

ARCHITECT:



Mikiten Architecture
2415 Fifth Street • Berkeley • CA • 94710
Phone: 510-540-7111 • Fax: 510-540-7117
www.mikitenarch.com

STAMP:

CONSULTANT:

PROJECT NAME:

**DOOLEY /
WAGGONER
RESIDENCE**

1492 POSEN AVENUE
ALBANY CA 94706

CLIENT:

DOUGLAS DOOLEY & CHRISTINE
WAGGONER
535 PIERCE STREET, APT. 5403
ALBANY, CA 94706

SHEET CONTENTS:

PROJECT INFORMATION &
PERSPECTIVES

DATES:

9/25/15 - PLANNING SET

ARCHITECT'S JOB #:

15-0005

SHEET #:

T-1



Front Perspective



Rear Perspective



Front Right Perspective

Wood Trim
Chelsea Gray (HC168)

Siding
Kendall Charcoal (HC166)

Bronze
Windows

Stucco
Sag Harbor Gray (HC95)

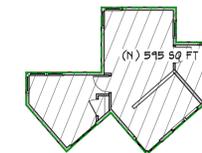


Front Left Perspective



Ground Floor Areas Diagram

2,403 s.f. covered - 220 s.f. parking = 2,183 s.f. gross



Second Floor Areas Diagram

650 s.f. covered - 60 s.f. stair = 590 s.f. gross

Vicinity Map



Project Information

PROJECT DESCRIPTION:

DEMOLISH EXISTING 1-STORY SINGLE-FAMILY DWELLING.
CONSTRUCT NEW 2-STORY SINGLE-FAMILY DWELLING WITH
DETACHED GARAGE AND RELATED SITE WORK.

SEE SITE DIAGRAMS AND NARRATIVE FOR INFORMATION ON
DEVELOPABILITY IMPACTS TO THE SITE DUE TO SHAPE OF THE
LOT AND CITY SEWER EASEMENT. THESE ARE THE BASIS FOR
THE REQUESTED SETBACK VARIANCE.

APPLICABLE CODES:

2013 CALIFORNIA BUILDING CODE
PROPERTY ADDRESS: 1492 POSEN AVENUE
ALBANY, CA 94706

APN#: 65-2416-16
LOT AREA: 4,807 S.F.
EXCAVATION REQUIRED: 7850 CU. FT.

EXISTING

STORIES:	1
MAIN FLOOR AREA:	897 SF
GARAGE AREA:	167 SF
GROSS BUILDING AREA:	1,064 SF
LOT COVERAGE:	22%
FAR:	

PROPOSED

STORIES:	2
(A) GARAGE AREA:	287 SF - 220 (PKG. SPACE) = 67 SF
(B) MAIN FLOOR AREA:	2,010 SF
(C) SECOND FLOOR AREA:	515 SF - 60 S.F. (STAIR) = 535 SF
(D) GROSS BUILDING AREA (A+B+C):	2,620 SF
LOT COVERAGE ((A+B)/LOT):	43.4% (MAX. 50%)
F.A.R. (D/LOT):	54.5% (MAX. 55%) (NOTE: INCLUDES ATRIUM)

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A-3.2	ELEVATIONS & SECTION
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PERALTA AVENUE
(70' WIDE)

BASIS OF BEARINGS

S16°18'00"W 493.94'(493.93') (MON. TO MON.) PER ②

319.44' (319.38') ②
MON. LINE INTERSECTION TO MON.

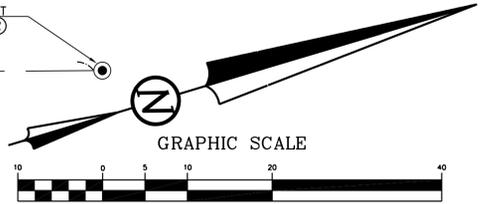
BASIS OF BEARINGS:
THE MONUMENT LINE IN PERALTA STREET AS SHOWN ON THE CITY OF ALBANY MONUMENT MAP TAKEN AS S 16°18'00"W

BENCHMARK:
THE CITY WELL MONUMENT WITH 1/4" BRASS PIN AT GILMAN STREET AND PERALTA AVENUE
ELEV. = 88.34' NAVD88 DATUM

REFERENCES:

- ① MAP OF KEY ROUTE TERRACE NO. 2 (21 M 52)
- ② CITY OF ALBANY MONUMENT MAP

— SUBJECT PROPERTY
- - - ADJACENT PROPERTY
- - - MONUMENT LINE
- - - ORIGINAL LOT LINE



LEGEND:

●	FOUND CITY MONUMENT AS NOTED
●	FOUND P.K. - UNKNOWN ORIGIN
⊗	SET CUT CROSS WITH TACK AND TAG L.S. 7170
○	SET REBAR AND CAP L.S. 7170
▬	BUILDING EDGE
▬	ASPHALT
▬	CONCRETE
A/C	ASPHALT CONCRETE
B.C.	BUILDING CORNER
B/W	BASE OF WALL
C/O	CLEAN OUT
F/L	FLOW LINE
M.H.	MANHOLE SANITARY SEWER
J.P.	JOINT POLE
O.H.W.	OVERHEAD WIRE
P.L.	PROPERTY LINE
S/W	SIDEWALK
S.S.	SANITARY SEWER LINE
T.C.	TOP OF CURB
T/W	TOP OF WALL
W.M.	WATER METER

MAP OF KEY ROUTE TERRACE No. 2
BLOCK 6
(21 M 52)

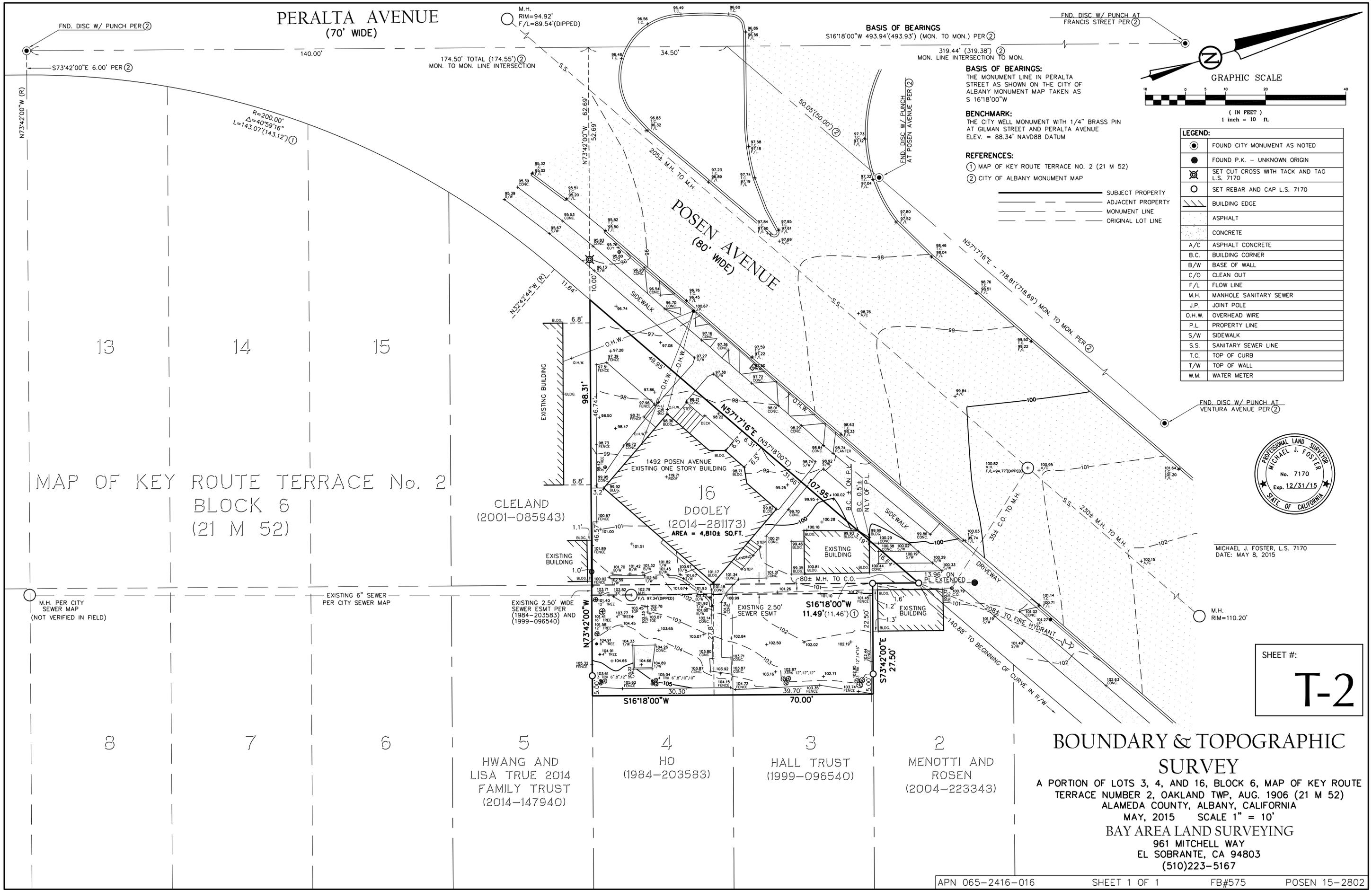


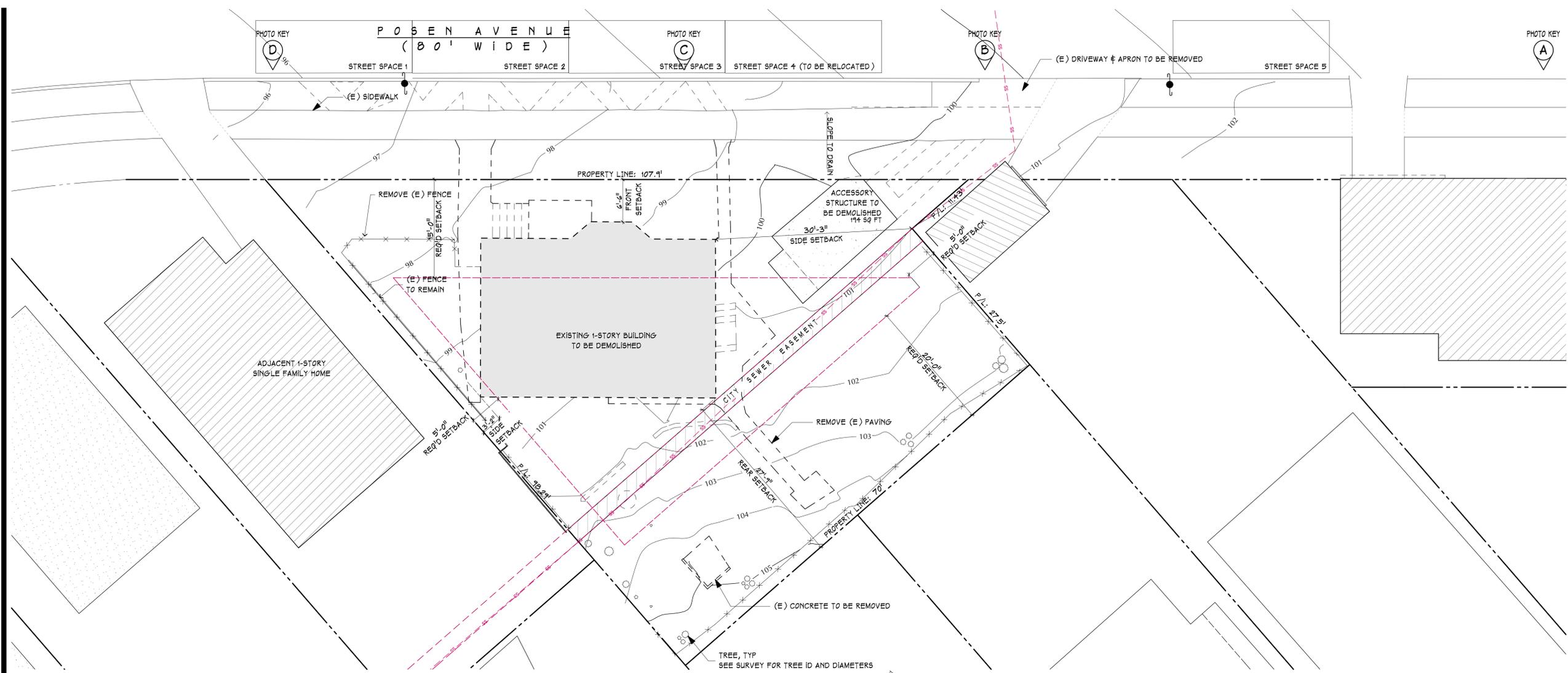
MICHAEL J. FOSTER, L.S. 7170
DATE: MAY 8, 2015

SHEET #:
T-2

BOUNDARY & TOPOGRAPHIC SURVEY

A PORTION OF LOTS 3, 4, AND 16, BLOCK 6, MAP OF KEY ROUTE TERRACE NUMBER 2, OAKLAND TWP, AUG. 1906 (21 M 52)
ALAMEDA COUNTY, ALBANY, CALIFORNIA
MAY, 2015 SCALE 1" = 10'
BAY AREA LAND SURVEYING
961 MITCHELL WAY
EL SOBRANTE, CA 94803
(510)223-5167





