

NIAZI - REALE RESIDENCE REMODEL AND ADDITION

954 ORDWAY STREET ALBANY, CA 94706

APN : 65 - 2627 - 11

architect

EISENMANN
ARCHITECTURE

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stamp



ABBREVIATIONS

& And	E East	IN Inch	QTY Quantity
@ At	EA Existing	INCL Including	R Riser
# Pound or Number	EL Elevation	INSUL Interior	RAD Radius
AB Anchor Bolt	ELEV Electrical	INTM Intermediate	RDWD Redwood
ACOUS Acoustic	ELC Elevation	INT Interior	REF Refrigerator
ADD Addendum	EP Electrical Panel	JT Joint	REIN Reinforced
ADJ Adjustable	EXP JT Expansion Joint	JST Joist	REQD Required
AFF Above Finish Floor	EQ Equal	KD Kiln Dried	RESIL Resilient
ALT Alternate	EXT Exterior	L Angle	REV Revision
ALUM Aluminum	FD Floor Drain	LAM Laminate	RFG Roofing
BD Board	FDN Foundation	LT Light	RM Room
BLDG Building	FE Fine Extinguisher	LT Light	RO Rough Opening
BLK Block	FF Finish Floor	MAX Maximum	RWD Rainwater Drainage
BLKG Blocking	FF Finish	MB Machine Bolt	RWL Rainwater Leader
BOT Bottom of Truss	FL Floor	MDF Medium Density Fiberboard	SCHED Schedule
BOW Bottom of Wall	FOC Face of Concrete	MECH Mechanical	SECT Section
BSMT Basement	FDF Face of Finish	MEMB Membrane	SF Foot/ Feet
C Centerline	FDS Face of Sheathing	MFR Manufacturer	SHT MTL Sheet Metal
CEM Cement	FRMG Framing	MIN Minimum	SIM Similar
CJ Control Joint	FT Foot	MISC Miscellaneous	SL Seal
CLKG Caulking	FTG Footing	MTD Mounted	SLD See Landscape Drawings
CLNG Ceiling	FURR Furring	MTL Metal	SPEC Specifications
CLR Clear	GA Gage	MUL Mullion	SSD Square
CMU Concrete Masonry Unit	GALV Galvanized	N North	SSTL See Structural Drawings
COL Column	GC General Contractor	(N) New	STD Standard
CONC Concrete	GC General Contractor	NIC Not in Contract	STL Steel
CONSTR Construction	GFCI Ground Fault Circuit Interrupter	ND Number	STOR Storage
CONT Continuous	GL Glass	NSF Not Square Feet	STRUC Structural
COORD Coordinate	GLB Glue Lam Beam	NTS Not to Scale	SYM Symbol
CT Ceramic Tile	GR Grade	OC On Center	SYS System
CTSK Countersunk	GSF Gross Square Feet	OPCI Owner Furnished Contractor Installed	T Tread
d Penny	GV Galvanized Sheet Metal	OPMG Opening	T&G Tongue and Groove
D Depth	GWB Gypsum Wall Board	OSB Oriented Strand Board	TEL Telephone
DBL Double	H Height	PEN Plywood Edge Nailing	THK Thick
DET Detail	HDRLL Handrail	PL Property Line	TO Top of
DF Douglas Fir	HWD Hardwood	PLAM Plastic Laminate	TOS Top of Structure
DIA Diameter	HGT Height	PLWD Plywood	TOT Top of Truss
DIM Dimension	HORIZ Horizontal	PNT Painted	TOW Top of Wall
DN Down	HB Hose Bibb	PR Pair	TYP Typical
DW Dishwasher	HC Hollow Core	PT Pressure Treated	UON Unless Otherwise Noted
DWG Drawing	HR Hour		
D.S. Downspout			

SYMBOLS

	Existing Wall to Remain		Elevation Reference Drawing Number Sheet Number
	New Wall		Interior Elevation Reference Drawing Sheet Number
	Wall to be Demolished		Section Reference Drawing Number Sheet Number
	Item Above View Plane		Detail Reference Drawing Number Sheet Number
	Gypsum Wall Board		Reference Grid Grid Number
	Plywood		Reference Grid Grid Number
	MDF		Wall Construction Type
	Hardwood		Align Finish Faces
	Concrete		Door Number See Door Schedule
	Earth		Window Number See Window Schedule
	Steel		Revision Number
	Aluminum		Area of Revision
	Batt Insulation		Direction of Grain
	Rigid Fiber Insulation		Align
			Elevation Target

