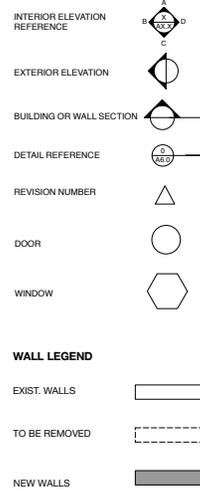


SYMBOL LEGEND



ABBREVIATIONS

ABV	Above	HDG	Hot Dipped Galvanized
ADJ	Adjacent	HDWR	Hardware
AFF	Above Finished Floor	HORIZ	Horizontal
A/C	Air Conditioning	INSUL	Insulation
ALUM	Aluminum	INT	Interior
ARCH	Architect	MAX	Maximum
ARCHT	Architect	MECH	Mechanical
BLKG	Blocking	MFR	Manufacturer
BD	Board	MIN	Minimum
BLDG	Building	MS	Motion Sensor
CAR	Cold Air Return	MTL	Metal
CASE	Casement	(N)	New
CBC	California Building Code	NIC	Not in Contract
CFL	Compact Fluorescent Light	NTS	Not to Scale
CL	Closet	O	Over
CLR	Clear	OC	On Center
CLG	Ceiling	OC	Owner Furnished,
COL	Column	OC	Contractor Installed
CONC	Concrete	OS	Occupancy Sensor
CONTIN	Continuous	PLAM	Plastic Laminates
D	Dryer	PLYWD	Plywood
DBL	Double Hung	(R)	Relocated
DI	Diameter	RD	Root Drain
DIA	Diameter	REG	Register
DS	Downspout	REF	Refrigerator
DW	Dishwasher	RO	Rough Opening
(E)	Existing	SHT	Sheet
EA	Each	SIM	Similar
ELEC	Electrical	SG	Safety Glass
ELEV	Elevation	SLDG	Siding
EQ	Equipment	SQ	Square
EQUIP	Equipment	SSD	See Structural Drawings
EXT	Exterior	SST S	stainless Steel
FDN	Foundation	TBD	To Be Determined
FF	Finished Floor	TME	To Match Existing
FIN	Finish(ed)	TO	Top of
FL	Fluorescent	TYP	Typical
FLR	Floor	UN	Unless Otherwise Noted
FO	Face of	VERT	Vertical
FOF	Face of Finish	VIF	Verify in Field
FOS	Face of Structure	W	Wily
FT	Feet	WH	Water Heater
GA	Gauge	WSC	Wainscot
GC	General Contractor		
GL	Glass, Glazing		
GSM	Galvanized Sheet Metal		
GWB	Gypsum Wall Board		
GYP	Gypsum		

GENERAL NOTES

- All work shall conform to the 2013 editions of the California Building Code, California Residential Code, California Mechanical Code, California Plumbing Code, California Electrical Code, California Fire Code, California Energy Code, and California Green Building Standards Code, as minimum requirements, in addition to all applicable local amendments.
- The Contractor shall guarantee workmanship and materials for a period of one year after substantial completion, inspection and acceptance of his/her work.
- The Contractor shall be responsible for coordination of all building systems including but not limited to: architectural, structural, landscape/drainage, plumbing, mechanical, electrical and fire suppression systems, with particular attention paid to the coordination of framing with electrical & mechanical systems.
- Coordinate construction phasing with Owner as necessary. Owner to remain in home during construction.
- The General Contractor shall call for all architectural, structural and governmental inspections as required, and as in the Specifications. Provide 10 day min. notice for all site reviews by Architect/Engineer.
- Observation by the Structural Engineer is required for structural conformance to the approved plans. See Spec Div. 10 - Structural General Notes.
- No Special Inspections are required for this project.
- All manufactured materials and equipment shall be installed per manufacturer's instructions and as described in the Specifications. Substitutions of materials or equipment for those designated may be made only upon approval of the Architect.
- The Contractor shall inspect the existing premises and take note of existing conditions prior to submitting prices. No claim for additional fees will be allowed for difficulties encountered, which could have reasonably been inferred from such an examination. Drawings of existing site conditions are to be used as guidelines.
- Any errors, omissions or conflicts found in the construction drawing set shall be brought to the Architect's immediate attention prior to proceeding with construction.
- Written dimensions and notes takes precedence over scaled dimensions and line drawings. DO NOT SCALE DRAWINGS. Contact the Architect for additional dimensions. All dimensions to new walls are to face of framing, or top of bearing, U.O.N. Contractor to verify all specified dimensions in the field. Discrepancies shall be brought to the immediate attention of the Architect.
- Where details are not specifically indicated, similar details (or description) shall apply.
- Contractor shall endeavor to reduce construction waste and dispose of demo and construction waste materials at recycling and reuse facilities when possible. Sort all construction waste material for recycling (separate piles for different types of materials) and haul to appropriate waste recycling facilities. The Contractor shall remove all construction debris at the end of the job and dispose of it legally, clean all new windows, and leave the job broom clean. Refer to www.StopWaste.org for Alameda County waste reduction, reuse, recycling, and disposal facilities.
- The construction site must be maintained in a responsible manner. Every effort should be made to locate portable toilets, construction materials, storage containers, and equipment on private property and screened from neighbors and the street. All hazardous materials must be stored in a secure location and per manufacturer's instructions. Any items located in public property require an encroachment permit from the City.
- The Contractor shall be responsible for controlling dust during construction and grading. The construction site should be checked at the end of every work day for trash, nails, and other debris. Mud and dirt from the construction site must be swept daily from sidewalk and streets. Do not clean equipment in the street.
- The owner and builder shall comply with all City requirements regarding water pollution prevention, noise control, construction work hours, and archeological discoveries.