1 Existing Site Plan
 SCALE: 1/8" = 1'-0"
 PLAN NORTH TREE NORTH

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SHEET CONTENTS:
 EXISTING / DEMO SITE PLAN & PHOTOS

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 15-0005

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A-1.1



PHOTO "A"



PHOTO "B"



PHOTO "C"

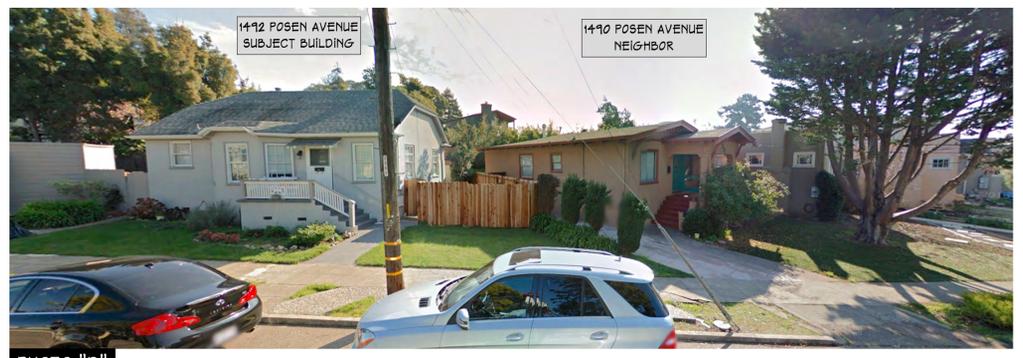


PHOTO "D"

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POSEN AVENUE
(80' WIDE)

5
A-3.2

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SHEET CONTENTS:

FIRST FLOOR PLAN

DATES:

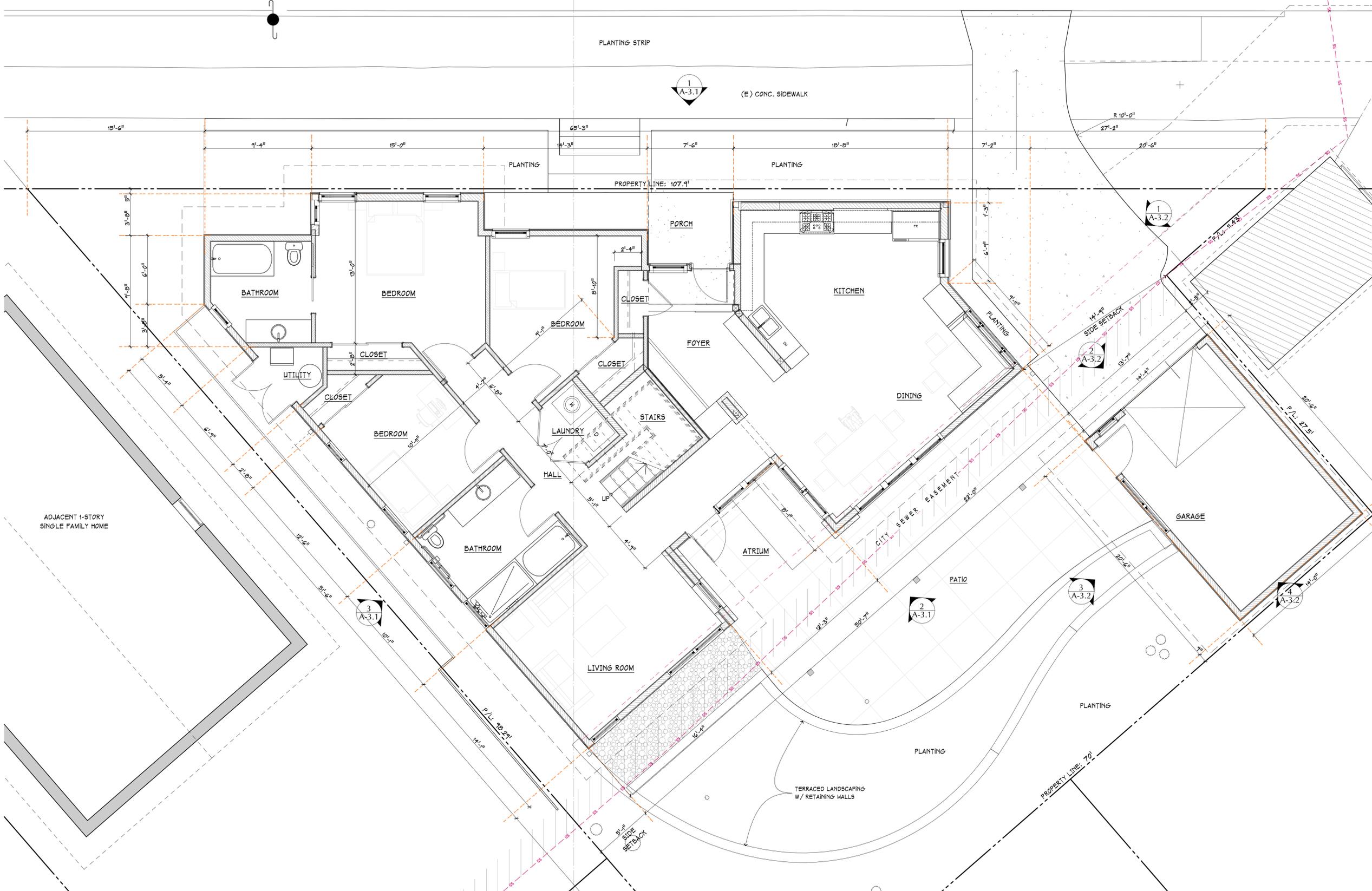
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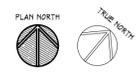
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SHEET #:

A-2.1



1 Ground Floor Plan
SCALE: 1/4" = 1'-0"



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BIM Server: Nangan.kadl - BIM Server: 10/20/15 - MainModel

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SHEET CONTENTS:

SECOND FLOOR/ROOF PLAN

DATES:

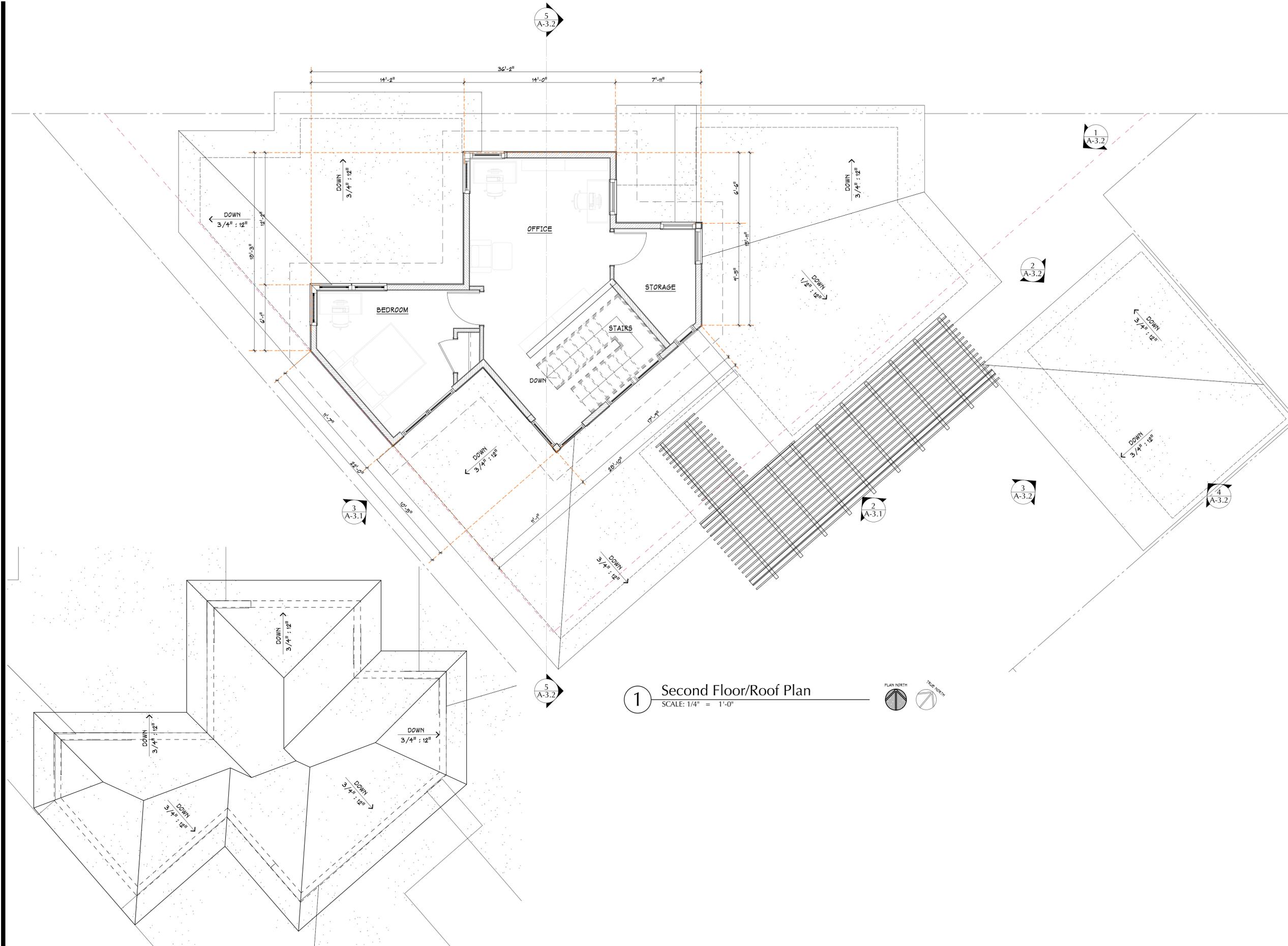
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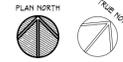
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SHEET #:

A-2.2



1 Second Floor/Roof Plan
SCALE: 1/4" = 1'-0"



2 Roof Plan
SCALE: 1/4" = 1'-0"



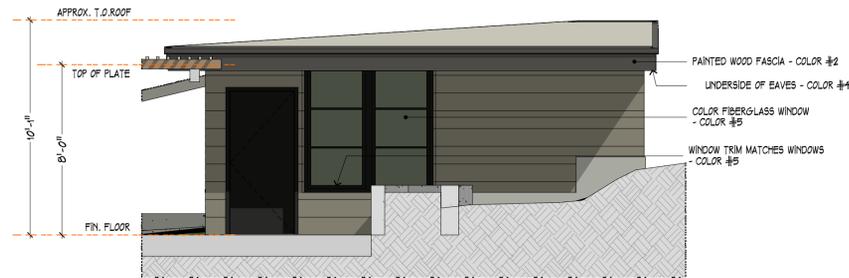
Copyright 2015 Mikiten Architecture
BIM Server: N:\projects\150005 - MainModel



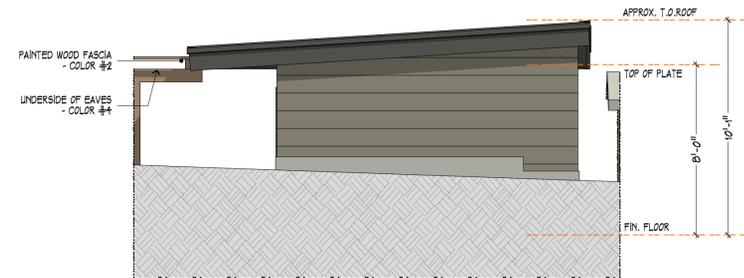
1 Side Elevation Looking SW
SCALE: 1/4" = 1'-0"



