



**MADISON ST. STREETSCAPE** (PROPOSED ADDITION TO BASEMENT NOT VISIBLE FROM STREET)

NOT TO SCALE



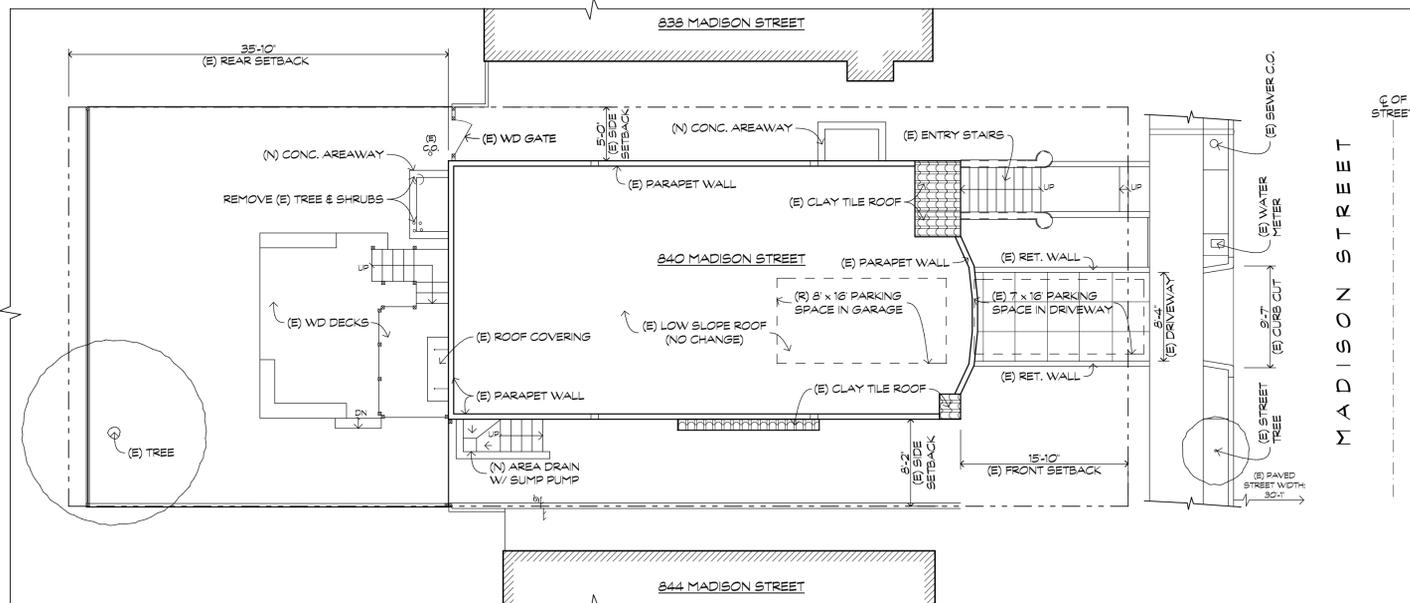
**EXISTING EXTERIOR PHOTOS** (PROPOSED ADDITION TO BASEMENT NOT VISIBLE FROM EXTERIOR)

NOT TO SCALE



**EXISTING BASEMENT/GARAGE PHOTOS**

NOT TO SCALE



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**ASSESSOR'S MAP**  
NOT TO SCALE

**PARTIES INVOLVED**

**OWNER:** ALENE PEARSON & VALDEMAR JORDAN  
840 MADISON STREET  
ALBANY, CA 94706  
ALENE: 510-316-7723  
alenemp@gmail.com

**ARCHITECT:** JASON KALDIS ARCHITECT, INC.  
1250 ADDISON STREET, STUDIO 210  
BERKELEY, CA 94702  
(510) 549-3584  
(510) 549-3574 FAX  
jkaldisarchitect.com

**CONTACTS:** JASON KALDIS  
jason@kaldisarchitect.com  
MATT WONG  
matt@kaldisarchitect.com

**PROJECT DATA**

REMODEL & ADDITION FOR ALENE PEARSON & VALDEMAR JORDAN  
840 MADISON STREET  
ALBANY, CA 94706

APN: 66-2789-15  
LOT AREA: 3750 SQ. FT.  
ZONE: R-2  
OCCUPANCY GROUP: R-3/U  
CONSTRUCTION TYPE: V-B, AUTOMATIC FIRE SPRINKLERS TO BE ADDED  
T24 CLIMATE ZONE: 3  
NO. OF STORIES: 1 EXISTING, 2 (TOTAL) PROPOSED  
HOUSE BUILT IN: 1927

	EXISTING	PROPOSED	REQUIREMENT
MAXIMUM HEIGHT:	19'-6" <sup>4</sup>	NO CHANGE	28' MAX.
FRONT SETBACK:	15'-10"	NO CHANGE	15' MIN.
SIDE SETBACK (NORTH):	5'-0"	NO CHANGE	3.75' MIN.
SIDE SETBACK (SOUTH):	8'-2"	NO CHANGE	3.75' MIN.
REAR SETBACK:	35'-10"	NO CHANGE	15' MIN.

**SQUARE FOOTAGE DEMOLISHED/RENOVATED/CONSTRUCTED CALCULATIONS**

SQUARE FOOTAGE DEMOLISHED: 0 SQ. FT.  
SQUARE FOOTAGE RENOVATED: 64.43 SQ. FT.  
SQUARE FOOTAGE CONSTRUCTED: 52.24 SQ. FT.

**HABITABLE & CONDITIONED FLOOR AREA CALCULATIONS**

	EXISTING	PROPOSED	TOTAL
MAIN FLOOR	1205.64 SQ. FT.	NO CHANGE	1205.64 SQ. FT.
LOWER FLOOR	0 SQ. FT.	+887.60 SQ. FT.	887.60 SQ. FT.

**TOTAL HABITABLE FLOOR AREA** 1205.64 SQ. FT. +887.60 SQ. FT. 2093.24 SQ. FT.

**NON-HABITABLE & NON-CONDITIONED FLOOR AREA CALCULATIONS**

	EXISTING	PROPOSED	TOTAL
MAIN FLOOR	0 SQ. FT.	NO CHANGE	0 SQ. FT.
LOWER FLOOR	887.60 SQ. FT.	-887.60 SQ. FT.	0 SQ. FT.
GARAGE	292.31 SQ. FT.	-11.62 SQ. FT.	280.69 SQ. FT.

