

**DEMOLITION NOTES**

- A. CONTRACTOR SHALL CAREFULLY CHECK THE STABILITY OF ALL ELEMENTS OF THE BUILDING BEFORE DOING ANY WORK ON OR DEMOLITION TO THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BRACE OR STRENGTHEN ANY PORTIONS OF THE STRUCTURE THAT MAY BE WEAKENED BY DEMOLITION OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND PRESERVATION OF EXISTING CONSTRUCTION NOT STAGED FOR DEMOLITION.
- B. ALL DEMOLITION AND REMOVAL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS, INCLUDING 3.6.0, CHAPTER 44 AND A.N.S.I. A10.6-1983 "SAFETY REQUIREMENTS FOR DEMOLITION. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR IDENTIFYING, TESTING AND DISPOSING OF ANY HAZARDOUS MATERIALS ENCOUNTERED IN THE DEMOLITION PROCESS IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS.
- C. REMOVAL OF ANY ITEM LISTED ON THE DEMOLITION SCHEDULE SHALL INCLUDE ALL COMPONENTS ASSOCIATED WITH THAT ITEM: "REMOVE DOOR" includes door, hardware, trim, sill flashing, etc. unless otherwise noted). "REMOVE EXTERIOR WALL" includes framing, sheathing, exterior finish interior finish and foundation unless otherwise noted).
- D. CONTRACTOR SHALL VERIFY WITH OWNER ANY ITEM TO BE SALVAGE AND REUSED. DAMAGE TO ANY SUCH ITEM WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS.
- E. REMOVAL OF WALL FINISHES, FLOOR FINISHES AND CEILING FINISHES SHALL INCLUDE ALL MATERIAL DOWN TO FRAMING, EXTERIOR SHEATHING OR SUBFLOOR.

**GENERAL NOTES**

- A. ALL ANGLES OTHER THAN 90° SHALL BE 45° UNLESS OTHERWISE NOTED ON PLAN.
- B. GLAZING SUBJECT TO HUMAN IMPACT SHALL BE SAFETY-TEMPERED.
- C. BEDROOM WINDOWS SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE.
- D. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AT CONDITIONED SPACES (MIN...)
- E. PROVIDE WEATHER-RESISTIVE BARRIER AT ALL EXTERIOR WALLS.
- F. PROVIDE UNDER-FLOOR VENTILATION BY OPENINGS INTO THE UNDER FLOOR AREA WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA
- G. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM AT 3 FEET FROM THE PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, KITCHEN HOOD, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).

**KEY NOTES**

- THESE NOTES ARE FOR THIS SHEET ONLY
1. MTL. THRESHOLD WITH FULL WEATHER STRIPPING AROUND DOOR.
  2. NEW TOILET.
  3. NEW SHOWER.
  4. NEW VANITY.
  5. TUB/SHOWER.
  6. TEMPERED FRAMELESS, CLEAR GLASS ENCLOSURE.
  7. MTL. TRANSITION STRIP AT FLOOR MATERIAL CHANGE.
  8. PROVIDE MECHANICAL VENTILATION W/MIN OF 5 AIR CHANGE PER HOUR.
  9. ANTI-SCALDING VALVE.
  10. NOT USED
  11. 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING.
  12. TEMPERED GLASS..
  13. 72" HIGH CERAMIC TILE WALL SURROUND.
  14. LINE OF SHELF AND POLE ABOVE.
  15. WASHER - PROVIDE RECESSED PLUMBING BOX - PROVIDE PAN BELOW WITH DRAIN TO OUTSIDE.
  16. DRYER SPACE - PROVIDE 4" DIA. SMOOTH METAL EXHAUST TO OUTSIDE WITH BACKDRAFT DAMPER.
  17. NEW TANKLESS WATER HEATER.
  18. INSULATE ALL BATHROOM WALLS W/ R-13.
  19. (N) CRAWL SPACE ACCESS (24"x18" MIN.)
  20. (N) ATTIC SPACE ACCESS (22"x30" MIN.)
  21. CLEARSTORY WINDOWS ABOVE.
  22. NEW WOOD DECK W/ TILE FINISH.
  23. NEW PORCH W/ CONCRETE FINISH.
  24. SOFFIT @ 8'-0".
  25. NEW PLANTER.
  26. HVAC - LOCATED IN ATTIC SPACE
  27. NEW ELECTRICAL PANEL 200 AMP.
  28. 96" HIGH CERAMIC TILE WALL SURROUND.