GENERAL NOTES

- All work shall be in conformance with the 2013 California Code of Regulations, including:
 - 2013 California Building Code (CBC) (Structural Only)
 - 2013 California Plumbing Code (CPC)
 - 2013 California Mechanical Code (CMC)
 - 2013 California Electrical Code (CEC)
 - 2013 California Residential Code (CRC)
 - 2013 California Green Building Standards Code (CGBC)
 - 2013 California Fire Code (CFC)
 - 2010 California Energy Code (Based on the 2008 California Energy Standards CEC Part 6)
 *All other applicable state and local codes and ordinances
 The City of Berkeley Building Code (BBC), the Berkeley Municipal Code (BMC) Chapter 19, and with the requirements of all other agencies having jurisdiction over the project.
- In the event of Conflicts in Code Regulations, the most stringent requirements shall apply. Contractor shall notify Architect and Owner, in writing, of any discrepancy between the applicable codes and these documents.
- These documents describe design intent. Contractor shall provide all associated work, including but not limited to partial demolition, site work, structural, mechanical, electrical, plumbing and finish work required for a complete, operational, and water tight project. No claims for additional work will be awarded for work which is described in these documents or reasonably inferred from them.
- Contractor is responsible for thorough coordination of trades. No claims for additional work will be awarded for work related to such coordination.
- Contractor is responsible for coordination with utilities to determine location, including but not limited to Gas, Water, Power, Sewer, Telephone and Cable Television. No claims for additional work will be awarded for work related to such coordination.
- Contractor shall verify all dimensions, elevations, and conditions of the site and all dimensions and details of the project components. Contractor shall notify the Architect in writing of any discrepancy in plans and specifications immediately. Work shall not proceed without Architect's authorization.
- Any errors, omissions, or conflicts found in the various parts of the construction documents shall be brought to the attention of the architect for clarification prior to proceeding with work. Any changes or interpretations of these documents made without consulting the Architect, and any unforeseen conditions resulting therefrom, shall not be the responsibility of the Architect.
- Do not scale drawing, contact Architect where clarification is required.
- All dimensions are to face of finish, unless otherwise noted.
- Details shown are typical. Similar details shall apply in similar locations and conditions.
- "Typical" or "TYP" shall mean that the condition is representative for similar conditions throughout, unless otherwise noted.
- All work shall be installed plumb, level, square, and true, and in proper alignment.
- "Align" shall mean to accurately locate finish faces in the same plane.
- Contractor shall continuously protect existing trees, utilities and adjacent properties from damage during construction. Contractor shall replace or restore damaged property, materials and finishes at no additional cost to Owner. Restoration shall be equal to the original work and finishes shall match the appearance of existing work.
- Contractor shall continuously protect the project from, including but not limited to water damage and damage in the course of the work. Contractor shall replace or restore damaged property, materials and finishes at no additional cost to Owner. Restoration shall be equal to the original work and finishes shall match the appearance of existing work.
- Contractor shall be responsible for job site conditions, including safety of persons and security of property, and for security of stored materials and equipment, not limited to normal hours of work. Contractor shall maintain appropriate insurance to protect the Owner, Architect and Contractor.
- Contractor shall broom sweep the premises nightly. At the completion of work, Contractor shall remove all debris and trash caused from the work, surplus materials, tools, and construction equipment, and will leave the project in clean condition.
- All materials, equipment, and articles incorporated into the work shall be new, first grade, and free of defects. The Owner shall have the right to reject defective or substandard workmanship, and the contractor shall immediately correct unacceptable work at no expense to the owner.
- Contractor shall warrant the entire work against defects in materials and workmanship for one year from the date of acceptance. Sub-contractors shall warrant their work against defects in materials and workmanship for a period of one year, except for the roofing sub-contractor who shall warrant his/her work against defects for a period of three years from the date of acceptance. Contractors and Sub-contractors shall submit their warranties in writing to the Owner.
- Prior to receipt by the Architect, the Submittals shall be stamped and signed by the Contractor, signifying the Contractor's review, approval, verification of field dimensions, and compliance with the construction documents. Contractor shall allow five working days minimum for Architect to process submittals. Required submittals include shop drawings of all casework and samples of all interior materials and trim, with specified finish and in quantities sufficient to demonstrate variation within the material.
- Electrical and Plumbing work to be design/build per CEC and CPC. See sht MEP01 for Plumbing, Electrical, Ventilation, and Fire Prevention general notes.

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of Eisenmann Architecture.

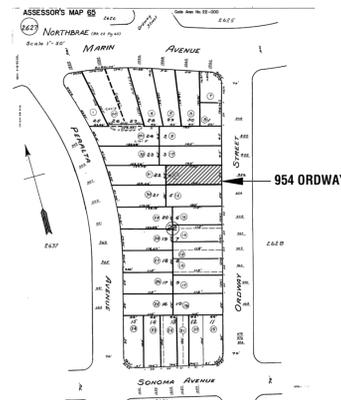
project

NIAZI REALE RESIDENCE

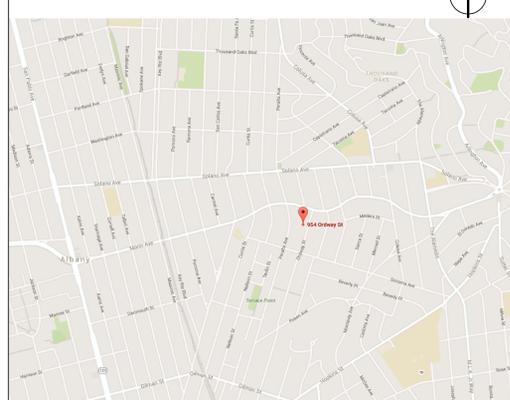
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ISSUE

ASSESSOR'S PARCEL PLAN



VICINITY MAP



DRAWING INDEX

SHEET	TITLE	SUBMISSION & DATE	PLANNING SUBMITTAL
A0.0	COVER SHEET	X	
A0.1	SITE SURVEY	X	
A1.0	SITE PLAN	X	
A2.0	EXISTING & PROPOSED FLOOR PLANS	X	
A2.1	EXISTING & PROPOSED ROOF PLANS	X	
A3.0	EXISTING EXTERIOR ELEVATIONS	X	
A3.1	EXTERIOR ELEVATIONS	X	
A3.2	EXTERIOR ELEVATIONS AND BUILDING SECTIONS	X	

PROJECT INFORMATION

PROJECT ADDRESS	954 Ordway Street
ASSESSOR'S PARCEL	065-2627-011-00
OCCUPANCY	R-3, U
CONSTRUCTION TYPE	V-B
ZONING DESIGNATION	R-1
PROJECT DESCRIPTION	Kitchen and bathroom remodel in an existing single story residence. A 200 s.f. master bedroom addition to the rear of the existing residence.

