE THE DESIGN INTENT AND SPECIFIC REQUIREMENTS OF THE INSTALLATION. THESE DOCUMENTS DO NOT INTEND TO SHOW EVERY ITEM REQUIRED TO CONSTRUCT THE WORK. ITEMS SUCH AS FASTENERS, CONNECTORS, FILLERS, MISCELLANEOUS CLOSURE ELEMENTS, ANCILLARY CONTROL, WIRING AND POWER WHERE REQUIRED FOR THE CONTROL OR OPERATION OF THE PROVIDED EQUIPMENT ARE NOT ALWAYS SHOWN BUT ARE CONSIDERED INCLUDED IN THE SCOPE OF THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A FULLY FUNCTIONING INSTALLATION WHICH MEETS THE DESIGN INTENT, INCLUDING THE SPECIFIC REQUIREMENTS INCLUDED IN THESE DOCUMENTS.

ALL ITEMS SHOWN IN THESE DOCUMENTS ARE NEW UNLESS OTHERWISE NOTED.

THESE DOCUMENTS DESCRIBE A SINGLE CONSTRUCTION CONTRACT. THE USE OF SUBCONTRACTORS IS THE ELECTION OF THE CONTRACTOR. THESE DOCUMENTS DO NOT INTEND TO DIVIDE THE WORK AMONG THE CONTRACTORS' SUBCONTRACTORS. WHERE THE DOCUMENTS IDENTIFY WORK WHICH IS NOT IN MECHANICAL WORK OR NOT IN ELECTRICAL WORK IT MEANS THAT THE WORK IS NOT FURTHER DESCRIBED OR SPECIFIED IN THE MECHANICAL OR ELECTRICAL DRAWINGS OR SPECIFICATIONS. IT DOES NOT PRECLUDE THE CONTRACTOR FROM DELEGATING THE WORK TO THE ENTITIES OF THEIR ELECTION. IN ADDITION, THE DIVISION OF THE PROJECT MANUAL INTO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER DESIGN DISCIPLINES NEITHER DIVIDES THE WORK BETWEEN THE CONTRACTOR'S SUBCONTRACTOR NOR IMPLIES THAT ALL OF THE WORK FOR THOSE DISCIPLINES IS SHOWN ONLY IN THOSE DRAWINGS OR SPECIFICATIONS.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL, ETC. IN ORDER TO ASSURE THE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW AND COORDINATE ALL PROJECT MANUAL BY THE GENERAL CONTRACTOR WITH ALL THE SUBCONTRACTORS FOR APPLICABLE ITEMS OF THE WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK SO REQUIRED AS PART OF THE CONTRACT.

WHERE THERE ARE DISCREPANCIES BETWEEN THE PROJECT MANUAL AND THE DRAWINGS, THE CONTRACTOR SHALL ADVISE THE ARCHITECT AND REQUEST A CLARIFICATION. THE ORDER OF PRECEDENCE BETWEEN THE DRAWINGS AND THE PROJECT MANUAL IS AS DEFINED IN THE PROJECT MANUAL.

THE CONTRACTOR SHALL LAYOUT AND SEQUENCE THE INSTALLATION OF THE WORK SO THAT THE DIFFERENT SYSTEMS DO NOT OBSTRUCT THE INSTALLATION OF SUCCESSIVE WORK. IN GENERAL, SYSTEMS INSTALLED FIRST SHOULD BE KEPT AS HIGH AND TIGHT TO STRUCTURE AS POSSIBLE SO AS TO LEAVE SPACE AVAILABLE FOR SYSTEMS WHICH FOLLOW.