**TOTAL NON-HABITABLE & NON-CONDITIONED FLOOR AREA** 1179.91 SQ. FT. -899.22 SQ. FT. 280.69 SQ. FT.

**FLOOR AREA RATIO (FAR)**  
2093.24 SQ. FT. + 887.60 SQ. FT. (AVE. HT. < 6'-0" ABOVE GRADE) = 1205.64 SQ. FT.  
1205.64 SQ. FT. + 3750 SQ. FT. = 32.15% < 55% MAX

**LOT COVERAGE**

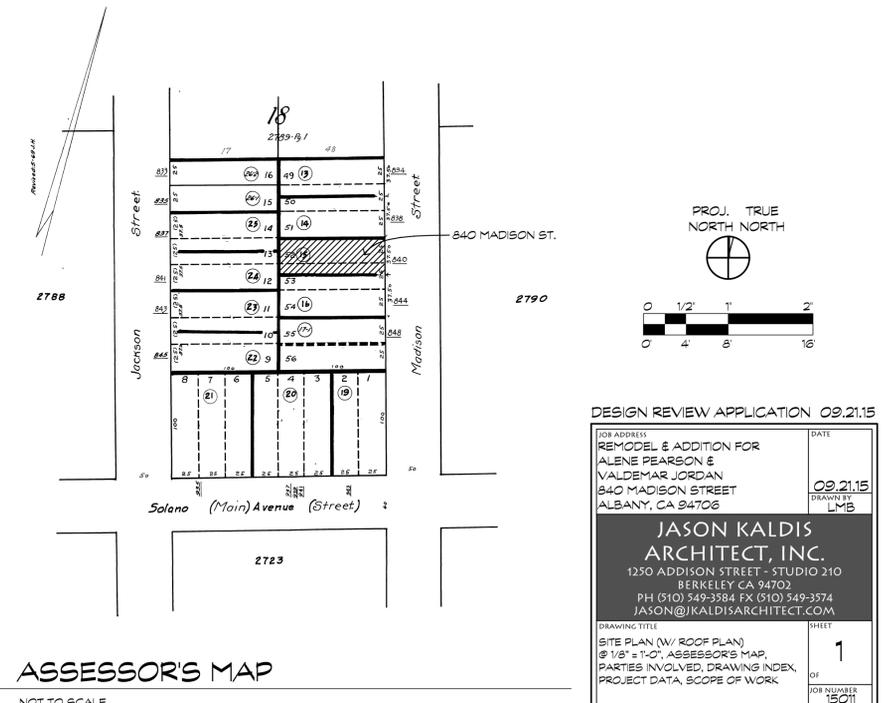
(E) LOT COVERAGE (EXISTING BUILDING FOOTPRINT + LOT AREA)  
1212.13 SQ. FT. + 3750 SQ. FT. = 32.32%

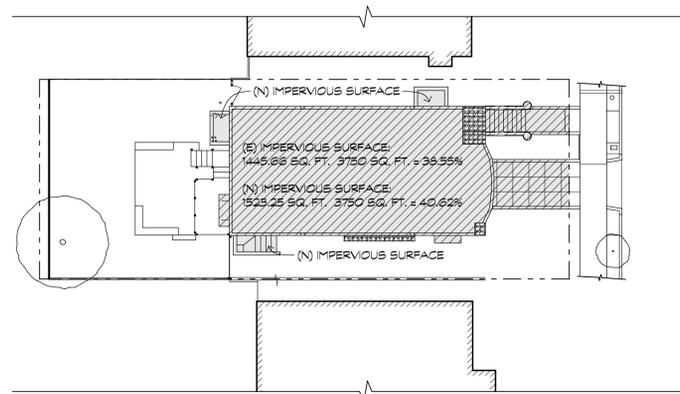
(N) LOT COVERAGE (NEW BUILDING FOOTPRINT + LOT AREA)  
1212.13 SQ. FT. + 3750 SQ. FT. = 32.32%

**IMPERVIOUS SURFACE**

(E) IMPERVIOUS SURFACE (EXISTING BUILDING FOOTPRINT + LOT AREA)  
1445.66 SQ. FT. + 3750 SQ. FT. = 38.55%

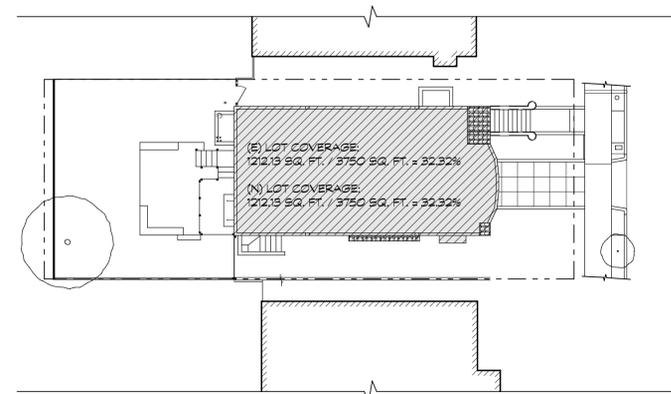
(N) IMPERVIOUS SURFACE (NEW BUILDING FOOTPRINT + LOT AREA)  
1523.25 SQ. FT. + 3750 SQ. FT. = 40.62%





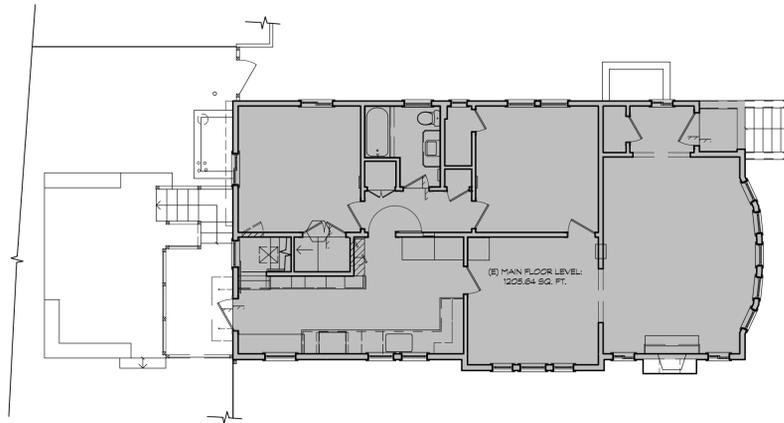
**IMPERVIOUS SURFACE**

SCALE: 1/16" = 1'-0"



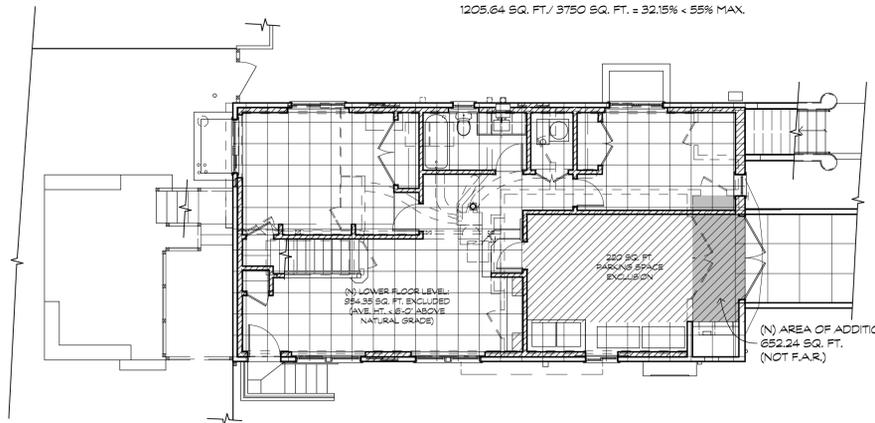
**LOT COVERAGE**

SCALE: 1/16" = 1'-0"