PROJECT DESCRIPTION

DEMO EXISTING 1 BEDROOM COTTAGE. CONSTRUCT NEW 753SF, 2 STORY, REAR ADDITION W/2 BEDROOMS, 2 BATHS. CONVERT EXISTING FIRST FLOOR BEDROOM INTO FAMILY ROOM.

PROJECT INFORMATION

APN	66-2792-18
ZONE	R-3
OCG GROUP	R-3
CONST. TYPE	V-N
LOT AREA	5,000 SF

ZONING CALCULATIONS

ITEM	EXISTING	PROVIDED	REQUIRED
SETBACKS			
FRONT	12'-9"	12'-9"	15'-0"
REAR	20'-0"	15'-0"	15'-0"
LEFT	8'-7"	5'-7"	4'-0"
RIGHT	5'-3"	5'-3"	4'-0"
HEIGHT (FT)	13'-0"	23'-0"	28'-0" MAX.
LOT AREA (SFT)	5,000		
LOT COVERAGE	33%	44%	50% MAX
FLOOR AREA:			
GARAGE	378	378	
MAIN LEVEL	1,482	1,813.5	
SECOND FLR		431.5	
TOTAL	1,870	2,623	
TOTAL COUNTED	1,650	2,403	
FAR (%)	33%	52%	59% MAX
PARKING			
	2 SPACES	2 SPACES	2 SPACES

SHEET INDEX

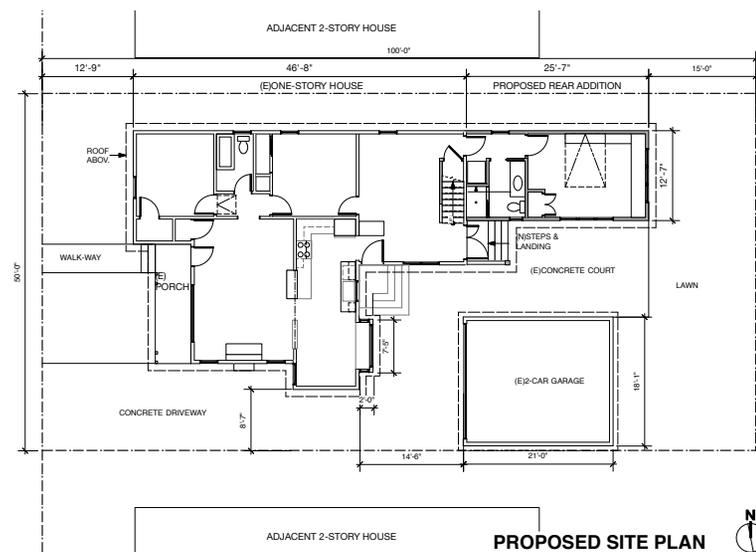
- A-0 - TITLE SHEET, SITE PLAN
- A-1 - EXISTING PLANS, ELEVATIONS,
- A-2 - PROPOSED PLANS
- A-3 - PROPOSED ELEVATIONS
- A-4 - SECTIONS, WINDOW DETAILS

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Issue	Date
DR SUBMITTAL	06/30/15