REFER TO THE PROJECT MANUAL FOR SPECIFICATIONS FOR GENERAL INFORMATION, PRODUCTS AND EXECUTION REQUIREMENTS. REQUIREMENTS OF THE SPECIFICATIONS APPLY TO ALL ASPECTS OF THE WORK AND ARE INCLUDED AS ADDITIONAL INFORMATION FOR EACH ITEM SPECIFIED. IF DISCREPANCIES EXISTING BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS WILL VISIT THE SITE IN ORDER TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE IMPACT OF THE PROPOSED NEW WORK, INDICATED ON THE DRAWINGS AND SPECIFICATIONS, ON THESE CONDITIONS. ANY QUESTIONS REGARDING THE COORDINATION OF NEW WORK OR EXISTING CONDITIONS MUST BE SUBMITTED TO THE ARCHITECT IN WRITING WITH ADEQUATE TIME FOR RESPONSE. THE ARCHITECT WILL RESPOND TO QUESTIONS, SUBMITTED IN A TIMELY MANNER, WITH WRITTEN CLARIFICATIONS.

THE EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS ARE ASSUMED TO BE ACCURATE BASED ON AVAILABLE INFORMATION. THE CONTRACTOR SHALL PRIOR TO THE START OF CONSTRUCTION VERIFY ALL EXISTING CONDITIONS, PROVIDE A COMPLETE FIELD LAYOUT ON THE JOB SITE, AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS OR CONFLICTS WITH THESE DRAWINGS.

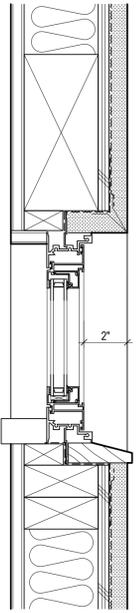
THE DRAWINGS SHALL NOT BE SCALED. THE GENERAL CONTRACTOR SHALL REFER TO THE DIMENSIONS INDICATED OR THE ACTUAL SIZES OF CONSTRUCTION ITEMS. WHERE NO DIMENSION OR METHOD OF DETERMINING A LOCATION IS GIVEN, VERIFY CORRECT DIMENSION OR LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.

THE DRAWINGS AND REFERENCED DETAILS HAVE BEEN DIMENSIONED IN ORDER TO ESTABLISH THE CONTROL AND GUIDELINES FOR FIELD LAYOUT. WHERE DISCREPANCY EXISTS BETWEEN THE DRAWING AND THE DETAIL THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.

UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO FACE OF FINISH OR FACE OF SUBSTRATE AT SURFACES WITH CERAMIC TILE, WOOD PANELING OR OTHER SPECIAL FINISHES.

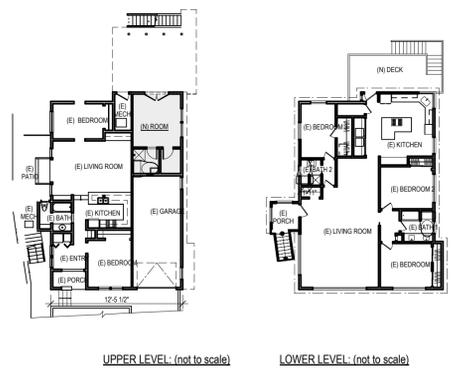
WHERE DIMENSIONS ARE NOTED TO BE VERIFIED IN THE FIELD (V.I.F.) THE DIMENSION SHOWN IS THE DESIGN BASIS, BUT MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL VERIFY THESE DIMENSIONS WHILE LAYING OUT THE WORK AND REPORT ANY DISCREPANCIES BETWEEN THE DESIGN BASIS AND ACTUAL DIMENSIONS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. WHERE DIMENSIONS ARE NOTED "x", FIELD DIMENSIONS MAY VARY FROM THE NOTED DIMENSIONS BY MINOR AMOUNTS.

INTERIOR DETAILS ARE KEYED TO THE PLANS AT TYPICAL LOCATIONS. TYPICAL DETAILS APPLY TO ALL LOCATIONS WHICH ARE SIMILAR BUT ARE NOT OTHERWISE DETAILED. THE CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO COORDINATE THE LOCATION OF ALL TYPICAL DETAILS AND INSTALL THE WORK INDICATED. IF DISCREPANCIES EXIST OR QUALIFICATION IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING.