NUMBER OF DWELLING UNITS	EXISTING	PROPOSED	REQUIRED
	1	1	1

SETBACKS	EXISTING	PROPOSED	REQUIRED
FRONT	15'	15'	15'
REAR	20'	20'	15'
LEFT SIDE	4'	4'	4.5'
RIGHT SIDE	4'-	4'-	4.5'-

BUILDING HEIGHT	EXISTING	PROPOSED
NUMBER OF STORIES	1	1
AVERAGE BLDG HEIGHT		
MAXIMUM BLDG HEIGHT		

AREAS	EXISTING	PROPOSED
LOT AREA	5850 s.f.	5850 s.f.
GROSS FLOOR AREA	1600 s.f.	1800 s.f.-
BUILDING FOOTPRINT	-	-
LOT COVERAGE	27	30
USABLE OPEN SPACE		

drawn by T Phillips
scale NO SCALE
date 11.30.15

title sheet number

TITLE SHEET

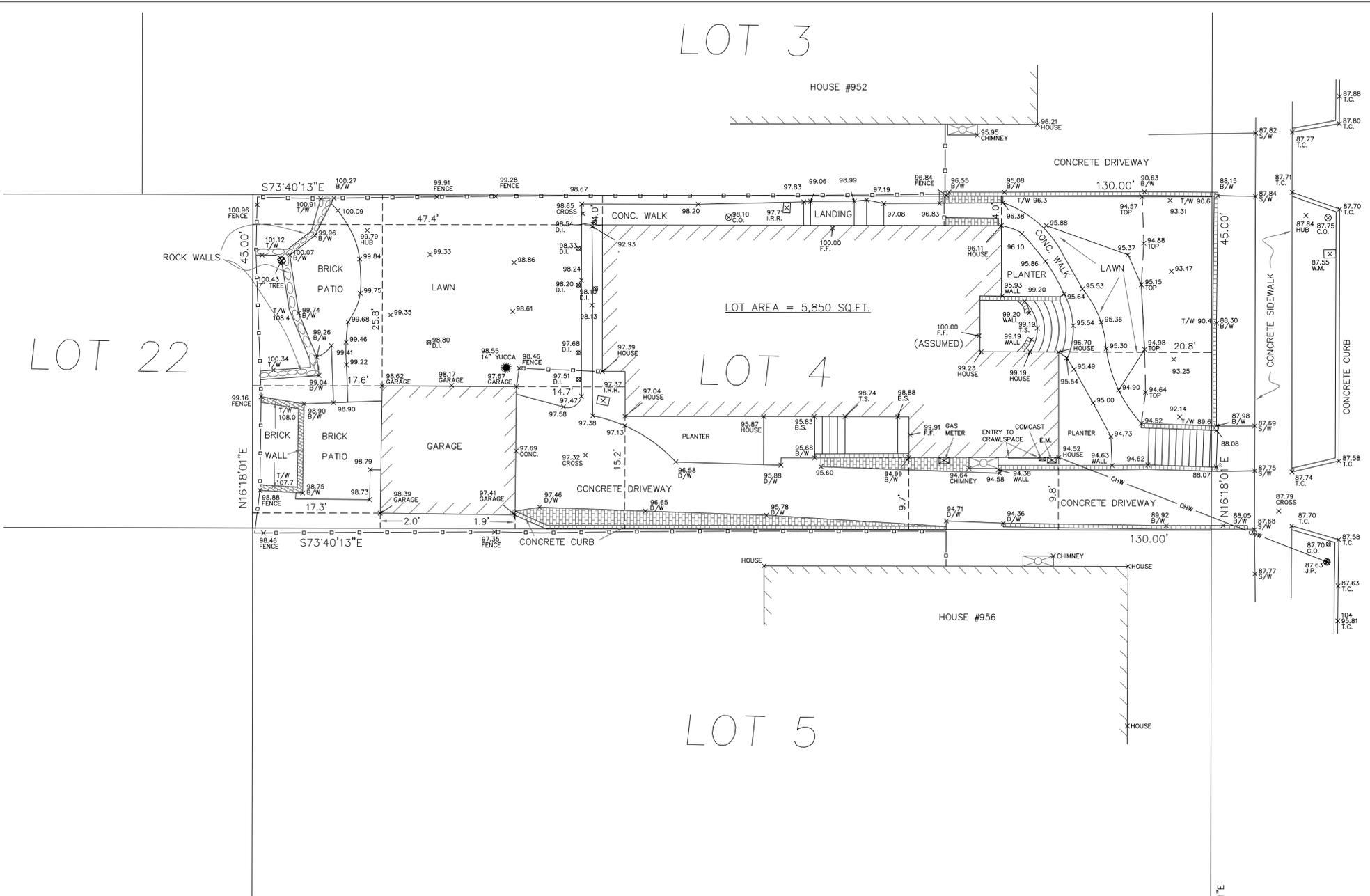
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LOT 3

LOT 22

LOT 4

LOT 5

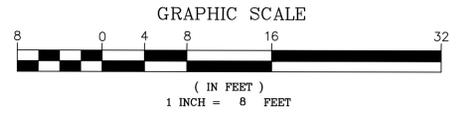


ORDWAY STREET
(70' WIDE)

ELEVATIONS ARE BASED ON AN ASSUMED DATUM. THE FINISH FLOOR AT THE FRONT DOOR IS TAKEN AS 100.00'.