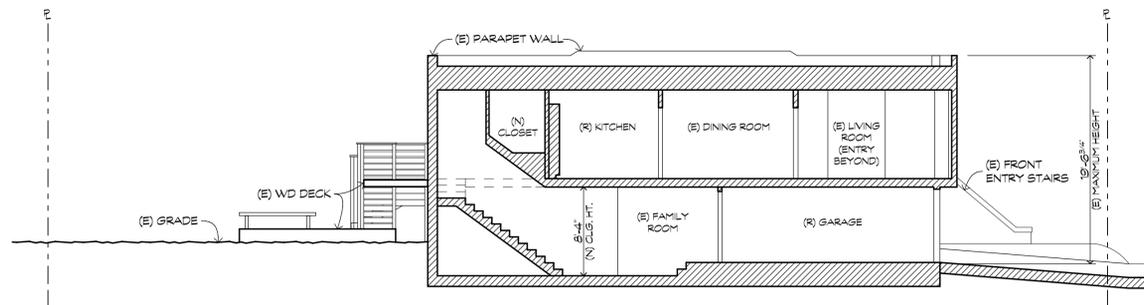
+ 1205.64 SQ. FT.  
 TOTAL FAR: 1205.64 SQ. FT.

1205.64 SQ. FT. / 3750 SQ. FT. = 32.15% < 55% MAX.



**FAR DIAGRAMS**

SCALE: 1/8" = 1'-0"



**SITE SECTION LOOKING NORTH**

SCALE: 1/8" = 1'-0"

**PROJECT DATA**

REMODEL & ADDITION FOR  
 ALENE PEARSON & VALDEMAR JORDAN  
 840 MADISON STREET  
 ALBANY, CA 94706

APN: 06-2782-15  
 LOT AREA: 3750 SQ. FT.  
 ZONE: R-2  
 OCCUPANCY GROUP: R-3/U  
 CONSTRUCTION TYPE: V-B, AUTOMATIC FIRE SPRINKLERS TO BE ADDED  
 T24 CLIMATE ZONE: 3  
 NO. OF STORIES: 1 EXISTING, 2 (TOTAL) PROPOSED  
 HOUSE BUILT IN: 1927

	EXISTING	PROPOSED	REQUIREMENT
MAXIMUM HEIGHT:	15'-6 <sup>3/4"</sup>	NO CHANGE	28' MAX.
FRONT SETBACK:	15'-10"	NO CHANGE	15' MIN.
SIDE SETBACK (NORTH):	5'-0"	NO CHANGE	3.75' MIN.
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SQUARE FOOTAGE DEMOLISHED: 0 SQ. FT.

SQUARE FOOTAGE RENOVATED: 64.43 SQ. FT.

SQUARE FOOTAGE CONSTRUCTED: 52.24 SQ. FT.

**HABITABLE & CONDITIONED FLOOR AREA CALCULATIONS**

	EXISTING	PROPOSED	TOTAL
MAIN FLOOR	1205.64 SQ. FT.	NO CHANGE	1205.64 SQ. FT.
LOWER FLOOR	0 SQ. FT.	+887.60 SQ. FT.	887.60 SQ. FT.

**TOTAL HABITABLE FLOOR AREA** 1205.64 SQ. FT. +887.60 SQ. FT. 2093.24 SQ. FT.

**NON-HABITABLE & NON-CONDITIONED FLOOR AREA CALCULATIONS**

	EXISTING	PROPOSED	TOTAL
MAIN FLOOR	0 SQ. FT.	NO CHANGE	0 SQ. FT.
LOWER FLOOR	887.60 SQ. FT.	-887.60 SQ. FT.	0 SQ. FT.
GARAGE	292.31 SQ. FT.	-11.62 SQ. FT.	280.69 SQ. FT.

**TOTAL NON-HABITABLE & NON-CONDITIONED FLOOR AREA** 1179.91 SQ. FT. -899.22 SQ. FT. 280.69 SQ. FT.

**FLOOR AREA RATIO (FAR)**  
 2093.24 SQ. FT. - 887.60 SQ. FT. (AVE. HT. < 6'-0" ABOVE GRADE) = 1205.64 SQ. FT.  
 1205.64 SQ. FT. + 3750 SQ. FT. = 32.15% < 55% MAX

**LOT COVERAGE**

(E) LOT COVERAGE (EXISTING BUILDING FOOTPRINT + LOT AREA)  
 1212.13 SQ. FT. + 3750 SQ. FT. = 32.32%

(N) LOT COVERAGE (NEW BUILDING FOOTPRINT + LOT AREA)  
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**IMPERVIOUS SURFACE**