TITLE SHEET PROJECT INFO SITE PLAN

Scale: 1/8"=1'-0"
Date: 06/30/15

A0.0

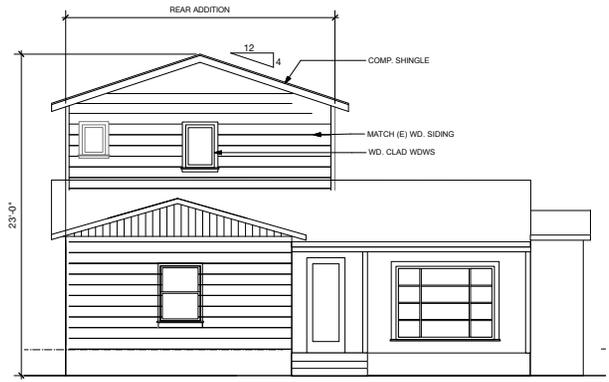
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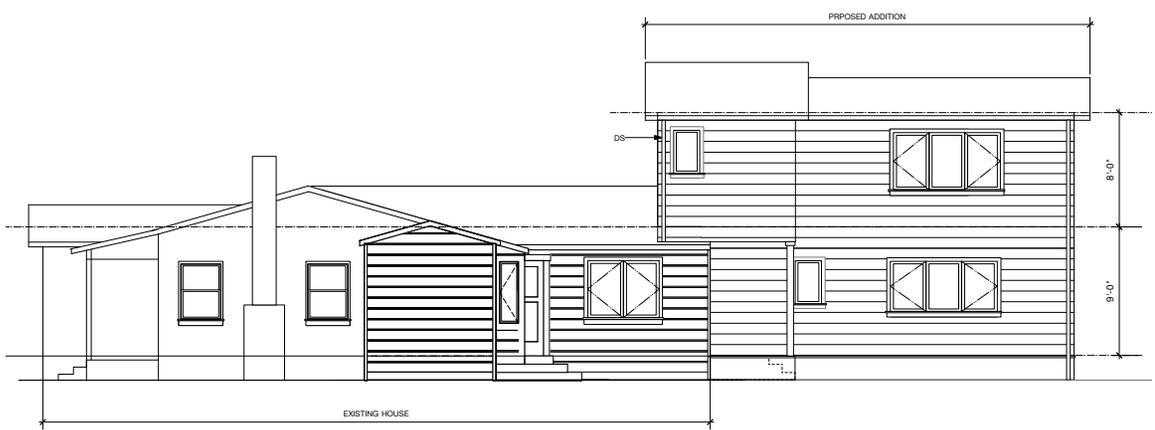
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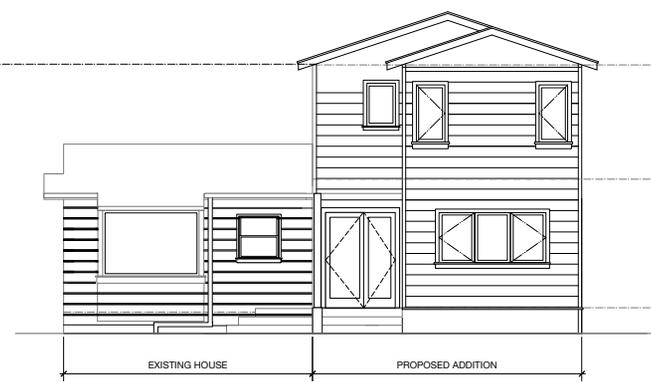
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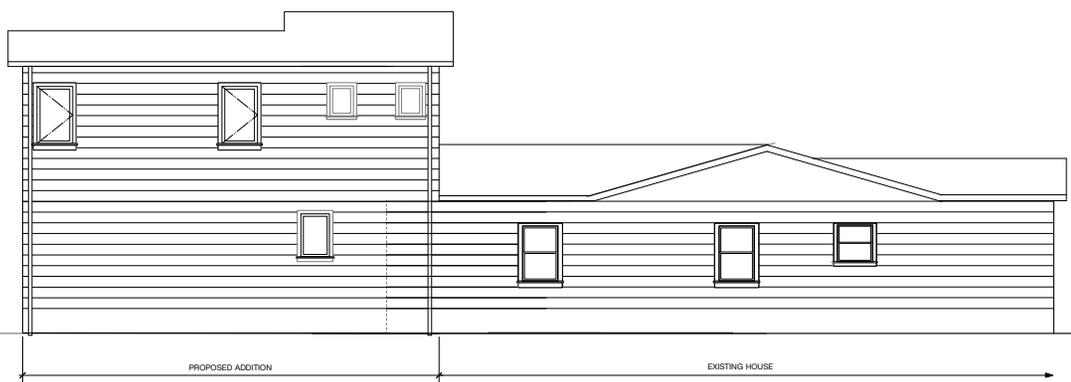
1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED SIDE (SOUTH) ELEVATION
Scale: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"