LEGEND

- B.S. BASE OF STEPS
- B/W BASE OF WALL
- C.O. CLEAN OUT
- CONC. CONCRETE
- D.I. DRAIN INLET
- D/W DRIVEWAY
- E.M. ELECTRIC METER
- F.F. FINISH FLOOR
- I.R.R. IRRIGATION VALVE BOX
- J.P. JOINT POLE
- OHW OVERHEAD WIRES
- S/W SIDEWALK
- TOP TOP OF BANK
- T.C. TOP OF CURB
- T.S. TOP OF STEPS
- T/W TOP OF WALL
- W.M. WATER METER



HOUSE LOCATION SURVEY

LOT 4, BLOCK 22,
NORTHBRAE (22 M 65)
LOCATED AT 954 ORDWAY STREET
CITY OF ALBANY, COUNTY OF CONTRA COSTA, CALIFORNIA
AUGUST, 2015 SCALE: 1" = 8'

CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

A0.1

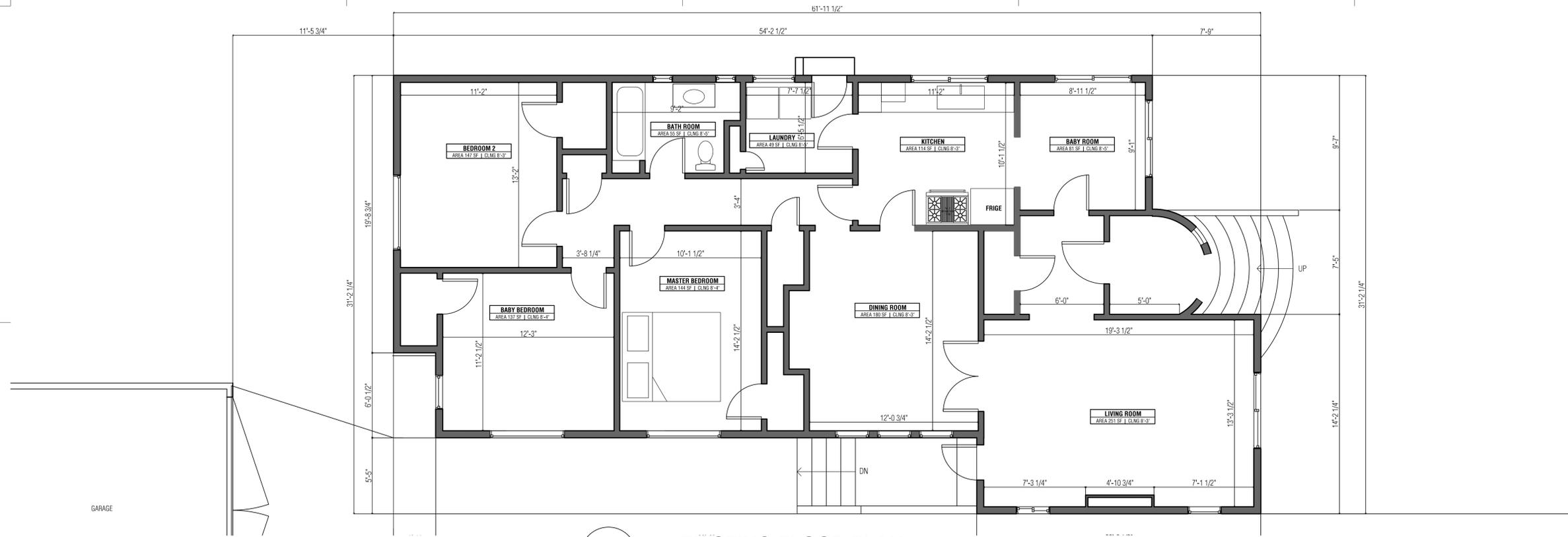


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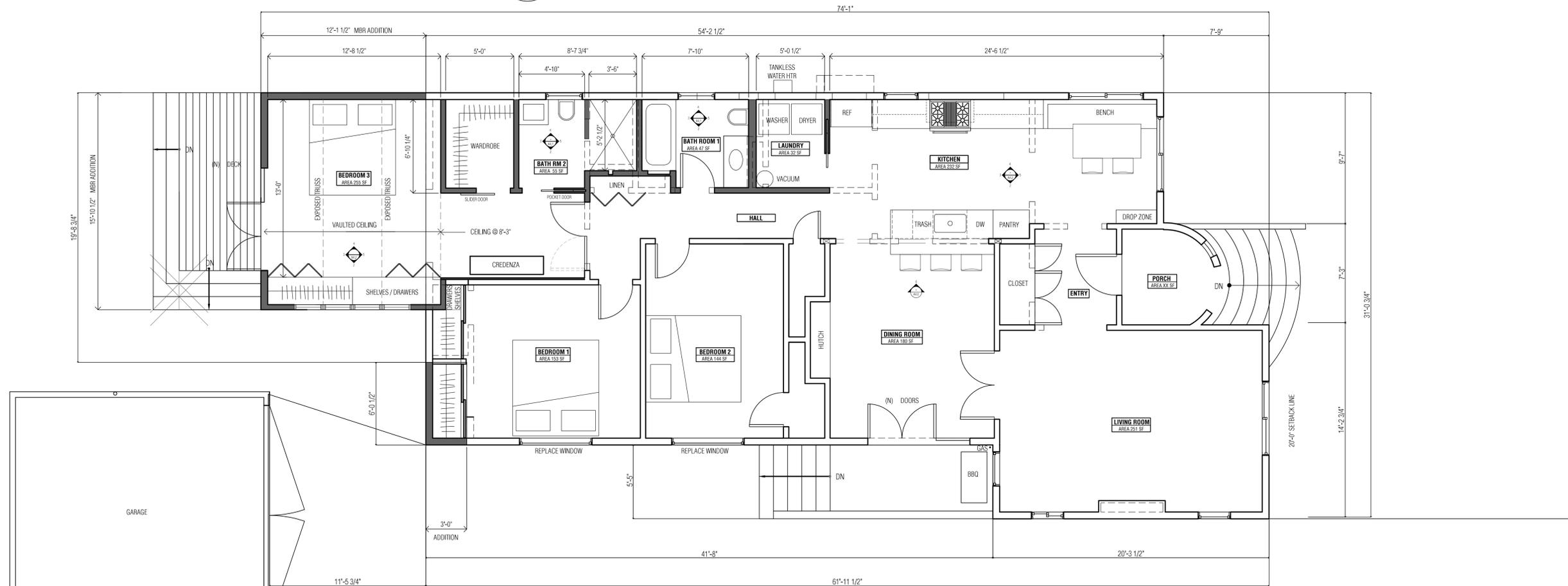
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PRELIMINARY NOT FOR CONSTRUCTION