**DEMOLITION KEY NOTES**

- THESE NOTES ARE FOR THIS SHEET ONLY
1. REMOVE WALL
  2. REMOVE DOOR
  3. REMOVE WINDOW
  4. REMOVE FIXTURES
  5. REMOVE WATER HEATER
  6. REMOVE CLOSET & SHELVES
  7. REMOVE FLOOR FINISH
  8. REMOVE DECK
  9. NEW WINDOW/DOOR OPENING
  10. REMOVE PORCH - CONC. STEPS, POSTS & PLANTERS.

**LEGEND**

	(E) WALL
	(N) WALL
	(E) WALL TO BE REMOVED
	OVERHEAD CONSTRUCTION
	EXISTING CONSTRUCTION
	NEW CONSTRUCTION

TRUE NORTH

REFERENCE NORTH

4' 0' 4' 8'

DRAWINGS:	REVISIONS	BY
- EXISTING AND DEMOLITION		
FIRST FLOOR PLAN		
- PROPOSED FIRST FLOOR PLAN		

**AMANDA & COLIN MAHAN**  
 HOUSE RENOVATIONS & ADDITIONS  
 941 JACKSON ST. ALBANY, CA. 94706

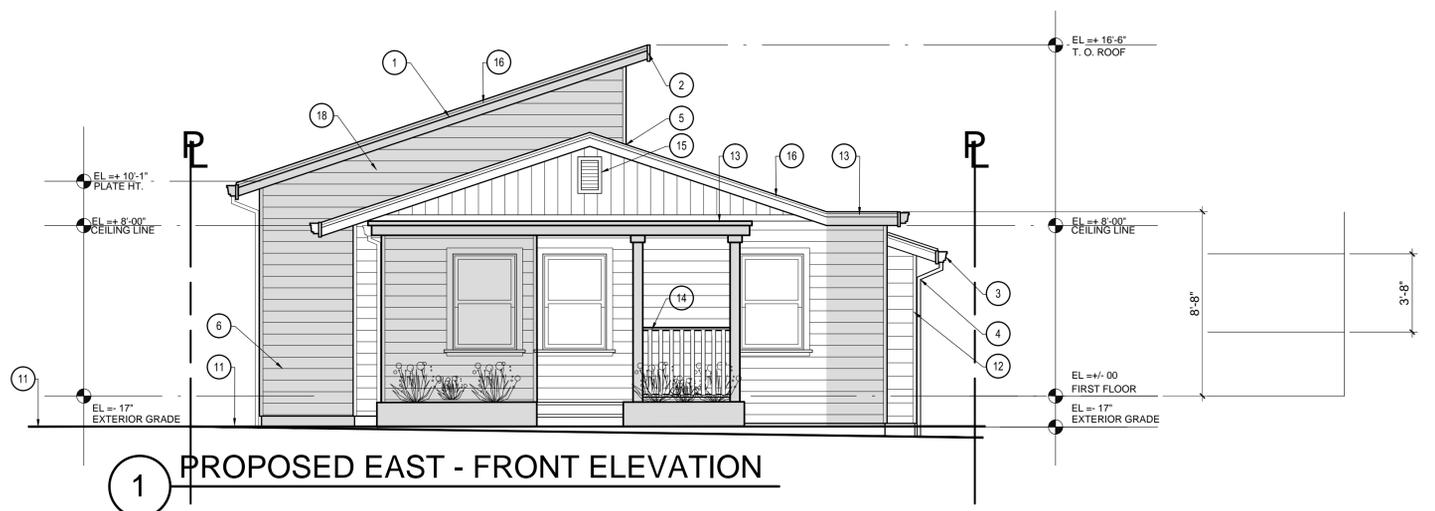
SCALE:  
 1/4" = 1'-0"  
 DATE:  
 1-15-15