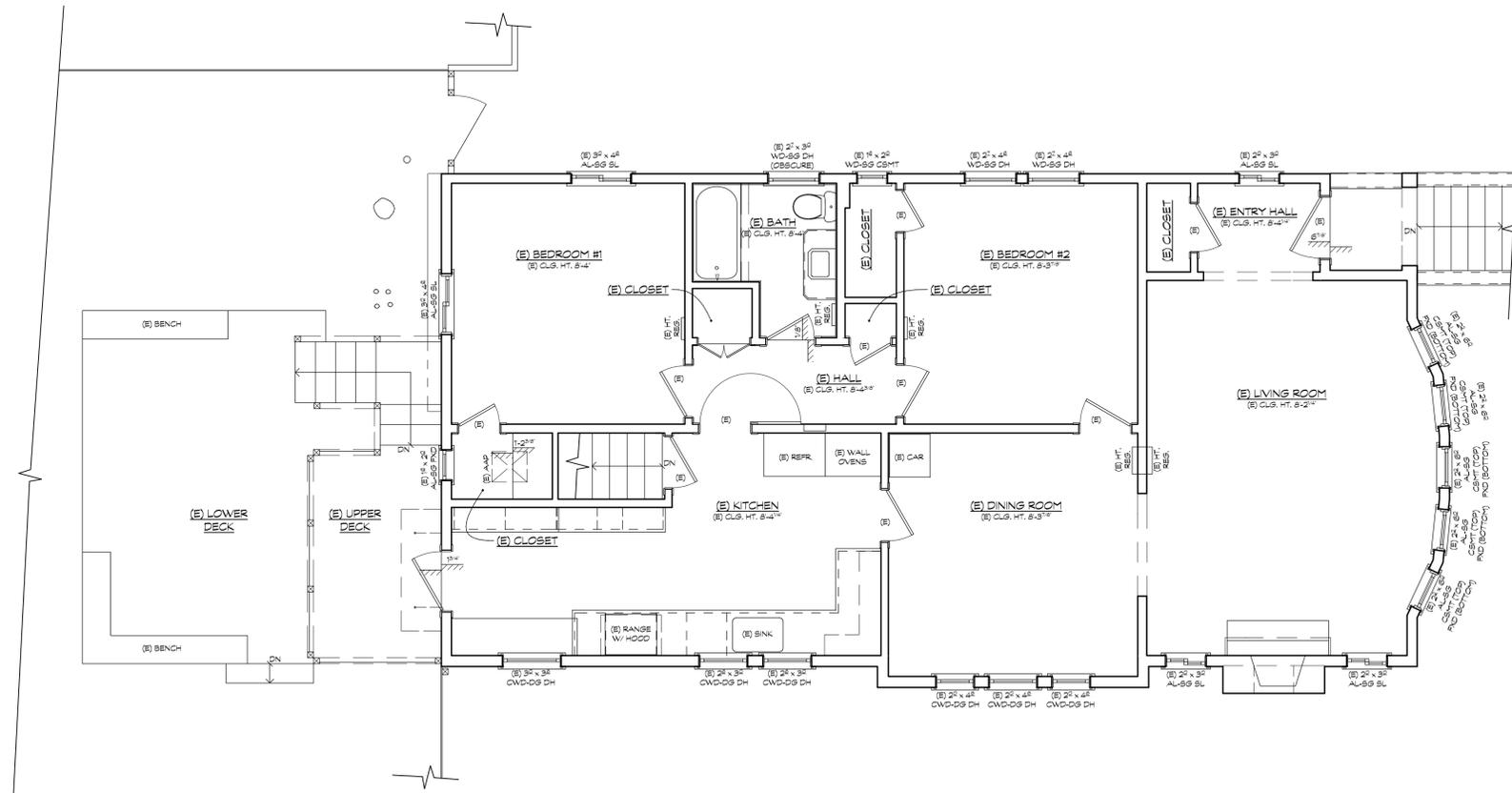
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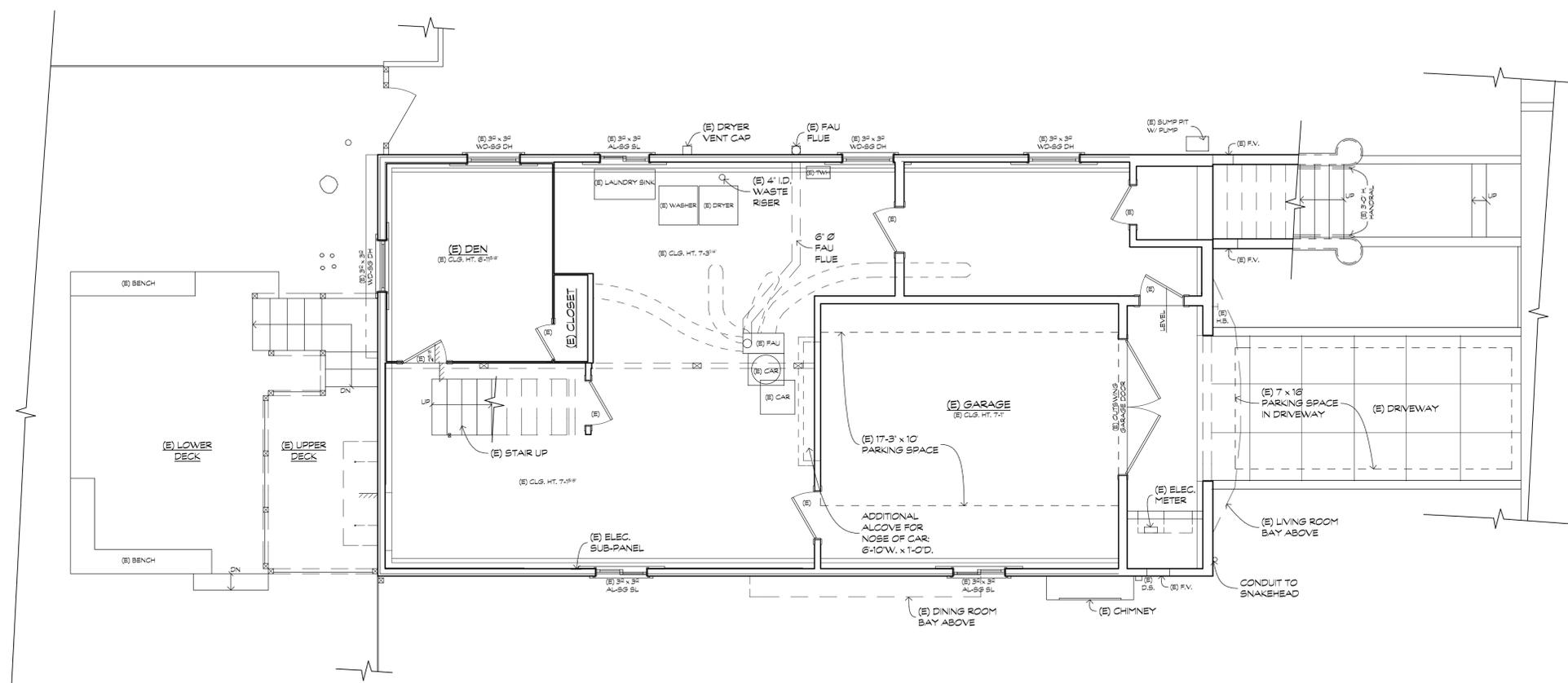
**DESIGN REVIEW APPLICATION 09.21.15**

JOB ADDRESS REMODEL & ADDITION FOR ALENE PEARSON & VALDEMAR JORDAN 840 MADISON STREET ALBANY, CA 94706	DATE 09.21.15 DRAWN BY LMB
<b>JASON KALDIS ARCHITECT, INC.</b>	
1250 ADDISON STREET - STUDIO 210 BERKELEY CA 94702 PH (510) 549-3584 FX (510) 549-3574 JASON@KALDISARCHITECT.COM	
DRAWING TITLE SITE SECTION @ 1/8" = 1'-0" FAR DIAGRAMS IMPERVIOUS SURFACE DIAGRAM LOT COVERAGE DIAGRAM PROJECT DATA (FOR REFERENCE)	SHEET 1.1 OF 15011 JOB NUMBER 15011