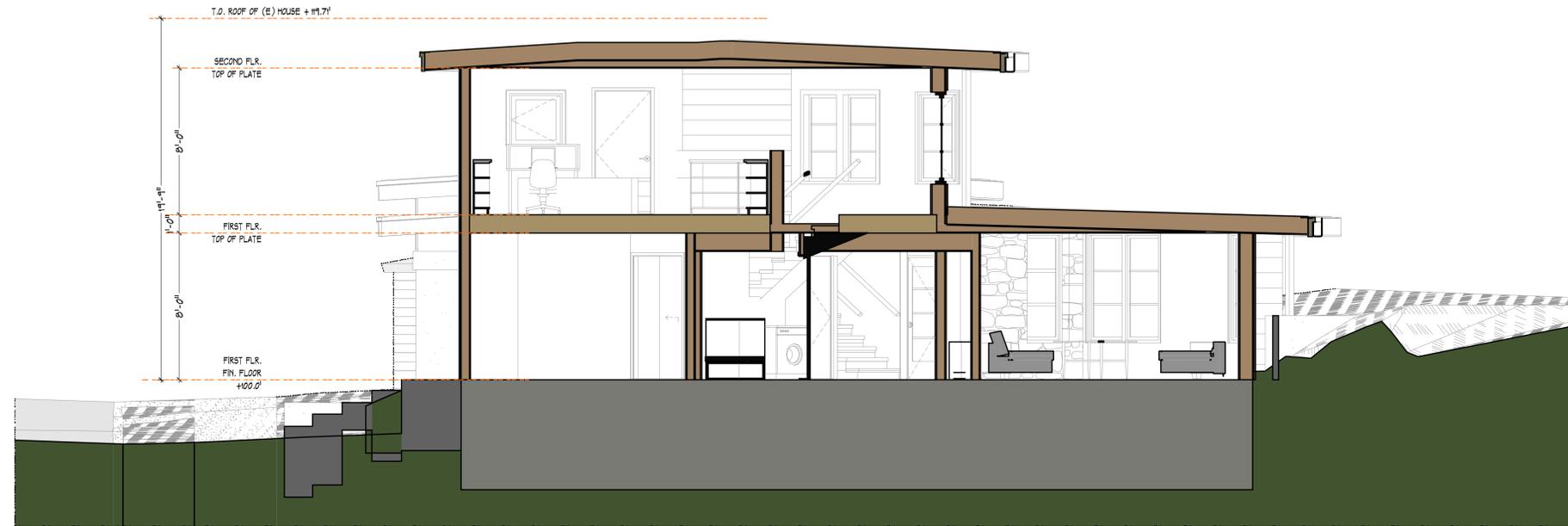
2 Garage Front Elevation Looking SE
SCALE: 1/4" = 1'-0"



3 Garage Side Elevation Looking NE
SCALE: 1/4" = 1'-0"



4 Garage Rear Elevation Looking NW
SCALE: 1/4" = 1'-0"



5 Section Looking NE
SCALE: 1/4" = 1'-0"

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ELEVATIONS & SECTION

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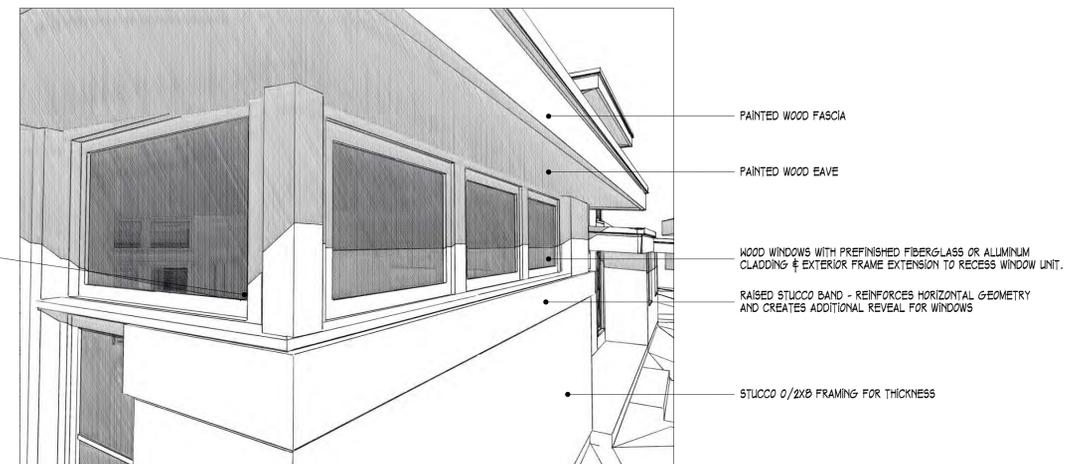
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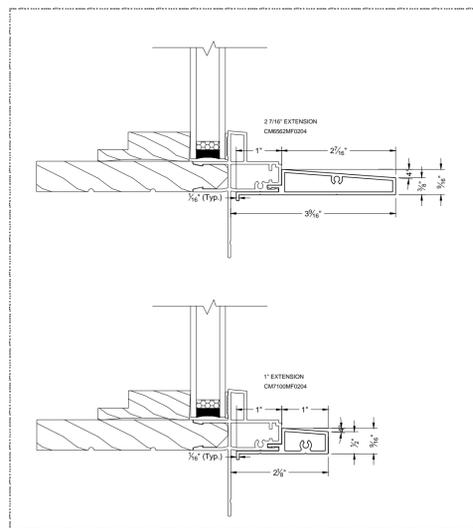
A-3.2