**PLANART**  
CONSTRUCTION

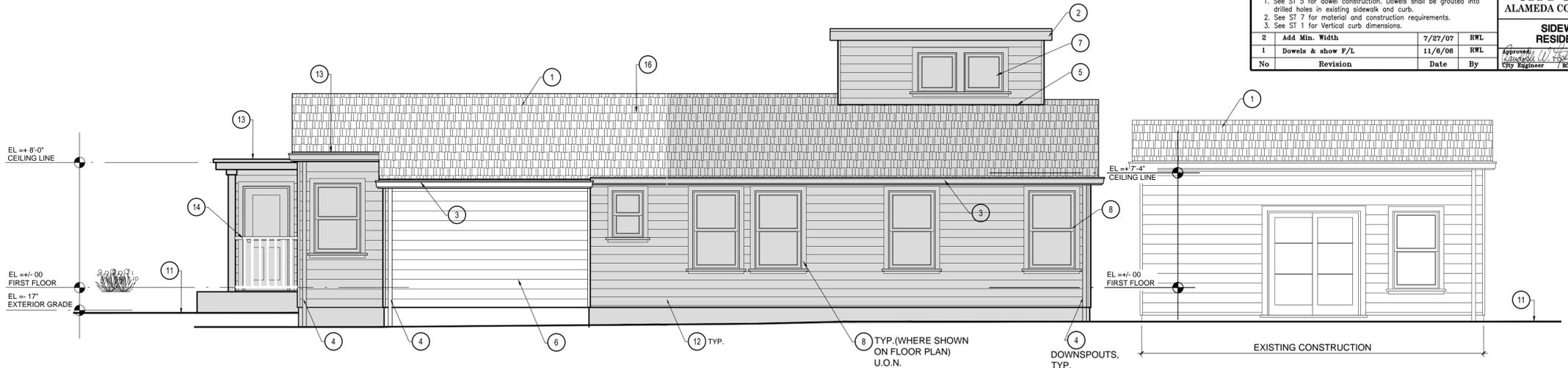
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LICENSE # 978706

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1 PROPOSED EAST - FRONT ELEVATION



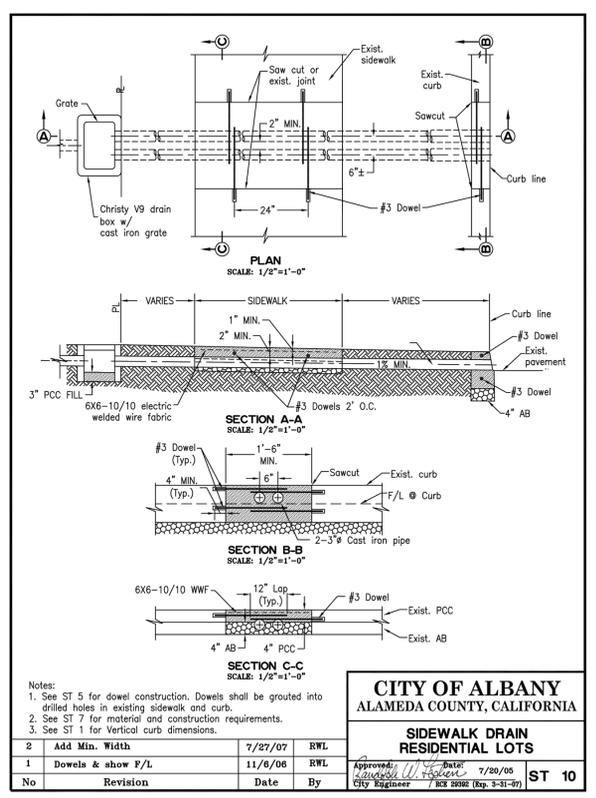
2 PROPOSED SOUTH - SIDE ELEVATION



3 EXISTING EAST - FRONT ELEVATION



4 EXISTING SOUTH - SIDE ELEVATION



**CITY OF ALBANY**  
ALAMEDA COUNTY, CALIFORNIA

**SIDEWALK DRAIN**  
RESIDENTIAL LOTS

2	Add Min. Width	7/27/07	RWL
1	Dowels & show F/L	11/6/06	RWL
No	Revision	Date	By

Approved: [Signature] Date: 7/29/08  
City Engineer: [Signature] Lic 9268 (Exp. 3-31-09) ST 10