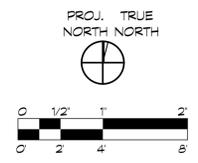
**EXISTING MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**EXISTING LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- ARCHITECTURAL LEGEND**
- NEW (N) WALL
  - EXISTING (E) WALL TO REMAIN
  - EXISTING (E) WALL TO BE REMOVED
  - LINE ABOVE
  - LINE BELOW OR BEYOND
  - PROPERTY LINE
  - SECTION
  - DETAIL NUMBER
  - SHEET NUMBER
  - WINDOW KEY
  - DOOR KEY
  - REVISION
  - CEILING MOUNTED LIGHT
  - WALL MOUNTED LIGHT
  - RECESSED LIGHT
  - RECESSED ADJUSTABLE LIGHT
  - CABLE/TRACK LIGHTING
  - UNDERCABINET LIGHT
  - JUNCTION BOX
  - CEILING FAN W/ LIGHT
  - CEILING FAN
  - LIGHT-EXHAUST FAN COMBO
  - EXHAUST FAN
  - SWITCH
  - 3 WAY SWITCH
  - DUPLEX WALL OUTLET
  - QUAD WALL OUTLET
  - FLOOR OUTLET
  - TELEPHONE JACK
  - T.V./ DATA CABLE JACK
  - SPEAKER
  - CHIMES
  - PUSH BUTTON
  - SMOKE DETECTOR
  - CARBON MONOXIDE DETECTOR
  - HEAT DETECTOR
  - THERMOSTAT CONTROLS
  - HEAT REGISTER @ CEILING
  - HEAT REGISTER @ FLOOR
  - HEAT REGISTER @ WALL OR TOENICK
  - SUPPLY LINE

- KEY TO ABBREVIATIONS**
- AAP = ATTIC ACCESS PANEL
  - AP = ACCESS PANEL
  - CAR = COLD AIR RETURN
  - CAP = CRAWLSPACE ACCESS PANEL
  - D = DIMMER
  - DS = DOWN SPOUT
  - F = FLUORESCENT
  - FAU = FORCED AIR UNIT
  - FV = FOUNDATION VENT
  - GFI = GROUND FAULT CIRCUIT INTERRUPTER
  - HS = HOSE BIB
  - H2O = WATER SUPPLY
  - LED = T24 QUALIFYING LED
  - MS = MOTION SENSOR
  - OH = OVERHANG
  - OS = OCCUPANCY SENSOR
  - PC = PHOTOCELL
  - SS = SANITARY SEWER
  - VS = VACANCY SENSOR
  - WH = WATER HEATER
  - WP = WATERPROOF/WEATHERPROOF
  - 1S, 1P = 1 SHELF, 1 POLE
  - 220V = 220 VOLT



DESIGN REVIEW APPLICATION 09.21.15

JOB ADDRESS: REMODEL & ADDITION FOR ALENE PEARSON & VALDEMAR JORDAN, 840 MADISON STREET, ALBANY, CA 94706

DATE: 09.21.15

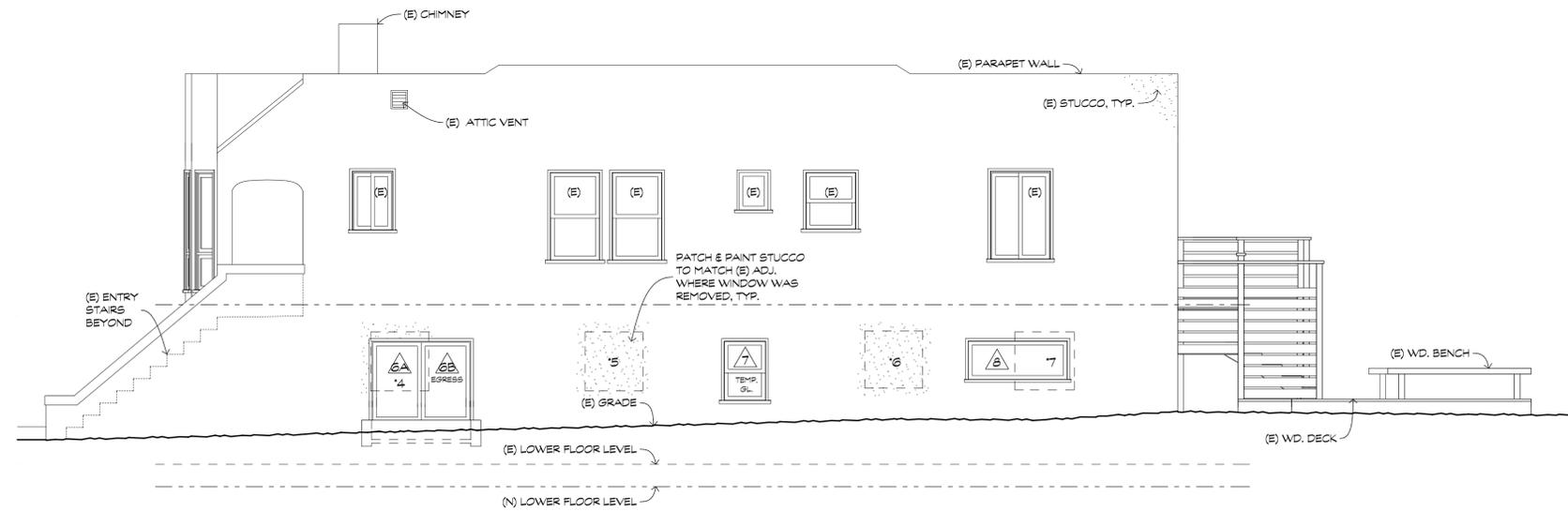
DRAWN BY: LMB

**JASON KALDIS ARCHITECT, INC.**  
1250 ADDISON STREET - STUDIO 210, BERKELEY, CA 94702  
PH (510) 549-3584, FX (510) 549-3574, JASON@KALDISARCHITECT.COM

DRAWING TITLE: EXISTING MAIN FLOOR PLAN @ 1/4" = 1'-0", EXISTING LOWER FLOOR PLAN @ 1/4" = 1'-0"