2 EXISTING FLOOR PLAN SCALE = 1/4" = 1'-0"



1 PROPOSED FLOOR PLAN SCALE = 1/4" = 1'-0"

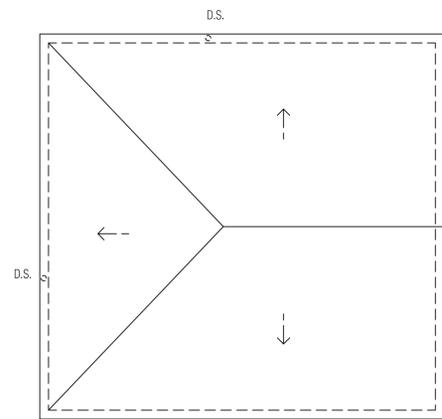


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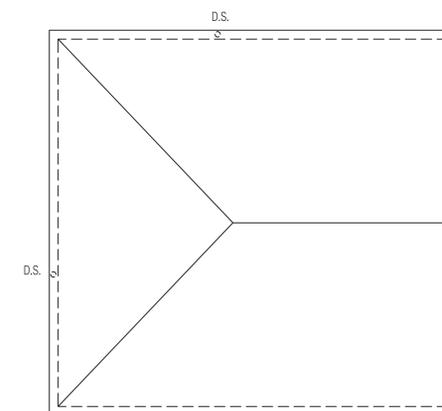