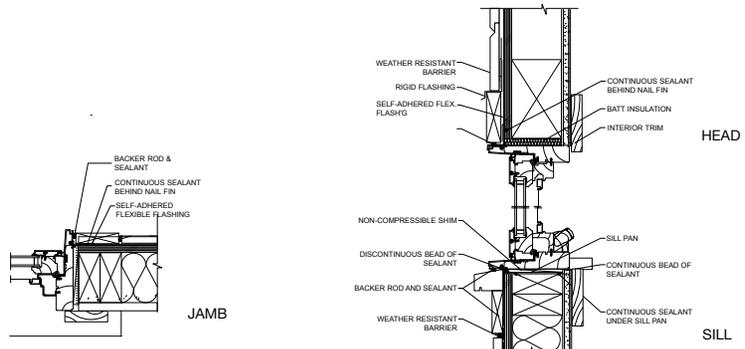
4 PROPOSED SIDE (NORTH) ELEVATION
Scale: 1/4" = 1'-0"

Issue	Date
DR SUBMITTAL	06/30/15

PROPOSED ELEVATIONS

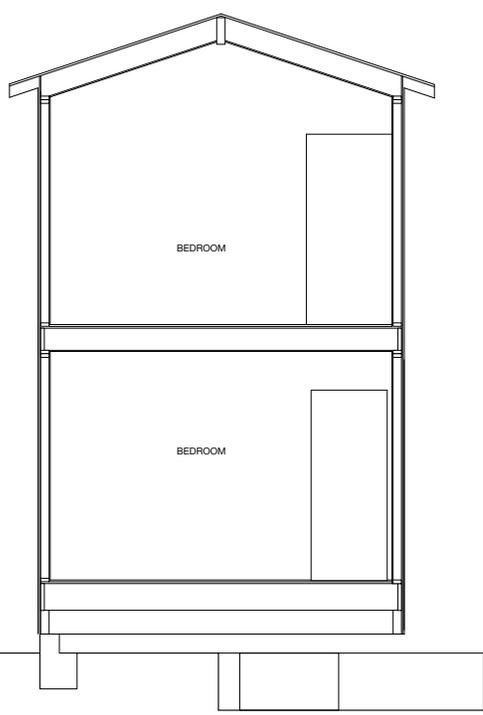
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Author: JLN

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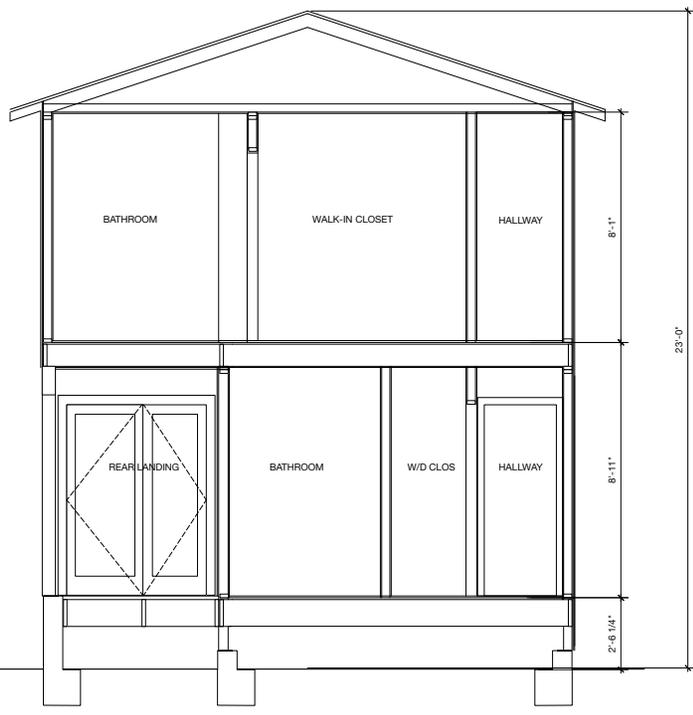


WINDOW NOTES
 ALL WINDOWS TO BE WOOD CLAD MARVIN
 SEE PROPOSED PLANS FOR WINDOW SIZES

3 WINDOW DETAILS
 3/8"=1'-0"



2 SECTION 1-1
 1/2"=1'-0"



1 SECTION 2-2
 1/2"=1'-0"

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Issue	Date
DR SUBMITTAL	062515

All drawings and written material prepared herein remain the property of the architect and shall not be used for any other project without the written consent of the architect.

PROPOSED SECTIONS
 WDW DETAILS

Scale	VARIABLES

Sheet No. 20 of 20

A4.0