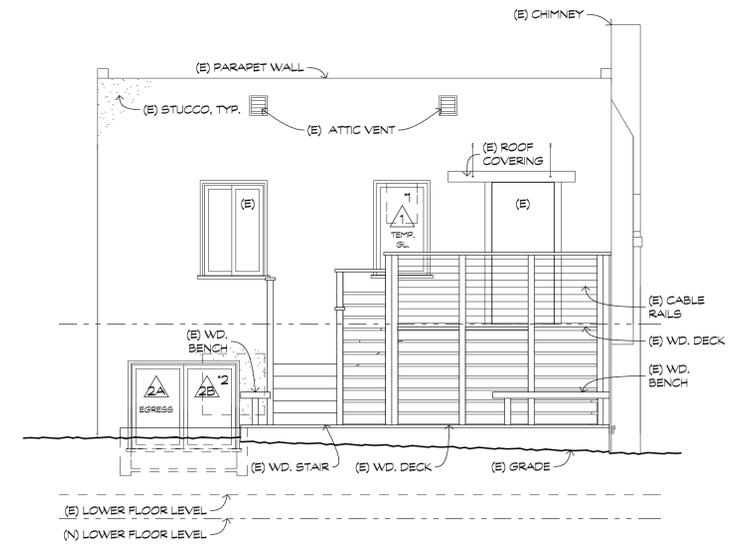
SHEET: 2A OF

JOB NUMBER: 15011



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

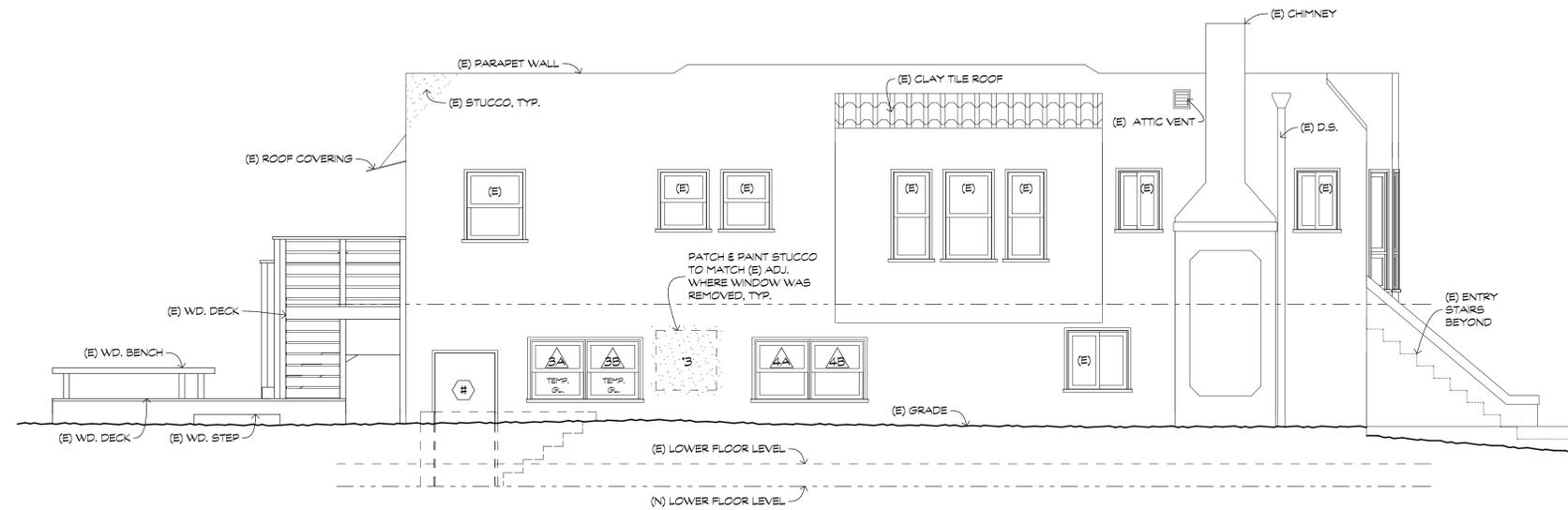


**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

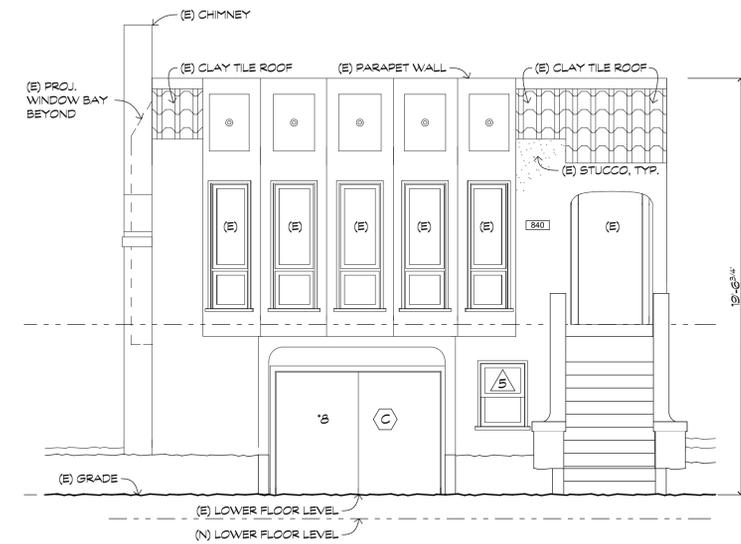
**TYPICAL EXTERIOR BUILDING MATERIALS**

- MATCH EXISTING, TYP:
- ASPHALT COMPOSITION SHINGLE ROOFING
  - STUCCO, PAINTED
  - WOOD AND GLAZ WOOD WINDOWS (SINGLE & DUAL GLAZED)
  - WOOD EXTERIOR DOOR, PAINTED
  - WOOD FASCIA AND TRIMS, PAINTED
  - METAL GUTTERS & DOWNSPOUTS, PREFINISHED