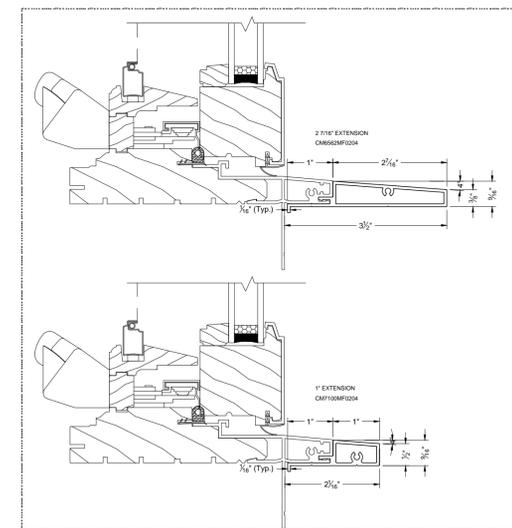
5 Street View Elevation Looking SE
SCALE: 1/8" = 1'-0"



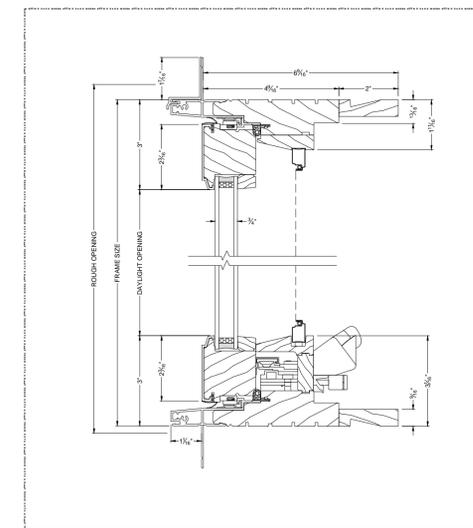
4 Window Detail Outside Kitchen
SCALE: 1" = 5'



3 Frame Extension (Fixed)
NOT TO SCALE



2 Frame Extension (Casement)
NOT TO SCALE



1 Clad Wood Window Detail
NOT TO SCALE

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STREET VIEW & DETAILS

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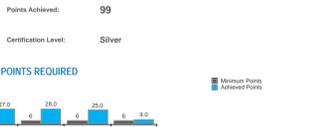
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A-4.1

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The maximum requirements of GreenPoint Rated are: verification of 50 or more points. Earn the following minimum points per category: Community (2), Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory (M), 1, 2, 1, 0, 0.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpoint-rated. Build It Green is not a code enforcement agency.



A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. Single Family New Home. Version 6.0.2

PROJECT NAME	MEASURES					Points Achieved	Community	Energy	IAQ/Health	Resources	Water	NOTES
	Community	Energy	IAQ	Resources	Water							
A. SITE	1	1	1	1	1	4	1	1	1	1		
B. FOUNDATION	0	0	0	0	0	0	0	0	0	0		
C. LANDSCAPE	9	0	0	0	0	9	0	0	0	0		
D. STRUCTURAL FRAME AND BUILDING ENVELOPE	1	1	1	1	1	5	1	1	1	1		
E. EXTERIOR	0	0	0	0	0	0	0	0	0	0		
F. INSULATION	0	0	0	0	0	0	0	0	0	0		
G. PLUMBING	1	1	1	1	1	5	1	1	1	1		
H. HEATING, VENTILATION AND AIR CONDITIONING	1	1	1	1	1	5	1	1	1	1		
I. RENEWABLE ENERGY	0	0	0	0	0	0	0	0	0	0		
J. BUILDING PERFORMANCE AND TESTING	0	0	0	0	0	0	0	0	0	0		

GreenPoint Rated Checklist

PROJECT NAME	MEASURES					Points Achieved	Community	Energy	IAQ/Health	Resources	Water	NOTES
	Community	Energy	IAQ	Resources	Water							
K. FINISHES	1	1	1	1	1	5	1	1	1	1		
L. FLOORING	0	0	0	0	0	0	0	0	0	0		
M. APPLIANCES AND LIGHTING	1	1	1	1	1	5	1	1	1	1		
N. COMMUNITY	0	0	0	0	0	0	0	0	0	0		
O. OTHER	0	0	0	0	0	0	0	0	0	0		
Summary												
Total Available Points in Specific Categories						342	26	131	54	83	48	
Minimum Points Required in Specific Categories						50	2	25	6	6	6	
Total Points Achieved						99	10	27	28	25	9	

© Build It Green
GreenPoint Rated New Home Single Family Checklist Version 6.0

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BUILD IT GREEN CHECKLIST

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A-5