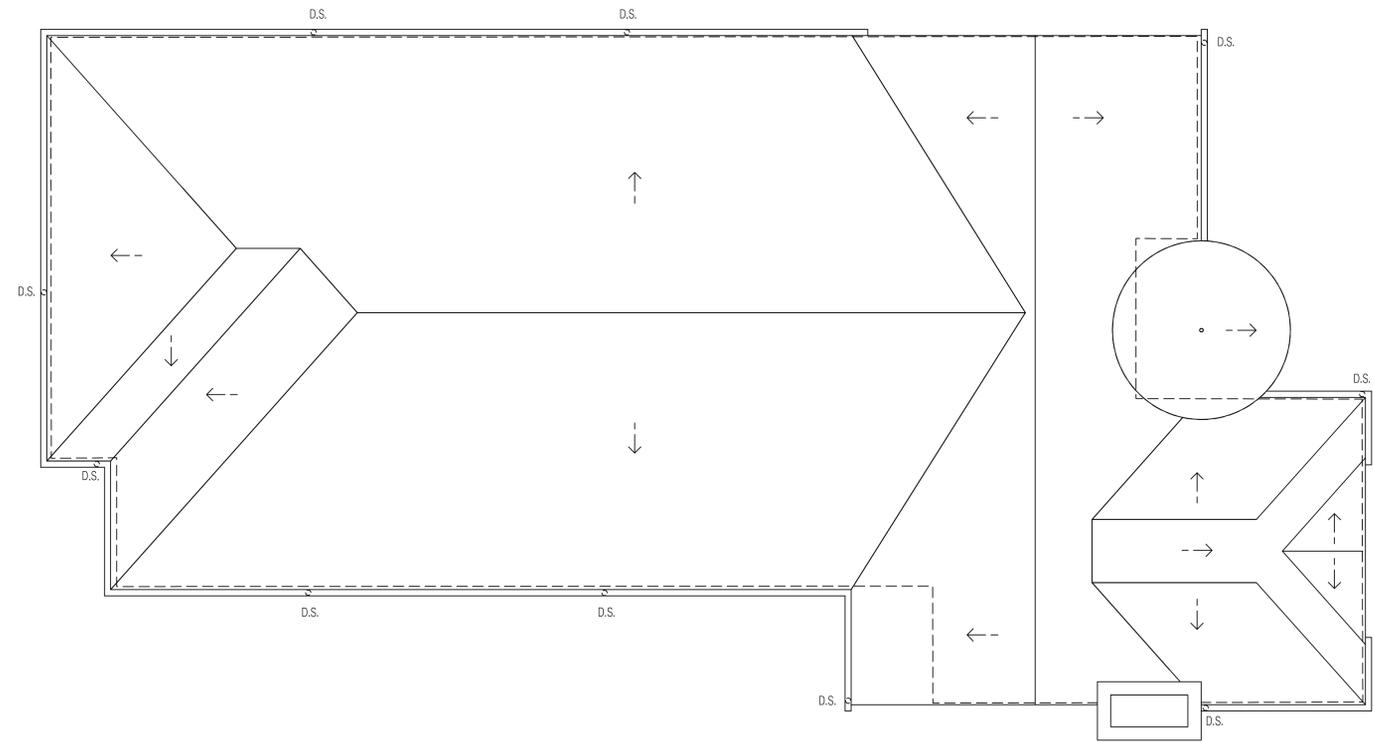
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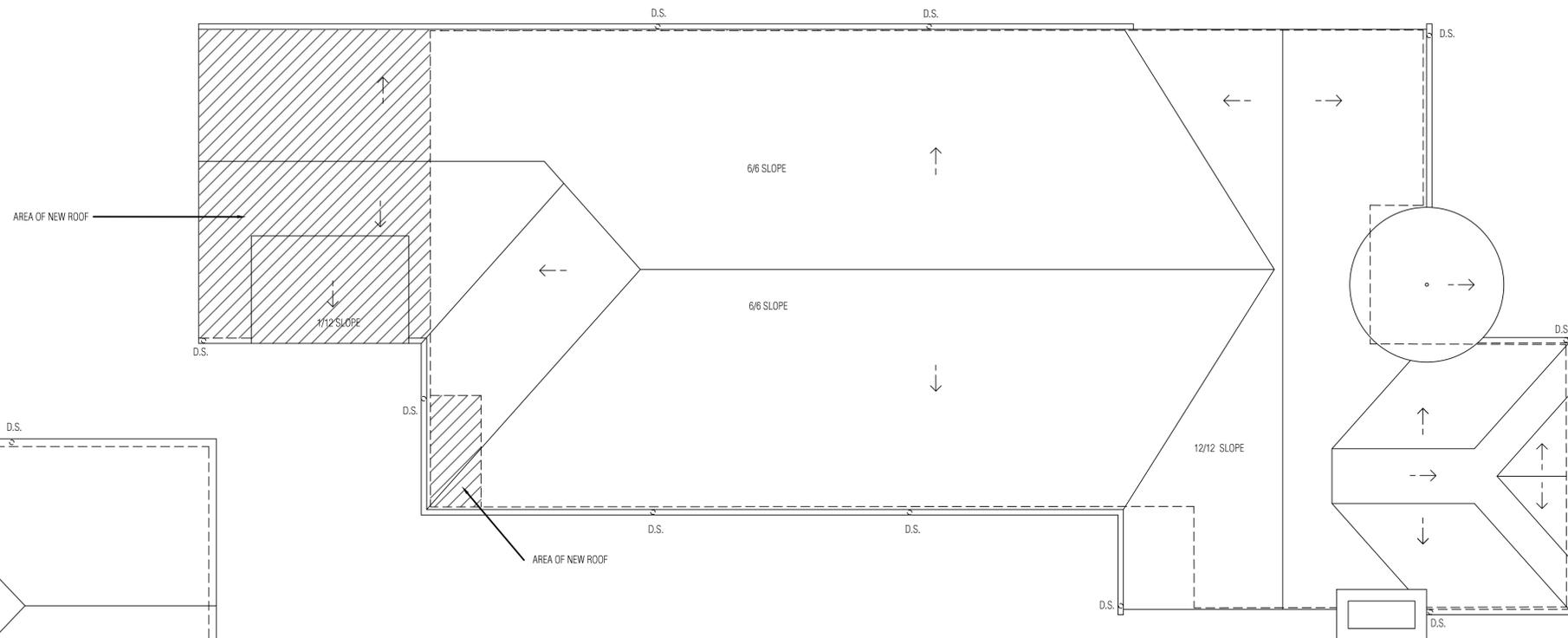
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CONSTRUCTION