**GENERAL NOTES**

- A. SOFFITS AND OTHER VISIBLE EXTERIOR FINISH ELEMENTS NOT FULLY SHOWN OR DETAILED ON THE PLANS SHALL BE FINISHED IN THE SAME CHARACTER AS FOR SIMILAR CONDITIONS.
- B. SEE ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS AT EACH FLOOR. ALIGN WITH EXTERIOR DOOR AS APPROPRIATE OR INDICATED.
- C. ALL GUTTERS, DOWN SPOUTS, FLASHINGS, VENTS, ELECTRICAL CONDUITS, ETC. SHALL BE PAINTED TO MATCH THE COLOR OF THE ADJACENT SURFACE, U.O.N.
- D. ALL DOORS AND WINDOWS EXPOSED TO AMBIENT CONDITIONS AND UNCONDITIONED SPACES SHALL BE GASKETED, WEATHER STRIPPED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION.
- E. SEE PLANS, NOTES AND DETAILS PROVIDED BY THE STRUCTURAL ENGINEER FOR ALL RELATED FRAMING AND STRUCTURAL INFORMATION.
- F. SEE TITLE 24 ENERGY SHEETS FOR BUILDING INSULATION SCHEDULE.

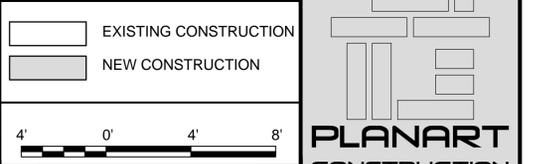
**KEY NOTES**

- 1. ROOFING TYPE - CLASS "A" COMPOSITION SHINGLES TO MATCH (E)
- 2. 2x WOOD FASCIA
- 3. GSM FASCIA GUTTER
- 4. GSM DOWN SPOUTS CONNECTED TO STORM DRAIN
- 5. FLASHING AT ROOF/WALL INTERSECTION, TYP.
- 6. HORIZ. HARDIE LAP SIDING OVER 2 LAYERS OF "D" TYPE PAPER OVER EXTERIOR PLYWOOD SHEATHING
- 7. CLEARSTORY WINDOWS - SEE WINDOW SCHEDULE
- 8. DBL GLAZED VINYL WINDOW W/ WOOD TRIM
- 9. PATIO DOOR W/ TEMP. GLASS
- 10. NOT USED
- 11. FINISH GRADE
- 12. WOOD TRIM @ CORNERS
- 13. FLAT ROOF - SLOPE 1/4" PER. FT.
- 14. 42" HIGH GUARDRAIL
- 15. WOOD ATTIC VENT
- 16. ALL ROOF SLOPE SHALL BE 5:12 (U.O.N.) TO MATCH (E)
- 17. (E) WOOD SIDING
- 18. (N) WOOD SIDING

**COLORS AND MATERIALS**

MATERIAL	FINISH	COLOR
HORIZ. HARDY LAP SIDING	PAINTED	LIGHT GRAY
PLYWOOD SIDING	PAINTED	MED. GRAY
TRIM, FASCIA : WOOD	PAINTED	WHITE
COMPOSITION SHINGLES		SHADOW SHAKWOOD
VINYL/FIVER GLASS WINDOWS		WHITE
WOOD LATTICE	PAINTED	BROWN
GUTTERS, FLASHING: GSM	PAINTED	SAME AS ADJACENT

**LEGEND**



<b>DRAWINGS:</b>	<b>REVISIONS</b>	<b>BY</b>
PROPOSED AND EXISTING EAST AND SOUTH ELEVATIONS		

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