GENERAL NOTES WINDOW DETAIL 3" = 1'-0"

APN	65-2412-5	
zoning	R-1	
parcel size	6,500 sf	
	(e)	(n)
total floor area	3,247 sf	3,110 sf
first floor (w/garage)	1,589 sf	1,589 sf
second floor	1,658 sf	1,658 sf
studio	210 sf	210 sf
deck	397 sf	260 sf
total lot coverage	1,799 sf	1,832 sf
FAR (55%) MAX	49.9%	49.9%
	(e)	
max. height (from lower grade)	22'-4"	
front yard/East setback	13'-0"	
side/South yard setback	12'-0"	
rear yard/West setback	38'-6"	
side/North yard setback	10'-6"	

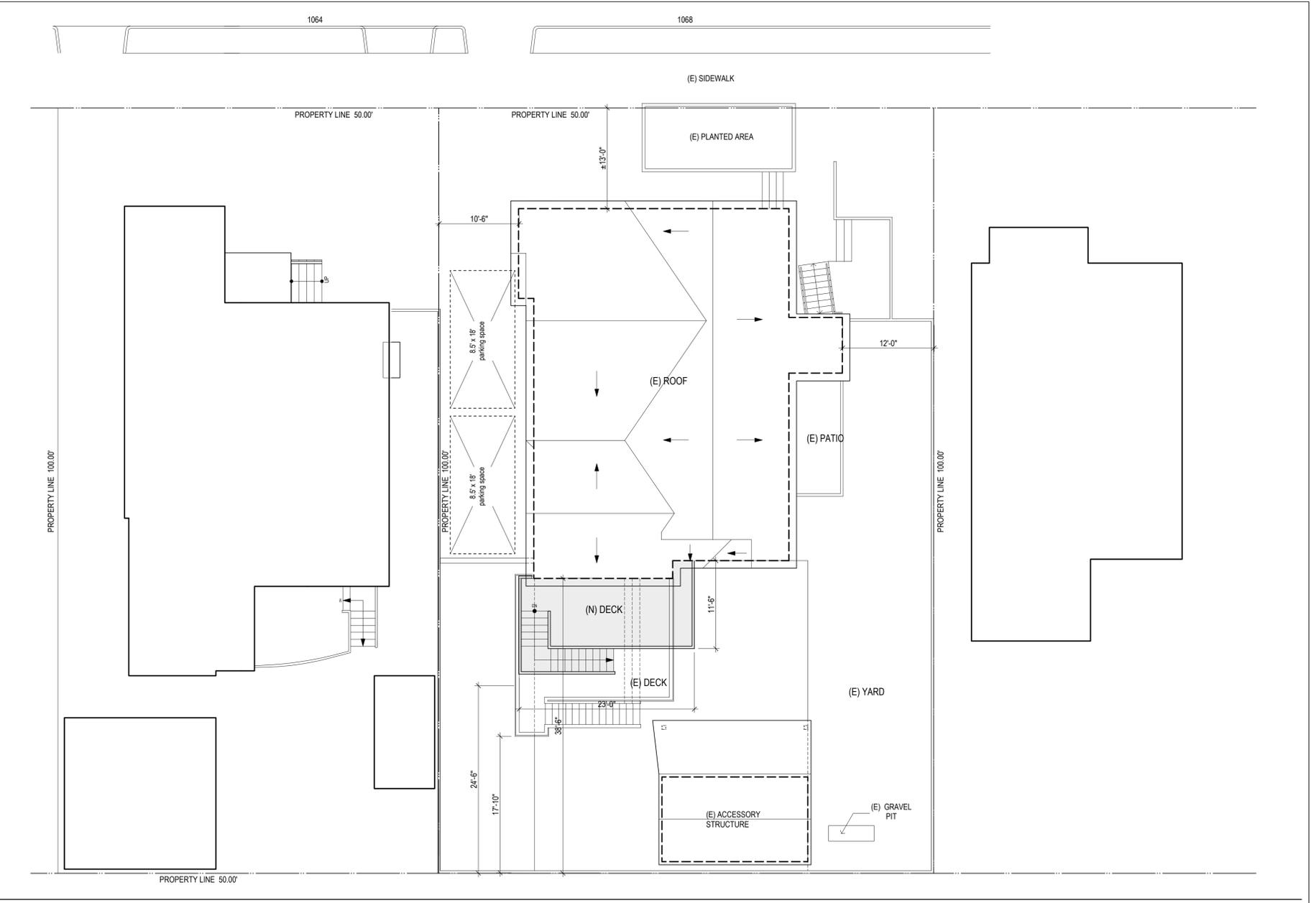


ZONING INFO + AREA CALCULATIONS

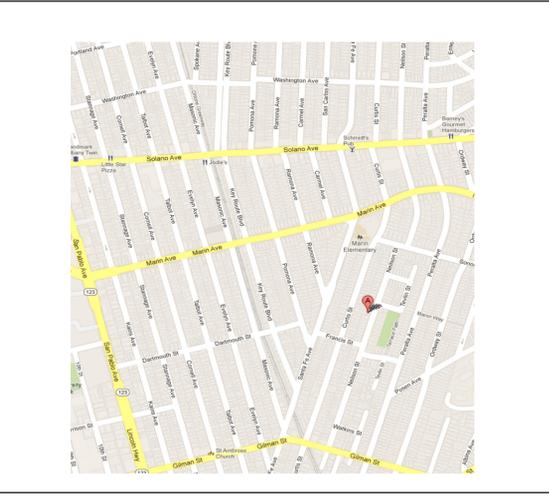
SHERMAN architecture

SKINNER ADDITION
 1068 NIELSON AVENUE
 ALBANY, CA 94707
 apn 571-30-18

1511 Valley Road
 Kensington, CA
 t 510.526.6330 / f 525.6290
 emi@shermanarch.com



PROPOSED SITE/ROOF PLAN 1/8" = 1'-0"



VICINITY MAP

DESCRIPTION AND SCOPE OF THE PROJECT:

- NEW BATHROOM IN GARAGE LEVEL
- NEW WINDOWS IN BACK ROOM
- NEW DECK TO REPLACE EXISTING

CALIFORNIA BUILDING CODE, 2010 EDITION (2009 IBC)
 CALIFORNIA RESIDENTIAL CODE, 2010 EDITION (2009 IRC)
 CALIFORNIA PLUMBING CODE, 2010 EDITION (2009 IAPMO)