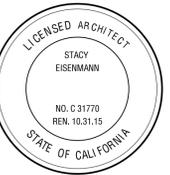


1 EXISTING ROOF PLAN
SCALE = 1/4" = 1'-0"



1 PROPOSED ROOF PLAN
SCALE = 1/4" = 1'-0"





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4 SOUTH ELEVATION



3 WEST ELEVATION



2 NORTH ELEVATION



1 EAST ELEVATION



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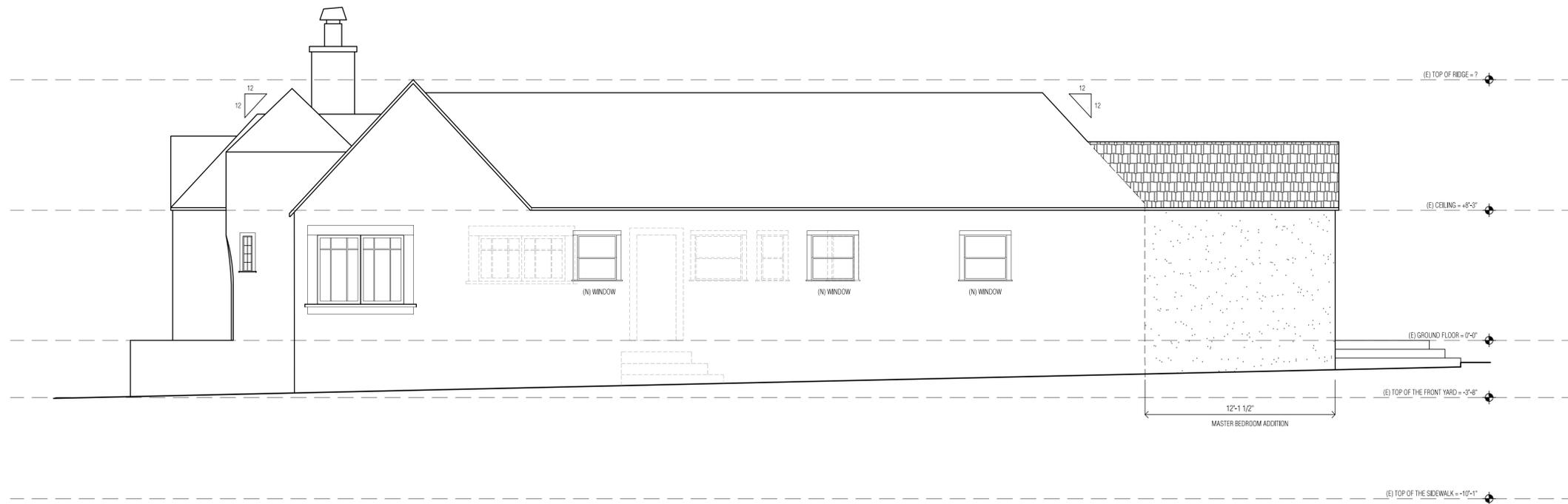


T Phillips

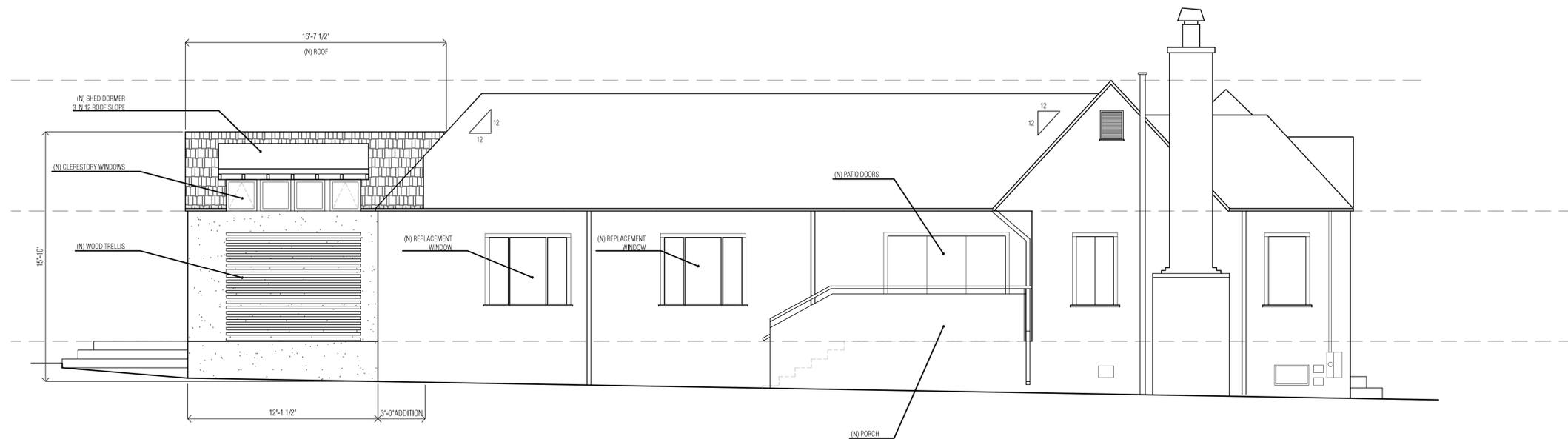
1/4" = 1'-0"