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

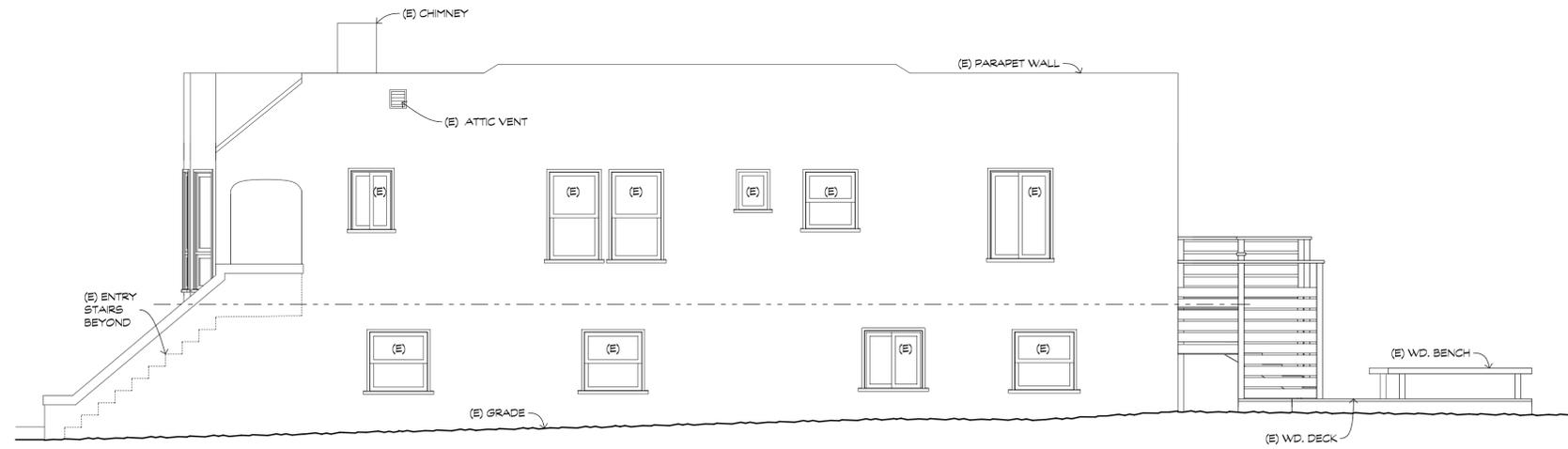


DESIGN REVIEW APPLICATION 09.21.15

JOB ADDRESS REMODEL & ADDITION FOR ALENE PEARSON & VALDEMAR JORDAN 840 MADISON STREET ALBANY, CA 94706	DATE 09.21.15 DRAWN BY LMB
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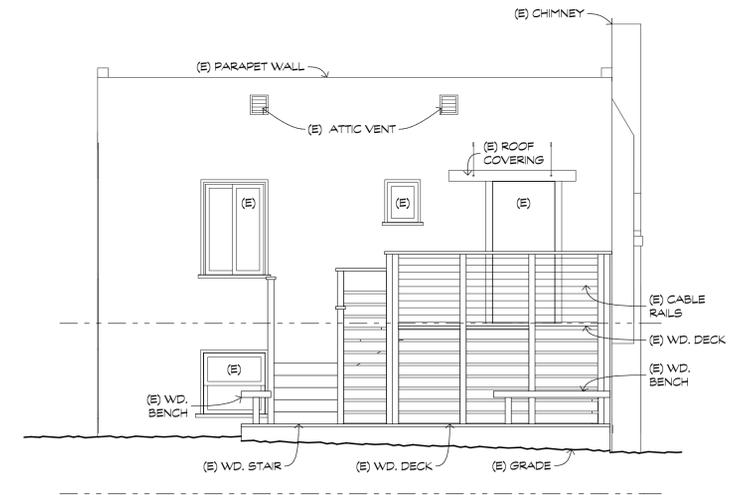
**JASON KALDIS ARCHITECT, INC.**  
1250 ADDISON STREET - STUDIO 210  
BERKELEY, CA 94702  
PH (510) 549-3584 FX (510) 549-3574  
JASON@KALDISARCHITECT.COM

DRAWING TITLE EXTERIOR ELEVATIONS @ 1/4" = 1'-0" TYPICAL EXTERIOR BUILDING MATERIALS	SHEET 3 OF FOR NUMBER 15011
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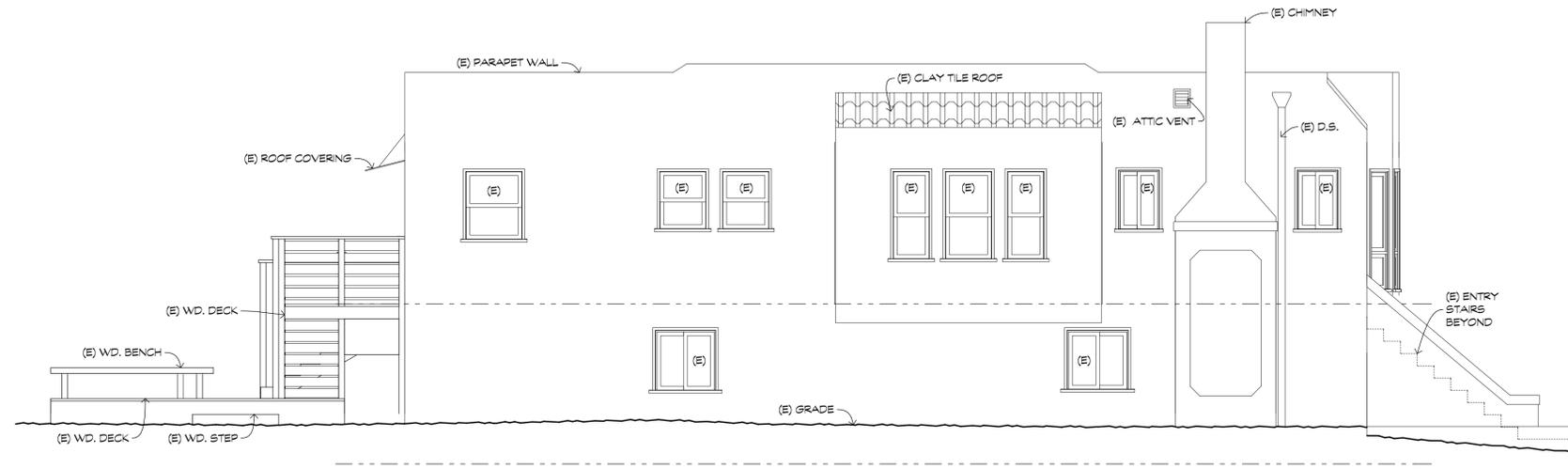
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



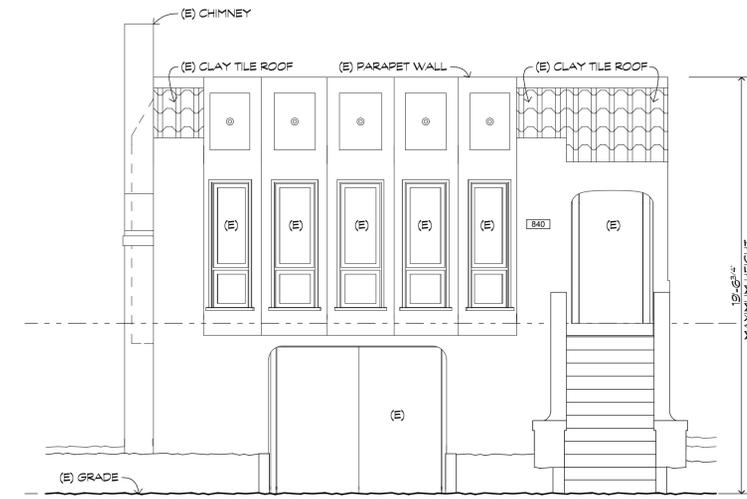
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

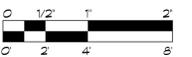


**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR BUILDING MATERIALS**

- MATCH EXISTING, TYP:
- ASPHALT COMPOSITION SHINGLE ROOFING
  - STUCCO, PAINTED
  - WOOD AND GLAZ WOOD WINDOWS (SINGLE & DUAL GLAZED)
  - WOOD EXTERIOR DOOR, PAINTED
  - WOOD FASCIA AND TRIMS, PAINTED
  - METAL GUTTERS & DOWNSPOUTS, PREFINISHED



DESIGN REVIEW APPLICATION 09.21.15

JOB ADDRESS REMODEL & ADDITION FOR ALENE PEARSON & VALDEMAR JORDAN 840 MADISON STREET ALBANY, CA 94706	DATE 09.21.15 DRAWN BY LMB
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**JASON KALDIS ARCHITECT, INC.**  
1250 ADDISON STREET - STUDIO 210  
BERKELEY, CA 94702  
PH (510) 549-3584 FX (510) 549-3574  
JASON@KALDISARCHITECT.COM