 CALIFORNIA MECHANICAL CODE, 2010 EDITION (2009 IAPMO)
 CALIFORNIA ELECTRICAL CODE, 2010 EDITION (2008 NEC)
 2010 CALIFORNIA REFERENCED STANDARDS CODE
 2010 CALIFORNIA ENERGY CODE
 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
 CITY OF ALBANY MUNICIPAL CODE
 2008 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES)

PROJECT INFO

OWNER JOANNE SKINNER
 1068 NIELSON AVENUE
 ALBANY, CA 94707
 TEL. 415.699.6702
 skinner@mi.net

ARCHITECT SHERMAN ARCHITECTURE
 attn. EMI SHERMAN
 1511 VALLEY ROAD
 KENSINGTON, CA 94707
 TEL. 510.589.2524
 emi@shermanarch.com

PROJECT DIRECTORY

ARCHITECTURAL DRAWINGS

A0.0 (E) + PROPOSED SITE PLAN, ZONING INFO, NOTES
E1.0 (E) FLOOR PLANS AND (E) EXTERIOR ELEVATIONS
 DEMO PLAN
A1.0 PROPOSED FLOOR PLAN AND ELEVATIONS

DRAWING LIST

LICENSED ARCHITECT
 EMI SHERMAN
 C-27048
 Exp. 4/17
 STATE OF CALIFORNIA

Owner:
 JoAnne Skinner
 1068 Nielson Avenue
 Albany, CA 94707

No. Date Issue
 11/18/15 STAFF DESIGN REVIEW

Revision
 Ref. North

Description
 (E) + PROPOSED SITE PLAN,
 ZONING INFO
 PROJECT INFO

Scale
 AS NOTED

Sheet
A0.0