11.30.15

PROPOSED ELEVATIONS



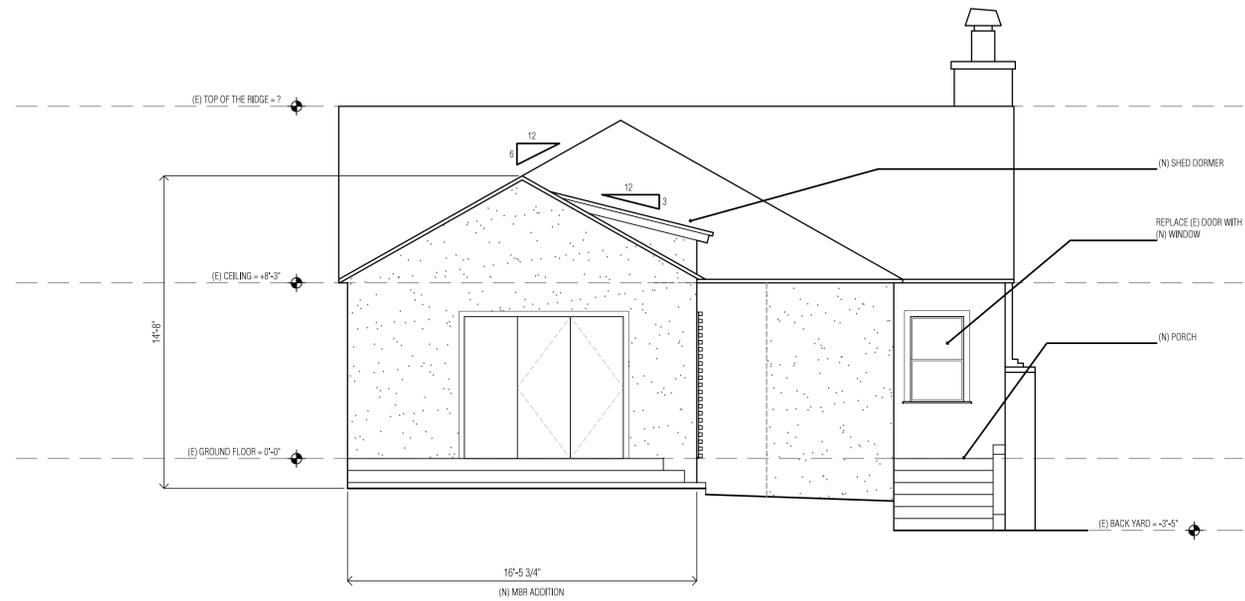
1 NORTH ELEVATION



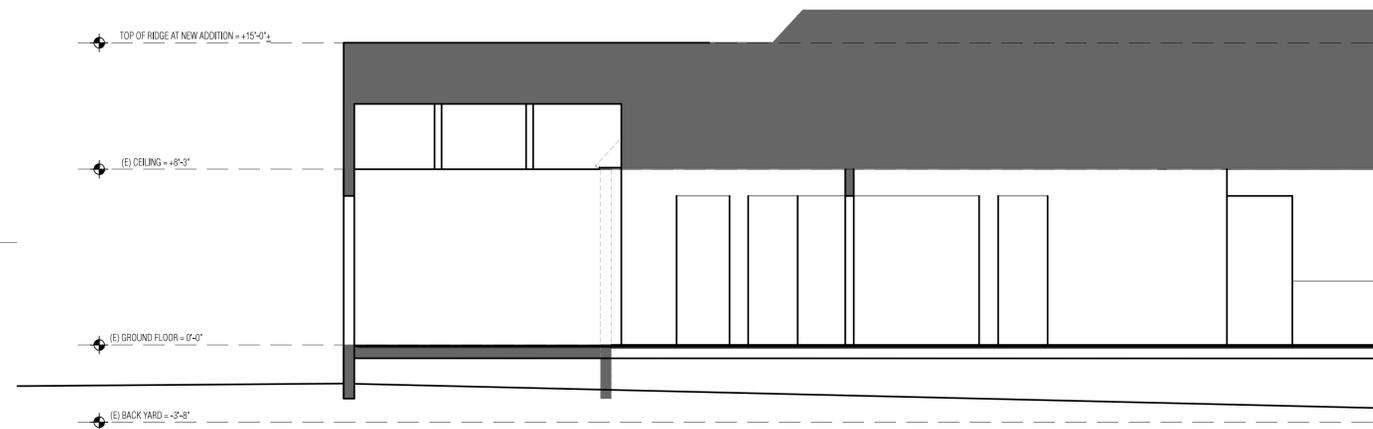
2 SOUTH ELEVATION



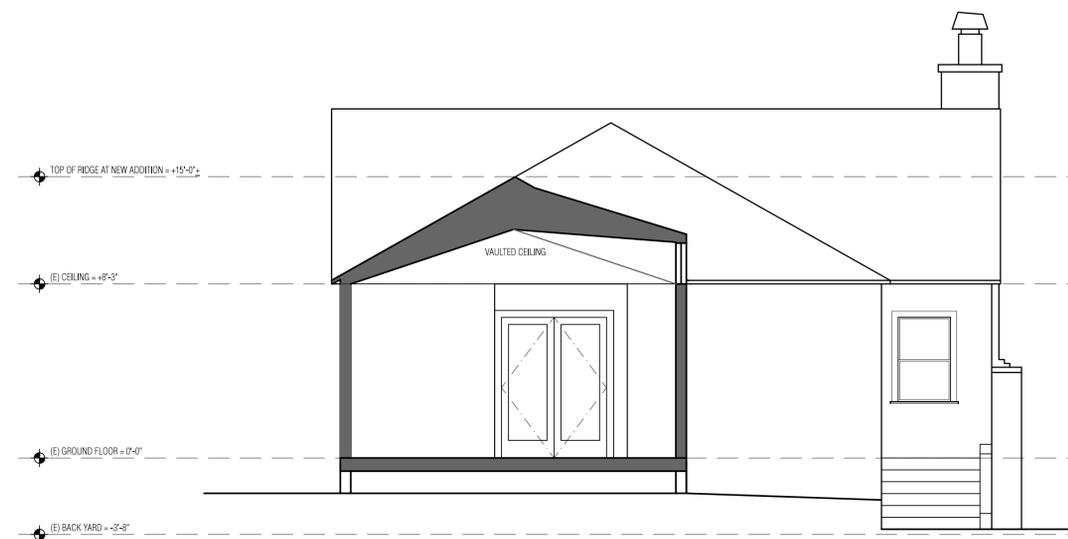
1 EAST (FRONT) ELEVATION



2 WEST (REAR) ELEVATION



3 LONGSECTION



4 CROSS SECTION

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project

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issue

PRELIMINARY
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drawn by

T Phillips

scale

1/4" = 1'-0"

date

11.30.15

title

sheet number

PROPOSED ELEVATIONS

A3.2