DRAWING TITLE EXTERIOR ELEVATIONS @ 1/4" = 1'-0"	SHEET <b>3A</b> OF JOB NUMBER 15011
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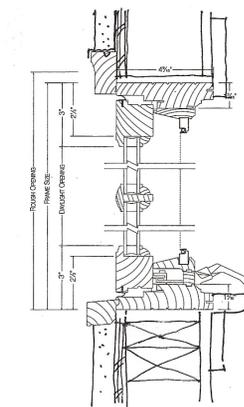
DOOR SCHEDULE						PEARSON/JORDAN RESIDENCE 840 MADISON ST. ALBANY, CA 94706
SYMBOL	SIZE (W x H x TH.)	STYLE	MATERIAL	FINISH	HARDWARE	REMARKS
A	PAIR OF 2'-0" x 6'-8" x 1 3/8"	DOOR STYLE TO MATCH (E)	SOLID WOOD	PAINT EA. FACE & ALL EDGES	DUMMY KNOB W/ BULLET CATCHES	-
B	3'-0" x 6'-8" x 1 3/4"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	ENTRY LATCH & DEADBOLT	WEATHERSTRIPPED W/ WEATHERBARRIER & ULTRALOCK
C	(E) OUTSWING GARAGE DOORS	(E)	(E)	PAINT EA. FACE & ALL EDGES	(E)	REINSTALL (E) OUT-SWING GARAGE DOORS AT (N) LOCATION
D	2'-6" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	PASSAGE	-
E	2'-6" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	PRIVACY	-
F	PAIR OF 2'-0" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	DUMMY KNOB W/ BULLET CATCHES	-
G	PAIR OF 1'-6" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	DUMMY KNOB W/ BULLET CATCHES	-
H	2'-6" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	PRIVACY	-
J	2'-6" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	PRIVACY	-
K	PAIR OF 3'-0" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	DUMMY KNOB W/ BULLET CATCHES	-
L	2'-6" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	PASSAGE	-
M	2'-0" x 6'-8" x 1 3/8"	SINGLE PANEL	SOLID WOOD	PAINT EA. FACE & ALL EDGES	PASSAGE	-

The architect is not responsible for the ordering of doors. Contractor, owner, and door supplier are to verify all door rough openings and verify coordination between manufacturer's model number, window size, safety glazing, finishes and accessories.

WINDOW SCHEDULE					PEARSON/JORDAN RESIDENCE 840 MADISON ST. ALBANY, CA 94706
SYMBOL	ROUGH OPENING	TYPE	MFR. & MODEL #	FINISH	NOTES
1	2'-7" x 4'-5 5/8"	CASEMENT	MARVIN CLAD ULTIMATE CUCAS054	CLAD WOOD	TEMP. GL.
2AB	5'-1" x 3'-11 5/8"	SEE BELOW	SEE BELOW	SEE BELOW	SEE BELOW
2A	2'-6" x 3'-11 5/8" FRAME SIZE	CASEMENT	MARVIN CLAD ULTIMATE CUCAS048	CLAD WOOD	DIRECT MULL TO '2B'
2B	2'-6" x 3'-11 5/8" FRAME SIZE	CASEMENT	MARVIN CLAD ULTIMATE CUCAS048	CLAD WOOD	DIRECT MULL TO '2A'
3AB	5'-7 1/2" x 3'-0"	SEE BELOW	SEE BELOW	SEE BELOW	SEE BELOW
3A	2'-9 1/4" x 2'-11 1/2" FRAME SIZE	DOUBLE HUNG	MARVIN CLAD ULTIMATE CUDH-NG2814	CLAD WOOD	DIRECT MULL TO '3B'
3B	2'-9 1/4" x 2'-11 1/2" FRAME SIZE	DOUBLE HUNG	MARVIN CLAD ULTIMATE CUDH-NG2814	CLAD WOOD	DIRECT MULL TO '3A'
4AB	5'-7 1/2" x 3'-0"	SEE BELOW	SEE BELOW	SEE BELOW	SEE BELOW
4A	2'-9 1/4" x 2'-11 1/2" FRAME SIZE	DOUBLE HUNG	MARVIN CLAD ULTIMATE CUDH-NG2814	CLAD WOOD	DIRECT MULL TO '4B'
4B	2'-9 1/4" x 2'-11 1/2" FRAME SIZE	DOUBLE HUNG	MARVIN CLAD ULTIMATE CUDH-NG2814	CLAD WOOD	DIRECT MULL TO '4A'
5	2'-2 1/4" x 3'-0"	DOUBLE HUNG	MARVIN CLAD ULTIMATE CUDH-NG2014	CLAD WOOD	-
6AB	5'-2" x 3'-11 5/8"	SEE BELOW	SEE BELOW	SEE BELOW	SEE BELOW
6A	2'-6" x 3'-11 5/8" FRAME SIZE	CASEMENT	MARVIN CLAD ULTIMATE CUCAS048	CLAD WOOD	DIRECT MULL TO '6B'
6B	2'-6" x 3'-11 5/8" FRAME SIZE	CASEMENT	MARVIN CLAD ULTIMATE CUCAS048	CLAD WOOD	DIRECT MULL TO '6A'
7	2'-2 1/4" x 3'-0"	DOUBLE HUNG	MARVIN CLAD ULTIMATE CUDH-NG2014	CLAD WOOD	TEMP. GL.
8	5'-1" x 2'-11 5/8"	AWNING	MARVIN CLAD ULTIMATE CUAWN6024	CLAD WOOD	-

The architect is not responsible for the ordering of windows and skylights. Contractor, owner, window supplier, and skylight supplier are to verify all window and skylight rough openings and verify coordination between manufacturer's model number, window and skylight size, safety glazing, finishes and accessories.

REMOVED WINDOWS & DOORS			
* ID	NOMINAL FRAME SIZE	OPERATION TYPE	FRAME/ GLAZING
1	1'-6" x 2'-0"	FIXED	AL/SG
2	3'-0" x 3'-0"	DOUBLE HUNG	WD/SG
3	3'-0" x 3'-0"	SLIDER	AL/SG
4	3'-0" x 3'-0"	DOUBLE HUNG	WD/SG
5	3'-0" x 3'-0"	DOUBLE HUNG	WD/SG
6	3'-0" x 3'-0"	SLIDER	AL/SG
7	3'-0" x 3'-0"	DOUBLE HUNG	WD/SG
8	7'-8" x 6'-11"	OUTSWING GARAGE DOOR	WD



WOOD FRAME WINDOW DETAIL  
MARVIN CLAD ULTIMATE (SIM.)  
TRADITIONAL INSTALLATION ACHIEVES  
CONFORMANCE WITH DEBLEN REVIEW  
INTENT TO MATCH (P) WD. WINDOWS

DESIGN REVIEW APPLICATION 09.21.15	
JOB ADDRESS REMODEL & ADDITION FOR VALENE PEARSON & VALDEMAR JORDAN 840 MADISON STREET ALBANY, CA 94706	DATE 09.21.15 DRAWN BY LMB
<b>JASON KALDIS ARCHITECT, INC.</b>	
1250 ADDISON STREET - STUDIO 210 BERKELEY, CA 94702 PH (510) 549-3584 FX (510) 549-3574 JASON@KALDISARCHITECT.COM	
DRAWING TITLE DOOR & WINDOW SCHEDULES TYP. WINDOW DETAIL REMOVED WINDOW & DOOR SCHEDULE	SHEET 4 OF JOB NUMBER 15011